

- SOIL PLAN NOTES**
1. REFER TO SEC 32 91 00.
  2. ALL PLANTING AREAS INCLUDING HYDROSEEDING LAWNS AND REPAIR AREAS, SHALL RECEIVE 2" COMPOST PER SEC. 329100 RIPPED AND MIXED TO A DEPTH OF AT LEAST 8". SEE LEGEND AND DETAIL 1, THIS SHEET FOR PLANTING SOIL DEPTHS IN SPECIFIC AREAS.
  3. ALL AREAS IMPACTED BY CONSTRUCTION ACTIVITY OF ANY KIND, INCLUDING STORAGE OF MATERIALS, SHALL RECEIVE FULL SUBGRADE PREPARATION PER SEC. 32 91 00 INCLUDING COMPOST AND HYDROSEEDING PER SEC. 32 92 00 WHICH MEETS SWMMWW BMP T5.13.
  4. CONTRACTOR RESPONSIBLE FOR ACCOMMODATING ANY FLUFF FACTOR OR SETTLING. DEPTHS SHOWN ARE MINIMUMS.

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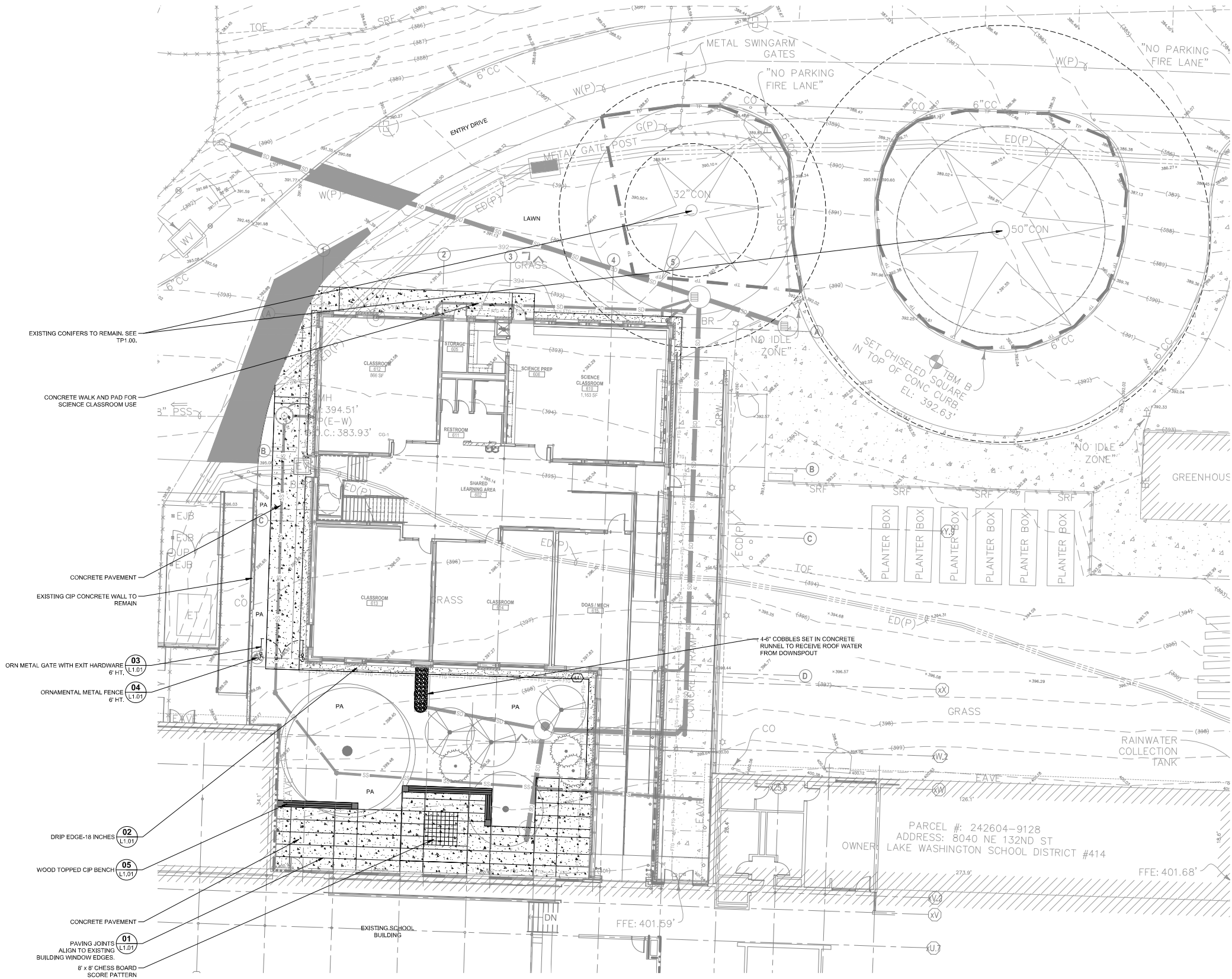
**LAKE WASHINGTON SCHOOL DISTRICT  
FINN HILL MS ADDITION**

8040 NE 132nd St.  
Kirkland, WA 98034

Date:	2/24/23
Job No.:	22216.00
Drawn By:	Author
Checked by:	Checker
Revisions	
#	Date Description

SOILS  
PLAN

**L0.00**



MATERIALS PLAN LEGEND

- ORNAMENTAL FENCE (32 31 19)
- ORNAMENTAL DOUBLE SWING GATE (32 31 19)
- TREE, SEE PLANTING PLAN
- EXISTING TREE OUTER CRITICAL ROOT ZONE (DRIPLINE)
- EXISTING TREE INNER CRITICAL ROOT ZONE (1/2 DRIPLINE)
- CONCRETE PAVEMENT (03 30 00)
- CRUSHED ROCK PAVEMENT (32 15 00)
- PA
- SHRUB AND GROUND COVER PLANTINGS, SEE PLANTING PLAN
- LAWN
- SEEDED LAWN, SEE PLANTING PLAN
- WOOD TOPPED BENCH (08 10 63 AND 03 30 00)
- COBBLES IN CONCRETE RUNNEL (32 40 00)

NOTES

- 1. SEE CIVIL FOR ALL UTILITIES AND GRADING OUTSIDE COURTYARD AREA.

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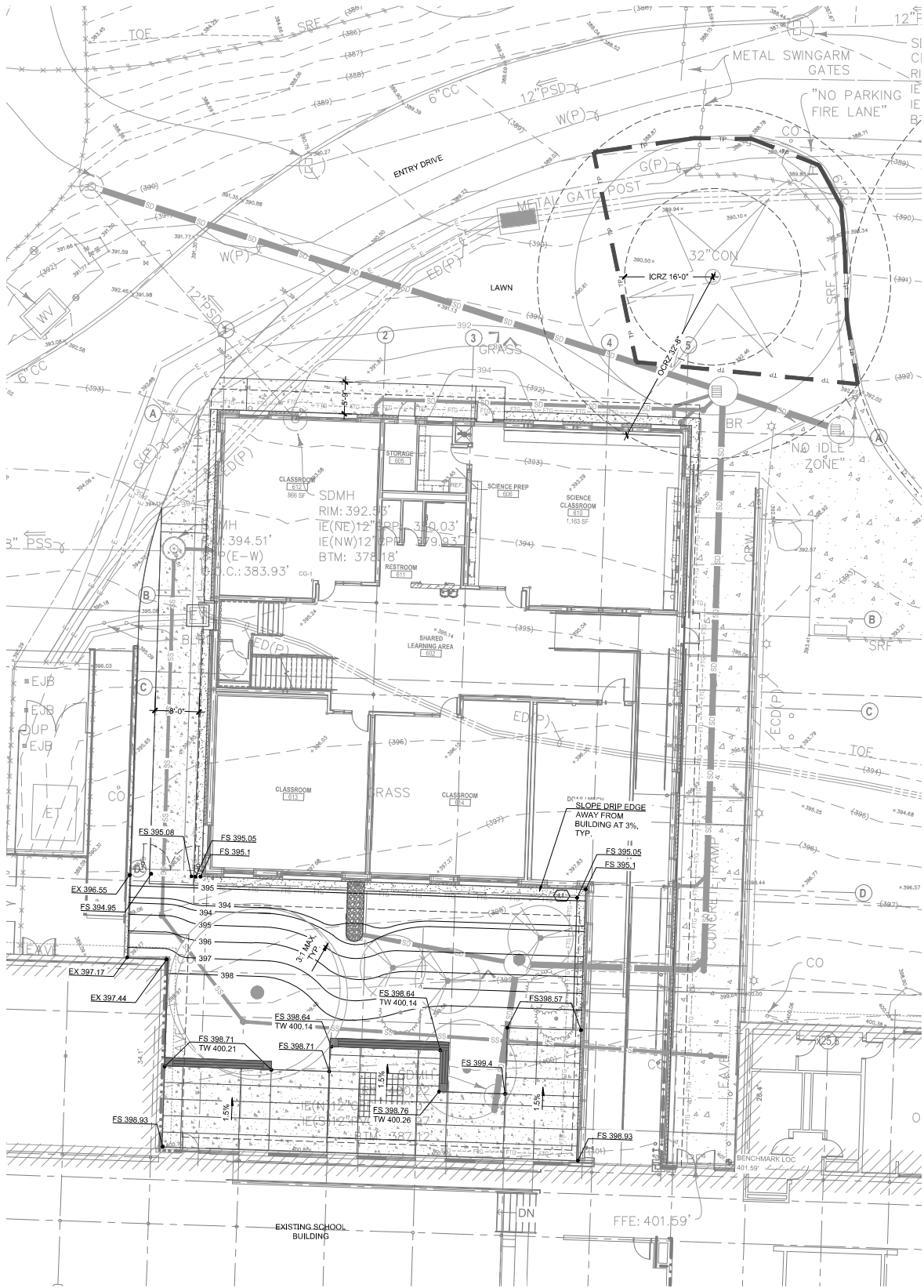
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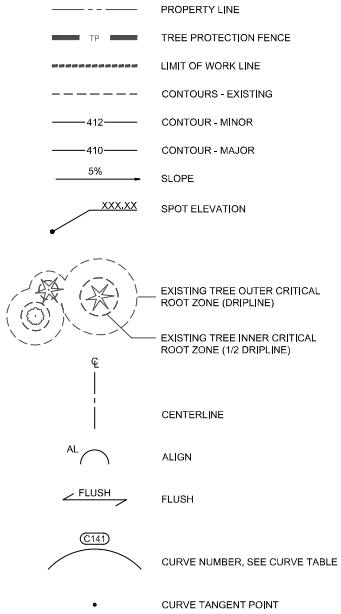
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MATERIALS  
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LAYOUT & GRADING PLAN LEGEND



ABBREVIATIONS

AD	AREA DRAIN
BR	BIORETENTION AREA
BS	BOTTOM OF STAIRS
CIE	COLLECTOR INVERT ELEVATION
PFE	FINISH FLOOR ELEVATION
FS	FINISH SURFACE
FG	FINISH GRADE
IE	INVERT ELEVATION
LP	LOW POINT
ME	MATCH EXISTING
PA	PLANTING AREA
TC	TOP OF CURB
TS	TOP OF STAIRS
TW	TOP OF WALL

GENERAL ACCESSIBLE ROUTES NOTES

1. ALL RAMPS AND ACCESSIBLE ROUTES SHALL MEET THE REQUIREMENTS OF ICC A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES.
2. ANY ACCESSIBLE ROUTE WITH LONGITUDINAL SLOPE OF 5% OR GREATER SHALL HAVE GRIPPING HANDRAILS.
3. RAMP SLOPES SHALL NOT EXCEED 8.33% (1:12).
4. CROSS SLOPE OF ACCESSIBLE ROUTES SHALL NOT BE STEEPER THAN 2% (1:48).
5. ALL RAMPS SHALL HAVE EDGE PROTECTION OF A 4" MIN CURB OR WALL.
6. ALL STAIRS SHALL HAVE HANDRAILS.

LAYOUT AND GRADING PLAN NOTES

1. REFER TO TREE AND PLANT PROTECTION SPEC 01 56 39.
2. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. LARGER SCALE OVER SMALLER SCALE. ADDENDA AND CLARIFICATIONS OVER PREVIOUS DOCUMENTS.
3. CONTRACTOR TO LAY OUT HARDSCAPE ELEMENTS AND VERIFY LAYOUT WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
4. SEE CIVIL FOR LAYOUT OF VEHICULAR PAVEMENT, CURBS, AND ALL PAVEMENT IN THE ROW. ANY DISCREPANCIES OR CONFLICTS WITH EXISTING CONDITIONS OR OTHER DRAWINGS SHALL BE REPORTED TO THE OWNERS REPRESENTATIVE IMMEDIATELY FOR CLARIFICATION OR ADJUSTMENT.
5. PROVIDE SHOP DRAWINGS FOR CONCRETE PAVEMENT SCORING AND JOINTING PLAN.
6. FOR DIMENSIONS OF EXISTING BUILDINGS AND PROPOSED BUILDING IMPROVEMENTS, REFER TO THE ARCHITECTURAL DRAWINGS.
7. WHERE DIMENSIONS ARE CALLED AS "EQUAL" SPACE REFERENCED ITEMS EQUALLY, MEASURED TO THEIR CENTER LINES.
8. MEASUREMENTS ARE TO FACE OF BUILDING, WALL OR FIXED SITE IMPROVEMENT. DIMENSIONS TO CENTER LINES IS AS INDICATED.
9. INSTALL INTERSECTING ELEMENTS AT 90 DEGREE ANGLES TO EACH OTHER UNLESS OTHERWISE NOTED.
10. PROVIDE ISOLATION JOINTS WHERE CONCRETE FLATWORK MEETS VERTICAL STRUCTURES SUCH AS WALLS, CURBS, STEPS AND BUILDING ELEMENTS.
11. SEE CIVIL FOR GRADING OUTSIDE OF THE COURTYARD.

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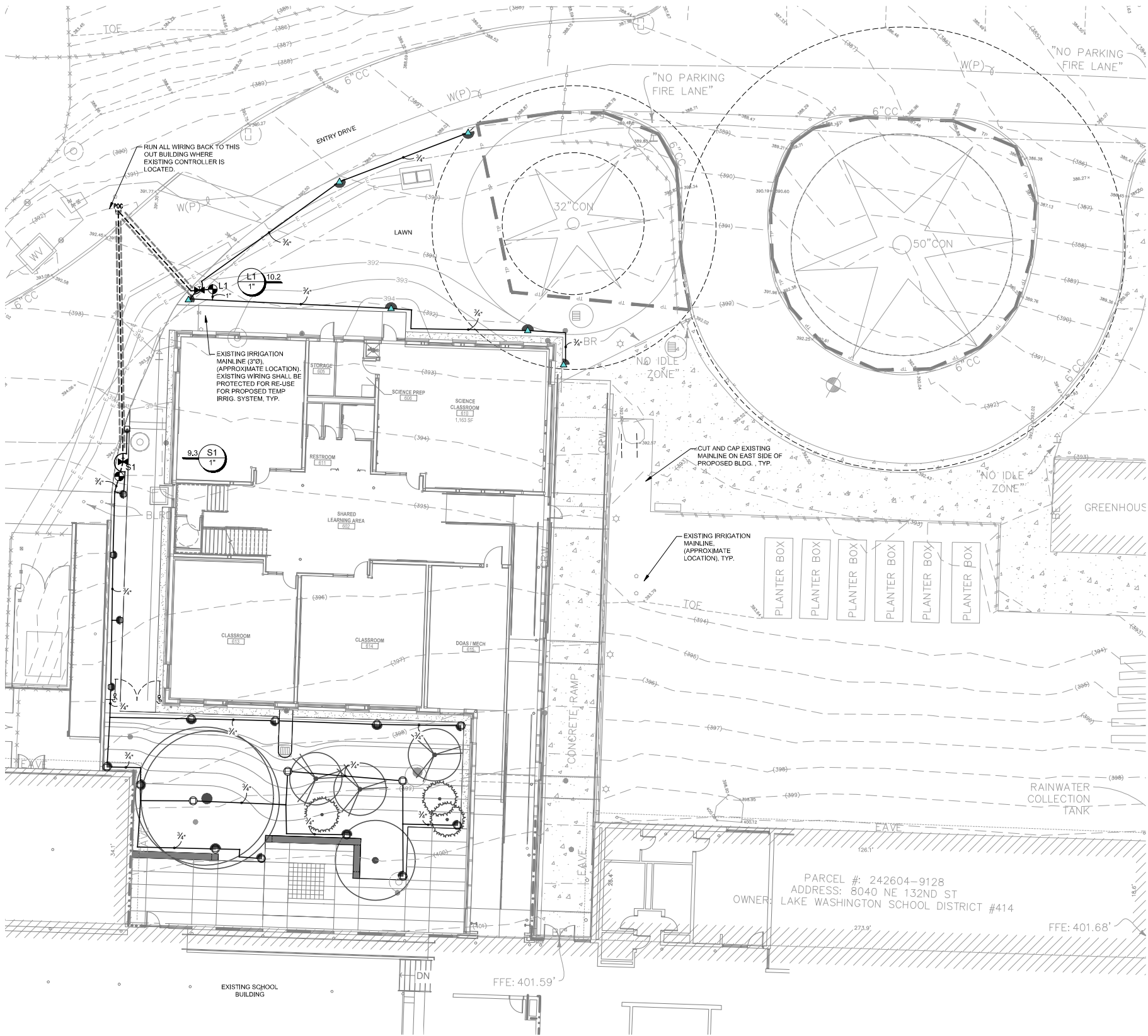
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GRADING  
AND  
LAYOUT  
PLAN

L2.00



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL
	HUNTER MP CORNER PROS-12-PRS40-CV
	HUNTER MP STRIP PROS-12-PRS40-CV
	HUNTER MP1000 PROS-12-PRS40-CV
	HUNTER MP2000 PROS-12-PRS40-CV
SYMBOL	MANUFACTURER/MODEL
	HUNTER I-20-06-PRB 2.0
SYMBOL	MANUFACTURER/MODEL
	HUNTER ICV-G
	NIBCO T-113-K
	HUNTER I2C-2400-M
	EX POINT OF CONNECTION
----- IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21	
----- IRRIGATION MAINLINE: PVC SCHEDULE 40	
Valve Callout	
Valve Number	
Valve Flow	
Valve Size	

IRRIGATION NOTES:

1. ALL NEW PLANTINGS TO RECEIVE A FULLY AUTOMATIC IRRIGATION SYSTEM THAT SHALL BE DESIGNED BY THE LANDSCAPE ARCHITECT.
2. THE AUTOMATIC SYSTEM SHALL BE COMPRISED OF A POINT OF CONNECTION, VALVES, WIRING, PIPING (MAIN LINE AND LATERAL LINE), HEADS (POP-UPS AND ROTORS), WEATHER SENSORS, AND CONTROLLER.
3. THE SYSTEM SHALL BE ADJUSTABLE MONTHLY THROUGH THE IRRIGATION SEASON (APRIL - MID-OCTOBER).

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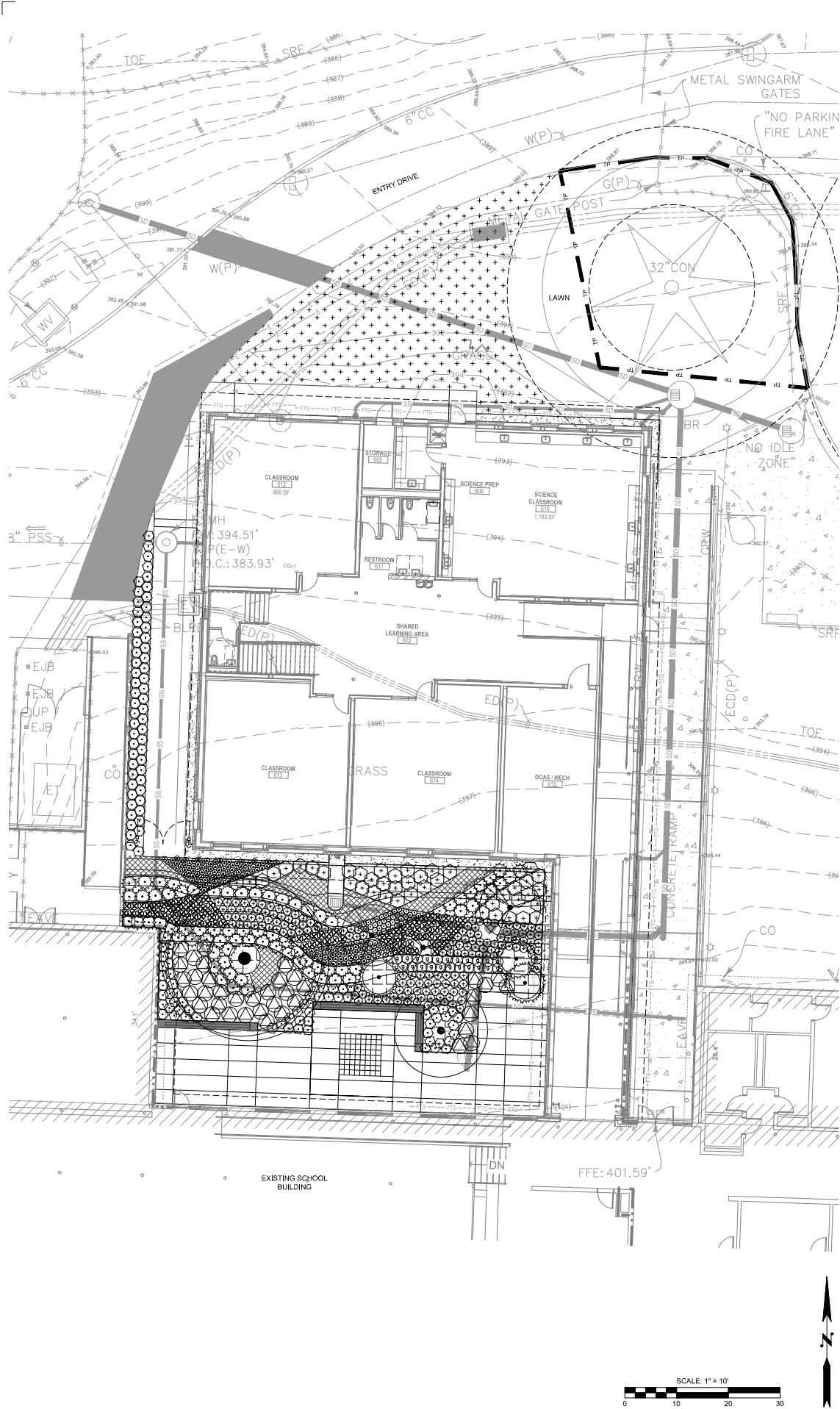
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IRRIGATION  
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L4.00



PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	CONT	SHRUBS	BOTANICAL NAME	COMMON NAME	CONT
	ACER PALMATUM 'OSAKAZUKI'	OSAKAZUKI JAPANESE MAPLE	2" CAL.		ASARUM CAUDATUM	WILD GINGER	#1
	ACER SACCHARUM 'COMMEMORATION'	COMMEMORATION SUGAR MAPLE	2" CAL.		ASPLENIUM TRICHOMANES	MAIDENHAIR SPLEENWORT	#1
	CHAMAECYPARIS OBTUSA	HINOKI FALSE CYPRESS	2" CAL.		DRYOPTERIS ERYTHROSORA	AUTUMN FERN	#1
	STYRAX JAPONICUS 'SNOWCONE'	SNOWCONE JAPANESE SNOWBELL	2" CAL.		GAULTHERIA SHALLON	SALAL	#2
	ULMUS PARVIFOLIA	LACEBARK ELM	2" CAL.		MAHONIA NERVOSA	OREGON GRAPE	#2
	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE SAWLEAF ZELKOVA	2" CAL.		POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1
					POLYSTICHUM SETIFERUM	SOFT SHIELD FERN	#1
					PRUNUS LAUROCERASUS 'MOUNT VERNON'	MOUNT VERNON ENGLISH LAUREL	#2
					SARCOCOCCA HUMILIS	SWEETBOX	#2
				<b>GROUND COVERS</b>	<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>	<b>CONT</b>
					GYMNOCARPUM DISJUNCTUM/ ASPLENIUM TRICHOMANES	PACIFIC OAK FERN/ MAIDENHAIR SPLEENWORT	#1 #1

GENERAL PLANTING NOTES

- SEE L5.01 FOR PLANTING DETAILS
- PRE-CONSTRUCTION MEETING REQUIRED PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS TO REVIEW CONDITIONS AND IDENTIFY COORDINATION REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARITY WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES. VERIFY ALL UTILITY LOCATIONS, PADS, AND APPURTENANCES PRIOR TO PLANTING ACTIVITY. DO NOT BLOCK ACCESS TO UTILITY STRUCTURES. IDENTIFY DISCREPANCIES IMMEDIATELY TO LANDSCAPE ARCHITECT.
- ESTABLISH SUB-GRADE ELEVATIONS THAT WILL ACCOMMODATE FULL PLANTING SOIL DEPTHS SHOWN ON SOIL DEPTHS PLAN AND IN SPECIFICATIONS. ACCOMMODATE DEPTHS TO ALLOW FOR COMPOST ADDED FOR SUBGRADE PREPARATION AND SUBGRADE OPERATIONS.
- SUB-GRADE PREPARATION FOR PLANTING BEDS AND SEEDED AREAS SHALL BE AS FOLLOWS:  
A. RIP SUB-GRADE TO A DEPTH OF 12".  
B. REMOVE COBBLES, ROCKS, CONCRETE, ASPHALT AND OTHER DEBRIS OVER 1" IN DIA.  
C. TILL IN 2.5 INCHES OF ORGANIC COMPOST INTO THE SUB-GRADE TO A DEPTH OF EIGHT (8) INCHES. TILLING THE COMPOST INTO THE SOIL SHALL BE ACCOMPLISHED BY TILLING IT TWICE, THE SECOND TIME PERPENDICULAR TO THE FIRST.
- ALL LANDSCAPE AREAS SHALL RECEIVE DEPTH OF PREPARED PLANTING SOIL PER SPECIFICATIONS (329113) AND SOIL DEPTHS PLAN. PLANTING SOIL SHALL BE PLACED IN TWO EQUAL LIFTS. THE FIRST LIFT SHALL BE ROTOTILLED INTO PREPARED SUBGRADE TO A MINIMUM 8" DEPTH. ALL AREAS SHALL BE FINAL GRADED TO AVOID HIGH OR LOW SPOTS, AND PROVIDE POSITIVE DRAINAGE.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN (NOT FIELD COLLECTED), CONTAINERIZED OR BALLED AND BURLAPPED. PROVIDE ONLY SOUND, HEALTHY, VIGOROUS PLANTS, FREE OF DEFECTS, DISEASE, AND ALL FORMS OF INFESTATION. MEASUREMENTS, CALIPER, BRANCHING, GRADING QUALITY, BALLING AND BURLAPPING PLANT MATERIAL SHALL CONFORM TO MINIMUM STANDARDS OF ANSI Z60.1, LATEST EDITION.
- ALL CONTAINER GROWN NURSERY STOCK SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED, AND ESTABLISHED IN THE CONTAINER IN WHICH IT IS GROWING. CONTAINER GROWN NURSERY STOCK SHALL HAVE A WELL-ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER TO MAINTAIN A FIRM BALL WHEN THE CONTAINER IS REMOVED, BUT SHALL NOT HAVE EXCESSIVE ROOT GROWTH ENCIRCLING THE INSIDE OF THE CONTAINER.
- PRIOR TO INSTALLATION, ALL PLANT MATERIAL PROPOSED FOR USE ON THE PROJECT SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AT THE TIME OF DELIVERY TO THE SITE FOR CONFORMANCE WITH THE REQUIREMENTS OF THE PLANT SCHEDULE, PLANT SPECIFICATIONS, AND STORAGE AND HANDLING REQUIREMENTS. CONTRACTOR IS TO PROVIDE A MINIMUM OF TWO WEEKS NOTICE PRIOR TO DELIVERY TO THE LANDSCAPE ARCHITECT.
- LAYOUT OF PLANTING BEDS AND PLACEMENT OF TREES, SHRUBS, GROUNDCOVERS, SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- TREES SHALL BE PLACED FIRST, THEN SHRUBS, AND THEN GROUNDCOVERS. TREES SHALL BE STAKED OR GUYED PER DETAILS WITHIN 24 HOURS OF INSTALLATION. TREE TRUNKS SHALL BE LOCATED NO CLOSER THAN 15' FROM BUILDING WALLS, SHRUBS SHALL BE LOCATED SO THAT AT MATURITY THERE WILL BE A MINIMUM 3' CLEAR TO BUILDING WALL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL COMPLETE PLANT COUNTS TO COVER AREAS AT THE SPECIFIED SPACING.
- DURING INSTALLATION NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONDITIONS THAT MAY BE HARMFUL TO PLANT LIFE SUCH AS: POOR DRAINAGE, HAZARDOUS MATERIALS, ETC. MAKE RECOMMENDATIONS TO ADDRESS THE SPECIFIC SITUATION IMMEDIATELY TO THE OWNER'S REPRESENTATIVE.
- UPON COMPLETION OF PLANT INSTALLATION, APPLY TOP MULCH TO ALL PLANTING BEDS AND TREE PITTS. TREE AND SHRUB AREAS SHALL RECEIVE THREE (3) INCHES OF TOP MULCH. FINELY GRADE MULCH AWAY FROM TREE TRUNKS AND SHRUB STEMS. DO NOT PLACE MULCH DIRECTLY AGAINST TREE TRUNKS OR STEMS. MATCH FINISH SURFACE OF TOP MULCH WITH ADJACENT FINISH GRADES. SEE NOTE BELOW FOR REQUIREMENTS FOR SECOND MULCH APPLICATION.
- FINISH GRADE (TOP OF MULCH) IN PLANTING BEDS AND FINISH GRADE OF TURF SHALL BE 1/2" BELOW TOP OF HEADER, WALL, CURB, OR FINISHED SURFACE OF ADJACENT WALK OR PAVED AREAS.
- ALL AREAS OF BARE SOIL, OR AREAS IMPACTED BY VEHICULAR USE OF ANY KIND, OR STORAGE OF MATERIALS OUTSIDE OF THE CLEARING LIMITS SHALL RECEIVE FULL SUBGRADE PREPARATION, INCLUDING COMPOST AMENDMENTS AND SHALL RE-ESTABLISH FINAL DESIGN CONDITION AND SHALL BE AT CONTRACTOR'S COST.
- THE CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY FOLLOWING INSTALLATION. THE CONTRACTOR SHALL MAINTAIN THE PLANTED AREAS FOR THE LENGTH OF TIME SPECIFIED IN PLANTS SPECIFICATIONS SECTION AFTER ACHIEVING COMPLETION OF PLANTING. SUBMIT MONTHLY WRITTEN REPORT OF MAINTENANCE ACTIVITIES.
- PLANT ESTABLISHMENT PROCEDURES SHALL INCLUDE WATERING, PROTECTION FROM INSECTS OR DISEASE, WEEDING, PRUNING, MOWING, AND OTHER ACTIVITIES AS MAY BE REQUIRED AND AS IDENTIFIED IN SECTION 329300 AND OTHER RELATED SECTIONS. CONTRACTOR SHALL IMMEDIATELY REPLACE ANY PLANT MATERIALS THAT ARE NOT VIGOROUS OR TYPICAL OF SIZE AND SPECIES. TREE STAKES SHALL BE KEPT SECURE AT ALL TIMES. DEFECTIVE MATERIALS AS DETERMINED BY THE LANDSCAPE ARCHITECT SHALL BE REPLACED IMMEDIATELY WITH PLANT MATERIALS OF THE SAME SPECIES AT A SIZE TO MATCH EXISTING ADJACENT MATERIALS.
- UPON COMPLETION OF THE WARRANTY/PLANT ESTABLISHMENT PERIOD, APPLY BARK MULCH (PER SECTION 329300) TO ALL PLANTED AREAS.
- UPON COMPLETION OF THE WARRANTY PERIOD, THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR FINAL INSPECTION TO THE LANDSCAPE ARCHITECT. AN INSPECTION SHALL BE CONDUCTED WITH THE LANDSCAPE ARCHITECT AND THE CONTRACTOR PRESENT, AND FOLLOWING REPLACEMENT OR REPAIR OF DEFICIENT ITEMS NOTED IN THE INSPECTION. A NOTIFICATION OF ACCEPTANCE OF ALL WORK SHALL BE ISSUED BY THE LANDSCAPE ARCHITECT TO THE CONTRACTOR.



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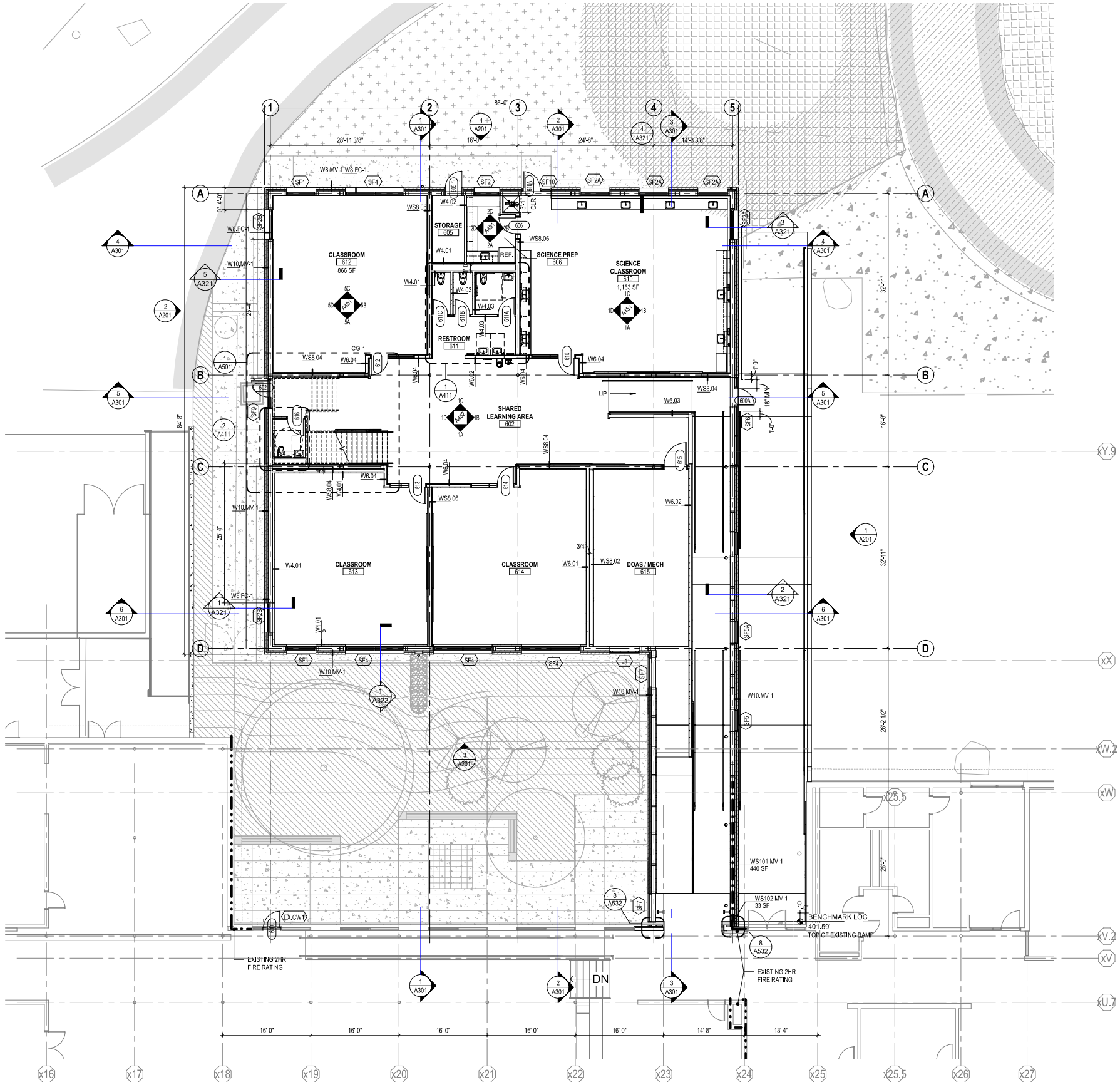
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PLANTING  
PLAN

L5.00

2

LEVEL 1 - FLOOR PLAN  
SCALE: 1/8" = 1'-0"



ARCH GENERAL PLAN NOTES

- FOR INTERIOR AND EXTERIOR FINISHES REFER TO A200 AND A400 SERIES SHEETS.
- REFER TO LIFE SAFETY, A010 & A011 FOR ADDITIONAL WALL AND PARTITION REQUIREMENTS. PROVIDE RATINGS AS INDICATED.
- COORDINATE EQUIPMENT PADS WITH MEP AND STRUCTURAL.
- REFER TO REFERENCED ENLARGED PLANS FOR ADDITIONAL FLOOR PLAN INFORMATION, I.E. PARTITION TYPES, DIMENSIONS AND DETAILS.
- SEE STRUCTURAL FOR ALL RECESSED SLAB LOCATIONS TO RECEIVE FLOOR MATERIALS AS SCHEDULED ON FLOOR PATTERN AND FINISH SCHEDULE SHEETS.
- TEMPORARY ADDRESS TO BE POSTED DURING CONSTRUCTION PER AHJ GUIDELINES.
- COORDINATE FIXTURES AND EQUIPMENT WITH MEP. RESIDENTIAL APPLIANCES AS SPECIFIED AND DETAILED PER ARCH.

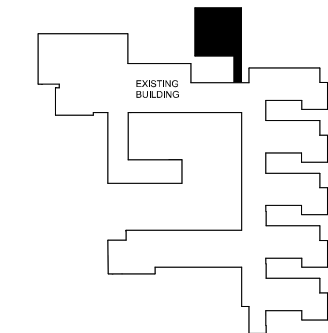
Lake Washington School District No. 414  
FINN HILL MIDDLE SCHOOL ADDITION

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LEVEL 1 - FLOOR  
PLAN

A101



ARCH GENERAL PLAN NOTES

- 1. FOR INTERIOR AND EXTERIOR FINISHES REFER TO A200 AND A400 SERIES SHEETS.
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- 7. COORDINATE FIXTURES AND EQUIPMENT WITH MEP. RESIDENTIAL APPLIACES AS SPECIFIED AND DETAILED PER ARCH.

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ARCHITECTURE

KEY

REGISTERED ARCHITECT

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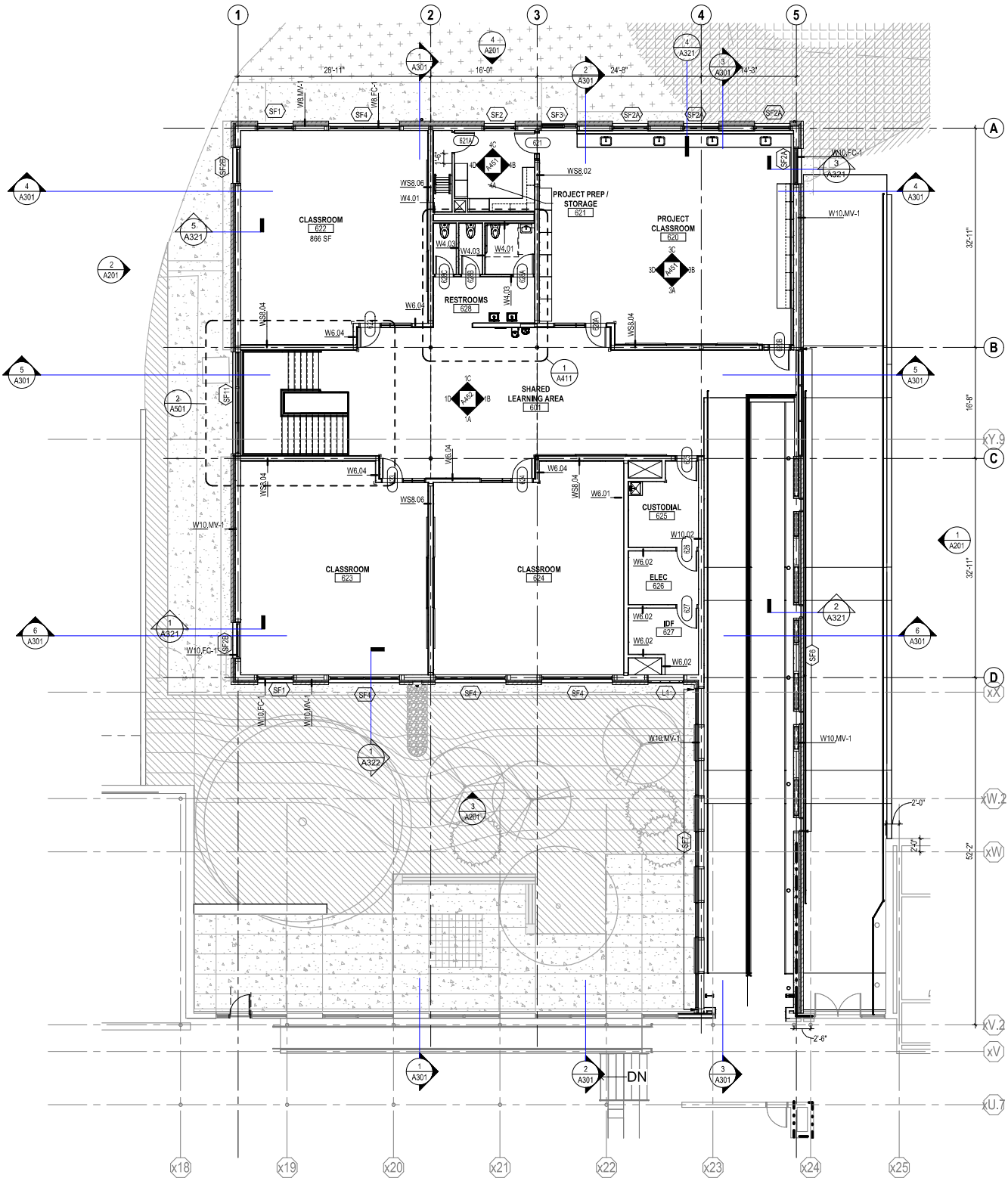
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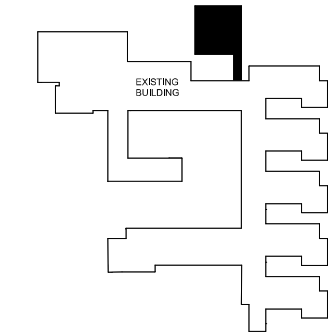
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LEVEL 2 - FLOOR PLAN

A102



1 LEVEL 2 - FLOOR PLAN  
SCALE: 1/8" = 1'-0"



KEY PLAN

ARCH ELEVATION NOTES

- 1. REFER TO WINDOW SCHEDULE AND FRAME TYPE ELEVATIONS FOR WINDOW SIZES AND DIMENSIONS RELATIVE TO FLOOR LEVELS.
- 2. REFER TO LOUVER SCHEDULE AND TYPE ELEVATIONS FOR LOUVER SIZES AND DIMENSIONS RELATIVE TO FLOOR LEVELS.
- 3. REFER TO STRUCTURAL AND CIVIL DRAWINGS FOR FOUNDATION AND SUBGRADE INSULATION.
- 4. SEE CIVIL AND LANDSCAPE FOR EXTERIOR GRADE CONDITIONS.
- 5. MEP SHOWN FOR REFERENCE ONLY. COORDINATE ALL LOUVER LOCATIONS WITH MECHANICAL DRAWINGS. PROVIDE INSULATED BLANK OFF'S AT OVERSIZED LOUVERS AND GRILLES.

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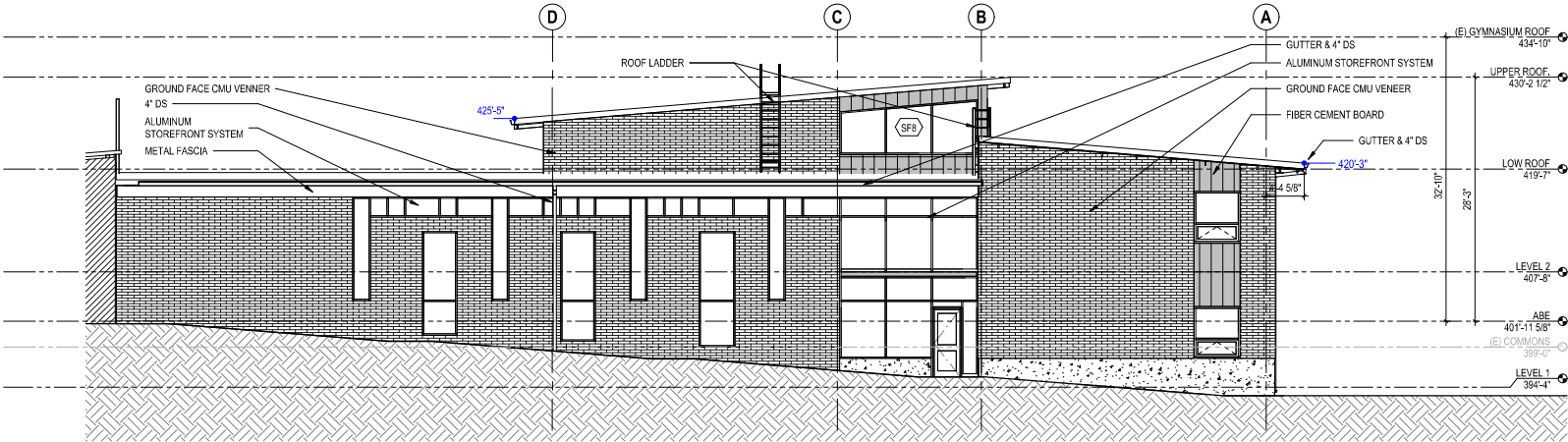
REGISTERED ARCHITECT



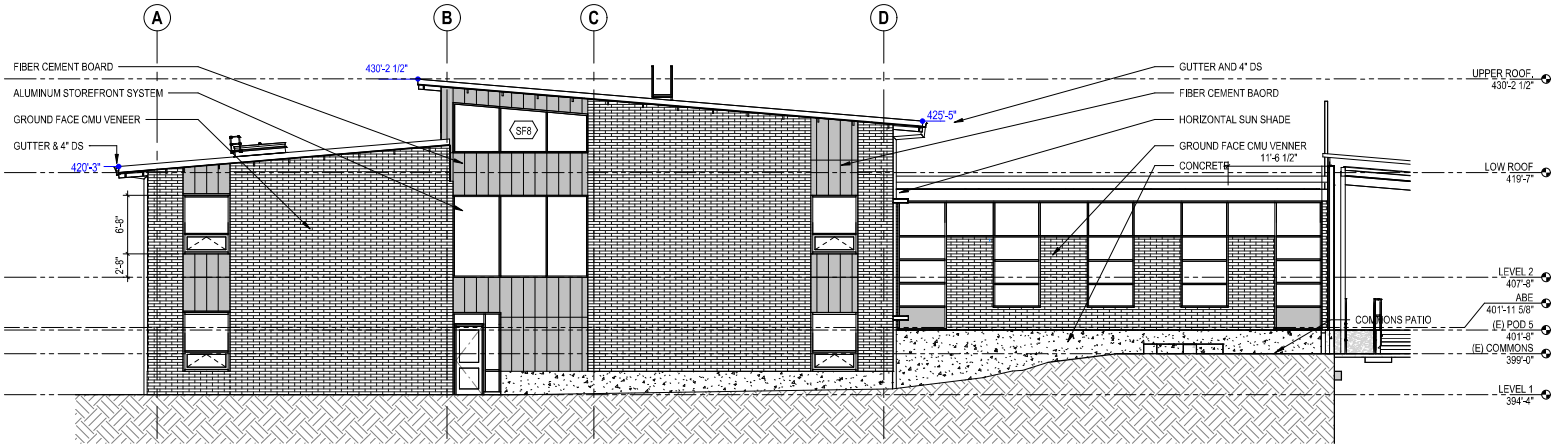
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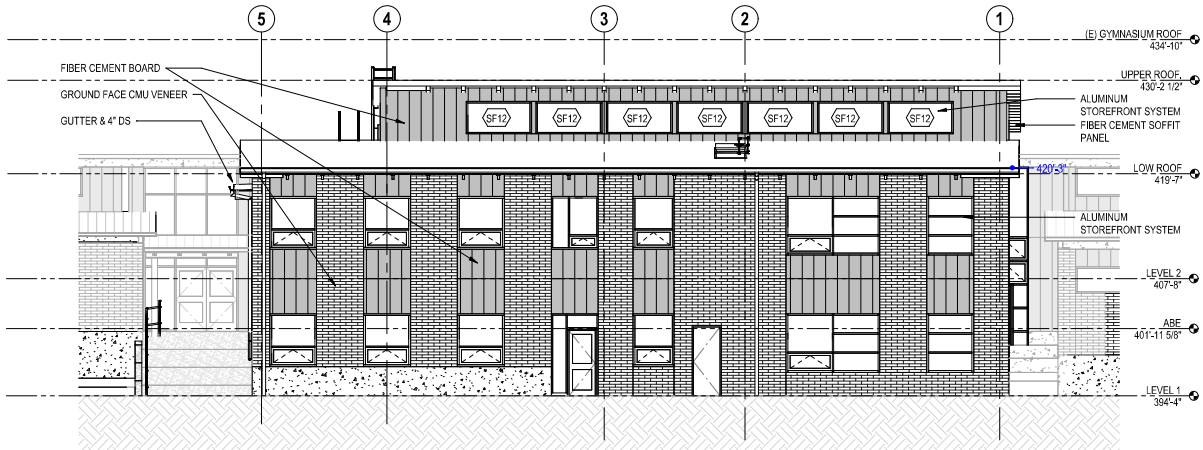
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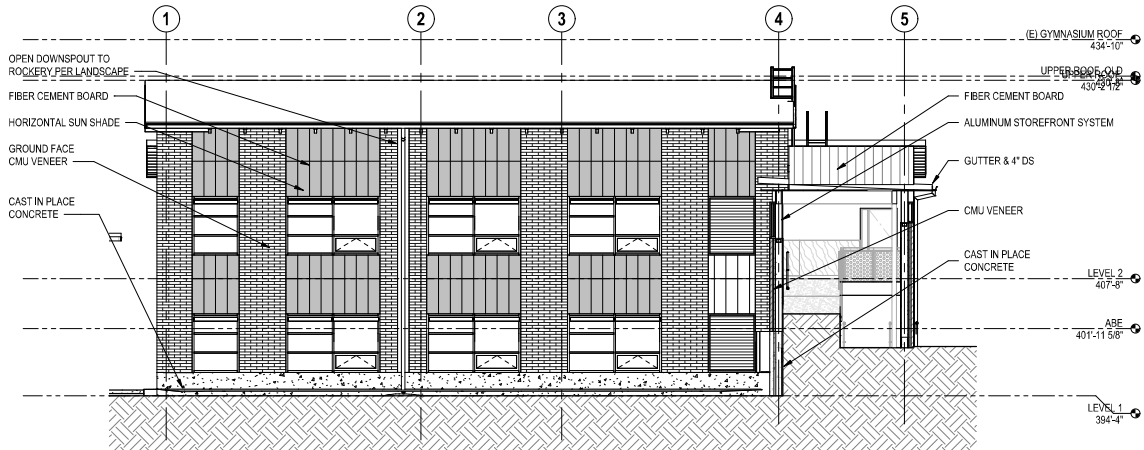
1 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

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EXTERIOR  
ELEVATIONS

A201



**City of Kirkland**  
**Planning and Building Department**  
 123 5th Avenue, Kirkland, WA 98033  
 425-587-3600 ~ [www.kirklandwa.gov](http://www.kirklandwa.gov)

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## DEVELOPMENT STANDARDS LIST

### FINN HILL MASTER PLAN

### FILE: ZON20-00796

#### **ZONING CODE STANDARDS**

**95.51.2.a Required Landscaping.** All required landscaping shall be maintained throughout the life of the development. The applicant shall submit an agreement to the city to be recorded with King County which will perpetually maintain required landscaping. Prior to issuance of a certificate of occupancy, the proponent shall provide a final as-built landscape plan and an agreement to maintain and replace all landscaping that is required by the City.

**95.50 Tree Installation Standards.** Installation of supplemental trees to be planted shall conform to Kirkland Zoning Code Section 95.50.

**95.52 Prohibited Vegetation.** Plants listed as prohibited in the Kirkland Plant List shall not be planted in the City. These plants include Himalayan and Evergreen Blackberry, English Holly, Fragrant water lily; Bindweed or Morning Glory, Bird Cherry, English and Atlantic Ivy; Herb Robert; Bohemian, Giant, Himalayan, and Japanese Knotweed; Old man's beard, Poison hemlock, Reed canary grass, Scotch broom, Spurge laurel, Yellow archangel, and Yellow flag iris. Other plants, while not prohibited, are discouraged, including Butterfly bush, Black Locust, European Mountain Ash, Tree-of-Heaven, Common Hawthorn, and English laurel.

**105.18 Pedestrian Walkways.** All uses, except single family dwelling units and duplex structures, must provide pedestrian walkways designed to minimize walking distances from the building entrance to the right of way and adjacent transit facilities, pedestrian connections to adjacent properties, between primary entrances of all uses on the subject property, through parking lots and parking garages to building entrances. Easements may be required. In design districts through block pathways or other pedestrian improvements may be required. See also Plates 34 in Chapter 180.

**105.32 Bicycle Parking.** All uses, except single family dwelling units and duplex structures with 6 or more vehicle parking spaces must provide covered bicycle parking within 50 feet of an entrance to the building at a ratio of one bicycle space for each twelve motor vehicle parking spaces. Check with Planner to determine the number of bike racks required and location.

**105.18 Entrance Walkways.** All uses, except single family dwellings and duplex structures, must provide pedestrian walkways between the principal entrances to all businesses, uses, and/or buildings on the subject property.

**105.18 Overhead Weather Protection.** All uses, except single family dwellings, multifamily, and industrial uses, must provide overhead weather protection along any portion of the building, which is adjacent to a pedestrian walkway.

**105.18.2 Walkway Standards.** Pedestrian walkways must be at least 5' wide; must be distinguishable from traffic lanes by pavement texture or elevation; must have adequate lighting for security and safety. Lights must be non-glare and mounted no more than 20' above the ground.

**105.18.2 Overhead Weather Protection Standards.** Overhead weather protection must be provided along any portion of the building adjacent to a pedestrian walkway or sidewalk; over

the primary exterior entrance to all buildings. May be composed of awnings, marquees, canopies or building overhangs; must cover at least 5' of the width of the adjacent walkway; and must be at least 8 feet above the ground immediately below it. In design districts, translucent awnings may not be backlit; see section for the percent of property frontage or building facade.

**110.60.5 Street Trees.** All trees planted in the right-of-way must be approved as to species by the City. All trees must be two inches in diameter at the time of planting as measured using the standards of the American Association of Nurserymen with a canopy that starts at least six feet above finished grade and does not obstruct any adjoining sidewalks or driving lanes.

**115.25 Work Hours.** It is a violation of this Code to engage in any development activity or to operate any heavy equipment before 7:00 am. or after 8:00 pm Monday through Friday, or before 9:00 am or after 6:00 pm Saturday. No development activity or use of heavy equipment may occur on Sundays or on the following holidays: New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving, and Christmas Day. The applicant will be required to comply with these regulations and any violation of this section will result in enforcement action, unless written permission is obtained from the Planning official.

**115.75.2 Fill Material.** All materials used as fill must be non-dissolving and non-decomposing. Fill material must not contain organic or inorganic material that would be detrimental to the water quality, or existing habitat, or create any other significant adverse impacts to the environment.

**115.90 Calculating Lot Coverage.** The total area of all structures and pavement and any other impervious surface on the subject property is limited to a maximum percentage of total lot area. See the Use Zone charts for maximum lot coverage percentages allowed. Section 115.90 lists exceptions to total lot coverage calculations See Section 115.90 for a more detailed explanation of these exceptions.

**115.95 Noise Standards.** The City of Kirkland adopts by reference the Maximum Environmental Noise Levels established pursuant to the Noise Control Act of 1974, RCW 70.107. See Chapter 173-60 WAC. Any noise, which injures, endangers the comfort, repose, health or safety of persons, or in any way renders persons insecure in life, or in the use of property is a violation of this Code.

**115.115 Required Setback Yards.** This section establishes what structures, improvements and activities may be within required setback yards as established for each use in each zone.

**115.115.3.g Rockerries and Retaining Walls.** Rockeries and retaining walls are limited to a maximum height of four feet in a required yard unless certain modification criteria in this section are met. The combined height of fences and retaining walls within five feet of each other in a required yard is limited to a maximum height of 6 feet, unless certain modification criteria in this section are met.

***Prior to issuance of a grading or building permit:***

**95.32 Tree Protection.** Prior to development activity or initiating tree removal on the site, vegetated areas and individual trees to be preserved shall be protected from potentially damaging activities. Protection measures for trees to be retained shall include (1) placing no construction material or equipment within the protected area of any tree to be retained; (2) providing a visible temporary protective chain link fence at least 6 feet in height around the protected area of retained trees or groups of trees until the Planning Official authorizes their removal; (3) installing visible signs spaced no further apart than 15 feet along the protective fence stating "Tree Protection Area, Entrance Prohibited" with the City code enforcement phone number; (4) displaying site plans showing approved tree retention/protection in plain view with general contractor or other responsible party's phone number; (5) prohibiting excavation or compaction of earth or other damaging activities within the barriers unless approved by the Planning Official and supervised by a qualified professional; and (6) ensuring that approved landscaping in a protected zone shall be done with light machinery or by hand.

***Prior to occupancy:***

**95.51.2.a Required Landscaping.** All required landscaping shall be maintained throughout the life of the development. The applicant shall submit an agreement to the city to be recorded with King County which will perpetually maintain required landscaping. Prior to issuance of a certificate of occupancy, the proponent shall provide a final as-built landscape plan and an agreement to maintain and replace all landscaping that is required by the City



## DEVELOPMENT STANDARDS

### ZON22-00796

#### BUILDING DEPARTMENT

##### Building Department Conditions

Please call 425-587-3600 for Building Department questions related to this permit.

##### Specific Conditions

##### General Conditions

##### Permits & Codes:

1. Permit applications shall demonstrate compliance with the 2018 editions of the International Building, Residential, Mechanical Codes and the Uniform Plumbing Code as adopted and amended by the State of Washington and the City of Kirkland. (IBC, IRC, IMC, UPC)
2. To determine fire-rated assemblies, indicate the fire separation distances to imaginary lot lines between the residences on the site plans.
6. Permit applications shall demonstrate compliance with the 2018 edition of the International Energy Conservation Code as adopted and amended by the State of Washington. (WSEC)
7. An Electrical Permit is required to be obtained separately. Kirkland reviews, issues and inspects all electrical permits in the city. Electrical permit applications shall demonstrate compliance with the 2020 Washington Cities Electrical Code Chapters 1 and 3 as published by WABO. (WCEC)
8. A Plumbing Permit, where required, is to be obtained separately or may be combined with the Building Permit.
9. A Mechanical Permit, where required, is to be obtained separately or may be combined with the Building Permit.
10. A Demolition Permit, where required for removal of existing structure(s) shall be obtained separately.
11. Cast-in-place concrete stormwater detention vaults or retaining walls to be constructed with an LSM will require building permits. These building permits may be obtained separately or combined with the LSM.
12. If a smoke control system per IBC Section 909 is required or provided, a separate Fire Permit for the smoke control system must be applied for. The Fire Permit consists of two separate submittals: A) The Conceptual Smoke Control Submittal (OP9a) shall be submitted prior to submittal of the Building Permit. B) The Detailed Smoke Control Submittal (OP9b) shall be submitted prior to the issuance of the Building Permit.

##### Structural:

13. Fire apparatus loading may be required for the area over and around a detention vault. Fire Department Apparatus HS 20 loading is required, in addition to a point load of 45,000 pounds, due to the max reaction at stabilizer outrigger, applied to an 18 by 18-inch area (also applied as an unfactored load on a 10 by 14-inch area).
14. Depending on the structural complexity of the project, a third-party structural review may be required.
15. Structures and their components must be designed for seismic design category D, a wind speed of 110 miles per hour for IRC structures or a wind speed of 98 miles per hour for IBC structures and wind Exposure B or Exposure C if within 1500 feet of the shoreline of Lake Washington or Exposure D if within 600 feet of the shoreline of Lake Washington.

**Accessibility:**

16. If an accessible elevator is required or provided, standby power is required. A connection ahead of service disconnect is not an approved means of achieving standby power in Kirkland. See IBC 1009.2.1 and 1009.4, and NEC 701.
17. The applicant is cautioned to investigate the implications of the Americans with Disabilities Act on the construction of this project. For more information the applicant may contact the Office of the General Counsel, Architectural and Transportation Barriers Compliance Board, 1111 18th Street, N.W., Suite 501, Washington, DC 20036, Phone: (800) 514-0301.
18. In all Group R, the total number of Type A, B and accessible dwelling units shall be as required by Section 1107.6 with Washington State Amendments.
19. In parking garages where accessible van parking is provided, the minimum vertical clearance shall be 98”.

**Other:**

21. An area must be set aside for recyclable materials, organics and solid waste. Ref.: WAC 51-50-009 - in addition this area must be accessible to the serving utility (Waste Management) Ref.: KMC 16.08.075
22. In all Group B and R-2 occupancies and R-1 hotels and motels, electric vehicle charging infrastructure shall be provided where 20 or more on-site parking spaces are provided. See IBC 429 with Washington State Amendments.
23. A geotechnical report is required to address development activity. The report must be prepared by a Washington State licensed Professional Engineer. Recommendations contained within the report shall be incorporated into the design of the Land Surface Modification and subsequent structures.
24. If the parcel is comprised of multiple lots, it may need to be consolidated prior to permit issuance. A Lot Consolidation by Restrictive Covenant document will be created by the City for signature by the property owners and sent to King County for recording at the time of permit issuance.
25. Prior to issuance of Building, Demolition or Land Surface Modification permit applicant must submit a proposed rat baiting program for review and approval. Kirkland Municipal Ordinance 9.04.040

**PUBLIC WORKS DEPARTMENT****PUBLIC WORKS CONDITIONS**

Permit #: ZON22-00796  
 Project Name: Finn Hill Middle School  
 Project Address: 8040 NE 132nd St  
 Date: Jan 21, 2022

**Public Works Staff Contacts**

Sam Lee, Development Engineer  
 Phone: 425-587-3809 / E-mail: [slee@kirklandwa.gov](mailto:slee@kirklandwa.gov)

**General Conditions:**

1. All civil engineering plans which are submitted in conjunction with a building, grading, or right-of-way permit must conform to the Public Works Policy G-7, Engineering Plan Requirements. This policy is contained in the Public Works Pre-Approved Plans and Policies Manual. All street improvements and underground utility improvements (storm, sewer, and water) must be designed by a Washington State Licensed Engineer. All drawings shall bear the licensed engineer's stamp. All plans submitted in conjunction with a building, grading or right-of-way permit must have elevations which are based on the King County datum only (NAVD 88).

**Water and Sanitary Sewer Conditions:**

## 1. Northshore Utility

## Surface Water Conditions:

1. Provide temporary and permanent storm water control in accordance with the 2021 King County Surface Water Design Manual (KCSWDM) and the City of Kirkland Addendum (Policy D-10). Refer to Policies D-2 and D-3 in the Public Works Pre-Approved Plans and Policies Manual for design guidance, or contact Kirkland Surface Water staff at (425) 587-3800 for assistance. Based on the pre-submittal information provided by the applicant, this project should expect a \_\_\_\_\_ Drainage Review. The drainage review level and requirements may change based on the actual development proposal at the time of permit application.
2. A drainage report (Technical Information Report or TIR) must be submitted with the Land Use application or permit application. A downstream analysis is required for all projects (except for Basic Drainage Review).
3. This project is in a Level 2 Flow Control Area and is required to comply with core drainage requirements in the KCSWDM. Historic (forested) conditions shall be used as the pre-developed modeling condition for design of the stormwater detention system.
4. The project may qualify for an exception to detention if the target surfaces will generate no more than a 0.15 cfs increase in the historic (forested) conditions 100-year peak flow. The 15-minute time step must be used to perform the flow control analysis. Do not use the 1-hour time step. Approved hydrologic modeling programs are MGS Flood and WWHM (latest version of the software).
5. Evaluate the feasibility and applicability of dispersion, infiltration, and other stormwater Low Impact Development (LID) Best Management Practices (BMPs) per the KCSWDM. If feasible, stormwater LID BMPs are required to the maximum extent feasible. If LID BMPs are infeasible, pervious pavement cannot be used to reduce overall impervious lot coverage. The Private Maintenance Agreement will be recorded on all projects that construct a stormwater LID BMP or facility, per Policy D-7.
6. Soil information may be necessary for designing LID BMPs per the KCSWDM, and there are other reasons a soil report is necessary for a project (e.g., steep slopes, sensitive areas, etc.). Refer to Policy D-8 for details.
7. Special inspections may be required for LID BMPs on this project. Provide documentation of inspections by a licensed geotechnical professional that the BMP will function as designed.
8. If the project will create or replace more than 5,000 square feet of pollution generating impervious surface (PGIS), provide water quality treatment in accordance with the KCSWDM. The enhanced treatment level is required for multi-family residential, commercial, industrial projects, and single family residential projects with eight or more dwelling units per acre density.
9. Construction Stormwater Pollution Prevention Plan (CSWPPP):
  - All proposed projects that will conduct construction activities onsite, or offsite must provide stormwater pollution prevention and spill controls to prevent, reduce, or eliminate the discharge of pollutants (including sediment) to onsite or adjacent stormwater systems or watercourses.
  - Refer to Core Requirement No. 5 in the KCSWDM and Policy D-12.
  - Provide an erosion control report and plan with the Building or Land Surface Modification Permit application. The plan shall be in accordance with the KCSWDM.
  - Construction drainage control shall be maintained by the developer and will be subject to periodic inspections. During the period from May 1 and September 30, all denuded soils must be covered within 7 days; between October 1 and April 30, all denuded soils must be covered within 12 hours. Additional erosion control measures may be required based on site and weather conditions. Exposed soils shall be stabilized at the end of the workday prior to a weekend, holiday, or predicted rain event.
10. If the total disturbed land area is one acre or greater, the following conditions apply:
  - The applicant is responsible to apply for a Construction Stormwater General Permit from Washington State Department of

Ecology. Provide the City with a copy of the Notice of Intent for the permit. Permit Information can be found at the following website: <http://www.ecy.wa.gov/programs/wq/stormwater/construction/>

o Among other requirements, this permit requires the applicant to prepare a Storm Water Pollution Prevention Plan (SWPPP) and identify a Certified Erosion and Sediment Control Lead (CESCL) prior to the start of construction. The CESCL shall attend the City of Kirkland PW Dept. pre-construction meeting with a completed SWPPP.

- Turbidity monitoring by the developer/contractor is required for any surface water leaving the site.
- A Stormwater Pollution Prevention and Spill (SWPPS) Plan must be kept on site during all phases of construction and shall address construction-related pollution generating activities. Follow the guidelines in the Ecology Pollution Prevention Manual for plan preparation.

Transportation Conditions:

1. Address comments on TIA and construct any mitigations required under SEPA.
2. Submit a parking demand analysis for the site. Accommodate all parking demand generated by the expansion on-site.
3. Perform a street lighting analysis for streets fronting the site and existing crosswalks and ensure all lighting level requirements are met. Upgrade existing street lights to LEDs.



## DUWAMISH TRIBE

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03/07/2023

City of Kirkland  
Zon22-00796

Dear Tony Leavitt,

Thank you for the opportunity to review and comment on the Fill Hill MS Expansion project located at 8040 NE 132<sup>nd</sup> St. Based on the information provided and our understanding of the project and its APE, The Duwamish Tribe would not request an archaeological review. The DAHP WISAARD predictive model indicates that an archaeological survey ranges from low to moderate risk for encountering cultural resources. The boring logs from AESI's geotechnical report indicate that no organic layers were identified and that no significant organic debris was encountered below fill. However, due to the nearby wetlands and Denny Creek, and the proximity to a village site at Juanita Beach with a well traveled path, the Tribe does request an inadvertent discovery plan be put in place, especially if excavation cuts below fill.

We also request that if any archaeological work or monitoring is performed, we would like notification. Cultural and archaeological resources are non-renewable and are best discovered prior to ground disturbance. The Tribe would also like the opportunity to be present if or when an archaeologist is on site in the event that an artifact or cultural resource is encountered.

In addition, the Tribe supports the native vegetation for any proposed landscaping.

Thank you,

Nancy A Sackman  
Cultural Preservation