



**CITY OF KIRKLAND**  
**Planning and Building Department**  
123 Fifth Avenue, Kirkland, WA 98033  
425.587.3600 ~ [www.kirklandwa.gov](http://www.kirklandwa.gov)

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## MEMORANDUM

**Date:** September 3, 2019  
**To:** Design Review Board  
**From:** Scott Guter, AICP, Senior Planner  
**File No.:** DRV16-00914  
**Subject:** **VILLAGE AT TOTEM LAKE – PHASE II (UPPER MALL)  
MODIFICATION TO DRB DECISION**

### **I. MEETING GOALS**

At the September 4, 2019 Design Review Board (DRB) meeting, the DRB should review the proposed project modifications and provide input to staff prior to staff's decision on the modification request. See Section III below for a summary of the proposed changes.

### **II. BACKGROUND INFORMATION**

The subject property is located at 12620 120<sup>th</sup> Ave NE (see Attachment 1). On September 19, 2016, the DRB approved the Design Response Conference application for the Village at Totem Lake – Phase II (upper mall) project (see Attachment 2). Since the approval, various project components are under construction.

On August 8, 2019, the applicant submitted a minor modification request to modify the DRB approved plaza design (see Attachments 4). Pursuant to Kirkland Zoning Code (KZC) Section 142.50(1)(b), Planning Staff may consult with the DRB when making a decision on the proposed modifications. Due to the scope and nature of the proposed changes, staff would like input from Board prior to making a decision. The changes are summarized in Section III below. Attachment 2 also contains the applicant's description of the changes.

### **III. MODIFICATION CRITERIA**

The Planning Official may approve the proposed modifications to the Design Review approval if it meets the criteria in Kirkland Zoning Code (KZC) Section 142.50. Attachment 3 contains the applicant's response to the criteria. Below are the applicable criteria:

- a. *The need for the modification was not known and could not reasonably have been known before the D.R. approval was granted.*
- b. *The modification is minor and will not, in any substantial way, change the proposed development or violate any requirement imposed by the Design Review Board. The Planning Official may consult with the Design Review Board in his/her decision.*
- c. *The development that will result from the modification will be consistent with the design regulations, design guidelines, and Comprehensive Plan.*

Staff is consulting with the DRB prior to making a decision on the requested modification. Following this consultation, staff will either approve or deny the requested modifications. Staff considers many of the proposed changes as minor and meeting the modification

criteria but due to the nature and scope of some of the changes, staff would like to update the DRB and to obtain feedback prior to making a decision.

### **Proposed Changes**

The applicant has outlined the reasons for the requested modification in Attachment 3. Staff can also confirm that the approved standalone pavilions approved by the DRB needed to move to a more centralized location to maintain a separation of 30 feet from structures of a different building type per the building code.

On August 22, 2019, the applicant and the City participated in a mini design charrette to help guide the revised plaza design. Steve Durrant, Vice President of Alta Planning + Design and a registered landscape architect (FASLA, PLA) and planner with over 30 years of experience, helped facilitate this discussion. The meeting resulted in a set of design principles and a conceptual design that staff believes is consistent with the original approval and modification criteria (see Attachment 5). The applicant's final plaza design was based on this guidance.

## **IV. QUESTIONS FOR DRB CONSIDERATION**

- A. The proposed minor improvements shown in Attachment 4 are supported by staff and are reflective of minor alterations typically seen as a development's design evolves with construction drawings. The changes were found to be consistent with the general design principles approved by the Board. Does the DRB have any additional comments on the proposed plaza redesign?
- B. Understanding building code restrictions on the location of structures are there any recommendations on the plaza's program or materials that staff should consider before issuing a decision?

## **V. ATTACHMENTS**

- 1. Vicinity Map
- 2. Design Review Board Decision dated March 13, 2017
- 3. Design Review Approval Modification Request dated August 8, 2019
- 4. Plan Set dated September 3, 2019
- 5. Plaza Design Charrette Boards

CC: Applicant & Parties of Record List in File No. DRV16-00914 (434 Kirkland Way Mixed Use Project)



# Village At Totem Lake, DRV16-00914

ATTACHMENT 1



## Legend

- City Limits
- Grid
- QQ Grid
- Cross Kirkland Corridor
- Regional Rail Corridor
- Streets
- Parcels
- Schools
- Overlay Zones
  - (EQ)
  - (HL)
  - (HP)
- Planned Unit Development
- Design District
- City Zoning
  - Commercial
  - Industrial
  - Transit Oriented Development
  - Office
  - High Density Residential
  - Medium Density Residential
  - Low Density Residential
  - Institutions
  - Park/Open Space
- Olympic Pipeline Corridor

1: 3,657



## Notes

0.1 0 0.06 0.1 Miles

NAD\_1983\_StatePlane\_Washington\_North\_FIPS\_4601\_Feet

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## DESIGN REVIEW BOARD DECISION

**DATE:** March 13, 2017

**FILE NUMBER:** DRV16-00914

**PROJECT NAME:** VILLAGE AT TOTEM LAKE - PHASE II (upper Mall)

**APPLICANTS:** Claudia Escala with Carrier Johnson + Culture  
 Rick Beason with CenterCal Properties, LLC

**PROJECT PLANNER:** Jon Regala, Planning Supervisor

### I. SUMMARY OF DECISION

The Village at Totem Lake is a mixed-use redevelopment project of the Totem Lake Mall occurring in two phases. Rick Beason with CenterCal Properties, LLC, applied for design review of Phase II of the Village at Totem Lake mixed use project at 12560-12632 120<sup>th</sup> Avenue NE (the upper Mall). The applicant is proposing to demolish all existing buildings and construct a new mixed-used development as the second (and final) phase of the Village at Totem Lake project. This phase of the redevelopment project will consist of approximately:

- 46,000 sq. ft. of retail and restaurant uses (less service areas)
- 41,000 sq. ft. movie theater
- 650 residential units
- 1,387 parking stalls within a parking garage and 17 street parking stalls

On September 19, 2016, the Design Review Board (DRB) voted to approve the project as shown on the plans dated September 12, 2016 and included as Attachment 1 subject to the following conditions:

- A. This application is subject to the applicable requirements contained in the Kirkland Municipal Code, Zoning Code, and Building and Fire Code. It is the responsibility of the applicant to ensure compliance with the various provisions contained in these ordinances. Attachment 2, Development Standards, is intended to familiarize the applicant with some of the additional development regulations. This attachment does not include all of the additional regulations.
- B. As part of the application for any development permit the applicant shall submit the following:
  1. Plans that comply with the wetland buffer and buffer setback regulations associated with the Type III wetland located at the northeastern portion



of the subject property. Alternatively, the applicant may request a modification to the wetland buffer requirements pursuant to KZC 90.60 prior to development permit submittal.

2. Construction, landscape, pedestrian connection, plaza, and site plan(s) demonstrating compliance with the project plans as approved by the DRB (see Attachment 1), except as conditioned below:
  - a. To provide architectural interest, the various east/northeastern facing building facades should be revised to show different hardie board panel modulations by varying the scale of the material panels and colors. Other materials and colors may be used from the approved building material and color palette for the project.
  - b. Reduce the visibility of and/or revise the treatment of the theater wall located approximately 60' behind the main theater façade to minimize blank wall impacts. Options provided include creating a green wall or adding planters along the roof perimeter adjacent to the marquee. The DRB did not specifically require a green wall at this façade.
3. Average building elevation (ABE) calculation to include topographic survey information confirming the midpoint elevations being used to calculate ABE and building elevation drawings showing the ABE relative to 120<sup>th</sup> Avenue NE.
4. A parking study consistent with Kirkland Zoning Code 105.25.
5. Lot coverage calculations for Phase I and Phase II. Lot coverage shall be based on the total lot area consisting of Phase I and II.
6. An analysis/comparison of the permit plans with the DRB approved plan set.

C. Subsequent Changes

If changes to the DRB approved plans are being proposed, the applicant shall submit a summary of all proposed changes to include:

1. Callouts of the proposed changes on the permit drawings.
2. The associated DRB approved plan drawing(s) for comparison purposes.
3. A written response addressing the modification criteria in KZC 142.50.
4. A design review modification fee if applicable.

D. Final Inspection

Prior to final inspection of a building permit by the Planning Official, the project architect shall submit a letter stating that they have evaluated the project to ensure it is consistent with the plans approved through Design Board Review and no modifications have been made that were not previously approved by the City.

## II. DESIGN RESPONSE CONFERENCE MEETINGS

### A. Background Summary

Three Design Response Conferences on this project were held on:

- June 20, 2016
- August 15, 2016

- September 19, 2016

The staff reports and applicant's responses to the DRB's recommendation can be found online listed by meeting date:

[http://www.kirklandwa.gov/depart/planning/Boards\\_and\\_Commissions/DRB\\_Meeting\\_Information.htm](http://www.kirklandwa.gov/depart/planning/Boards_and_Commissions/DRB_Meeting_Information.htm)

Below is a summary of the DRB's discussions at the Design Response Conference meetings for the project:

**June 20, 2016** – At this meeting, the DRB reviewed the applicant's plans and staff memo dated June 9, 2016 based on consistency with the Totem Lake Mall Conceptual Master Plan and feedback given at the Conceptual Design Conference held on January 20, 2016. After requesting public comment on the project, the DRB deliberated on the following topics:

- Vertical and horizontal modulation techniques to preserve pedestrian scale along 120th Avenue NE and to mitigate the large building expanses.
- Variation of the horizontal datum between the retail and residential levels along 120th Avenue NE.
- Building facade and garage screening east of the Chase Bank building located at the northeast corner of 120th Avenue NE and Totem Lake Way.
- The movie theater design and how it integrates with the public plaza and adjacent buildings.
- The residential component along Totem Lake Way.
- The proposed material palette.

Following their discussion, the DRB provided feedback to the applicant as follows:

- Revisit the design of the building east of the Chase Bank and address the lack of modulation and large expanse of hardie board material.
- Provide details on the parking garage screening.
- Study further the wedge shape design of the NW building corner, including how this building relates to the approved Phase I building across the street to the west.
- Explore defining and reinforcing the building's top, middle, and bottom using a variety of modulation and building articulation techniques.
- Provide a roof plan.
- Vary the roofline.

**August 15, 2016** – At this meeting, the DRB reviewed the applicant's plans and staff memo dated August 5, 2016 based on consistency with the Totem Lake Mall Conceptual Master Plan and feedback given at the June 20<sup>th</sup> Design Response Conference. After requesting public comment on the project and deliberating, the DRB directed the applicant to return for a third meeting. The following direction was provided to the applicant:

*Residential Building Design*

- Enlarged building elevations at major building areas with corresponding wall section drawings (typical floors may be skipped) and associated material boards.
- Floor plans that better correlate with building elevations.

- Create architectural interest at upper story courtyard facades (concern was expressed regarding large amount of hardie board being used).

#### *Movie Theater*

- Final design details of the movie theater façade.
- Information on how the movie theater façade is integrated with the adjoining buildings.

#### *Building Details*

- Color of vinyl window mullions and casing.
- Overhead weather protection plan.
- Developed roof plan and screening for rooftop appurtenances.
- Exterior lighting information.

*Public Plaza Design* - The DRB requested additional details regarding the central public plaza including the proposed pedestrian amenity spaces. The DRB was concerned with the previous compartmentalized design. The design response should include:

- Revised plaza plan that addresses concerns regarding the separated nature of the plaza and lack of public gathering space(s).
- Details on the stand-alone building.
- Further development of the proposed water feature.

*Access & Pedestrian Connections* - Explore design options to the current 48' wide driveway along Totem Lake Way. In addition, provide detailed plans information regarding the EvergreenHealth and Madison House pedestrian connections to include:

- Cross section drawing
- Landscaping
- Paving finishes
- Lighting

*Landscaping* - The DRB requested a creative landscape plan that considers a variety of colors, species, and long term viability given the purpose of the landscaping.

**September 19, 2016** - At this meeting, the DRB reviewed the applicant's plans and staff memo dated September 12, 2016 based on consistency with the Totem Lake Mall Conceptual Master Plan and feedback given at the August 15<sup>th</sup> Design Response Conference. At the conclusion of the meeting, the DRB voted to approve the project with conditions (see Attachment 1). The conditions have been incorporated into Section I – Summary of Decision.

## **B. Public Comment**

All public comment letters and e-mails received during the Design Response Conference meetings are forwarded to the DRB. These comments and oral comment from the public meetings are considered by the DRB. All written comments are contained in the City's official file. One public comment email was submitted to the City expressing the following:

- Consider the weather in the Pacific NW when designing the project. Be sure to include overhead weather protection.

Oral comment was provided at the one of the meetings citing the need for a safe and comfortable pedestrian connection between EvergreenHealth and Phase II of the project.

### **III. DESIGN REVIEW BOARD DISCUSSION AND CONCLUSIONS**

The DRB used the Totem Lake Mall Conceptual Master Plan (CMP) as the basis for their review of the project. The DRB concluded that the proposal, along with the Conditions of Approval in Section I, met the intent of the CMP, which were developed specifically for the site. For more background on the guidelines and evaluation of how the project meets the CMP guidelines, see the staff advisory reports from the design response conferences contained in file DRV16-00914 or on the DRB webpage by meeting date:

[http://www.kirklandwa.gov/depart/planning/Boards\\_and\\_Commissions/DRB\\_Meeting\\_Information.htm](http://www.kirklandwa.gov/depart/planning/Boards_and_Commissions/DRB_Meeting_Information.htm)

### **IV. DEVELOPMENT REVIEW COMMITTEE**

Comments and requirements placed on the project by City departments are found on the Development Standards, Attachment 2.

### **V. SUBSEQUENT MODIFICATIONS**

Modifications to the approval may be requested and reviewed pursuant to the applicable modification procedures and criteria in effect at the time of the requested modification. See also Section I.C and D above.

### **VI. APPEALS OF DESIGN REVIEW BOARD DECISIONS AND LAPSE OF APPROVAL**

#### *Appeals*

KZC Section 142.40 of the Zoning Code allows the Design Review Board's decision to be appealed to the Hearing Examiner by the applicant or any person who submitted written or oral comments to the Design Review Board. The appeal must be in the form of a letter of appeal and must be delivered, along with any fees set by ordinance, to the Planning and Building Department by 5:00 p.m., April 6, 2017, fourteen (14) calendar days following the postmarked date of distribution of the Design Review Board's decision.

Only those issues under the authority of the Design Review Board as established by Kirkland Zoning Code 142.35(2) are subject to appeal.

#### *Lapse of Approval*

Pursuant to KZC 142.55, the applicant must begin construction or submit to the City a complete building permit application for the development activity, use of land or other actions approved under this chapter within five (5) years after the final approval of the City of Kirkland on the matter, or the decision becomes void.

The applicant must substantially complete construction for the development activity, use of land or other actions approved under this chapter and complete the applicable conditions listed on the notice of decision within seven (7) years after the final approval on the matter or the decision becomes void.

### **VII. ATTACHMENTS**

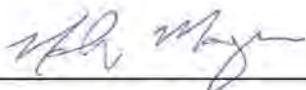
1. Applicant Plans approved by DRB
2. Development Standards



### **VIII. PARTIES**

A list of parties that submitted written or oral comments to the DRB have been attached to file no. DRV16-00914.

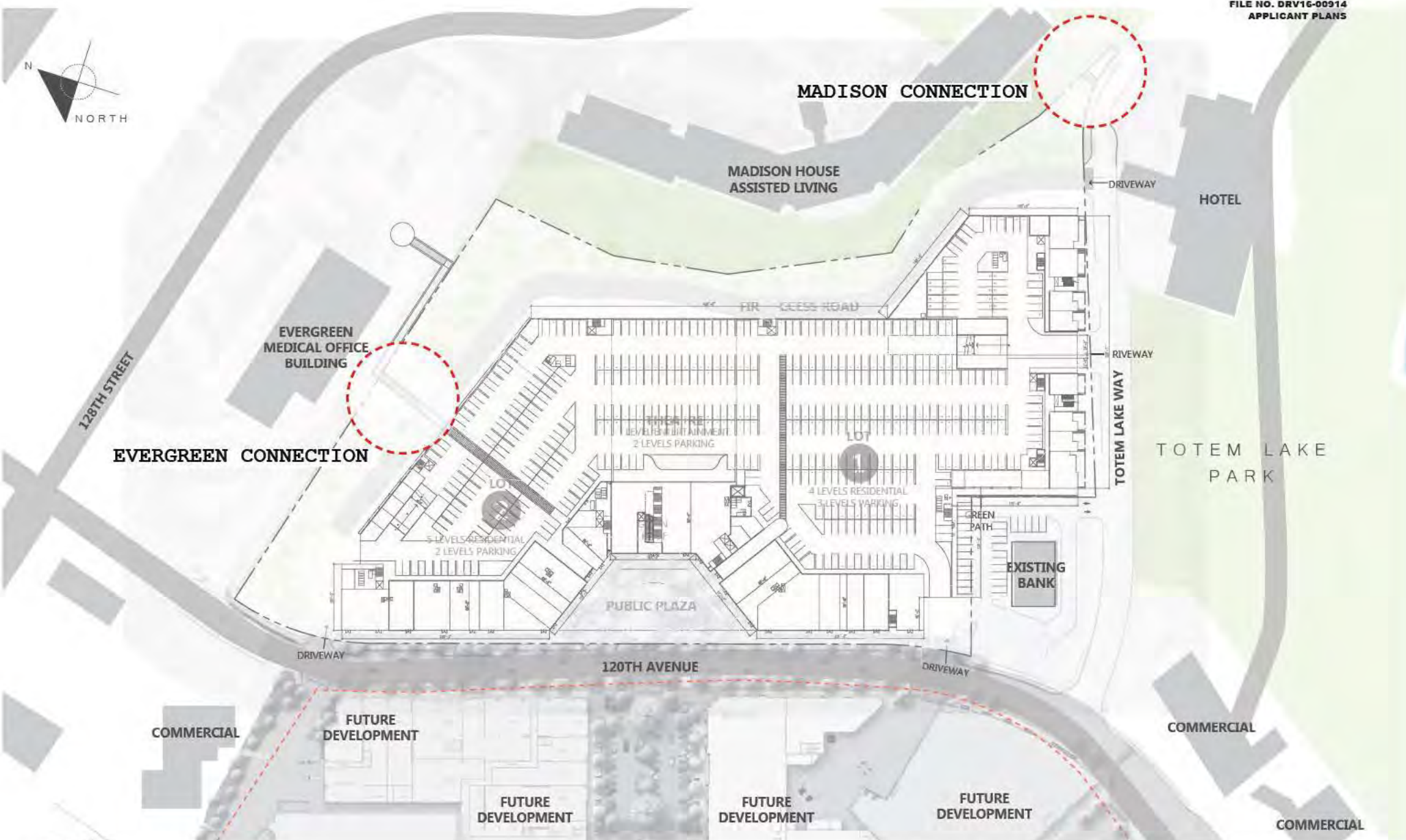
### **IX. APPROVAL**



\_\_\_\_\_  
Nolan Morgan, Chair - Design Review Board

\_\_\_\_\_  
March 13, 2017

\_\_\_\_\_  
Date



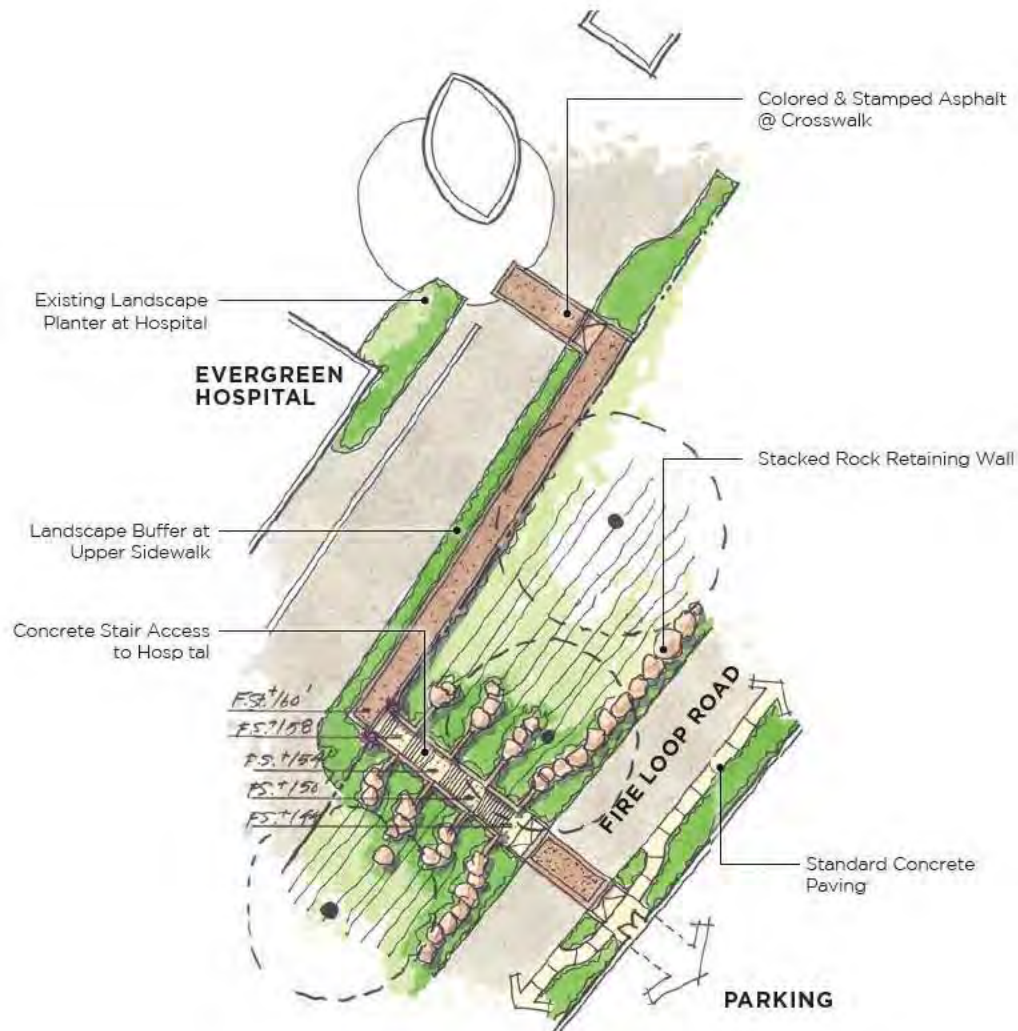
FAIRFIELD  
RESIDENTIAL

content CONNECTIONS LOCATION

/ project 5638.00 / date 09.12.2016

A10.7  
carrierjohnson + CULTURE3

ATTACHMENT 1  
FILE NO. DRV16-00914  
APPLICANT PLANS



## EVERGREEN CONNECTION PLAN



FAIRFIELD  
RESIDENTIAL



LIFESCAPES  
International Inc



## MADISON CONNECTION PLAN

0 10 20 40 NORTH  
SCALE 1"=20'-0"

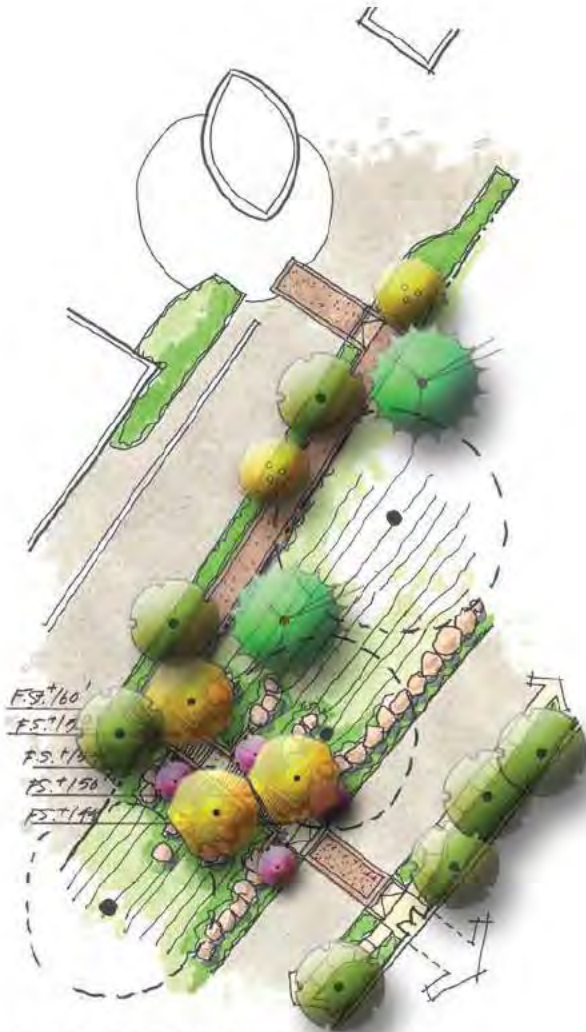
content LANDSCAPE OVERALL SITE PLAN

/ project 5638.00 / date 09.12.2016

A10.8  
carrierjohnson + CULTURE3



ATTACHMENT 1  
FILE NO. DRV16-00914  
APPLICANT PLANS



**EVERGREEN CONNECTION  
TREE PLAN**



**MADISON CONNECTION  
TREE PLAN**

#### TREE LEGEND

BOTANICAL NAME	COMMON NAME
CANOPY / EVERGREEN TREE	
MAGNOLIA SPECIES	MAGNOLIA
QUERCUS ILEX	HOLLY OAK
CANOPY / DECIDUOUS TREE	
GINKGO BILOBA	MAIDENHAIR TREE
LIRIODENDRON TULIFERA	TULIP TREE
CONIFERS TREE	
JUNIPER SPECIES	JUNIPER
TAXUS SPECIES	YEW



**MAGNOLIA GRANDIFLORA**  
MAGNOLIA TREE



**QUERCUS ILEX**  
HOLLY OAK



**GINKGO BILOBA**  
GINKGO



**LIRIODENDRON TULIFERA**  
TULIP TREE



**JUNIPERUS VIRGINIANA**  
JUNIPER



**TAXUS CUSPIDATA**  
YEW

0 10 20 40 NORTH  
SCALE 1"=20'-0"



**FAIRFIELD**  
RESIDENTIAL



**LIFESCAPES**  
International Inc

content LANDSCAPE OVERALL SITE PLAN

/ project 5638.00 / date 09.12.2016

**A10.9**  
**carrierjohnson + CULTURE**



OVERHEAD STRUCTURE



■ Glass Awning



■ Metal Awning



■ Metal Awning



■ Wood Awning



■ Trellis



■ Solid Shade Structure



■ Covered Restaurant Patio



■ Covered Restaurant Patio



■ Pavilions



0 15 30 45  
SCALE 1"=30'-0" NORTH



FAIRFIELD  
RESIDENTIAL



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content LANDSCAPE - 120TH OVERHEAD ENLARGEMENT PLAN / project 5638.00 / date 09.12.2016 A10.10  
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# PAVILION PAGE



FAIRFIELD  
RESIDENTIAL

/ project 5638.00 / date 09.12.2016

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SEATING | SEATING PLAN

ATTACHMENT 1  
FILE NO. DRV16-00914  
APPLICANT PLANS



FAIRFIELD  
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content LANDSCAPE OVERALL SITE PLAN

/ project 5638.00 / date 09.12.2016

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## MATERIALS



Enhanced Concrete Paving



Modular Pavers



Art



Interactive Water Feature



Retail Pavilion



Dining Patio



Living Room



Multi-Function Lawn



Kids Play Area

FAIRFIELD  
RESIDENTIALLIFESCAPES  
International Inccontent LANDSCAPE PARK ENLARGEMENT PLAN / project 5638.00 / date 09.12.2016  
A10.12  
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## TREE LEGEND

BOTANICAL NAME	COMMON NAME
CANOPY / EVERGREEN TREE	
MAGNOLIA SPECIES	MAGNOLIA
QUERCUS ILEX	HOLLY OAK

BOTANICAL NAME	COMMON NAME
FLOWERING / DECIDUOUS TREE	
GINKGO BILOBA	MAIDENHAIR TREE
LIRIODENDRON TULIFERA	TULIP TREE

BOTANICAL NAME	COMMON NAME
ACCENT TREE	
CERCIS SPECIES	EASTERN REDBUD
LABURNUM SPECIES	GOLDEN CHAIN
LAGERSTROEMIA INDICA	CREPE MYRTLE



**MAGNOLIA GRANDIFLORA**  
MAGNOLIA TREE



**QUERCUS ILEX**  
HOLLY OAK



**GINKGO BILOBA**  
GINKGO



**LIRIODENDRON TULIFERA**  
TULIP TREE



**CERCIS CANADENSIS**  
EASTERN REDBUD



**LABURNUM ANAGYROIDES**  
GOLDEN CHAIN



**LAGERSTROEMIA INDICA**  
CREPE MYRTLE



0 5 10 20 NORTH



**FAIRFIELD**  
RESIDENTIAL



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International Inc

content LANDSCAPE PARK TREE ENLARGEMENT PLAN / project 5638.00 / date 09.12.2016 A10.13

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**ATTACHMENT 1**  
**FILE NO. DRV16-00914**  
**APPLICANT PLANS**

**LEGEND:**

- KIDS' PLAY AREA
- PAVILION SOCIAL DECK SPACE
- FOOD & BEVERAGE AREAS
- OPEN FUNCTION LAWN SPACE
- PLAZA GATHERING AREA
- STAGE LOCATION



**FAIRFIELD**  
RESIDENTIAL



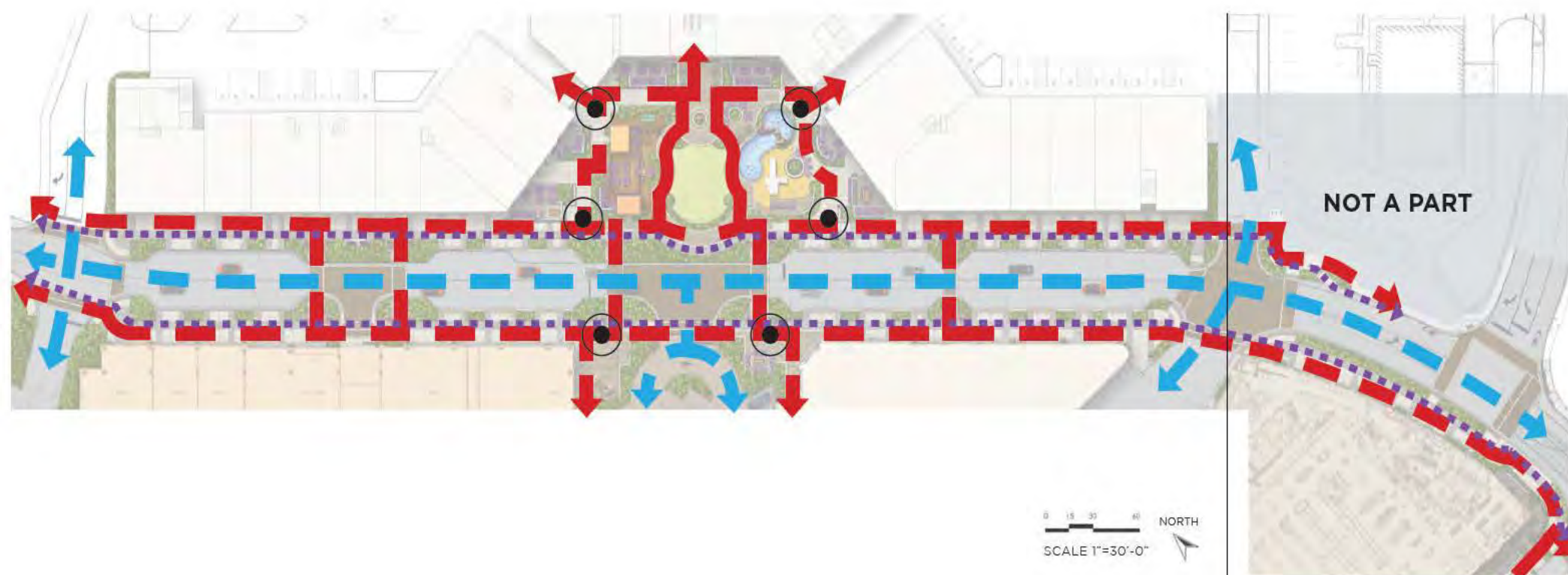
**LIFESCAPES**  
International Inc

content PUBLIC USE AREA DIAGRAM / project 5638.00 / date 09.12.2016 **A10.14**  
**carrierjohnson + CULTURE3**

ATTACHMENT 1  
FILE NO. DRV16-00914  
APPLICANT PLANS

KEY:

- PEDESTRIAN
- VEHICULAR
- BIKE
- PEDESTRIAN NODES OR PLAZA



FAIRFIELD  
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content CIRCULATION PLAN / project 5638.00 / date 09.12.2016 A10.15  
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## TREE IMAGES

## SPECIMEN TREE



GINKGO BILOBA  
GINKGO



MAGNOLIA GRANDIFLORA  
MAGNOLIA TREE



QUERCUS RUBRA  
RED OAK

## CONIFERS TREE



CEDRUS DEODORA  
CEDAR



CRYPTOMERIA JAPONICA  
JAPANESE CEDAR



JUNIPERUS  
VIRGINIANA  
JUNIPER



PINUS STROBUS  
PINE



TAXUS CUSPIDATA  
YEW



THUJA PLICATA  
RED CEDAR

## ACCENT TREE



ACER PALMATUM  
JAPANESE MAPLE



AESCULUS X CARNEA 'BRIOTII'  
RED HORSECHESTNUT



ARBUTUS MARINA  
STRAWBERRY  
TREE



CERCIS CANADENSIS  
EASTERN REDBUD



CORNUS KOUSA 'SATOMI'  
(LOW BRANCHING)  
KOUSA DOGWOOD



FAGUS GRANDIFLORA  
AMERICAN BEECH



LABURNUM  
ANAGYROIDES  
GOLDEN CHAIN



LAGERSTROEMIA INDICA  
CRAPE MYRTLE

## FLOWERING / DECIDUOUS TREE



ACER RUBRUM  
'OCTOBER GLORY'  
RED MAPLE



CARPINUS BETULUS  
'FASTIGIATA'  
PYRAMIDAL EUROPEAN HORNBEAN



CORNUS FLORIDA  
FLOWERING DOGWOOD



GINKGO BILOBA  
GINKGO



KOELREUTERIA PANICULATA  
GOLDENRAIN TREE



LIRIODENDRON TULIFERA  
TULIP TREE



MALUS DOMESTICA  
CRABAPPLES



PYRUS CALLERYANA  
CALLERY PEAR



ROBINA PSEUDOACACIA 'PURPLE ROBE'  
PURPLE ROBE LOCUST



SOPHORA JAPONICA  
PAGODA TREE



ULMUS PARVIFOLIA  
ELM TREE



ZELKOVA SERRATA  
JAPANESE ZELKOVA

## CANOPY / EVERGREEN TREE



MAGNOLIA GRANDIFLORA  
MAGNOLIA TREE



QUERCUS ILEX  
HOLLY OAK

## ADDITIONAL EVERGREEN TREES

PICEA PUNGENS / BLUE SPRUCE  
PINUS MUGO / MUGO PINE



## SHRUB LIST + IMAGES

BOTANICAL NAME  
HIGH SHRUBS

ABELIA 'EDWARD GOUCHER'  
 ABUTILON 'FAIRY CORAL RED'  
 CHIONANTHUS VIRGINICUS  
 CLERODENDRON TRICHOTOMUM  
 CORNUS ALTERNIFOLIA  
 ELAEAGNUS EBBINGEI  
 RHUS TYPHINA 'LACINIATA'  
 RIBES ODORATUM 'KING EDWARD VII'  
 SPIRAEA JAPONICA GOLD MOUND  
 SYMPHORICARPOS C. 'HANCOCK'  
 SYRINGA M. 'PALIBIN'  
 VIBURNUM BURKWOODII  
 VIBURNUM DAVIDII  
 WEIGELA FLORIDA 'MINUET'

## COMMON NAME

GLOSSY ABELIA  
 FAIRY CORAL RED FLOWERING MAPLE  
 WHITE FRINGE TREE  
 HARLEQUIN GLORYBLOWER  
 PAGODA DOGWOOD  
 SILVERBERRY  
 LACINIATA SUMAC  
 CLOVE CURRENT  
 GOLD MOUND SPIREA  
 HANCOCK CORALBERRY  
 DWARF KOREAN LILAC  
 BURKWOOD VIBURNUM  
 DAVID VIBURNUM  
 MINUET WEIGELA

BOTANICAL NAME  
MEDIUM SHRUBS

BERBERIS THUMBERGII 'CRIMSON PYGMY'  
 EDGEWORTHIA CHRYSANTHA  
 EUONYMUS FORTUNEI 'EMERALD GAIETY'  
 FORSYTHIA VIRIDISSIMA 'KUMSON'  
 HYDRANGEA ARBORESCENS 'ANNABELLE'  
 HYDRANGEA ARBORESCENS 'BELLA ANNA'  
 ILEX CRENATA 'CONVEXA'  
 ILEX CRENATA 'HELLERI'  
 MAHONIA AQUIFOLIUM  
 PHILADELPHUS 'SNOWBELLE'  
 PIERIS JAPONICA 'FIRE AND ICE'  
 PIERIS JAPONICA 'FOREST FLAME'  
 PYRACANTHA COCCINEA 'LALANDEI MONROVIA'  
 RHODODENDRON SPECIES  
 SARCOCOCCA HOOKERIANA VAR. HUMILIS 'DIGYNA'  
 SKIMMIA JAPONICA  
 TAXUS CUSPIDATA 'NANA AURESCENS'

## COMMON NAME

JAPANESE BARBERRY  
 PAPER BUSH  
 EMERALD GAIETY EUONYMUS  
 FORSYTHIA  
 ANNABELLE HYDRANGEA  
 BELLA ANNA HYDRANGEA  
 CONVEX JAPANESE HOLLY  
 HELLERI HOLLY  
 OREGON GRAPE  
 SNOWBELLE MOCK ORANGE  
 FIRE AND ICE PIERIS  
 FOREST FLAME PIERIS  
 SCARLET FIRETHORN  
 RHODODENDRON  
 SWEET BOX  
 SKIMMIA  
 GOLDEN DWARF JAPANESE YEW



ATTACHMENT 1  
 FILE NO. DRV16-00914  
 APPLICANT PLANS



FAIRFIELD  
 RESIDENTIAL



LIFESCAPES  
 International Inc

content SHRUB LIST AND IMAGES / project 5638.00 / date 09.12.2016

A10.17  
 carrierjohnson + CULTURE



## SHRUB LIST + IMAGES

BOTANICAL NAME  
LOW SHRUBS

BUXUS MICROPHYLLA 'WINTER GEM'  
COTONEASTER THYMIFOLIUS  
EUONYMUS F. 'EMERALD N GOLD'  
HELLEBORUS ARGUTIFOLIUS  
HELLEBORUS 'CHAMPION'  
HEMEROCALLIS 'STELLA D'ORO'  
HEUCHERA 'BERRY SMOOTHIE'  
HEUCHERA 'GREEN SPICE'  
HOSTA PLANTAGINEA VAR. JAPONICA  
HYPERICUM 'MAGICAL RED FLAME'  
ILEX CRENATA 'GOLD GEM'  
IRIS PUMILA 'ALBO-VARIEGATA'  
IRIS PUMILA 'BLUE DENIM'  
LIRIOPE MUSCARI BIG BLUE  
LIRIOPE SPICATA  
NANDINA DOMESTICA NANA PURPUREA  
POLYSTICHUM MUNITUM  
POLYSTICHUM POLYBLEPHARUM  
RUDBECKIA FULGIDA 'GOLDSTURM'  
SALVIA OFFICINALIS E. 'GOLDEN DELICIOUS'  
SANTOLINA CHAMAECYPARISSUS  
SEDUM 'AUTUMN JOY'  
SEDUM 'CARNEA'  
SEMPERVIVUM TECTORUM

## GROUND COVERS

ARCTOSTAPHYLOS UVA URSI  
COREOPSIS SPECIES  
ERICA CARNEA 'SPRINGWOOD PINK'  
IBERIS SEMPERVIRENS 'PURITY'  
LAVANDULA AUGUSTIFOLIA  
ROSA RUGOSA 'ALBA'  
ROSA RUGOSA (PINK)  
TEUCRIUM CHAMAEDRYS  
VERBENA 'HOMESTEAD PURPLE'  
VINCA 'ILLUMINATION'

## VINES

CLEMATIS ALPINA 'APPLE BLOSSOM'  
WISTERIA SINESIS

## COMMON NAME

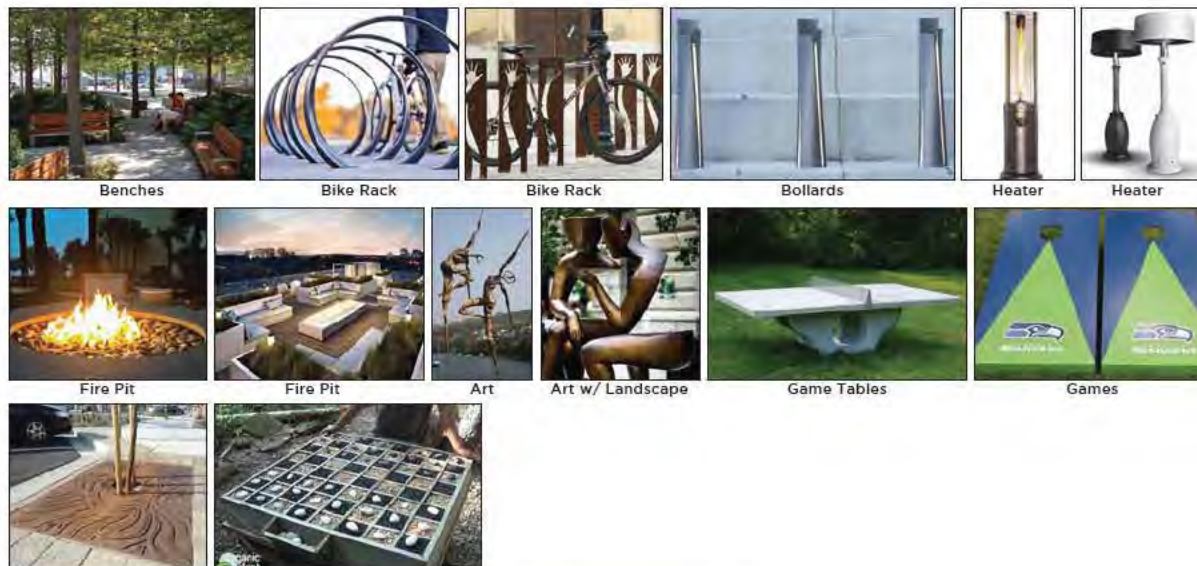
BOXWOOD  
THYME LEAF COTONEASTER  
EMERALD AND GOLD EUONYMUS  
CORSICAN HELLEBORE  
HELLEBORE  
STELLA D'ORO DAYLILY  
CORAL BELLS  
CORAL BELLS  
VARIEGATED HOSTA  
HYPERICUM  
GOLD GEM HOLLY  
VARIEGATED IRIS  
DWARF BEARDED IRIS  
CREEPING LILYTURF  
BIG BLUE LILY TURF  
PURPLE HEAVENLY BAMBOO  
WESTERN SWORD FERN  
JAPANESE TASSEL FERN  
BLACK EYED SUSAN  
GOLDEN SAGE  
LAVENDER COTTON  
AUTUMN JOY SEDUM  
STONECROP  
SEMPERVIVUM

BEARBERRY KINNIKINNICK  
COREOPSIS  
WINTER HEATH  
EVERGREEN CANDYTUFT  
ENGLISH LAVANDER  
RUGOSA ROSE  
RUGOSA ROSE  
GERMANDER  
HOMESTEAD VERBENA  
VARIEGATED PERIWINKLE

EVERGREEN CLEMATIS  
WISTERIA





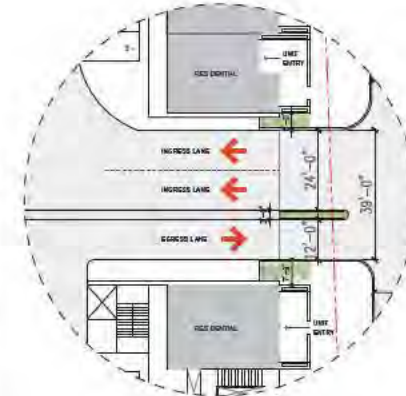
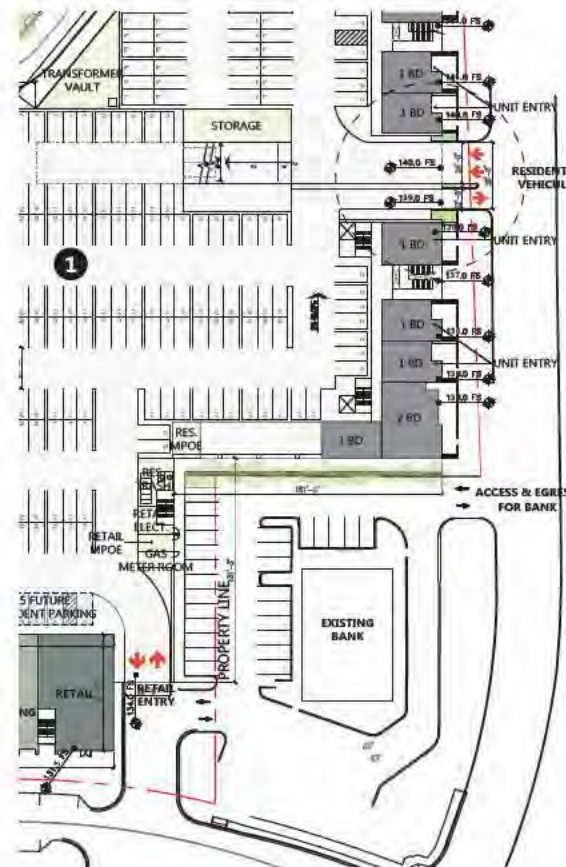
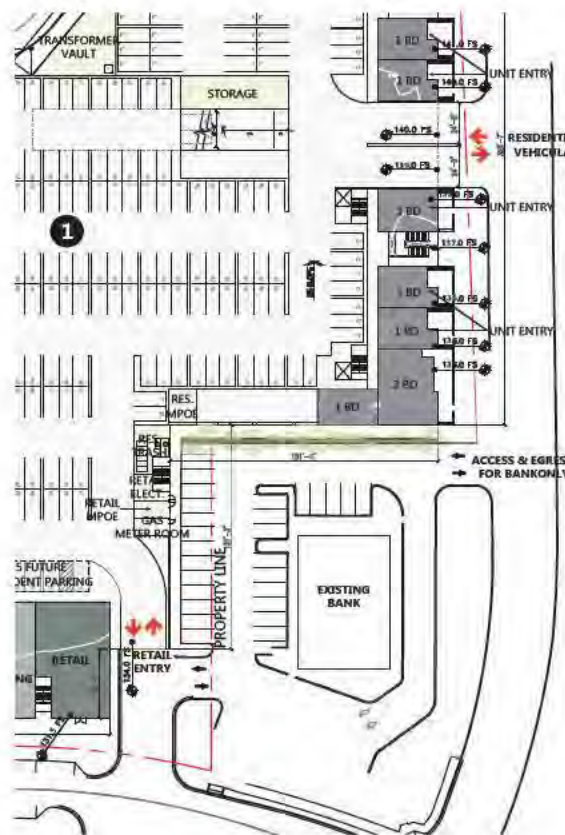
**HARDSCAPE (FLATWORK) MATERIALS****CONCRETE****WOOD****COLORED STAMPED ASPHALT****PRE-CAST CONCRETE PAVERS****SITE FURNITURE****POTTERY**

**DRB COMMENT:**

The consolidation of driveways along Totem Lake Way is a good direction but the proposed 48 foot wide driveway and curb cut seems excessive and should be reconsidered. Also concerned about units alongside the central driveway as their patios would be exposed to car fumes.

**DESIGN TEAM RESPONSE:**

The driveway has been reexamined and reconfigured to a reduced width of 39 feet. The revised width allows for two lane ingress (24'), 3' of green buffer and one lane egress (12') with the goal of reducing congestion between retail visitors and residential tenants. Planting areas have been added to the units flanking the driveways for additional buffer.





**DRB COMMENT:**

More information is still needed for proper review of the proposed garage screen as well as the garage entry doors. Material, finishes and in particular specificity on the perforation proposed is requested. Two styles of garage entry doors are shown in the inspiration images, define which one will be used.

**DESIGN TEAM RESPONSE:**

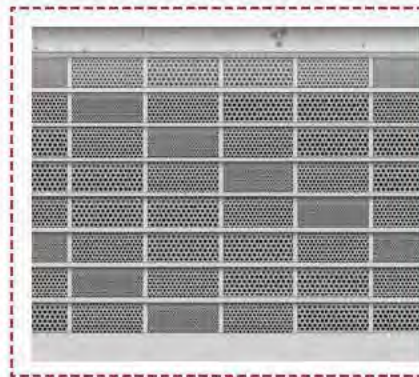
More detail is provided for the garage screens as well as the garage entry doors. Both will be painted metal and the panels will be composed of perforated panels in varying sizes.

GARAGE SCREEN



PERFORATED METAL SCREEN

PERFORATED SCREEN INSPIRATION SAMPLES



ALTERNATING PANELS WITH CIRCULAR PERFORATIONS RANGING IN SIZE FROM 1/2", 1", 1.5"



TOTEM LAKE WAY

GARAGE DOOR DETAIL



ONE LANE OF EGRESS

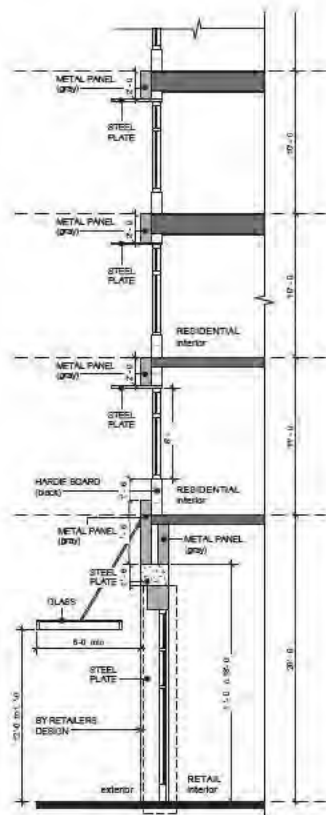
TWO LANES OF INGRESS

**DRB COMMENT:**

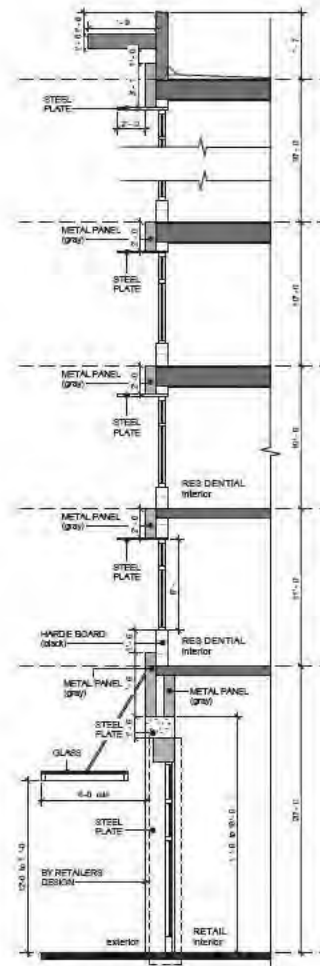
Roof lines need more refinement, some more finesse. Need to clarify the extent and dimensions of overhangs, cornices and parapets to be able to better evaluate the top elements

**DESIGN TEAM RESPONSE:**

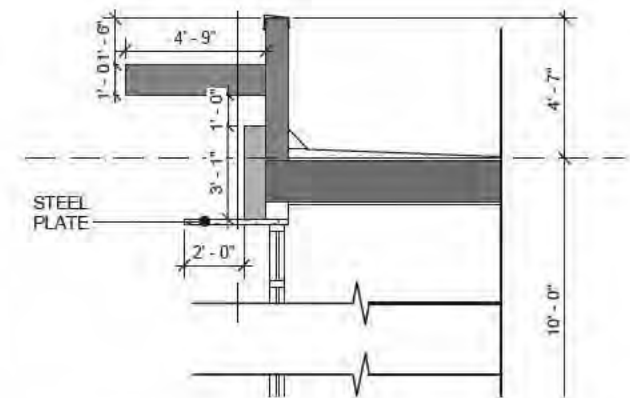
Wall sections have been extended to show the top of the various buildings and dimensions added to show extent of overhangs, eyebrows, etc.  
See example below



SECTION 1  
BEFORE



SECTION 1



EXAMPLE

NOTE: SEE ALL WALL SECTIONS FROM A7.4-A7.11  
(pg 28-35)





ENLARGED SOUTHWEST ELEVATION 01

**DRB COMMENT:**

With a slope along 120th Street and the retail spaces at different finish floor elevations explain how the slope is addressed at the bottom portion of the proposed storefront system.

**DESIGN TEAM RESPONSE:**

In order to address differences between finish floor elevations at the retail spaces and the sloping sidewalk a small curb is proposed to properly terminate the bottom of the storefront system.



**DRB COMMENT:**

Vinyl windows shown on elevations and renderings are depicted in a dark color. Based on review of past projects need applicant to confirm that the vinyl windows that will be installed on the project will not be white but match the dark color presented in the package.

**DESIGN TEAM RESPONSE:**

The Design Team has researched exterior colored vinyl windows. The proposed product has the color applied directly at the vinyl extruder making it much stronger than paint and much more durable.

VINYL WINDOW  
SECTION:

EXTERIOR COLOR:  
**BRONZE**  
(see color palette)

**COLOR PALETTE:**

REPRESENTATIVE IMAGE  
WINDOW FRAME COLOR: BRONZE EXTERIOR



**FAIRFIELD**  
RESIDENTIAL

content RESPONSE #5 / project 5638.00 / date 09.12.2016

**A11.5**  
**carrierjohnson + CULTURE**

**DRB COMMENT:**

The theatre design has improved with how it reaches out to the plaza and the large expanses of glass but needs further development. Concerned with the flatness of the façade behind the theatre. The units above and flanking it should feel special. Spires feel unresolved. Also need more information on the marquee.

**DESIGN TEAM RESPONSE:**

The Design Team has continued to work with the theatre architect and design of the theatre façade has been further developed both in massing and materiality. The top corners of the residential portion on either side of the theatre have been enhanced with additional glazing and a green wall back drop is also proposed. Two locations for future marquees have been identified.

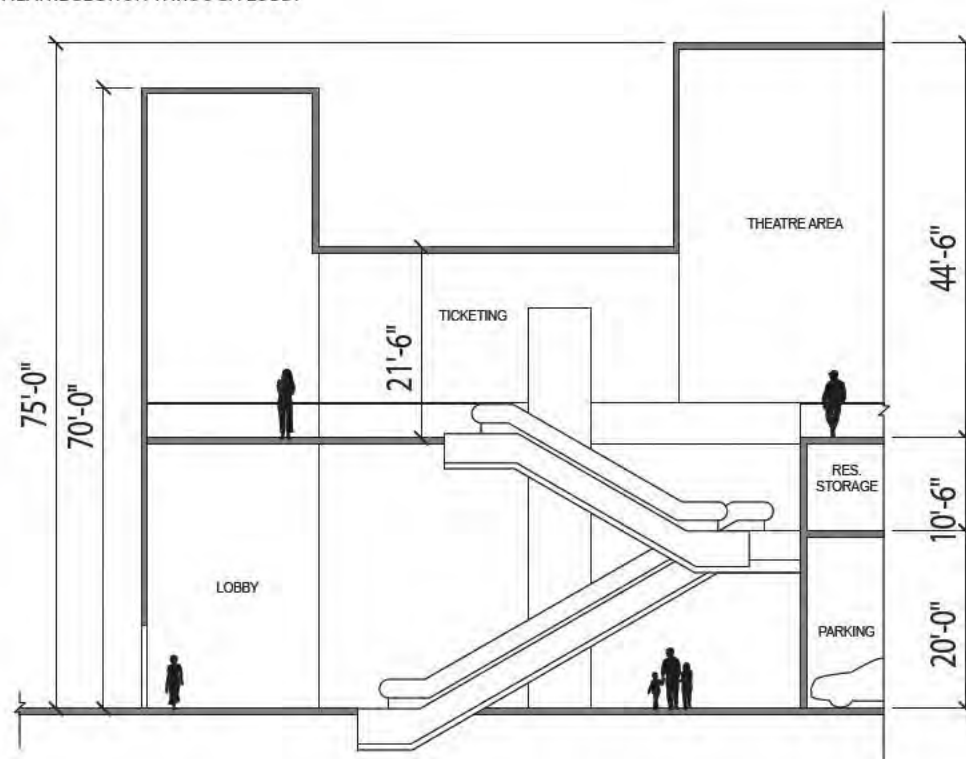


THEATRE BEFORE



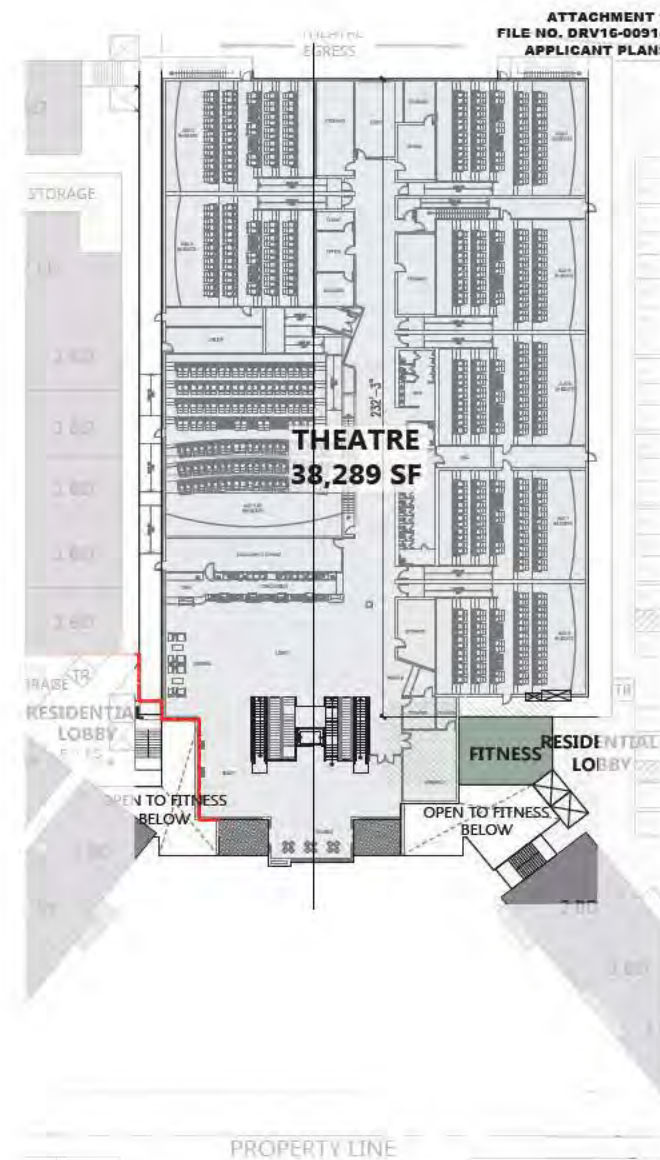
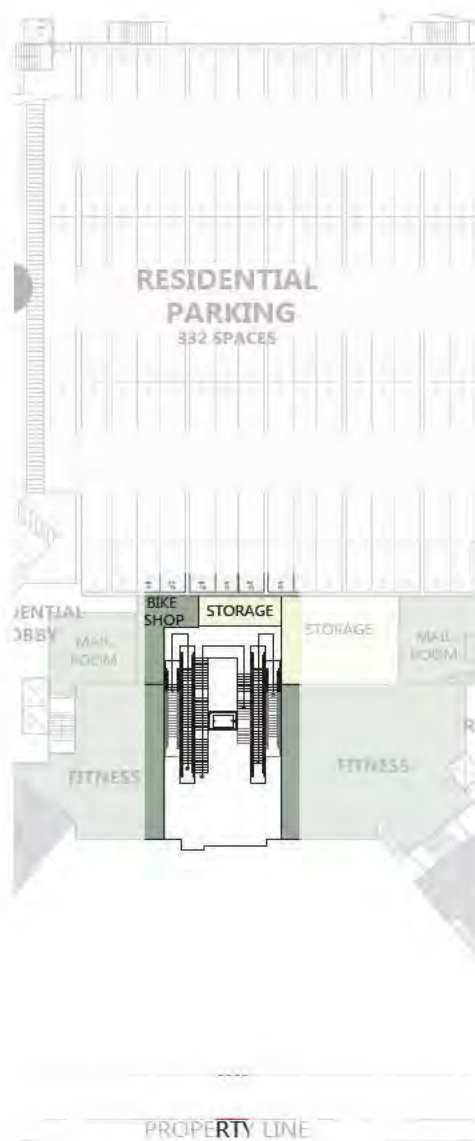
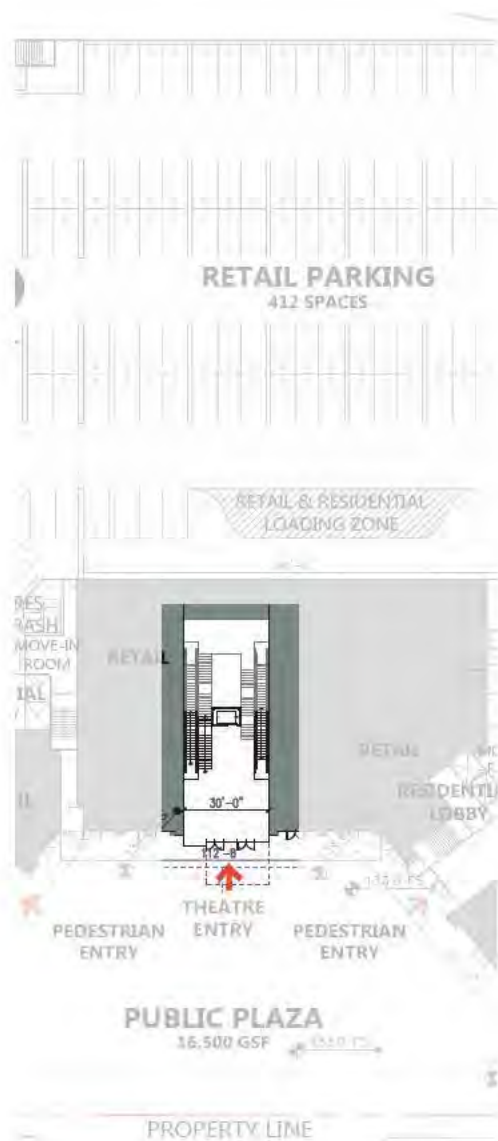
THEATRE AFTER

THEATRE SECTION THROUGH LOBBY



**FAIRFIELD**  
RESIDENTIAL





ATTACHMENT 1  
FILE NO. DRV16-00914  
APPLICANT PLANS

LEVEL 1

LEVEL 2

LEVEL 3

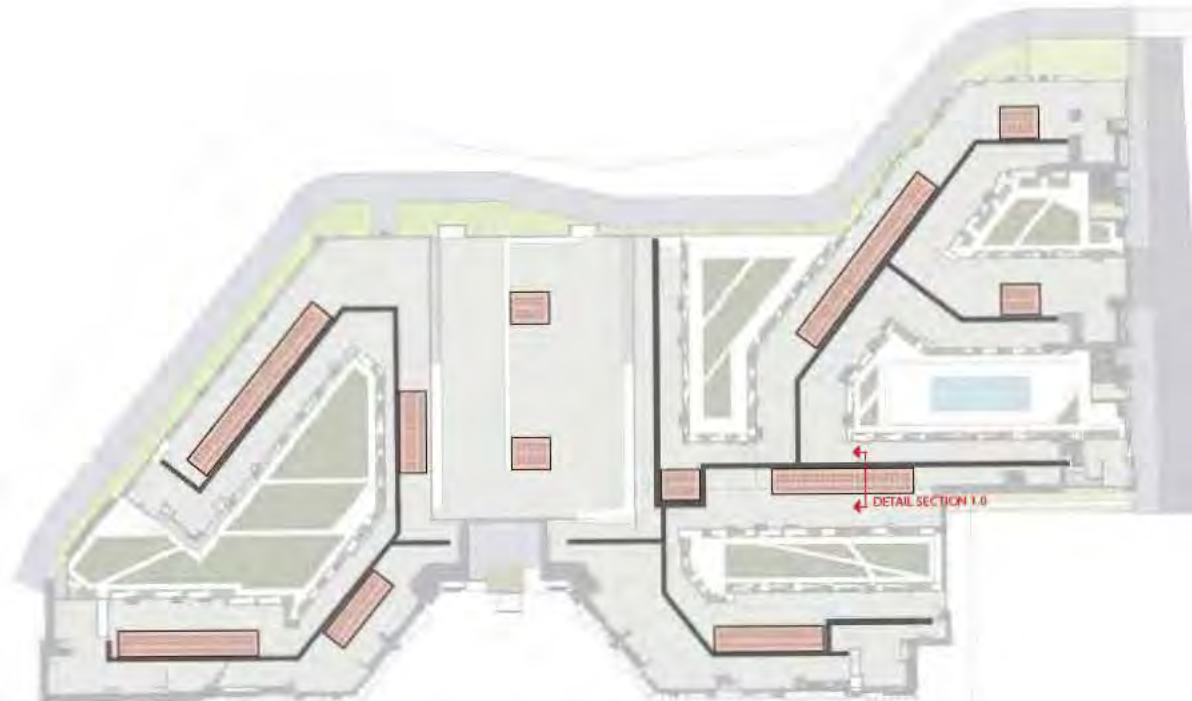


FAIRFIELD  
RESIDENTIAL

content RESPONSE #6 / project 5638.00 / date 09.12.2016 A11.6b  
carrierjohnson + CULTURE3

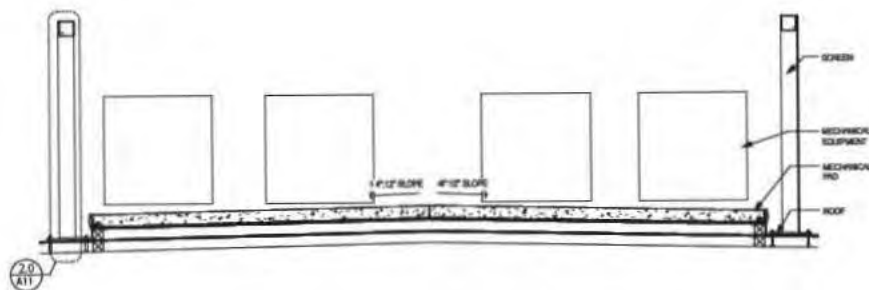


ATTACHMENT 1  
FILE NO. DRV16-00914  
APPLICANT PLANS

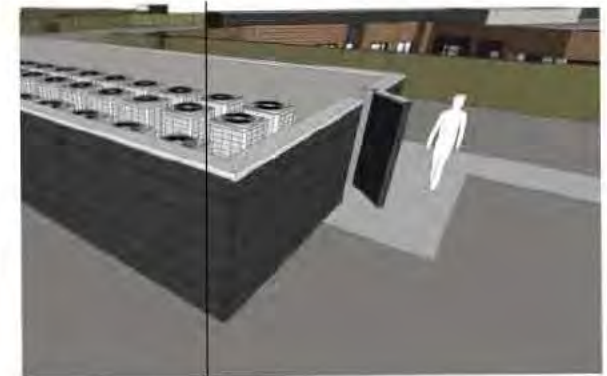
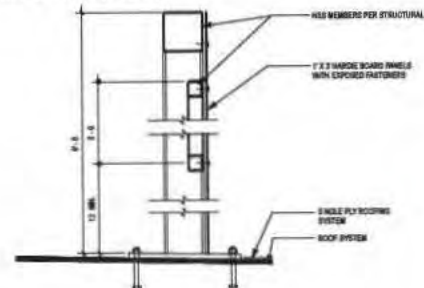


MECHANICAL SCREENING LOCATIONS

1.0 DETAIL SECTION



2.0 DETAIL SECTION

**DRB COMMENT:**

The idea of grouping the mechanical equipment on the roof and screening it is clever but would like to see more detail regarding the proposed screen, its material and height.

**DESIGN TEAM RESPONSE:**

The roof mechanical screen are proposed in hardie board panels and will be 6 feet high. A typical detail has been provided.



FAIRFIELD  
RESIDENTIAL

content: JMS/SPH/08/07 / project: 5638.00 / date: 09.12.2016

A11.7  
carrierjohnson + CULTURE

**DRB COMMENT:**

The courtyards do not appear to have a lot of change in color or detail. DRB is concerned about the quality of life of units facing courtyards. One member recommended the design team get creative with the use of hardie board like varying the size of the panels using accent colors.

**DESIGN TEAM RESPONSE:**

The courtyard façades are showing different hardie board panel modulations to show a variation in the scale of the material as well as a variety of colors.



BEFORE



AFTER





# CENTERCAL PLACEMAKING

CENTERCAL PROPERTIES





# CENTERCAL EVENTS

CENTERCAL PROPERTIES

ATTACHMENT 1  
FILE NO. DRV16-00914  
APPLICANT PLANS





# CENTERCAL FOUNTAIN

CENTERCAL PROPERTIES





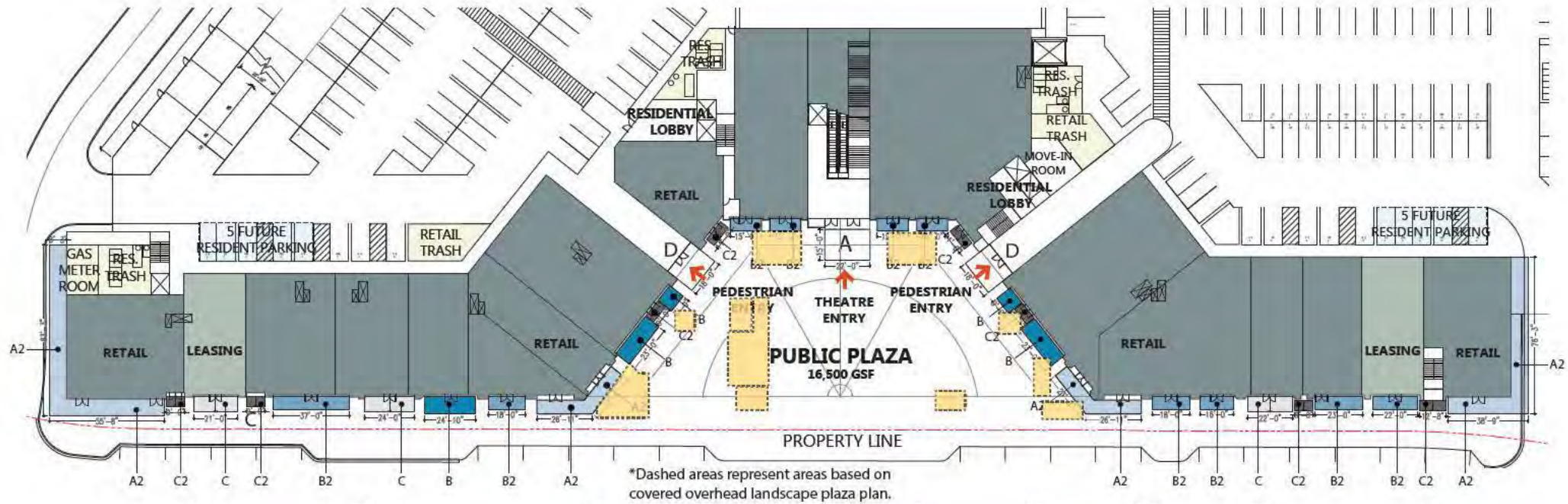
# CENTERCAL PAVILION BUILDINGS

CENTERCAL PROPERTIES





ATTACHMENT 1  
FILE NO. DRV16-00914  
APPLICANT PLANS





ATTACHMENT 1  
FILE NO. DRV16-00914  
APPLICANT PLANS



FAIRFIELD

Content SITE PLAN / scale 1"=100'-0" / project 5638.00 / date 09.12.2016

A1.0  
carrierjohnson + CULTURE3



## MATERIALS

FAIRFIELD  
RESIDENTIALLIFESCAPES  
International Inc

content: LANDSCAPE PARK ENLARGEMENT PLAN / project: 5638.00 / date: 09.12.2016

A10.12  
carrierjohnson + CULTURE



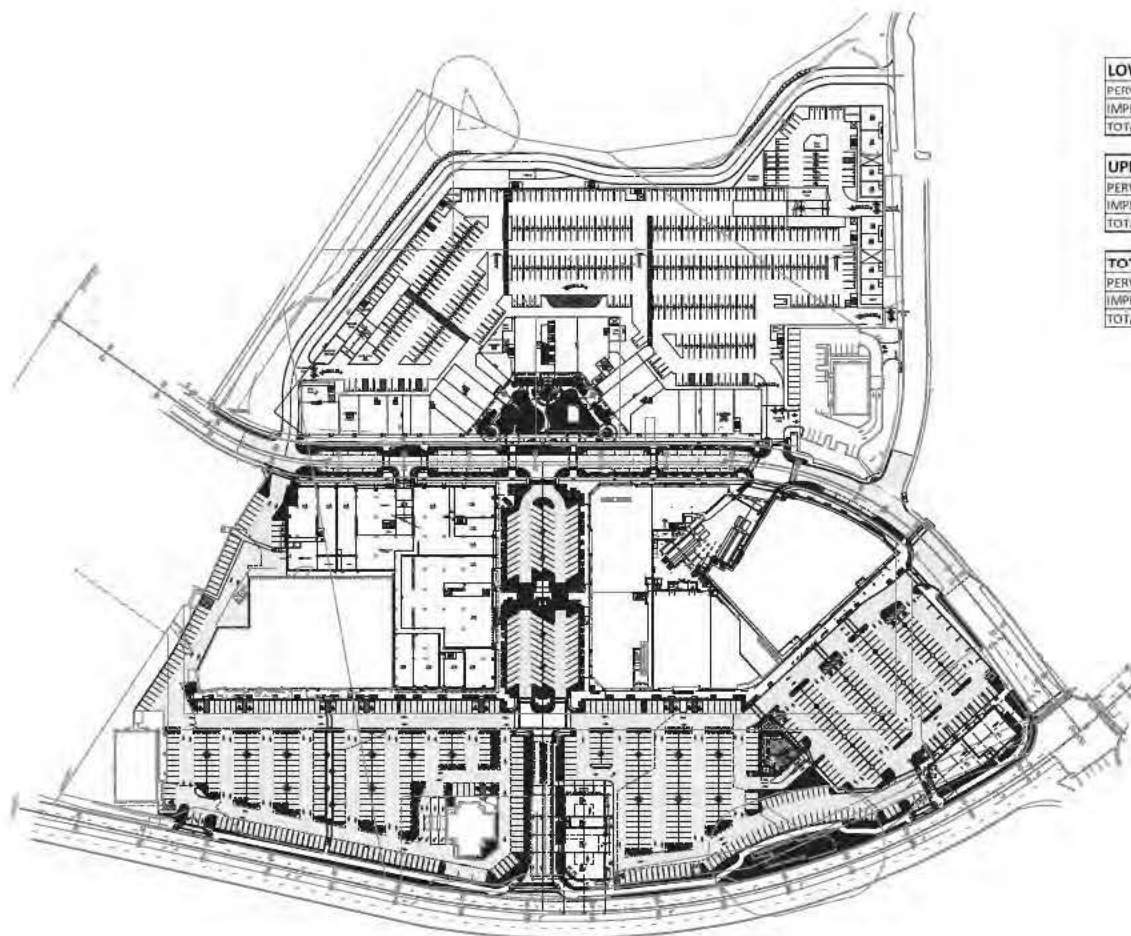
[illegible]

**= 139.83' AVERAGE BUILDING ELEVATION**  
**PARAPET = 216'-0" BUILDING HEIGHT**



ATTACHMENT 1  
FILE NO. DRV16-00914  
APPLICANT PLANS

**SITE AREA EXHIBIT**  
FOR  
**THE VILLAGE AT TOTEM LAKE**  
A PORTION OF THE SE1/4 + SW1/4, OF THE NW1/4 OF SEC. 28,  
AND A PORTION OF THE NW1/4 + NE1/4, OF THE SW1/4 OF SEC. 28,  
TWP. 28 N., RANGE 5 EAST, W. M.  
CITY OF KIRKLAND, KING COUNTY, STATE OF WASHINGTON



LOWER SITE			
PERVIOUS:	65,000 SF	1.5 AC	3.0%
IMPERVIOUS:	655,729 SF	15.1 AC	91.0%
TOTAL SITE:	720,729 SF	16.5 AC	

UPPER SITE			
PERVIOUS:	98,500 SF	2.3 AC	27.8%
IMPERVIOUS:	334,084 SF	7.7 AC	77.2%
TOTAL SITE:	432,584 SF	9.9 AC	

TOTAL SITE:			
PERVIOUS:	163,500 SF	3.8 AC	14.2%
IMPERVIOUS:	989,813 SF	22.7 AC	85.8%
TOTAL SITE:	1,153,313 SF	26.5 AC	

**SITE AREA EXHIBIT**

**FOR:** CENTERCAL PROPERTIES, INC  
1600 EAST FRANKLIN AVENUE  
EL SEGUNDO, CA 90245



05/11/2016

Scale: Horizontal 1"=50' Vertical 1"=10'  
Revised: JEC  
Drawn: JEC  
Checked: JEC  
Approved: JEC  
Date: 05/11/2016

18115 72ND AVENUE SOUTH  
RENT, WA 98032  
(425) 331-7722  
(425) 331-5752 FAX  
ONE ENGINEERING, LLC  
SUNNYVALE, CALIFORNIA, 94086



Job Number: 17301  
Scale: 1"=10'



**FAIRFIELD**  
RESIDENTIAL

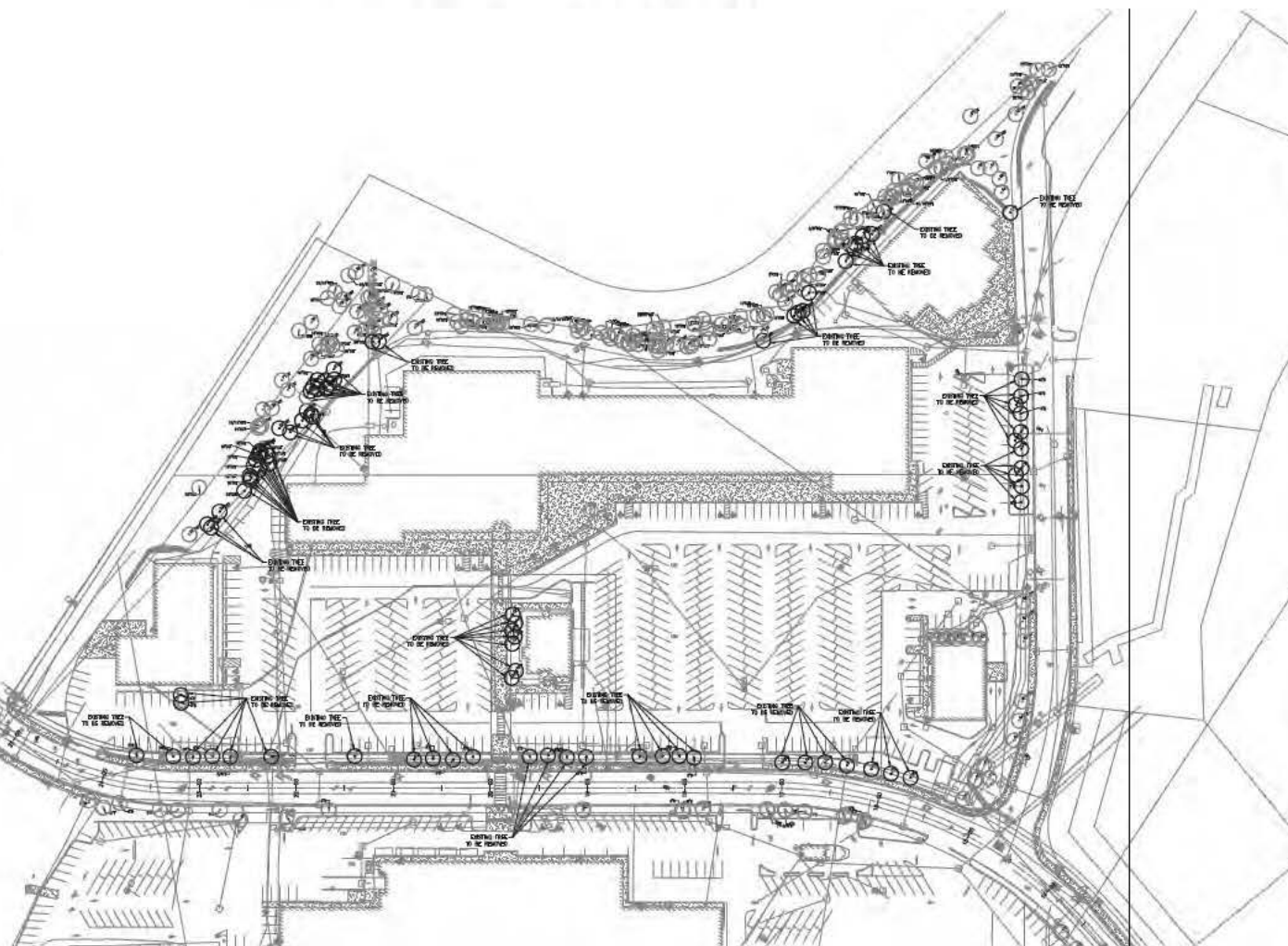
content SITE AREA CALCULATION / project 5638.00 / date 09.12.2016 A11.15

carrierjohnson + CULTURE

ATTACHMENT 1  
FILE NO. DRV16-00914  
APPLICANT PLANS

**TREE RETENTION PLAN**  
FOR  
**THE VILLAGE AT TOTEM LAKE - UPPER SITE**  
A PORTION OF THE SE1/4 + SW1/4, OF THE NW1/4 OF SEC. 28,  
AND A PORTION OF THE NW1/4 + NE1/4, OF THE SW1/4 OF SEC. 28,  
TWP. 28 N., RANGE 5 EAST, W. M.  
CITY OF KIRKLAND, KING COUNTY, STATE OF WASHINGTON

**LEGEND**  
○ CROWN TREE  
TO BE RETAINED  
○ CROWN TREE  
TO BE REMOVED



TITLE: TREE RETENTION PLAN

FOR: CENTRAL PROPERTIES, INC  
1600 EAST FRANKLIN AVENUE  
EL SEGUNDO, CA 90245



Scale: As Shown  
North Arrow: 0°

16115 72ND AVENUE SOUTH  
KENT, WA 98032  
(206) 231-3722  
(206) 231-3722 FAX  
ONE ENGINEERING, LLC  
16115 72ND AVENUE SOUTH, KENT, WA 98032



17301  
1  
1



FAIRFIELD  
RESIDENTIAL

content TREE RETENTION PLAN

/ project 5638.00 / date 09.12.2016

A11.16

carrierjohnson + CULTURE





# DEVELOPMENT STANDARDS

## DRV16-00914

### PLANNING DEPARTMENT

85.25.1 Geotechnical Report Recommendations. The geotechnical recommendations shall be implemented.

90.45 Wetlands and Wetland Buffers. No land surface modification may take place and no improvement may be located in a wetland or within the environmentally sensitive area buffers for a wetland, except as specifically provided in this Section.

90.50 Wetland Buffer Fence. Prior to development, the applicant shall install a six-foot high construction phase fence along the upland boundary of the wetland buffer with silt screen fabric installed per City standard. The fence shall remain upright in the approved location for the duration of development activities. Upon project completion, the applicant shall install between the upland boundary of all wetland buffers and the developed portion of the site, either 1) a permanent 3 to 4 foot tall split rail fence, or 2) permanent planting of equal barrier value.

90.55 Monitoring and Maintenance of Wetland Buffer Modifications: Modification of a wetland buffer will require that the applicant submit a 5-year monitoring and maintenance plan consistent with the criteria found in 95.55 and which is prepared by a qualified professional and reviewed by the City's wetland consultant. The cost of the plan and the City's review shall be borne by the applicant.

92.35 Prohibited Materials In Design Districts. If in a design district the following building materials are prohibited or limited in use: mirrored glass or reflective materials, corrugated fiberglass, chain link fencing, metal siding, concrete block, backlit awnings. Water spigots are required along building facades along sidewalks for cleaning and plant watering. Commercial buildings with more than one tenant shall install a cornerstone or plaque.

95.51.2.a Required Landscaping. All required landscaping shall be maintained throughout the life of the development. The applicant shall submit an agreement to the city to be recorded with King County which will perpetually maintain required landscaping. Prior to issuance of a certificate of occupancy, the proponent shall provide a final as-built landscape plan and an agreement to maintain and replace all landscaping that is required by the City.

95.44 Parking Area Landscape Islands. Landscape islands must be included in parking areas as provided in this section.

95.45 Parking Area Landscape Buffers. Applicant shall buffer all parking areas and driveways from the right-of-way and from adjacent property with a 5-foot wide strip as provided in this section. If located in a design district a low hedge or masonry or concrete wall may be approved as an alternative through design review.

95.50 Tree Installation Standards. All supplemental trees to be planted shall conform to the Kirkland Plant List. All installation standards shall conform to Kirkland Zoning Code Section 95.45.

95.52 Prohibited Vegetation. Plants listed as prohibited in the Kirkland Plant List shall not be planted in the City.

100.25 Sign Permits. Separate sign permit(s) are required. In JBD and CBD cabinet signs are prohibited.

105.10.2 Pavement Setbacks. The paved surface in an access easement or tract shall be set back at least 5 feet from any adjacent property which does not receive access from that easement or tract. An access easement or tract that has a paved area greater than 10 feet in width must be screened from any adjacent property that does not receive access from it. Screening standards are outlined in this section.

105.18 Pedestrian Walkways. All uses, except single family dwelling units and duplex structures, must provide pedestrian walkways designed to minimize walking distances from the building entrance to the right of way and adjacent transit facilities, pedestrian connections to adjacent properties, between primary entrances of all uses on the subject property, through parking lots and parking garages to building entrances. Easements may be required. In design districts through block pathways or other pedestrian improvements may be required. See also Plates 34 in Chapter 180.

105.32 Bicycle Parking. All uses, except single family dwelling units and duplex structures with 6 or more vehicle parking spaces must provide covered bicycle parking within 50 feet of an entrance to the building at a ratio of one bicycle space for each twelve motor vehicle parking spaces. Check with Planner to determine the number of bike racks required and location.

105.18 Entrance Walkways. All uses, except single family dwellings and duplex structures, must provide pedestrian walkways between the principal entrances to all businesses, uses, and/or buildings on the subject property.

105.18 Overhead Weather Protection. All uses, except single family dwellings, multifamily, and industrial uses,

must provide overhead weather protection along any portion of the building, which is adjacent to a pedestrian walkway.

105.18.2 Walkway Standards. Pedestrian walkways must be at least 5' wide; must be distinguishable from traffic lanes by pavement texture or elevation; must have adequate lighting for security and safety. Lights must be non-glare and mounted no more than 20' above the ground.

105.18.2 Overhead Weather Protection Standards. Overhead weather protection must be provided along any portion of the building adjacent to a pedestrian walkway or sidewalk; over the primary exterior entrance to all buildings. May be composed of awnings, marquees, canopies or building overhangs; must cover at least 5' of the width of the adjacent walkway; and must be at least 8 feet above the ground immediately below it. In design districts, translucent awnings may not be backlit; see section for the percent of property frontage or building facade.

105.19 Public Pedestrian Walkways. The height of solid (blocking visibility) fences along pedestrian pathways that are not directly adjacent a public or private street right-of-way shall be limited to 42 inches unless otherwise approved by the Planning or Public Works Directors. All new building structures shall be setback a minimum of five feet from any pedestrian access right-of-way, tract, or easement that is not directly adjacent a public or private street right-of-way. If in a design district, see section and Plate 34 for through block pathways standards.

105.65 Compact Parking Stalls. Up to 50% of the number of parking spaces may be designated for compact cars.

105.60.2 Parking Area Driveways. Driveways which are not driving aisles within a parking area shall be a minimum width of 20 feet.

105.60.3 Wheelstops. Parking areas must be constructed so that car wheels are kept at least 2' from pedestrian and landscape areas.

105.60.4 Parking Lot Walkways. All parking lots which contain more than 25 stalls must include pedestrian walkways through the parking lot to the main building entrance or a central location. Lots with more than 25,000 sq. ft. of paved area must provide pedestrian routes for every 3 aisles to the main entrance.

105.77 Parking Area Curbing. All parking areas and driveways, for uses other than detached dwelling units must be surrounded by a 6" high vertical concrete curb.

110.52 Sidewalks and Public Improvements in Design Districts. See section, Plate 34 and public works approved plans manual for sidewalk standards and decorative lighting design applicable to design districts.

110.60.5 Street Trees. All trees planted in the right-of-way must be approved as to species by the City. All trees must be two inches in diameter at the time of planting as measured using the standards of the American Association of Nurserymen with a canopy that starts at least six feet above finished grade and does not obstruct any adjoining sidewalks or driving lanes.

115.25 Work Hours. It is a violation of this Code to engage in any development activity or to operate any heavy equipment before 7:00 am. or after 8:00 pm Monday through Friday, or before 9:00 am or after 6:00 pm Saturday. No development activity or use of heavy equipment may occur on Sundays or on the following holidays: New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving, and Christmas Day. The applicant will be required to comply with these regulations and any violation of this section will result in enforcement action, unless written permission is obtained from the Planning official.

115.45 Garbage and Recycling Placement and Screening. For uses other than detached dwelling units, duplexes, moorage facilities, parks, and construction sites, all garbage receptacles and dumpsters must be setback from property lines, located outside landscape buffers, and screened from view from the street, adjacent properties and pedestrian walkways or parks by a solid sight-obscuring enclosure.

115.47 Service Bay Locations. All uses, except single family dwellings and multifamily structures, must locate service bays away from pedestrian areas. If not feasible must screen from view.

115.75.2 Fill Material. All materials used as fill must be non-dissolving and non-decomposing. Fill material must not contain organic or inorganic material that would be detrimental to the water quality, or existing habitat, or create any other significant adverse impacts to the environment.

115.90 Calculating Lot Coverage. The total area of all structures and pavement and any other impervious surface on the subject property is limited to a maximum percentage of total lot area. See the Use Zone charts for maximum lot coverage percentages allowed. Section 115.90 lists exceptions to total lot coverage calculations See Section 115.90 for a more detailed explanation of these exceptions.

115.95 Noise Standards. The City of Kirkland adopts by reference the Maximum Environmental Noise Levels established pursuant to the Noise Control Act of 1974, RCW 70.107. See Chapter 173-60 WAC. Any noise, which injures, endangers the comfort, repose, health or safety of persons, or in any way renders persons insecure in life, or in the use of property is a violation of this Code.

115.115 Required Setback Yards. This section establishes what structures, improvements and activities may be within required setback yards as established for each use in each zone.

115.115.3.g Rockeries and Retaining Walls. Rockeries and retaining walls are limited to a maximum height of four



feet in a required yard unless certain modification criteria in this section are met. The combined height of fences and retaining walls within five feet of each other in a required yard is limited to a maximum height of 6 feet, unless certain modification criteria in this section are met.

115.115.3.p HVAC and Similar Equipment: These may be placed no closer than five feet of a side or rear property line, and shall not be located within a required front yard; provided, that HVAC equipment may be located in a storage shed approved pursuant to subsection (3)(m) of this section or a garage approved pursuant to subsection (3)(o)(2) of this section. All HVAC equipment shall be baffled, shielded, enclosed, or placed on the property in a manner that will ensure compliance with the noise provisions of KZC 115.95.

115.115.d Driveway Setbacks. Parking areas and driveways for uses other than detached dwelling units, attached and stacked dwelling units in residential zones, or schools and day-cares with more than 12 students, may be located within required setback yards, but, except for the portion of any driveway which connects with an adjacent street, not closer than 5 feet to any property line.

115.120 Rooftop Appurtenance Screening. New or replacement appurtenances on existing buildings shall be surrounded by a solid screening enclosure equal in height to the appurtenance. New construction shall screen rooftop appurtenances by incorporating them in to the roof form.

115.135 Sight Distance at Intersection. Areas around all intersections, including the entrance of driveways onto streets, must be kept clear of sight obstruction as described in this section.

Prior to issuance of a grading or building permit:

85.25.1 Geotechnical Report Recommendations. A written acknowledgment must be added to the face of the plans signed by the architect, engineer, and/or designer that he/she has reviewed the geotechnical recommendations and incorporated these recommendations into the plans.

85.40 Natural Greenbelt Protective Easement. The applicant shall submit for recording a natural greenbelt protective easement, in a form acceptable to the City Attorney, for recording with King County.

85.45 Liability. The applicant shall enter into an agreement with the City, which runs with the property, in a form acceptable to the City Attorney, indemnifying the City for any damage resulting from development activity on the subject property which is related to the physical condition of the property.

90.50 Wetland Buffer Fence. Prior to development, the applicant shall install a six-foot high construction phase fence along the upland boundary of the wetland buffer with silt screen fabric installed per City standard. The fence shall remain upright in the approved location for the duration of development activities. Upon project completion, the applicant shall install between the upland boundary of all wetland buffers and the developed portion of the site, either 1) a permanent 3 to 4 foot tall split rail fence, or 2) permanent planting of equal barrier value.

90.150 Natural Greenbelt Protective Easement. The applicant shall submit for recording a natural greenbelt protective easement, in a form acceptable to the City Attorney, for recording with King County.

90.155 Liability. The applicant shall enter into an agreement with the City which runs with the property, in a form acceptable to the City Attorney, indemnifying the City for any damage resulting from development activity on the subject property which is related to the physical condition of the stream, minor lake, or wetland.

95.30(4) Tree Protection Techniques. A description and location of tree protection measures during construction for trees to be retained must be shown on demolition and grading plans.

95.34 Tree Protection. Prior to development activity or initiating tree removal on the site, vegetated areas and individual trees to be preserved shall be protected from potentially damaging activities. Protection measures for trees to be retained shall include (1) placing no construction material or equipment within the protected area of any tree to be retained; (2) providing a visible temporary protective chain link fence at least 6 feet in height around the protected area of retained trees or groups of trees until the Planning Official authorizes their removal; (3) installing visible signs spaced no further apart than 15 feet along the protective fence stating "Tree Protection Area, Entrance Prohibited" with the City code enforcement phone number; (4) prohibiting excavation or compaction of earth or other damaging activities within the barriers unless approved by the Planning Official and supervised by a qualified professional; and (5) ensuring that approved landscaping in a protected zone shall be done with light machinery or by hand.

Prior to occupancy:

95.51.2.a Required Landscaping. All required landscaping shall be maintained throughout the life of the development. The applicant shall submit an agreement to the city to be recorded with King County which will perpetually maintain required landscaping. Prior to issuance of a certificate of occupancy, the proponent shall provide a final as-built landscape plan and an agreement to maintain and replace all landscaping that is required by the City

95.51.2.b Tree Maintenance. For detached dwelling units, the applicant shall submit a 5-year tree maintenance

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agreement to the Planning and Building Department to maintain all pre-existing trees designated for preservation and any supplemental trees required to be planted.

### FIRE DEPARTMENT

No Fire Department Conditions related to this DRV case

### PUBLIC WORKS DEPARTMENT

Permit #: DRV16-00914

Project Name: Totem Lake Mall Phase II

Project Address: 12620 120th Ave. NE

Date: October 31, 2016

PUBLIC WORKS CONDITIONS (conditions are the same for Phase I and Phase II – utility and street improvements will be phased in conjunction with new Building occupancies)

#### General Conditions:

1. All public improvements associated with this project including street and utility improvements, must meet the City of Kirkland Public Works Pre-Approved Plans and Policies Manual. A Public Works Pre-Approved Plans and Policies manual can be purchased from the Public Works Department, or it may be retrieved from the Public Works Department's page at the City of Kirkland's web site at [www.kirklandwa.gov](http://www.kirklandwa.gov).
2. This project will be subject to Public Works Permit and Connection Fees. It is the applicant's responsibility to contact the Public Works Department by phone or in person to determine the fees. The fees can also be review the City of Kirkland web site at [www.kirklandwa.gov](http://www.kirklandwa.gov). The applicant should anticipate the following fees:
  - o Surface Water Connection Fees (paid with the issuance of a Building Permit); applicable for new additional impervious.
  - o Right-of-way Fee
  - o Review and Inspection Fee (for utilities and street improvements).
  - o Building Permits associated with this proposed project will be subject to the traffic, park, and school impact fees per Chapter 27 of the Kirkland Municipal Code. The impact fees shall be paid prior to issuance of the Building Permit(s). Any existing buildings within this project which are demolished will receive a Traffic Impact Fee credit, Park Impact Fee Credit and School Impact Fee Credit. This credit will be applied to the first Building Permits that are applied for within the project. The credit amount for each demolished building will be equal to the most currently adopted Fee schedule.
3. All street and utility improvements shall be permitted by obtaining a Land Surface Modification (LSM) Permit or separate Right-of-way Permit.
4. All civil engineering plans which are submitted in conjunction with a building, grading, or right-of-way permit must conform to the Public Works Policy titled ENGINEERING PLAN REQUIREMENTS. This policy is contained in the Public Works Pre-Approved Plans and Policies manual.
5. All street improvements and underground utility improvements (storm, sewer, and water) must be designed by a Washington State Licensed Engineer; all drawings shall bear the engineers stamp.
6. All plans submitted in conjunction with a building, grading or right-of-way permit must have elevations which are based on the King County datum only (NAVD 88).
7. A completeness check meeting is required prior to submittal of any Building Permit applications.
8. Prior to issuance of any commercial or multifamily Building Permit, the applicant shall provide a plan for garbage storage and pickup. The plan shall conform to Policy G-9 in the Public Works Pre-approved Plans and be approved by Waste Management and the City.



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9. The required tree plan shall include any significant tree in the public right-of-way along the property frontage.

Sanitary Sewer and Water Conditions:

1. Northshore Utility District approval required for water and sewer service. An updated letter of water and sewer availability is required; call N.U.D at 425-398-4400.
2. Any businesses serving food or drink are required to have grease interceptor on the waste line prior to discharge to the sewer system. The interceptor shall be sized per the Uniform Plumbing Code (minimum).

Surface Water Conditions:

1. The City approved Development Agreement established that this project is subject to the 1998 King County Surface Water Design Manual.
2. Because this project disturbs greater than one acre, the applicant is responsible to apply for a Construction Stormwater General Permit from Washington State Dept. of Ecology. The applicant must include the Notice of Intent or a copy of the permit in the final drainage report.
3. This project is creating or replacing more than 5000 square feet of new impervious area that will be used by vehicles (PGIS - pollution generating impervious surface). Provide storm water quality treatment per the 1998 King County Surface Water Design Manual. The enhanced treatment level is encouraged when feasible for multi-family residential, commercial, and industrial projects less than 1 acre in size.
4. It doesn't appear that any work within an existing ditch will be required, however the developer has been given notice that the Army Corps of Engineers (COE) has asserted jurisdiction over upland ditches draining to streams. Either an existing Nationwide COE permit or an Individual COE permit may be necessary for work within ditches, depending on the project activities.  
Applicants should obtain the applicable COE permit; information about COE permits can be found at: U.S. Army Corps of Engineers, Seattle District Regulatory Branch <http://www.usace.army.mil/Missions/CivilWorks/RegulatoryProgramandPermits.aspx>

Specific questions can be directed to: Seattle District, Corps of Engineers, Regulatory Branch, CENWS-OD-RG, Post Office Box 3755, Seattle, WA 98124-3755, Phone: (206) 764-3495

5. Provide an erosion control report and plan with Building or Land Surface Modification Permit application. The plan shall be in accordance with the DOE Construction Permit (see above).

6. Construction drainage control shall be maintained by the developer and will be subject to periodic inspections. During the period from May 1 and September 30, all denuded soils must be covered within 7 days; between October 1 and April 30, all denuded soils must be covered within 12 hours. Additional erosion control measures may be required based on site and weather conditions. Exposed soils shall be stabilized at the end of the workday prior to a weekend, holiday, or predicted rain event.

7. Provide collection and conveyance of right-of-way storm drainage
8. All roof and driveway drainage must be tight-lined to the storm drainage system or utilize low impact development techniques.

Street and Pedestrian Improvement Conditions:

1. The subject property abuts:
  - A) Totem Lake Blvd – a Principal Arterial type street.
  - B) 120th Ave NE - a Collector Type Street.
  - C) NE Totem Lake Way – a Private Street

2.

Zoning Code sections 110.10 and 110.25 require the applicant to make half-street improvements in rights-of-way abutting the subject property. Section 110.30-110.50 establishes that this street must be improved with the following:

#### Totem Lake Blvd-

- City standards call for an 8 ft. wide bike lane along this street (3 ft. buffer zone with 5 ft. bike zone), an 8 ft. wide sidewalk with street trees 30 ft. on center, and pedestrian lighting. Standard street widening is one way to accommodate this, but the City has agreed to a shared-use pedestrian/bicycle facility that should follow design guidelines outlined in Chapter 1515 of the Washington State Department of Transportation Standards and per the recommendations of the City Transportation Manager. The facility shall include the following:
  - Dedicate right-of-way or public easements as necessary to accommodate the improvements.
  - Remove and replace the existing street trees. New street trees shall be planted 30 ft. on-center or as agreed to by the City.
  - Install Totem Lake Business District pedestrian lighting 60 ft. on-center.
  - Installed a 10 ft. wide (min), concrete sidewalk that is available for both bicyclists and pedestrians.
  - Provide entry and exit ramps for bicyclists to transition from the street to the facility.
  - Provide demarcations, pavement marking and/or signing identify the shared-use facility.
- The Transportation Commission provide comments to staff regarding this project and asked that the bicycle lanes be extended along the entire frontage of the project. At the north end of the site at the northernmost driveway, the topography and existing building (currently AutoZone) will not allow the shared-use facility to continue to the north property line. Along this northern section of property there is an existing rockery that can be reconstructed or raised to support relocation of the sidewalk and curb 5 ft. to the east. This relocation will allow for a 5 feet wide bike lane along the northbound (outside lane). This street widening and relocation of the curb and sidewalk shall be constructed in conjunction with the other street improvements along Totem Lake Blvd.
- Remove and replace cracked, broken, uneven or severely aged curb and gutter.
- Replace driveways and ADA ramps to meet current City standards. The northern driveway near AutoZone should not exceed 24 ft. in width and be replaced with a standard concrete apron.

#### 120th Ave. NE-

Rebuild the street with the following improvements:

- 10 ft. driving lanes in each direction
- 7.5 ft. parallel parking lines with curb bump-ins to designate parking zones.
- Flat ribbon curb and bollards or other City approve infrastructure to delineate the parking zone from the bicycle/pedestrian zone.
- Totem Lake Business District pedestrian lighting 60 ft. on-center.
- Street trees in 4x6 tree wells or other approved planter areas 30 ft. on-center or as approved by the City.
- A designated 5 ft. bike lane using colored concrete, medallions, pavement marking, signing, and or other means of identification as directed by the City Transportation Manager.
- A minimum 10 ft. wide concrete sidewalk
- Entry and exit ramps for bicyclists to transition from the street to the bicycle lane on
- Dedicate right-of-way and/or public easements necessary to accommodate the improvements.

#### Totem Lake Way-

- Remove and replace the existing curb, gutter and sidewalk
- A 10 ft. wide sidewalk should be installed in front of any commercial use; and 8 ft. walk should be installed along other uses.
- Install street trees in 4x6 tree wells 30 ft. on-center.
- Install Totem Lake Business District pedestrian lighting 60 ft. on-center.

3. When three or more utility trench crossings occur within 150 lineal ft. of street length or where utility trenches parallel the street centerline, the street shall be overlaid with new asphalt or the existing asphalt shall be removed and replaced.

- Existing streets with 4-inches or more of existing asphalt shall receive a 2-inch (minimum thickness) asphalt



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overlay. Grinding of the existing asphalt to blend in the overlay will be required along all match lines.

- Existing streets with 3-inches or less of existing asphalt shall have the existing asphalt removed and replaced with an asphalt thickness equal or greater than the existing asphalt provided however that no asphalt shall be less than 2-inches thick and the subgrade shall be compacted to 95% density.

4. All street and driveway intersections shall not have any visual obstructions within the sight distance triangle. See Public Works Pre-approved Policy R.13 for the sight distance criteria and specifications.

5. It shall be the responsibility of the applicant to relocate any above-ground or below-ground utilities which conflict with the project associated street or utility improvements.

6. Underground all new and existing on-site utility lines and overhead transmission lines.

7. New LED street lights will be required per Puget Power design and Public Works approval. Contact the INTO Light Division at PSE for a lighting analysis; design must be submitted prior to issuance of a grading or building permit.

8. A striping plan for the streets must be submitted with the building or grading permit.



August 8, 2019

Mr. Scott Guter  
Associate Planner  
City of Kirkland  
123 Fifth Avenue  
Kirkland, WA 98033

RE: Case No.: DRV15-01765  
Village at Totem Lake – Phase II  
Design Review Approval Modification Request

Dear Scott:

CenterCal, respectfully submits this request for Modification to Design Review Case No. DRV15-01765 to modify the Upper level Park Village at Totem Lake – Phase II. CenterCal proposes modifications to the park layout, pavilion buildings and minor changes to the façade of unit E175 (details below)

This Modification request is submitted in accordance with Kirkland Zoning Code Section 142.50, which provides either Planning Official or DRB approval authority for such a Modification based on the following findings:

1. The need for the modification was not known and could not reasonably have been known before the Design Review Board approval was granted.
2. The modification is minor and will not, in a substantial way, change the proposed development or violate any requirement imposed by the Design Review Board
3. The development that will result from the modification will be consistent with the design regulations, design guidelines and Comprehensive Plan.

Since the original DRB approval, we have worked with our team to refine the design of the park, so it functions for those passively using the space as well as visitors using it for connectivity to/from the parking structures. We have provided a package entitled DRB minor modification: Upper Park with annotated sheets showing the previous and proposed conditions. The principal changes are:

- Pavilions; These two buildings have been combined into one structure and moved into a more central position creating not only a focal point but providing clearer pedestrian paths. The new Pavilion is slightly larger at 1200 sf compared with the two previous pavilions at a combined 360 sf. This would increase the sf of the development shown on the DRB approvals by 860 sf but not change the FAR when calculated to



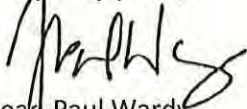
two decimal places.

- The fountain has moved to a more central location to showcase the art pieces that will be incorporated in this feature.
- The pedestrian pathways are more clearly defined creating an enhanced experience for the user.
- To accommodate the requirements of one of our tenants, minor amendments have been made to the façade of unit E175 presented in the attached package

In summary, we believe these changes to be minor in nature and will provide an enhanced customer experience by focusing activities and places to rest in the core of the park, leaving clear pathways to the commercial elements and pedestrian access to the parking structure. Some of these items could not be known at the time of the original DRB approval as they are the result of collaboration with users not identified at that time. It is this user input that creates an additional layer of interest and complexity to the facades and streetscape of urban streets.

Please contact us if you would like to discuss further or need additional information

Very truly yours,



Jean-Paul Wardy  
President







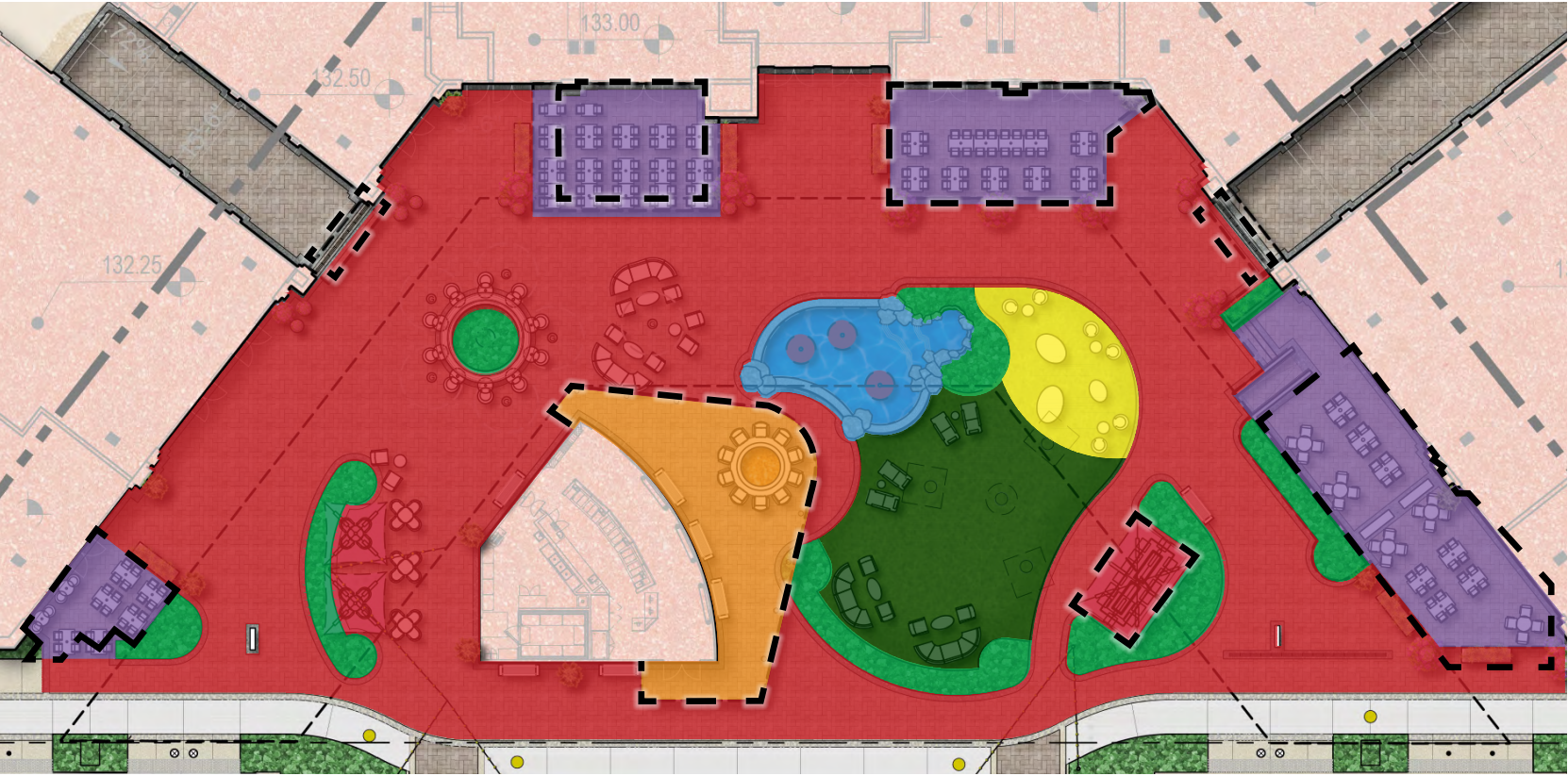




SYM	DESCRIPTION	APPROVED DRV 16-00914 (S.F.)	DRB MINOR MOD APPLICATION 7/22/2019 (S.F.)
	Green Space (Turf)	1,493	1,369
	Children Play Area	736	463
Total Active Park Area		2,137	1,832
	Fountain	825	558
	Hardscape - Main Paving Area	8,153	10,546
	Hardscape - Park Patio	1,406	981
	Hardscape - Tenant Patio	2,718	2,739
	Planting Area (softscape)	2,214	1,183
	Overhead Structures	3,342	3,729
Total Hardscape		12,277	14,266
Total Park Area		18,418	17,839
Hard Surfaces vs. Total Area %		67%	66%

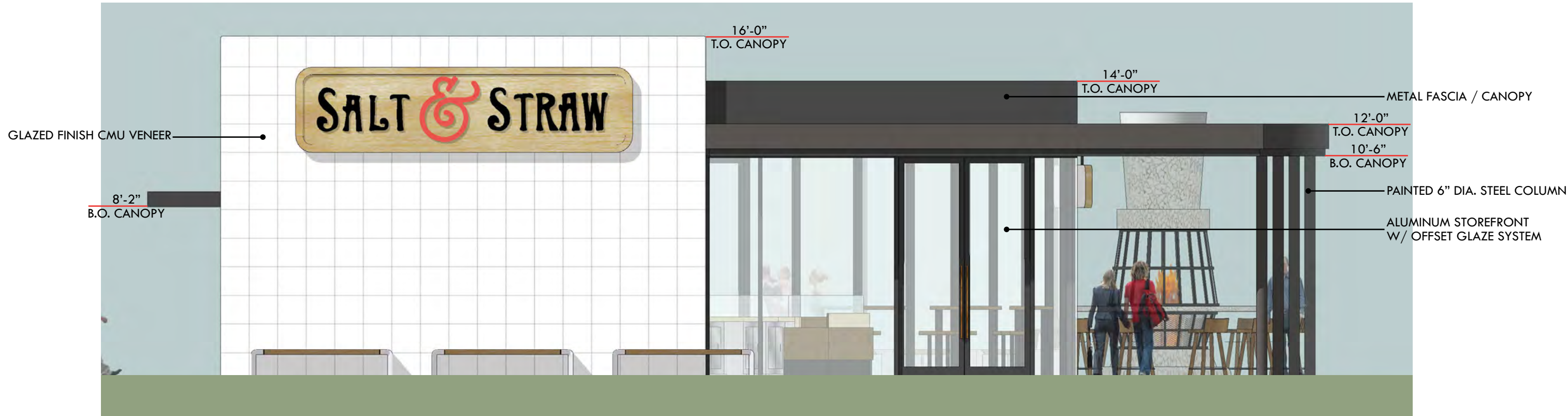


APPROVED DRV 16-00914



DRB MINOR MOD APPLICATION 7/22/2019





SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

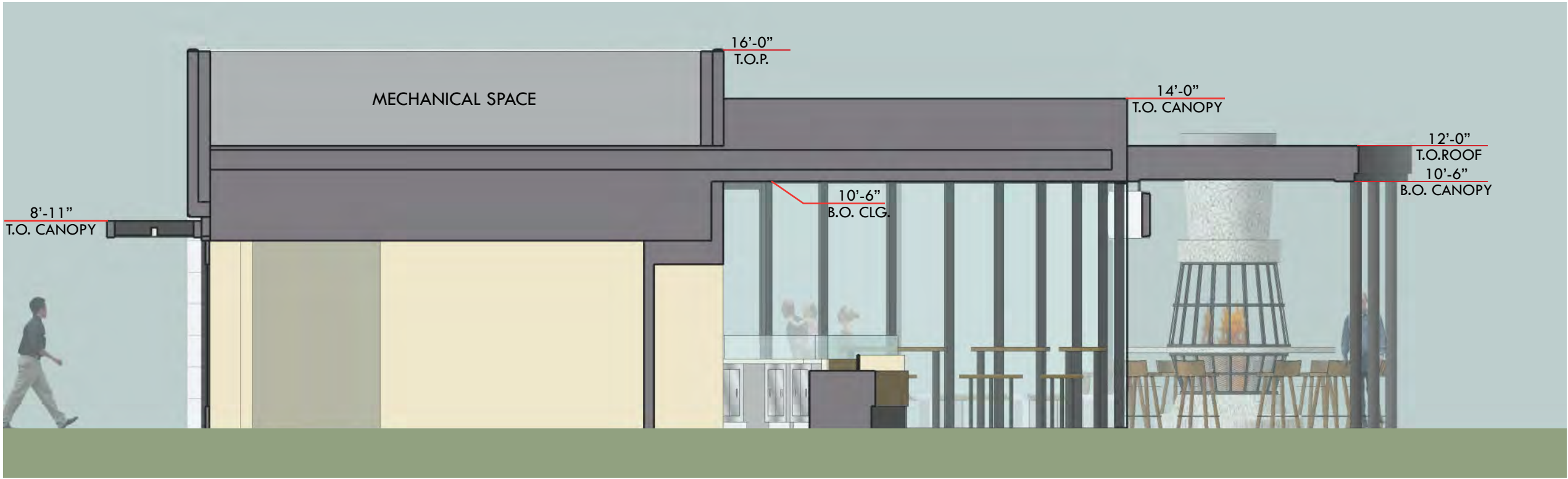


WEST ELEVATION

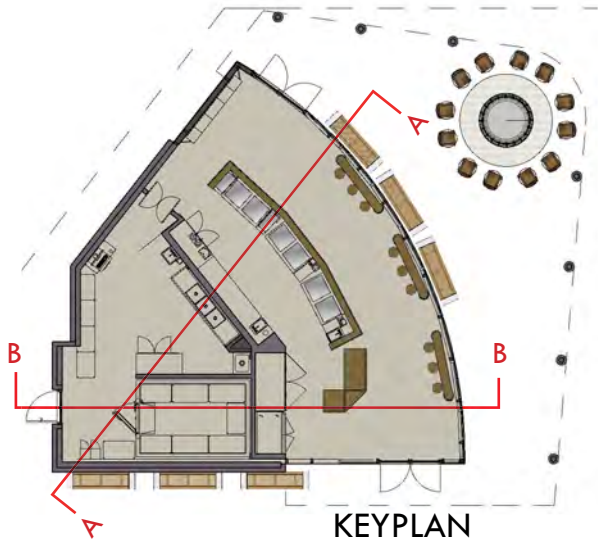




SECTION A



SECTION B







VIEW 1



VIEW 2



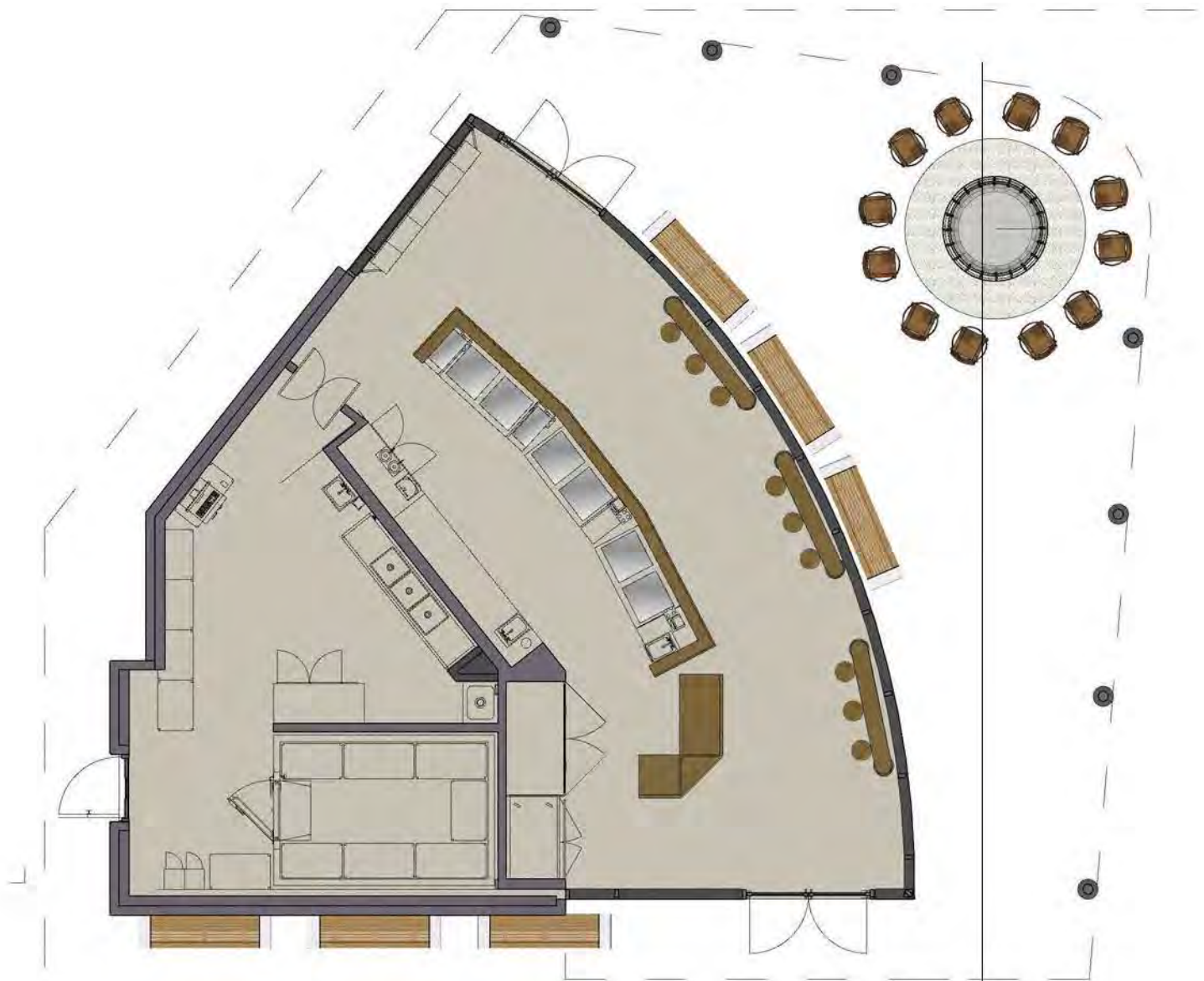


VIEW 3



VIEW 4





DRB REVIEW SUBMITTAL  
PLAZA PAVILION PV-1 BUILDING



PLAN  
0' 8' 10'  
SEPTEMBER 3, 2019





# Design Principles

## □ PUBLIC REALM

- ADAPTABILITY - Day to day change
- AM I A CUSTOMER?
- IS THIS A PUBLIC SPACE

## □ CITY'S FINANCIAL PARTICIPATION

- = Third place feel. Welcoming env.
- = Success = Feels like a public place not a city  
in government in private domain.

## □ Open to the community

## □ Rationale for layout.

- Connections
- Draw
- circulation & Flows - into & within

## □ SCALE

- too big? = empty
- too small?

## □ WARMTH - Inviting @ anytime

□ APPEAL TO WIDE DIVERSITY OF PEOPLE

• FAMILY

• ON BREAK → QUIET

• COMMUTERS - BUS STOP

• RESIDENTS / WORKERS

• SHOPPERS, EATERS, MOVIE GOERS  
LOOKING FOR QUIET PLACE

□ QUALITY MATERIAL  
QUALITY OF EXECUTION  
QUALITY OF DESIGN

□ PLACE FEELS GREAT

□ PROGRAM

STAGE

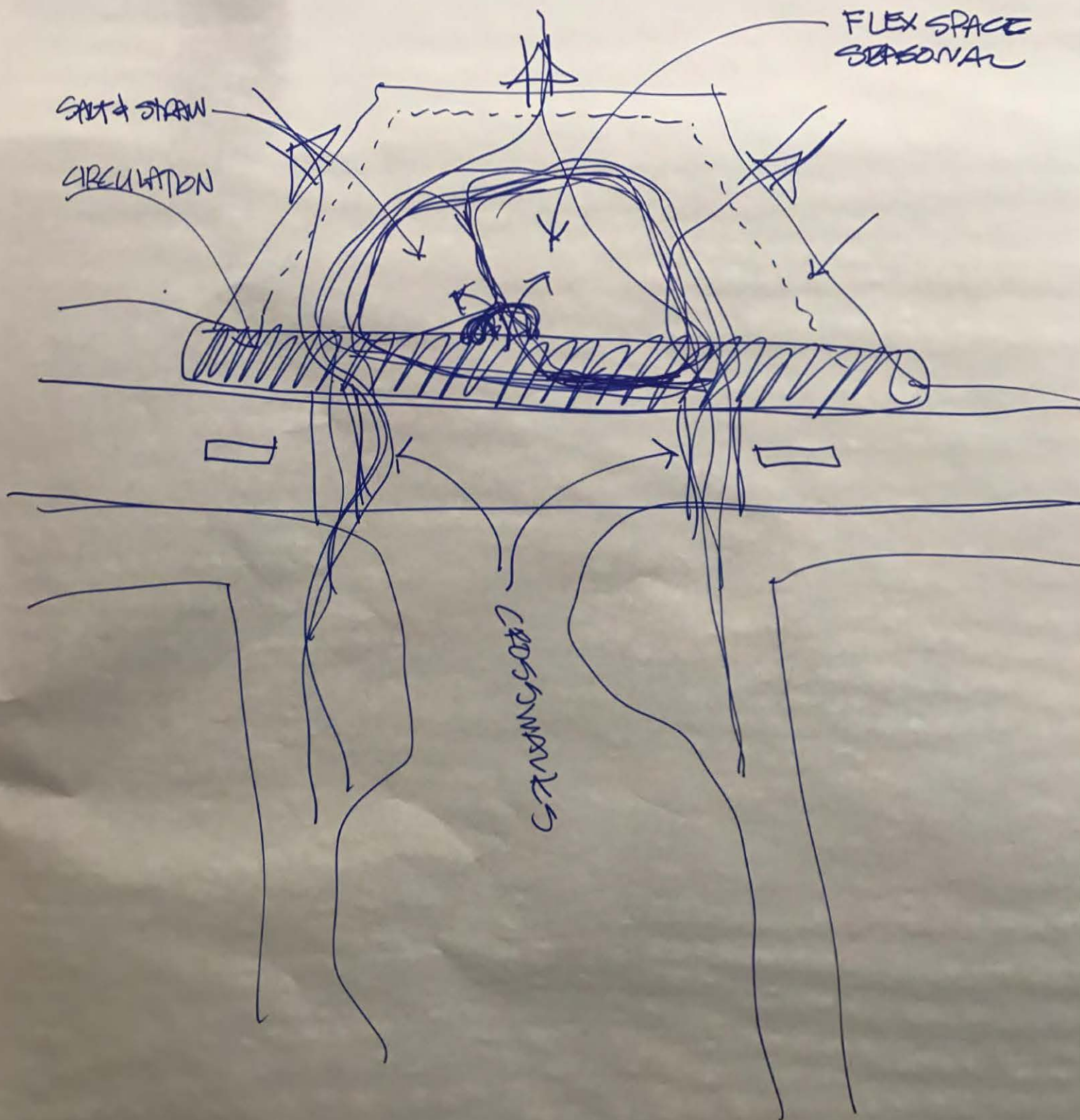
SEASONAL EXHIBITS

PLAY LOT

LAWN

RESTAURANT









Concrete Paving



Stone Pavers



Art in Water Feature



Natural Cascade Water Feature



Retail Pavilion



Dining Patio



Fire Pit



Bicycle Lane Medallion



Basalt Stone Paving

Synthetic