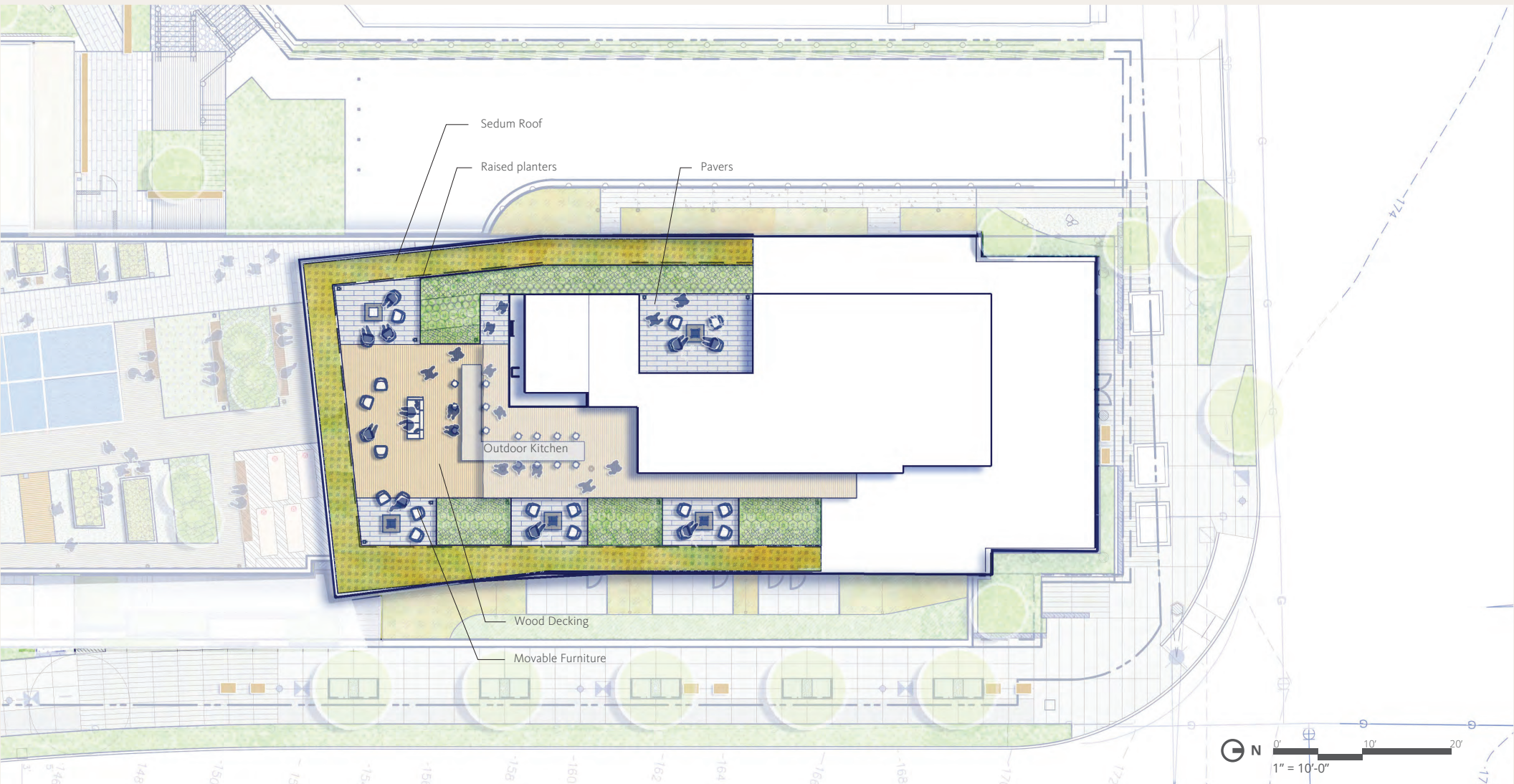


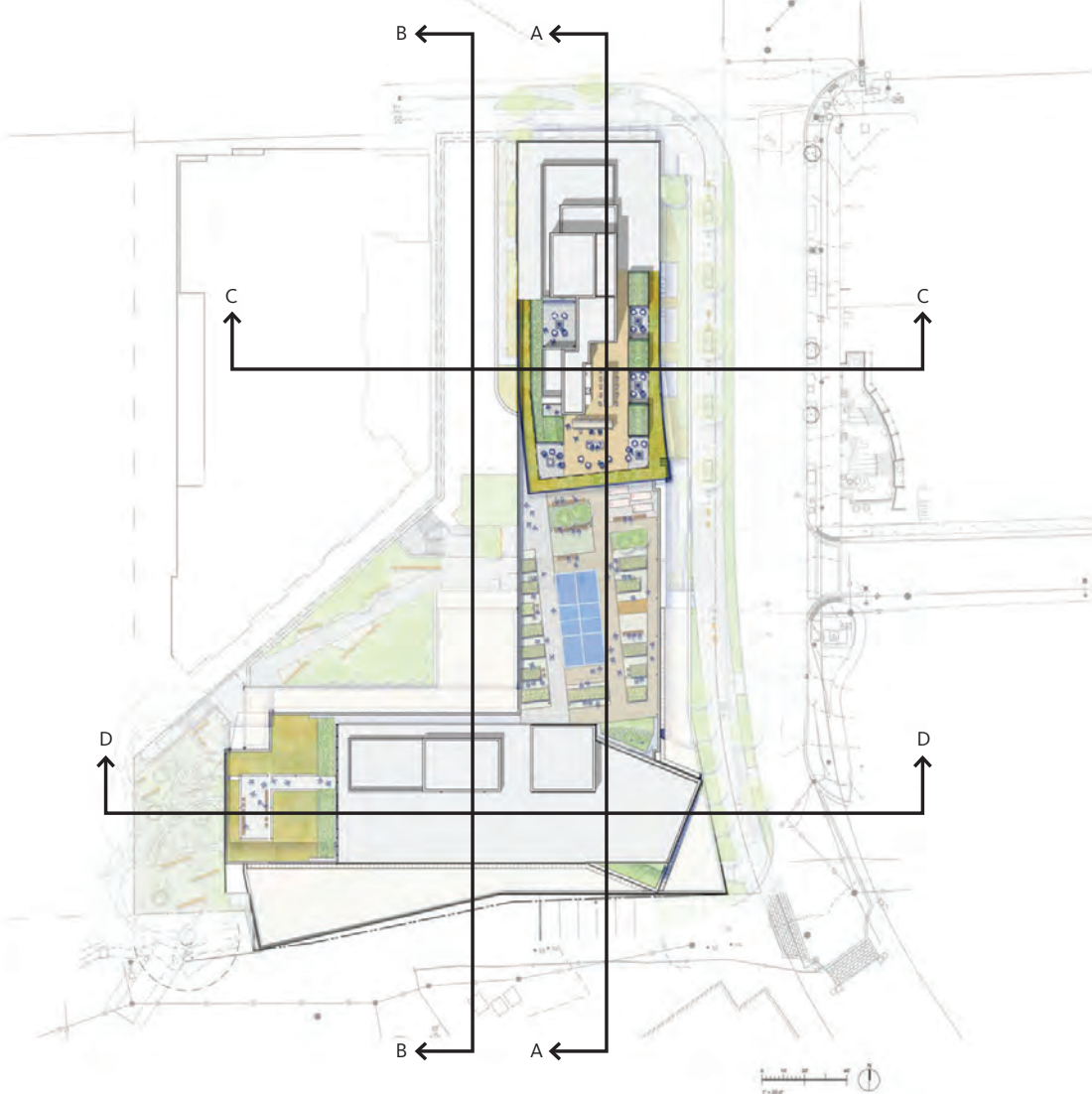
DRC // ROOF LEVEL 17



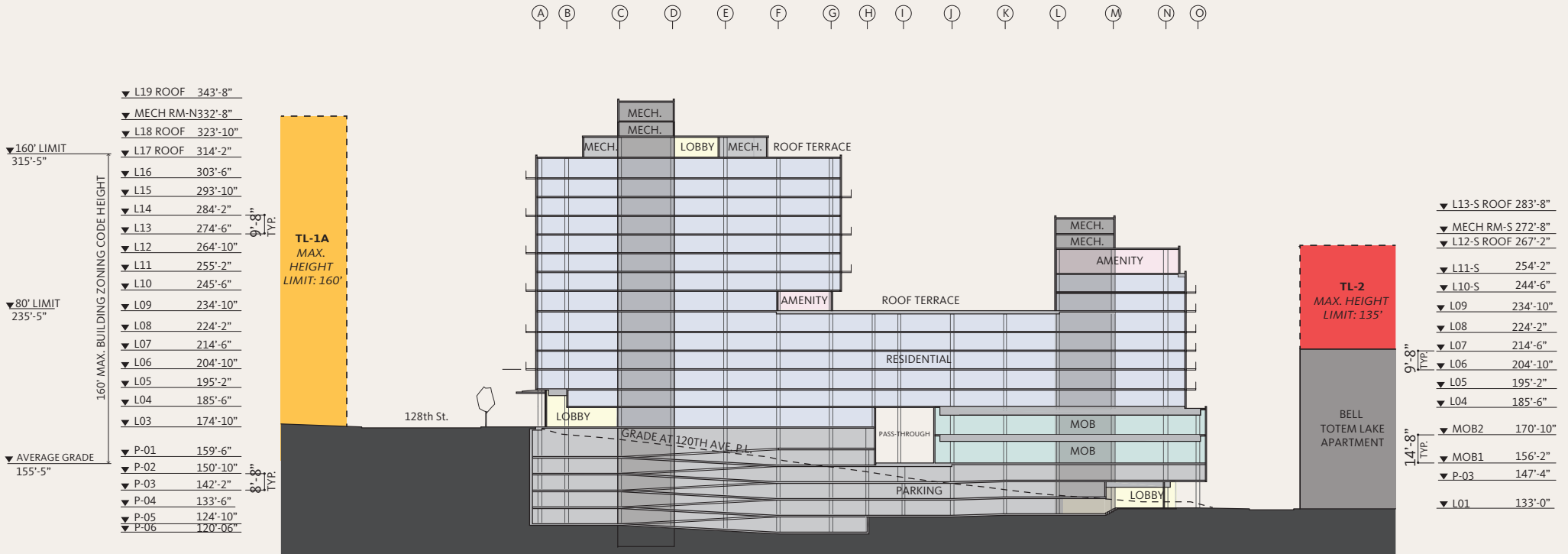
DRC // SITE LIGHTING



DRC // BUILDING SECTIONS

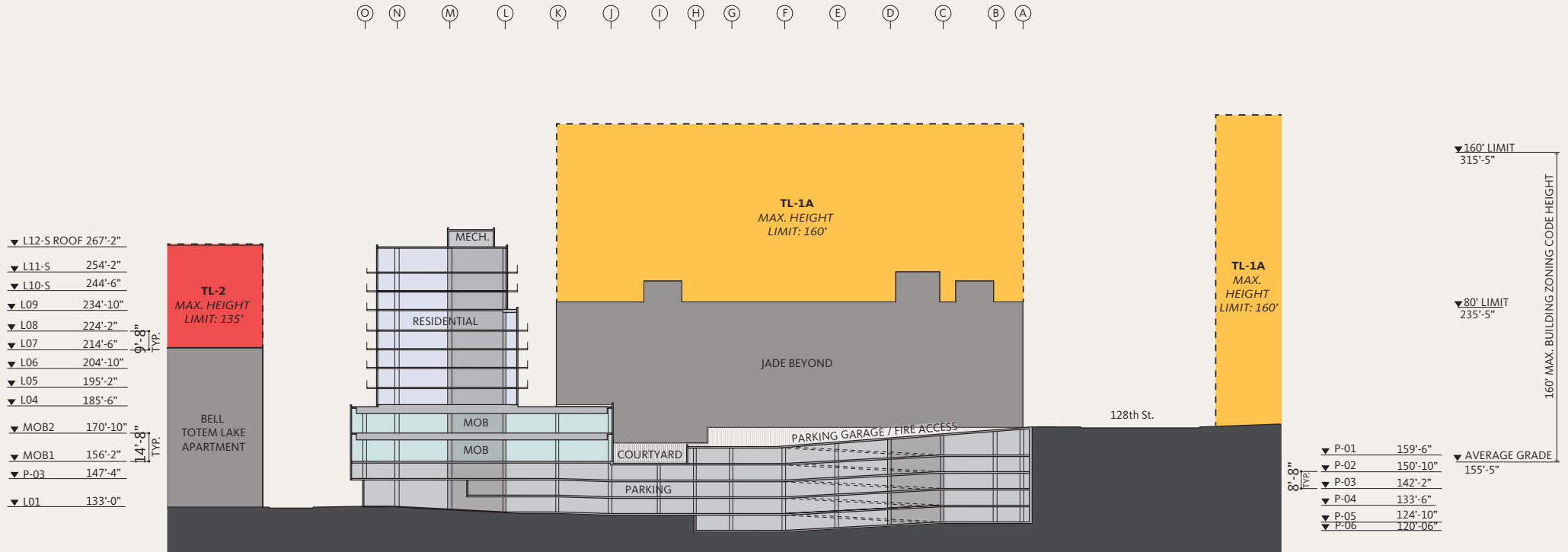


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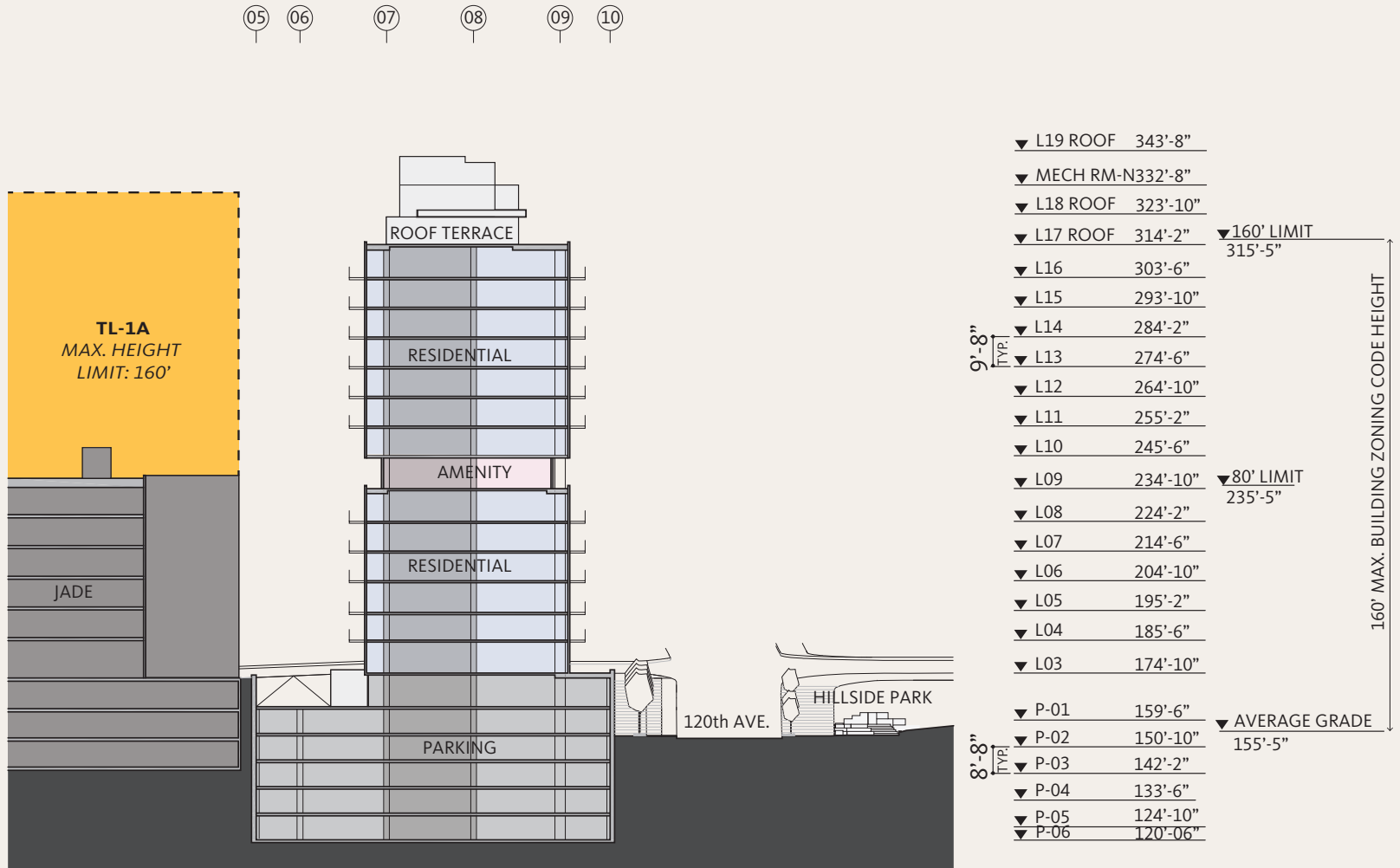
North-South Section AA

DRC // BUILDING SECTIONS



North-South Section BB

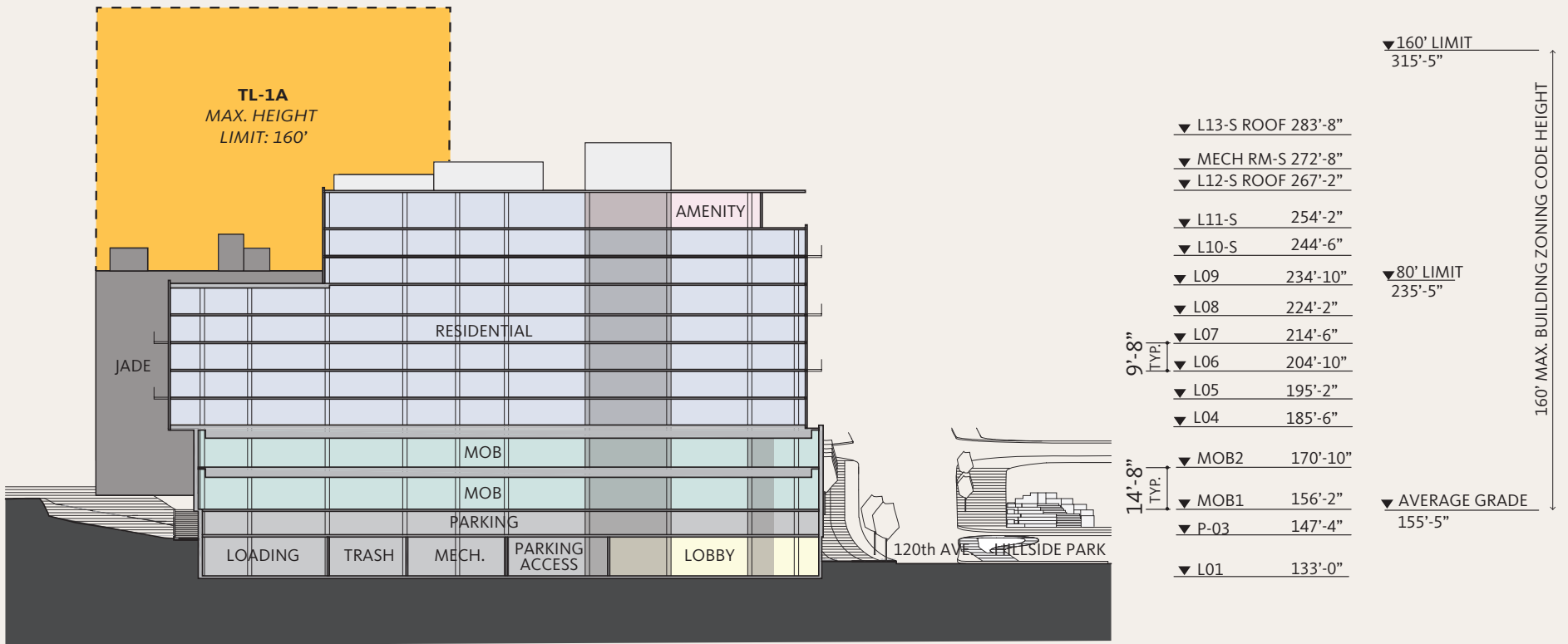
DRC // BUILDING SECTIONS



East-West Section CC

DRC // BUILDING SECTIONS

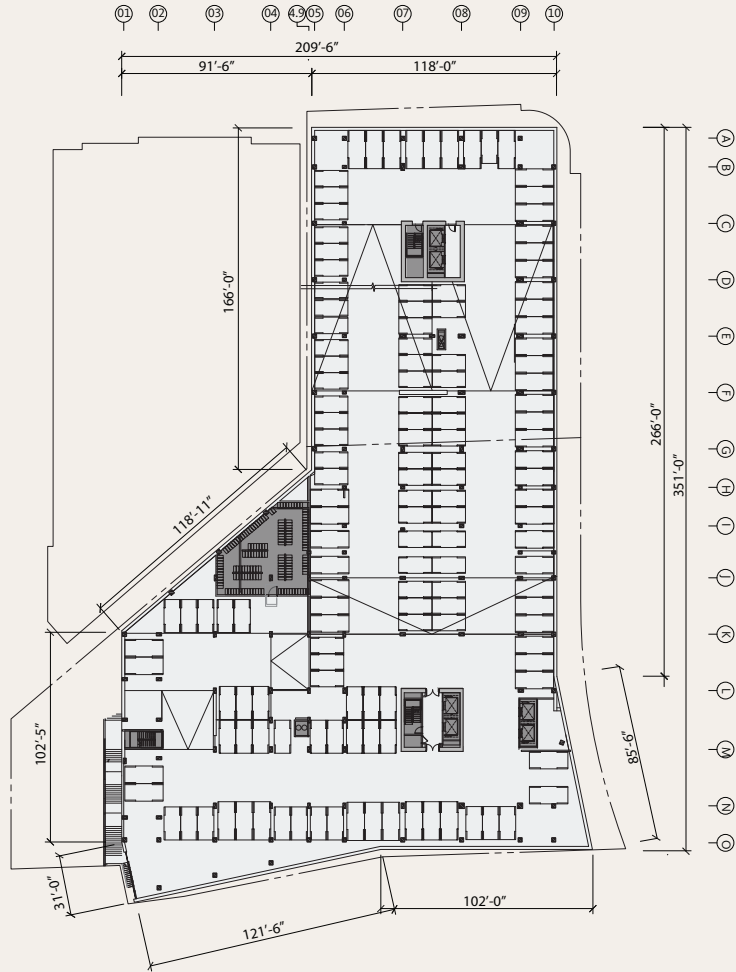
01 02 03 04 4.9 05 06 07 08 09 10



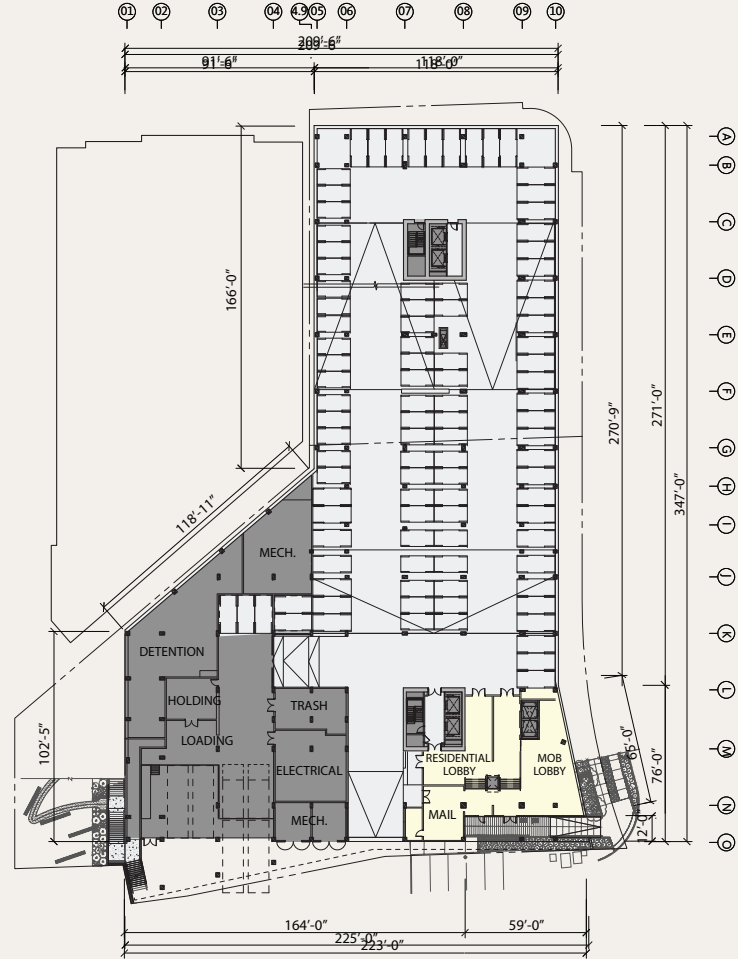
East-West Section DD

DRC // FLOOR PLANS

LEVEL P3 - PARKING (TYP.)

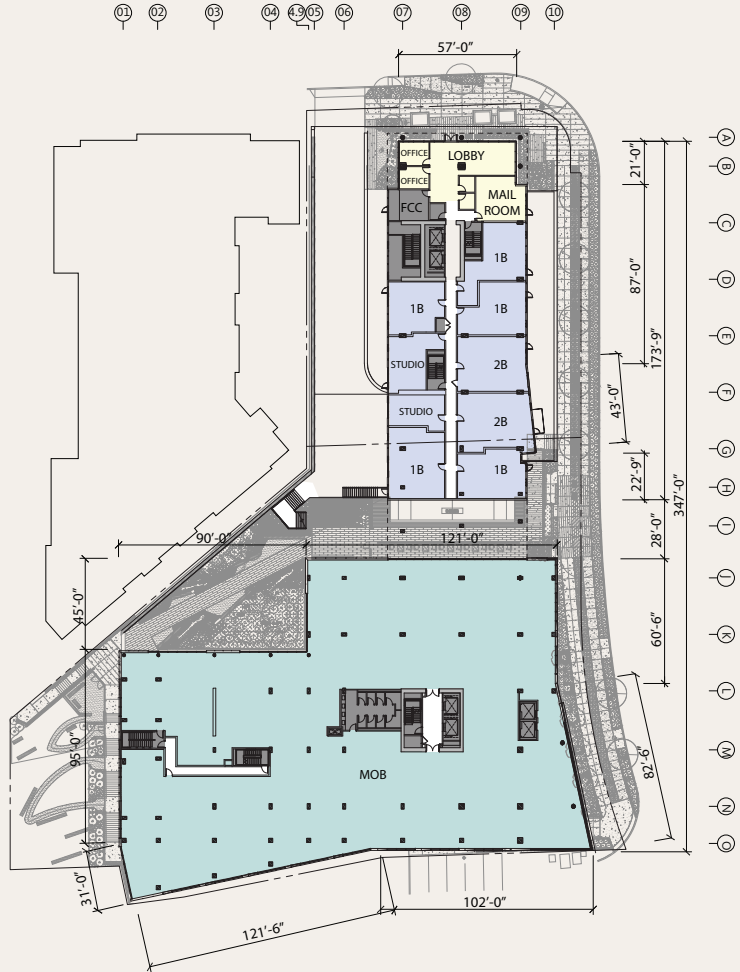


LEVEL 1/P5 - SOUTH ENTRY

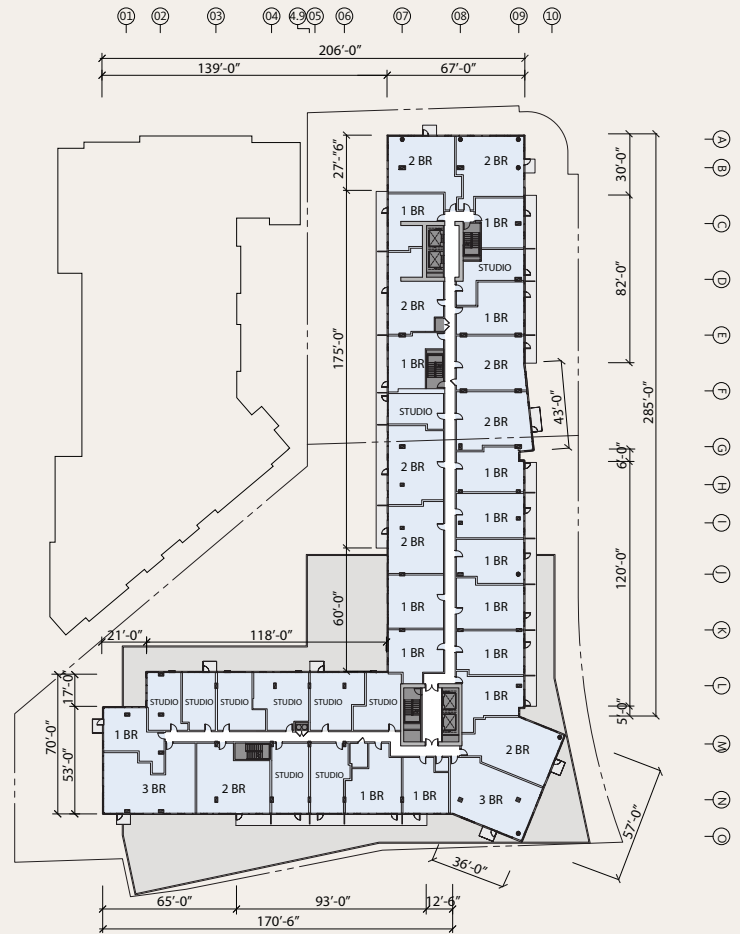


DRC // FLOOR PLANS

LEVEL 3 - OFFICE AND RESIDENTIAL

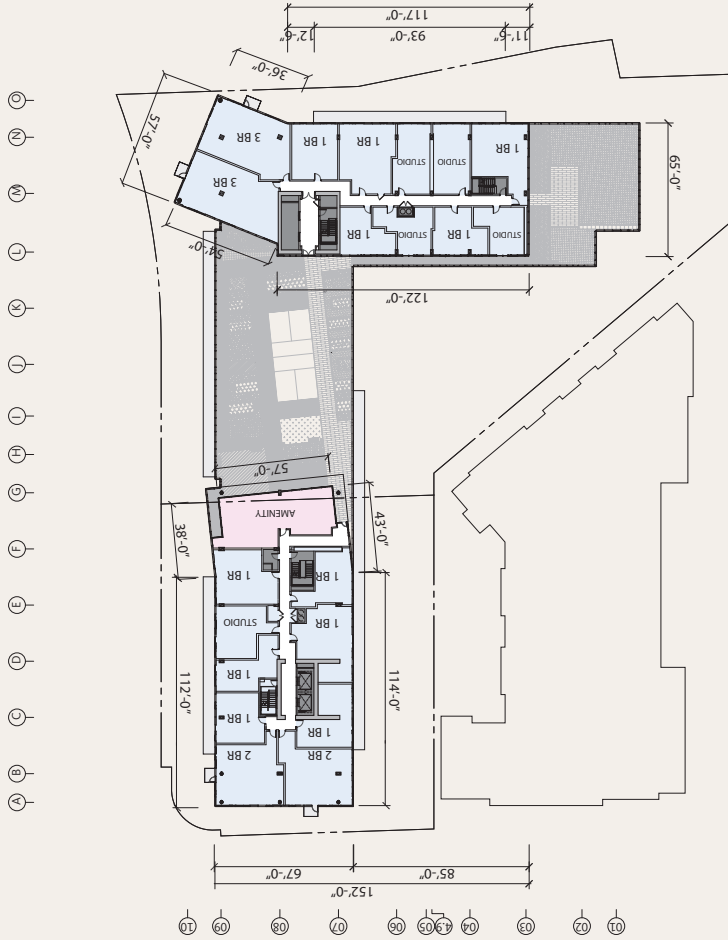


LEVEL 4 - RESIDENTIAL PODIUM (TYP.)

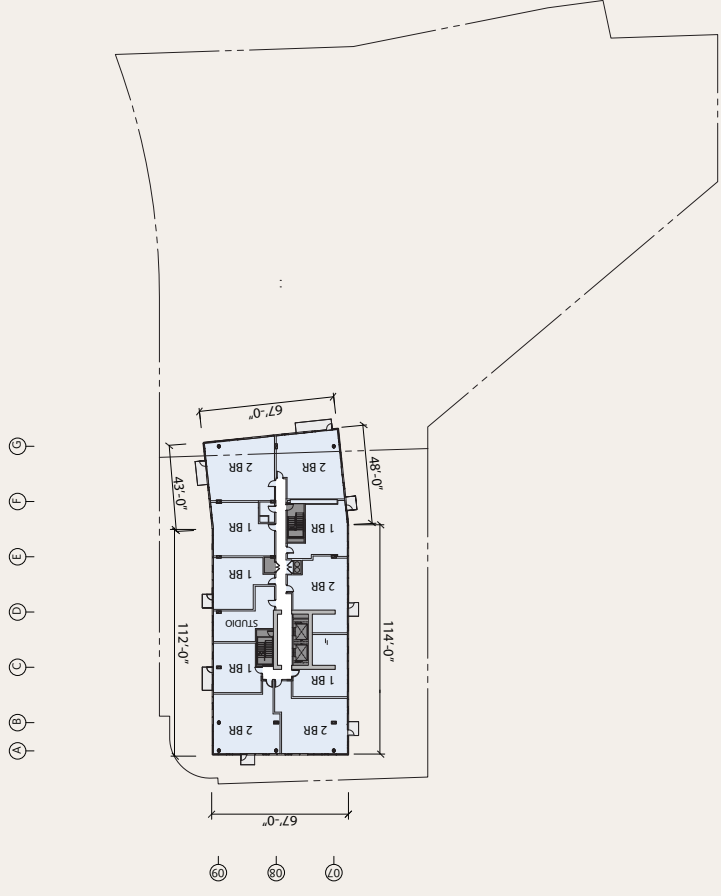


DRC // FLOOR PLANS

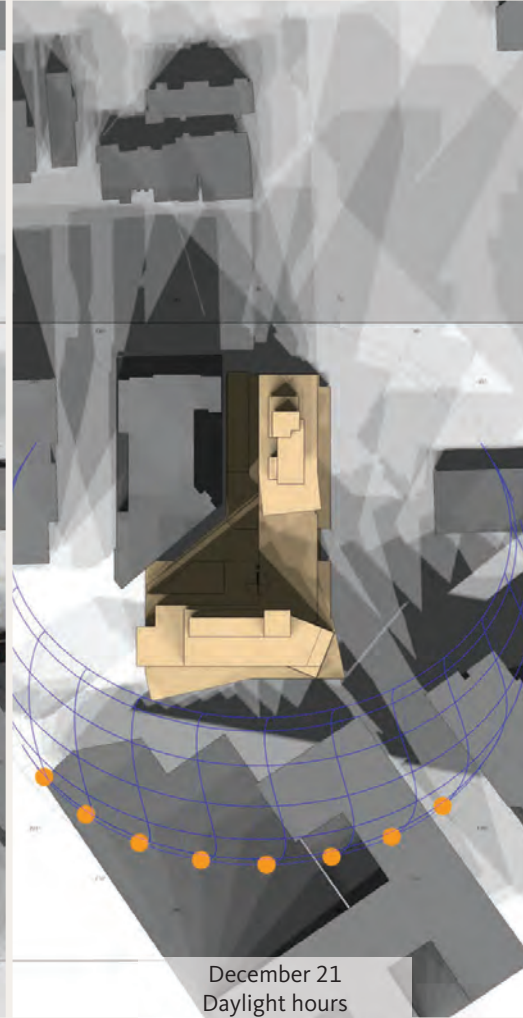
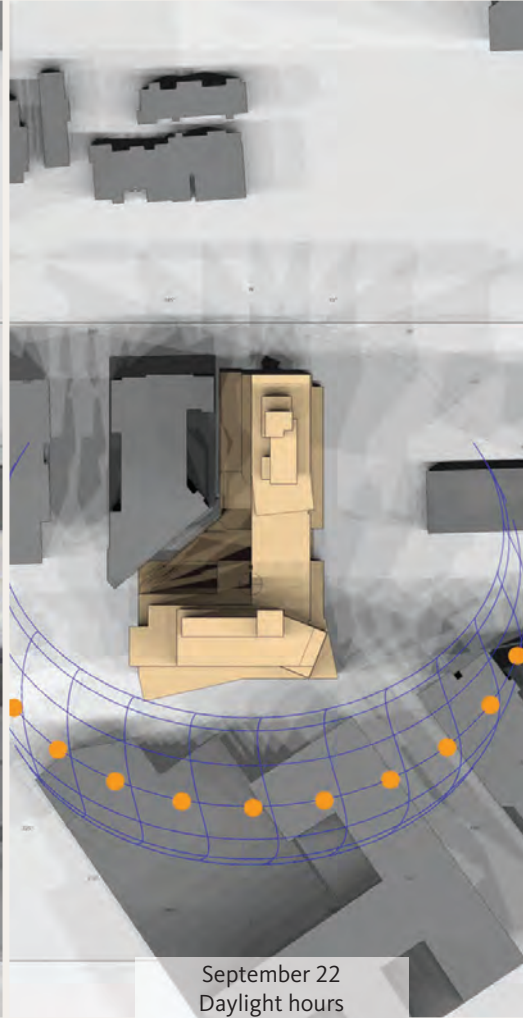
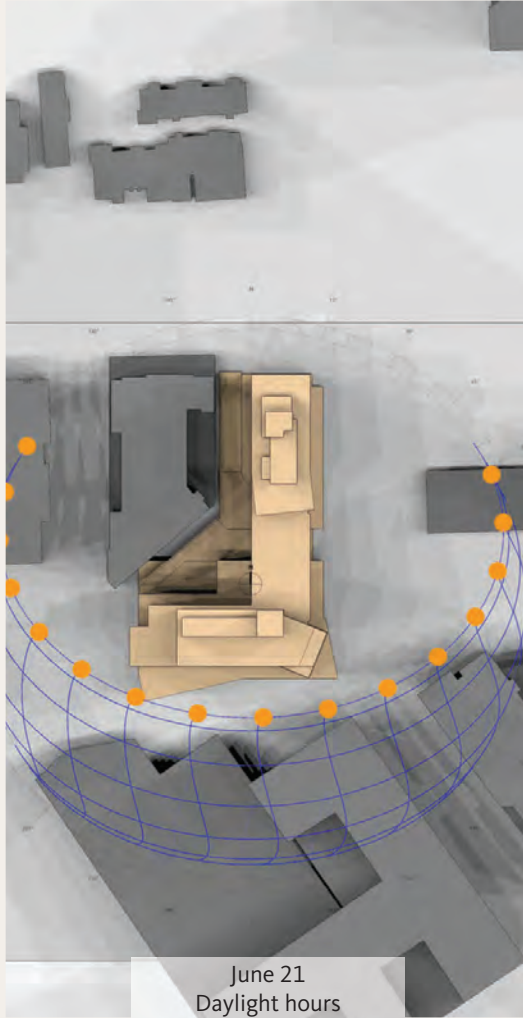
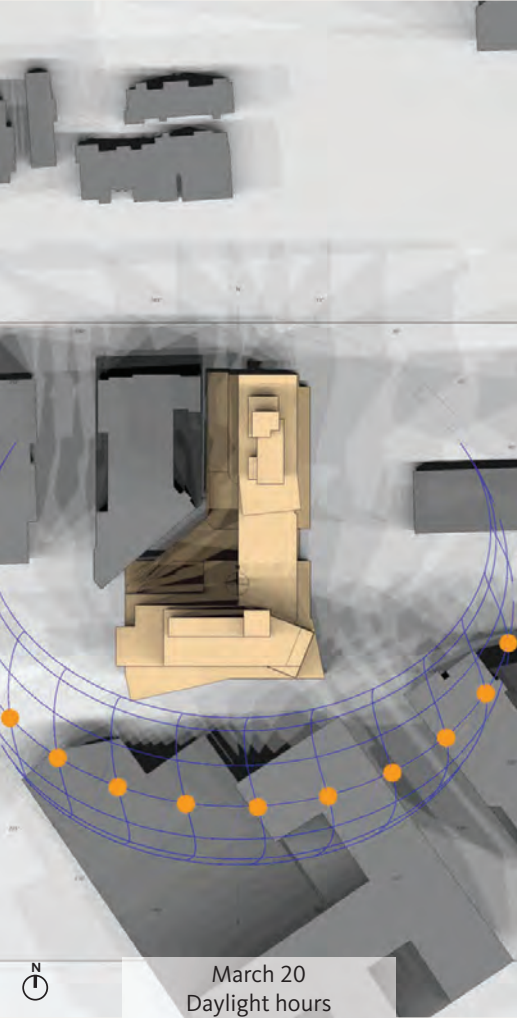
LEVEL 9 - PODIUM TOP



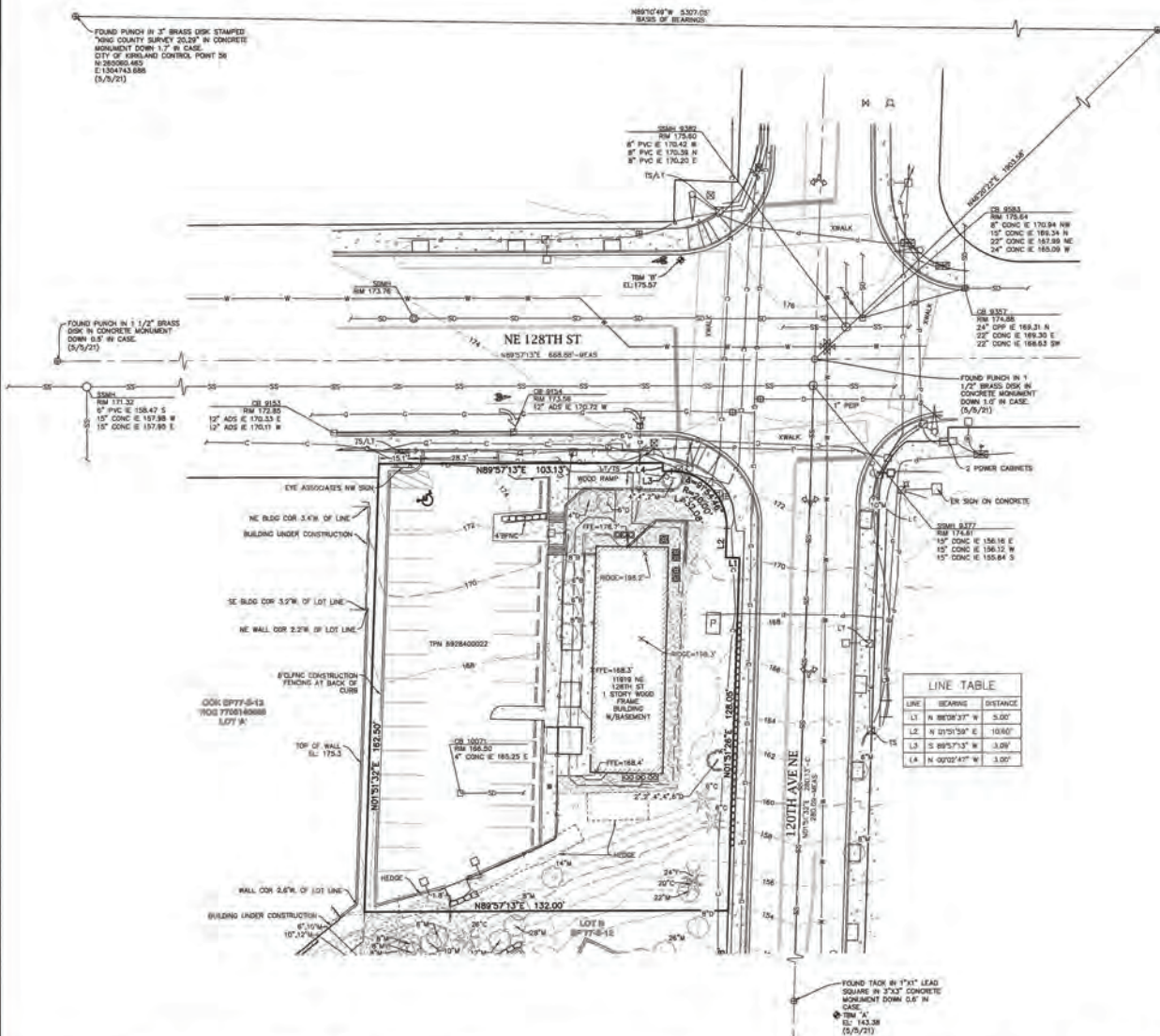
LEVEL 10 - RESIDENTIAL TOWER (TYP.)



DRC // SOLAR STUDIES



ALTA/NSPS LAND TITLE SURVEY



FOUND PUNCH IN 3" BRASS DISK STAMPED
"KING COUNTY SURVEY AND" IN CONCRETE
MONUMENT DOWN 0.5" IN CASE
CITY OF KIRKLAND CONTROL POINT 34
N 28006.402
E 1304743.686
1/6/2021

FOUND PUNCH IN 3" BRASS DISK STAMPED
"KING COUNTY SURVEY AND" IN CONCRETE
MONUMENT DOWN 0.5" IN CASE
CITY OF KIRKLAND CONTROL POINT 34
N 28006.402
E 1304743.686
1/6/2021

FOUND PUNCH IN 1 1/2" BRASS DISK IN CONCRETE MONUMENT
DOWN 1.0" IN CASE
1/6/2021

FOUND PUNCH IN 1 1/2" BRASS DISK IN CONCRETE MONUMENT
DOWN 1.0" IN CASE
1/6/2021

FOUND PUNCH IN 1 1/2" BRASS DISK IN CONCRETE MONUMENT
DOWN 1.0" IN CASE
1/6/2021

FOUND TRACK IN 1" 1/2" LEAD SQUARE IN 3" 3/4" CONCRETE MONUMENT
DOWN 0.6" IN CASE
1/6/2021

MATTERS OF RECORD PER TITLE
COVENANTS AND LEGAL DESCRIPTIONS ARE BASED ON THE ALTA CONTRACT BY CHICAGO TITLE INSURANCE COMPANY, ORDER NO. 211334-SC, DATED APRIL 5, 2021, AT 8:00 A.M.

- SUBJECT TO RIGHT TO ENTER SAID PREMISES TO MAKE REPAIRS AND THE RIGHT TO CUT BRUSH AND TREES WHICH CONSTITUTE A MENACE OR OBSTACLE TO THE EXISTING TRANSMISSION LINE. ADDITIONAL SAID PREMISES AS GRANTED BY INSTRUMENT RECORDED UNDER RECORDING NO. 3008641 - CONTAINED ENTIRELY WITHIN NE 128TH ST.
- SUBJECT TO REINDEMENT OF ACCESS TO STATE HIGHWAY NUMBER 1 AND 2 AND OF LIGHT, VIEW AND AIR BY DEED UNDER RECORDING NUMBER 488866 - DOES NOT AFFECT PARCELS -
- SUBJECT TO RIGHT TO MAKE NECESSARY SLOPES FOR CUTS OF FILL UPON PREMISES HEREIN DESCRIBED AS GRANTED OR RESERVED IN DEED UNDER RECORDING NUMBER 394535 - CONTAINED ENTIRELY WITHIN NE 128TH ST.
- SUBJECT TO CONSIDERATION OF ACCESS TO STATE HIGHWAY NUMBER 1 (SR 400) AND OF LIGHT, VIEW AND AIR BY DEED IN FAVOR OF THE STATE OF WASHINGTON THE KING COUNTY SUPERIOR COURT CASE NUMBER 100538 - DOCUMENT NOT PROVIDED.
- SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS, EJECTA, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND OTHER MATTERS, IF ANY, BUT OTHER THAN ANY COVENANTS OR RESTRICTIONS, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, NATIONAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH ON THE 16th OF PLYMOUTH CENTER, VOLUME 82 OF PLATS, PAGES 86 AND 88 AND AS CORRECTED BY INSTRUMENT UNDER RECORDING NUMBER 170020054.
- SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS BUT GRANTING ANY COVENANTS OR RESTRICTIONS IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, SEXUAL ORIENTATION, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS FORMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT UNDER RECORDING NUMBER 803448 AND 803449.
- SUBJECT TO AGREEMENT REGARDING UNDERGROUND UTILITY MODIFICATION OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS FOR RECORDING NUMBER 770140002 - DOES NOT AFFECT PARCELS -
- SUBJECT TO AGREEMENT AND THE TERMS AND CONDITIONS THEREOF FOR RECORDING NUMBER 803447 - DOES NOT AFFECT PARCELS -
- SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS BUT GRANTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, SEXUAL ORIENTATION, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS FORMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT UNDER RECORDING NUMBER 720020201 - NO PLOTTABLE EASEMENTS -
- SUBJECT TO AGREEMENT REGARDING UNDERGROUND UTILITY MODIFICATION OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS FOR RECORDING NUMBER 720020201 - NO PLOTTABLE EASEMENTS -
- SUBJECT TO AGREEMENT FOR THE PURPOSE AND BIRTH RECORDING NUMBER 8032194 - CONTAINED ENTIRELY WITHIN NE 128TH ST.
- SUBJECT TO TERMS AND CONDITIONS AS NOTED BY ASSIGNMENT OF WORK AND WATER FACILITIES CHARGES, RECORDED UNDER RECORDING NUMBER 920720088 - NO PLOTTABLE EASEMENTS -

REFERENCES

- PLAT 32404 CENTER REC. NO. 8908268
- RECORD OF SURVEY REC. NO. 7562020086
- RECORD OF SURVEY REC. NO. 7562020086
- CITY OF KIRKLAND SHOPP PLAT 17-1-19 REC. NO. 7758140088
- RECORD OF SURVEY REC. NO. 3200432780001
- RECORD OF SURVEY REC. NO. 3200432810006
- THE VILLAGE AT 10TH LAKE-PHASE 1-BIDDING-SITE PLAN AMENDMENT # 7 REC. NO. 2009042000009

ALTA NOTES

THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PARTIES NAMED HEREON AND IS NOT TO BE USED FOR ANY OTHER PURPOSE AND TO ANY UNPAID PARTY WITHOUT EXPRESS REINVESTMENT BY AXIS SURVEY & MAPPING, LLC AND THE PROFESSIONAL SURVEYOR WHOSE SIGNATURE IS SHOWN ON THIS SURVEY.

THIS PROPERTY HAS LEGAL ACCESS TO 120TH AVE NE FOR VEHICLE ACCESS SHOWN HEREON AS PUBLIC HIGHWAY RECORDING NUMBER 20070000149.

THIS SURVEY WAS BASED ON ALTA CONTRACT FROM CHICAGO TITLE INSURANCE COMPANY FILE NO. 211334-SC, DATED APRIL 5, 2021, AT 8:00 A.M.

TABLE A - ITEMS

- SITE ADDRESS: 12707 120TH AVE NE
- AREA: 447,203.57 S.F.
- COURT INTERFERED DERIVED FROM MARKET FIELD OBSERVATION. VERTICAL DATUM: NAVD 83
- SUBSTANTIAL FEATURES OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK ARE SHOWN HEREON.
- LOCATION OF EXISTING UTILITIES SHOWN ON DRAWING. THE SURVEYED PROPERTY AND SHOWN HEREON BASED ON SURFACE EVIDENCE AND UTILITY LOCATOR MARKINGS.
- THERE ARE NO KNOWN PROPOSED CHANGES IN STREET WIDTH OF WAY LINES NOR IS THERE EVIDENCE OF RECENT SUBMITTAL CONSTRUCTION OR REPAIRS ADJACENT TO THE SURVEYED PROPERTY, OBSERVED DURING THE PROCESS OF CONDUCTING THE RECONSTRUCTION.
- ALL PLOTTABLE EASEMENTS, ON AND OFF SITE, ARE SHOWN HEREON.

EQUIPMENT NOTES

PRIMARY CONTROL POINTS AND ACCESSIBLE MONUMENT POSITIONS WERE FIELD MEASURED UTILIZING GLOBAL POSITIONING SYSTEM (GPS) SURVEY TECHNIQUES USING LEICA GS4 GPS/RTK EQUIPMENT EQUIPPED WITH MONUMENT POSITIONS THAT WERE NOT DIRECTLY OBSERVED USING GPS SURVEY TECHNIQUES WERE TIED INTO THE CONTROL POINTS UTILIZING LOCAL ELECTRONIC TOTAL STATIONING FOR THE DETERMINATION OF BEYOND ANGLES AND DISTANCES. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS SET BY MADE 335-136-(08)/099.

NOTES

THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY CONDUCTED ON MAY 18, 2021 AND CAN ONLY BE CONSIDERED AS REFLECTING THE SURVEY CONDITIONS EXISTING AT THAT TIME.

THIS SURVEY ENCLOSES FACTORS OF RECORD AND ON THE DRAWING AFFECTING THE SUBJECT PROPERTY BOUNDARY, BUT IT DOES NOT PURPORT TO LEGALLY RESOLVE RELATED PROPERTY LINE DISPUTES, WHETHER ADJACENT ARE NOTED, AND RECOMMENDS THAT THE OWNER CONSULT WITH LEGAL COUNSEL TO DETERMINE HOW BEST TO PROTECT PROPERTY RIGHTS AND ADDRESS ANY POTENTIAL PROPERTY LINE DISPUTES.

UNDERGROUND UTILITIES WERE LOCATED BASED ON THE SURFACE EVIDENCE OF UTILITIES (PUMP MAINS, SAN GUTS IN MANHOLES, CONCRETE LIDS, ETC.) THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

THIS SURVEY MEETS UNITED STATES NATIONAL MAP ACCURACY STANDARDS FOR VERTICAL ACCURACY OF ONE HALF THE HORIZONTAL INTERVAL.

REV#	DESCRIPTION OF REVISION	DATE	BY
#1			
#2			
#3			
#4			
#5			

2016 ALTA CERTIFICATION
TO MAIN STREET PROPERTY GROUP, LLC, A WASHINGTON LIMITED LIABILITY COMPANY AND CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DATA REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY DISTRIBUTED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 4, 6, 8, 11, 17 AND 19 OF TABLE A HEREIN. THE FIELD WORK WAS COMPLETED ON MAY 18, 2021.

DATE OF PLAN OR MAP: MAY 21, 2021

BRUCE E. BARLEY
REGISTRATION NUMBER: 38479

Axis
Survey & Mapping
15241 NE 26TH ST, SUITE 100
REDMOND, WA 98052
TEL: 425-923-5700
FAX: 425-923-6700

MAIN STREET PROPERTY GROUP, LLC
12332 NE 115TH PL
KIRKLAND, WA 98033

ALTA/NSPS LAND TITLE SURVEY
OF
12707 120TH AVE NE

www.axismap.com

JOB NO.	DATE
21-004	5/21/21
DRAWN BY	CHECKED BY
JM	BEB
SCALE	SHEET
1"=20'	1 OF 1

ALTA/NSPS LAND TITLE SURVEY

MATTERS OF RECORD PER TITLE

1. FOUND PUNCH IN 3" BRASS DISK STAMPED "KING COUNTY SURVEY WORK IN CONCRETE MONUMENT DOWN 1 1/2" IN CASE. N-130500.045 E-130443.588 S-130743.588 (5/9/21)
2. FOUND PUNCH IN 3" BRASS DISK STAMPED "KING COUNTY SURVEY WORK IN CONCRETE MONUMENT DOWN 0.9" IN CASE. CITY OF KING AND CONTROL POINT 54 N-126020.485 E-130473.688 (5/9/21)
3. FOUND PUNCH IN 1 1/2" BRASS DISK IN CONCRETE MONUMENT DOWN 0.5" IN CASE. (5/9/21)
4. FOUND PUNCH IN 3" BRASS DISK STAMPED "KING COUNTY SURVEY WORK IN CONCRETE MONUMENT DOWN 0.9" IN CASE. CITY OF KING AND CONTROL POINT 54 N-126020.485 E-130473.688 (5/9/21)
5. FOUND PUNCH IN 1 1/2" BRASS DISK IN CONCRETE MONUMENT DOWN 1.2" IN CASE. (5/9/21)
6. FOUND PUNCH IN 3" BRASS DISK STAMPED "KING COUNTY SURVEY WORK IN CONCRETE MONUMENT DOWN 0.9" IN CASE. CITY OF KING AND CONTROL POINT 54 N-126020.485 E-130473.688 (5/9/21)
7. FOUND PUNCH IN 3" BRASS DISK STAMPED "KING COUNTY SURVEY WORK IN CONCRETE MONUMENT DOWN 0.9" IN CASE. CITY OF KING AND CONTROL POINT 54 N-126020.485 E-130473.688 (5/9/21)
8. SUBJECT TO REINFORCEMENT OF ACCESS TO STATE HIGHWAY NUMBER 1 AND OF LIGHT, VIEW AND AIR BY DEED UNDER RECORDING NUMBER 465000-NO PLOTTABLE EASEMENTS-
9. SUBJECT TO COORDINATION OF ACCESS TO STATE HIGHWAY NUMBER 1 (DPT AND OF LIGHT, VIEW AND AIR BY DEED IN FAVOR OF THE STATE OF WASHINGTON VIA KING COUNTY SUPERIOR COURT CASE NUMBER 2015-13-NO PLOTTABLE EASEMENTS-
10. SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS, BUT OMITTING ANY COVENANTS OR RESTRICTIONS IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, MARITAL STATUS, OR NATIONAL ORIGIN UNLESS AND ONLY TO THE EXTENT THAT SAID COVENANT (A) IS EXEMPT UNDER TITLE 42, SECTION 3607 OF THE UNITED STATES CODE OR (B) RELATES TO HANGAR BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PERSONS, AS PROVIDED IN AN INSTRUMENT FOR RECORDING NUMBER 698222-NO PLOTTABLE EASEMENTS-
11. SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, PROVISIONS, DESIGNATIONS AND MATTERS RELIANT ON OR CONTROLLED BY THE PLAT OF PAVEMENT CENTER, RECORDED BY OFFICIAL RECORDS UNDER RECORDING NUMBER 698222-NO PLOTTABLE EASEMENTS-
12. SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, PROVISIONS, DESIGNATIONS AND MATTERS RELIANT ON OR CONTROLLED BY THE PLAT OF PAVEMENT CENTER, RECORDED BY OFFICIAL RECORDS UNDER RECORDING NUMBER 698222-NO PLOTTABLE EASEMENTS-
13. SUBJECT TO AN EASEMENT AFFECTING THAT PORTION OF SAID LAND FOR WATER MAINS AND APPURTENANCES FOR RECORDING NUMBER 707290417-DOCUMENT ELEGIBLE-
14. SUBJECT TO AN EASEMENT AFFECTING THAT PORTION OF SAID LAND FOR UNDERGROUND ELECTRIC TRANSMISSION AND DISTRIBUTION SYSTEM TOGETHER WITH ALL NECESSARY OR CONVENIENT APPURTENANCES FOR RECORDING NUMBER 707290424-AS CONSTRUCTED-
15. SUBJECT TO AN EASEMENT FOR A CENTRAL UNDERGROUND WATER DISTRIBUTION SYSTEM AND ALL APPURTENANCES THEREON, SERVING TOTAL LAND CENTER ESTABLISHMENT OF CHANDLER, WAXPAC OF COMPANY, PORT OF EXIST, OPERATIONAL, MAINTENANCE, REPAIR, REPLACEMENT, DILIGENCE AND RELIANCE FOR RECORDING NUMBER 707290425-NO PLOTTABLE EASEMENTS-
16. SUBJECT TO TERMS AND PROVISIONS CONTAINED IN A INSTRUMENT UNDER RECORDING NUMBER 707049084-NO PLOTTABLE EASEMENTS-
17. SUBJECT TO AN EASEMENT AFFECTING THAT PORTION OF SAID LAND FOR UNDERGROUND ELECTRIC TRANSMISSION AND DISTRIBUTION SYSTEM TOGETHER WITH ALL NECESSARY OR CONVENIENT APPURTENANCES FOR RECORDING NUMBER 707049084-AS CONSTRUCTED-
18. SUBJECT TO AN EASEMENT AFFECTING THAT PORTION OF SAID LAND FOR WATER MAINS (WATER LINES) WITH THE NECESSARY APPURTENANCES FOR RECORDING NUMBER 707140063-AS CONSTRUCTED-
19. SUBJECT TO AN EASEMENT AFFECTING THAT PORTION OF SAID LAND FOR WATER MAINS (WATER LINES) WITH THE NECESSARY APPURTENANCES FOR RECORDING NUMBER 707140063-AS CONSTRUCTED-
20. SUBJECT TO AN EASEMENT AFFECTING THAT PORTION OF SAID LAND FOR STORM DRAINAGE AND CONVEYANCE AND MAINTENANCE THEREOF FOR RECORDING NUMBER 810462275-AS CONSTRUCTED-
21. SUBJECT TO AN EASEMENT AFFECTING THAT PORTION OF SAID LAND FOR MAINTENANCE, REPAIR AND OPERATION OF A STORM DRAIN FOR RECORDING NUMBER 810462276-AS CONSTRUCTED-
22. SUBJECT TO AN EASEMENT AFFECTING THAT PORTION OF SAID LAND FOR STORM DRAINAGE AND CONSTRUCTION USE AND MAINTENANCE THEREOF FOR RECORDING NUMBER 810462288-
23. SUBJECT TO TERMS AND CONDITIONS OF A UNLAWFUL AREAS RESERVATION AGREEMENT ENTERED INTO BETWEEN KING COUNTY SUPERIOR COURT AND THE UNDEVELOPED SETTLEMENT AGREEMENT (SIC) ENTERED INTO BY KING COUNTY SUPERIOR COURT CASE NUMBER 01-2-26799-0-SEA-DOCUMENT NOT PROVIDED-
24. SUBJECT TO AGREEMENT FOR ESTABLISHMENT OF EASEMENT FOR RECORDS, EGRESS AND PARKING FOR RECORDING NUMBER 20020292098-
25. SAID EASEMENT SUPERSEDES AND REVOKES THE "OLD EASEMENT" ESTABLISHED BY INSTRUMENTS RECORDED UNDER RECORDING NUMBERS 781170274 AND 83191151 (A-R)-RECORDS OF EASEMENT RECORDED UNDER RECORDING NO. 831202023-
26. SUBJECT TO AGREEMENT FOR PARKING RECONSTRUCTION, SITE IMPROVEMENT AND COORDINATION AGREEMENT FOR RECORDING NUMBER 20030276000000- EASEMENT DESCRIPTION NOT IN DOCUMENT-
27. SUBJECT TO TERMS AND PROVISIONS CONTAINED IN AN INSTRUMENT UNDER RECORDING NUMBER 20030276000000-NO PLOTTABLE EASEMENTS-
28. SUBJECT TO TERMS AND PROVISIONS CONTAINED IN AN INSTRUMENT UNDER RECORDING NUMBER 20030276000000-NO PLOTTABLE EASEMENTS-
29. SUBJECT TO TERMS AND PROVISIONS CONTAINED IN AN INSTRUMENT RELATING TO NOTICE OF CHANGES IN WATER, SEWER AND GAS STORM AND SURFACE WATER FOR RECORDING NUMBER 200700000000-NO PLOTTABLE EASEMENTS-



BASIS OF BEARINGS

Held a bearing of NORTH 85°15'45" WEST BETWEEN CITY OF KIRKLAND CONTROL POINTS 54 AND 55.

DATUM

HORIZONTAL DATUM: NAD 83/81 PLAIN CITY OF KIRKLAND SURVEY CONTROL. VERTICAL DATUM: NAD 83 PER CITY OF KIRKLAND SURVEY CONTROL.

ORDINATE BEENCHMARK

TBM 'W' OF AN EASEMENT IN CASE AT THE CENTER OF THE INTERSECTION OF 120TH AVE NE AND AC 132ND SE. E. 311.58' ELEVATION: 216.79'

TEMPORARY BENCHMARK

TBM 'W' OF AN EASEMENT IN CASE AT THE CENTER OF THE INTERSECTION OF 120TH AVE NE AND AC 132ND SE. E. 311.58' ELEVATION: 143.18'

TEMPORARY BENCHMARK

TBM 'W' SET CORNER 'W' AT THE CORNER CORNER BENCHMARK STAMPED CORNER CROSSHAIR 9.5' SOUTH OF SOUTHWEST LOT CORNER. ELEVATION: 133.48'

LEGAL DESCRIPTION

LOT 8 OF CITY OF KIRKLAND SHORT PLAT 14, T1-5-15, RECORDED JAN. 14, 1977 UNDER RECORDING NO. 700616888 IN KING COUNTY, WASHINGTON.

TOGETHER WITH THAT PORTION OF TRACT 8 OF PLAT 14 BEING CENTER, INTERSECTION OF THE PLAT THEREOF RECORDED IN VOLUME 07 OF PLATS, RANGES 86 AND 88, IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF LOT 8 AS SHOWN ON THAT SURVEY RECORDED IN VOLUME 07 OF PLATS, RANGES 86 AND 88, IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

SUBJECT TO AN EASEMENT AFFECTING THAT PORTION OF SAID LAND FOR UNDERGROUND ELECTRIC TRANSMISSION AND DISTRIBUTION SYSTEM TOGETHER WITH ALL NECESSARY OR CONVENIENT APPURTENANCES FOR RECORDING NUMBER 707049084-

SUBJECT TO AN EASEMENT AFFECTING THAT PORTION OF SAID LAND FOR WATER MAINS (WATER LINES) WITH THE NECESSARY APPURTENANCES FOR RECORDING NUMBER 707140063-

SUBJECT TO AN EASEMENT AFFECTING THAT PORTION OF SAID LAND FOR WATER MAINS (WATER LINES) WITH THE NECESSARY APPURTENANCES FOR RECORDING NUMBER 707140063-

SUBJECT TO AN EASEMENT AFFECTING THAT PORTION OF SAID LAND FOR STORM DRAINAGE AND CONSTRUCTION USE AND MAINTENANCE THEREOF FOR RECORDING NUMBER 810462275-

SUBJECT TO AN EASEMENT AFFECTING THAT PORTION OF SAID LAND FOR MAINTENANCE, REPAIR AND OPERATION OF A STORM DRAIN FOR RECORDING NUMBER 810462276-

SUBJECT TO AN EASEMENT AFFECTING THAT PORTION OF SAID LAND FOR STORM DRAINAGE AND CONSTRUCTION USE AND MAINTENANCE THEREOF FOR RECORDING NUMBER 810462288-

SUBJECT TO TERMS AND CONDITIONS OF A UNLAWFUL AREAS RESERVATION AGREEMENT ENTERED INTO BETWEEN KING COUNTY SUPERIOR COURT AND THE UNDEVELOPED SETTLEMENT AGREEMENT (SIC) ENTERED INTO BY KING COUNTY SUPERIOR COURT CASE NUMBER 01-2-26799-0-SEA-DOCUMENT NOT PROVIDED-

SUBJECT TO AGREEMENT FOR ESTABLISHMENT OF EASEMENT FOR RECORDS, EGRESS AND PARKING FOR RECORDING NUMBER 20020292098-

SAID EASEMENT SUPERSEDES AND REVOKES THE "OLD EASEMENT" ESTABLISHED BY INSTRUMENTS RECORDED UNDER RECORDING NUMBERS 781170274 AND 83191151 (A-R)-RECORDS OF EASEMENT RECORDED UNDER RECORDING NO. 831202023-

SUBJECT TO AGREEMENT FOR PARKING RECONSTRUCTION, SITE IMPROVEMENT AND COORDINATION AGREEMENT FOR RECORDING NUMBER 20030276000000- EASEMENT DESCRIPTION NOT IN DOCUMENT-

SUBJECT TO TERMS AND PROVISIONS CONTAINED IN AN INSTRUMENT UNDER RECORDING NUMBER 20030276000000-NO PLOTTABLE EASEMENTS-

SUBJECT TO TERMS AND PROVISIONS CONTAINED IN AN INSTRUMENT UNDER RECORDING NUMBER 20030276000000-NO PLOTTABLE EASEMENTS-

SUBJECT TO TERMS AND PROVISIONS CONTAINED IN AN INSTRUMENT RELATING TO NOTICE OF CHANGES IN WATER, SEWER AND GAS STORM AND SURFACE WATER FOR RECORDING NUMBER 200700000000-NO PLOTTABLE EASEMENTS-

TABLE A ITEMS

1. SITE AREA: 147,017 SQ. FT.
2. SITE AREA: 44,243.25 SQ. FT.
3. OFF-ROAD APPEAL DENIES FROM SWEET KIELD OBSERVATION.
4. SUBSTANTIAL DEFICIENCIES OBSERVED IN THE PROCESS OF CONDUCTING THE FOLLOWING ARE SHOWN HEREIN.
5. LOCATION OF EXISTING UTILITIES ON OR WITHIN THE SURVEYED PROPERTY, INCLUDING BUT NOT LIMITED TO, WATER, SEWER, GAS, AND UTILITY LOCATOR MARKINGS.
6. THERE ARE NO KNOWN PROPOSED CHANGES IN TRICER 2012 SET OF BAY LINES, NOR IS THERE EVIDENCE OF RECENT SURVEILLANCE CONSTRUCTION OF BAY LINES ADJACENT TO THE SURVEYED PROPERTY, SHOWING DURING THE PROCESS OF CONDUCTING THE FOLLOWING.
7. ALL PLOTTABLE EASEMENTS, ON AND OFF SITE, ARE SHOWN HEREIN.

EQUIPMENT NOTES

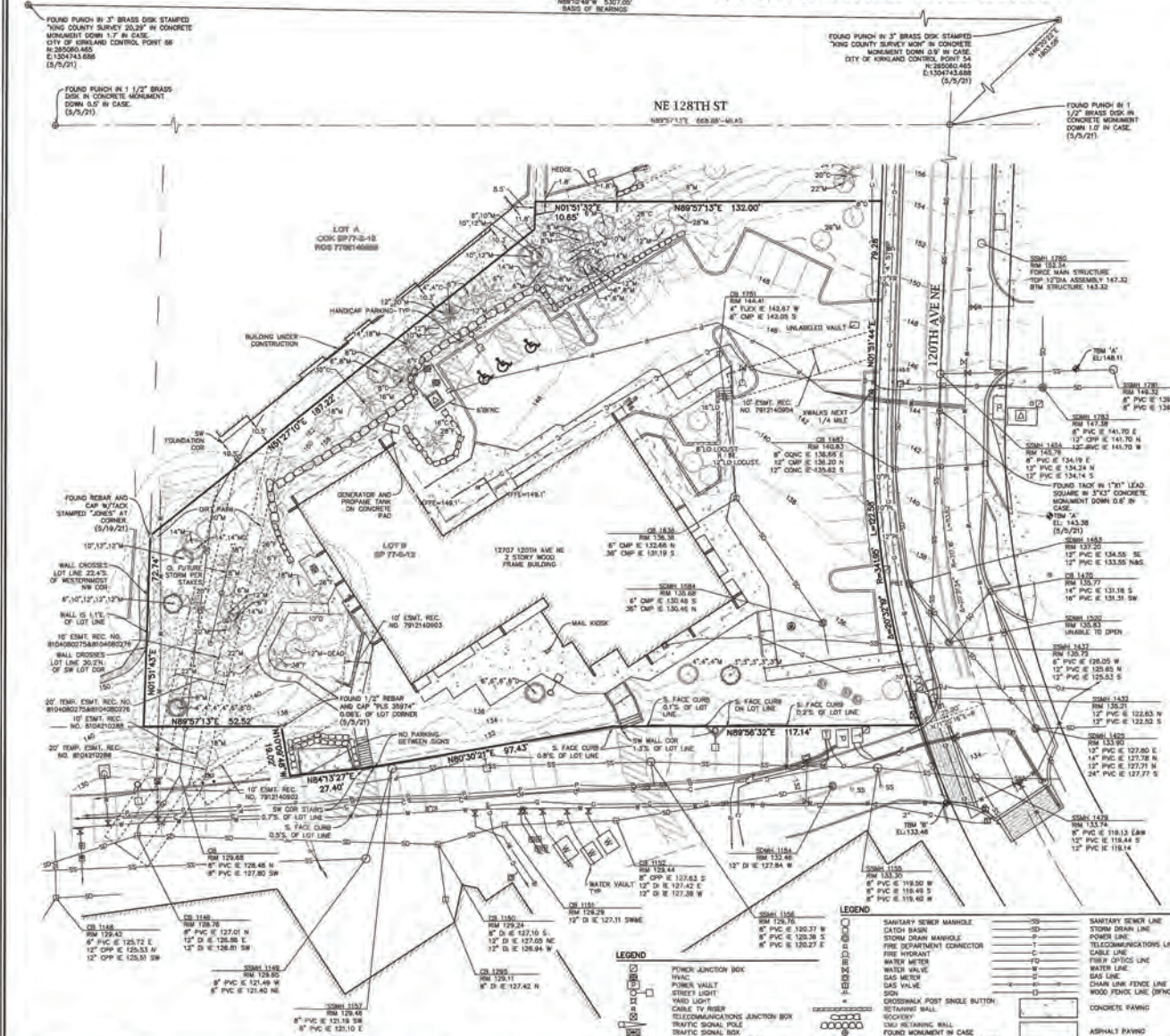
PRIMARY CONTROL POINTS AND ACCESSIBLE MONUMENT POINTS WERE FIELD MEASURED USING LEICA C404 GPS CONTROL EQUIPMENT. MONUMENT POINTS THAT WERE NOT DIRECTLY OBSERVED DURING THIS SURVEY WERE MEASURED TO THE CLOSEST POINTS USING LEICA ELECTRONIC TOTAL STATIONS FOR THE MEASUREMENT OF DISTANCE AND DISTANCE. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS SET BY NCE 332-1300-08/2000.

REFERENCES

1. PLAT 14, NW 1/4, SEC. 28, TWP. 26N., RGE. 5E., W.M. CITY OF KIRKLAND, KING COUNTY, WASHINGTON
2. RECORDS OF SURVEY RECORDED NUMBER 707049084
3. RECORDS OF SURVEY RECORDED NUMBER 707140063
4. CITY OF KIRKLAND SHORT PLAT 14, T1-5-15, RECORDED JAN. 14, 1977 UNDER RECORDING NO. 700616888
5. RECORDS OF SURVEY RECORDED NUMBER 20030276000000
6. RECORDS OF SURVEY RECORDED NUMBER 20030276000000
7. THE WELLS AT TOWER LANE-FAZE-1-BENCHING SITE PLAN AMENDMENT #1 REC. NO. 200004000000

SE 1/4, NW 1/4, SEC. 28, TWP. 26N., RGE. 5E., W.M. CITY OF KIRKLAND, KING COUNTY, WASHINGTON

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REV#	DESCRIPTION OF REVISION	DATE	BY
#1			
#2			
#3			
#4			

2016 ALTA CERTIFICATION
TO MAIN STREET PROPERTY GROUP, LLC, A WASHINGTON LIMITED LIABILITY COMPANY AND OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY:
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, CORRECTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 4, 5, 6, 11, 17 AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 19, 2021.
DATE OF PLAT OR MAP: MAY 21, 2021
BRUCE E. BAELEY
REGISTRATION NUMBER: 38479

MAIN STREET PROPERTY GROUP, LLC
13332 NE 115TH PL, KIRKLAND, WA 98033

ALTA/NSPS LAND TITLE SURVEY
OF
12707 120TH AVE NE

JOB NO. 21-004	DATE 5/21/21
DRAWN BY BJB	CHECKED BY BJB
SCALE: 1"=20'	SHEET 1 OF 1

SWYFT

MAINSTREET PROPERTY GROUP, LLC
 11925 Northeast 128th Street
 Kirkland, WA 98034

Gensler

1200 Sixth Avenue
 Suite 1900
 Seattle, WA 98101
 United States
 Tel: 206.664.2100
 Fax: 206.664.2121

Date Description

GENERAL NOTES

Municipal Stamp

Seal / Signature

NOT FOR CONSTRUCTION

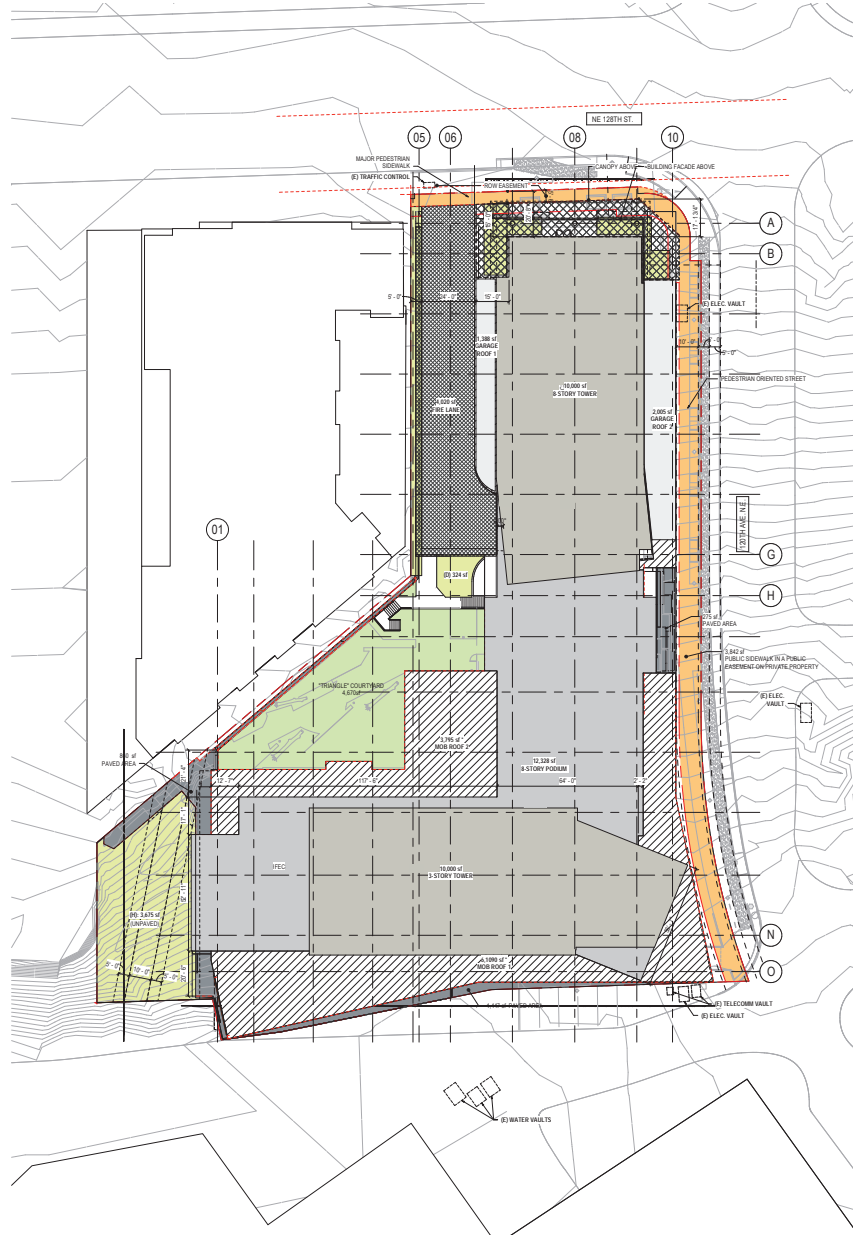
Project Name
 MainStreet Property Group

Project Number
 032.6475.000

Description
 SITE PLAN

Scale
 1" = 20'-0"

AS0.001



01 SITE PLAN
 SCALE: 1" = 20'-0"