

DRC // SCALE REFINEMENT



10 - South mass and scale // Rooftop facing Northwest

SUGGESTED DESIGN GUIDELINE TECHNIQUES TO USE

Architectural building elements such as arcades, balconies, bay windows, roof decks, trellises, landscaping, awnings, cornices, friezes, art concepts, and courtyards should be encouraged.

Vertical building modulation should be used to add variety and to make large buildings appear to be an aggregation of smaller buildings.

Horizontal building modulation may be used to reduce the perceived mass of a building and to provide continuity at the ground level of large building complexes. Building design should incorporate strong pedestrian-oriented elements at the ground level and distinctive roof treatments.

- ① Roof top amenity provides distinct change in roof line
- ② Roof edge with contrasting material, acts as a clean cornice line to cap the top of the building
- ③ Vertical roof modulation at building core to conceal mechanical requirements
- ④ Covered outdoor amenity space with perimeter seating to activate the edges
- ⑤ Integrated landscape at roof perimeter
- ⑥ Health and wellness focused podium top with communal gardens
- ⑦ Perimeter walking zone
- ⑧ Pickle ball court

B / **PEDESTRIAN ORIENTED ELEMENTS**

DRC // PEDESTRIAN ORIENTED ELEMENTS



11 - North entry // Looking Southwest along NE 128th Street

SUGGESTED DESIGN GUIDELINE TECHNIQUES TO USE

All building fronts should have pedestrian-friendly features and be well lit.

On pedestrian-oriented streets should be encouraged to have upper-story activities overlooking the street. Successful pedestrian-oriented plazas are generally located in sunny areas along a well-traveled pedestrian route. Plazas must provide plenty of sitting areas and amenities and give people a sense of enclosure and safety.

Where unavoidable, blank walls should be treated with landscaping, art, or other architectural treatments.

The intrusive qualities of parking garages must be mitigated. In pedestrian areas, ground-level retail uses, or appropriate pedestrian spaces should be required. Also, extensive landscaping should be required near residential areas and in high visibility locations.

On hillsides and near residential areas the stepping back or terracing of upper stories should be considered to reduce scale

- 01 Facade set back to provide 15' deep pedestrian accessible area along building entry creating larger public entry plaza
- 02 Direct pedestrian access with overhead weather protection and integrated lighting for visibility and security
- 03 Structural columns exposed to provide scale and detail
- 04 Clear glass providing visual connection to interior
- 05 Pedestrian bench seating under cover as an amenity along major access
- 06 Landscaping to soften edges
- 07 Concrete paving with distinctive scoring and scale change on property to highlight entry
- 08 Facade steps back from podium at hill climb
- 09 Podium top includes outdoor resident patios to activities at street level

DRC // PEDESTRIAN ORIENTED ELEMENTS



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Swift Bird Murmuration



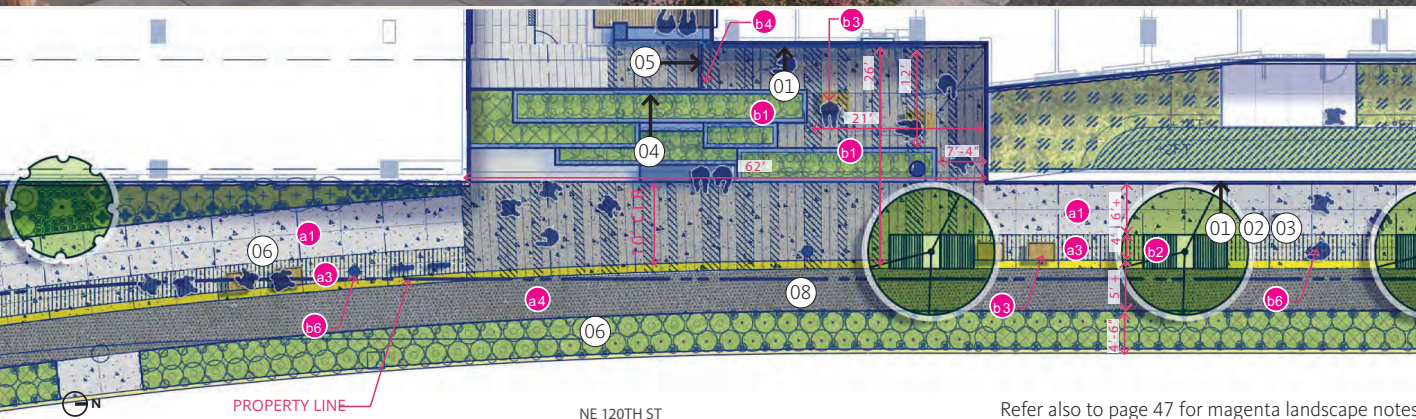
Proposed Swyft Murmuration Graphic

DRC // PEDESTRIAN ORIENTED ELEMENTS



12 - 120th Avenue NE Facade

DRC // PEDESTRIAN ORIENTED ELEMENTS



13 - 120th Sidewalk // Looking Northwest along 120th Avenue NE

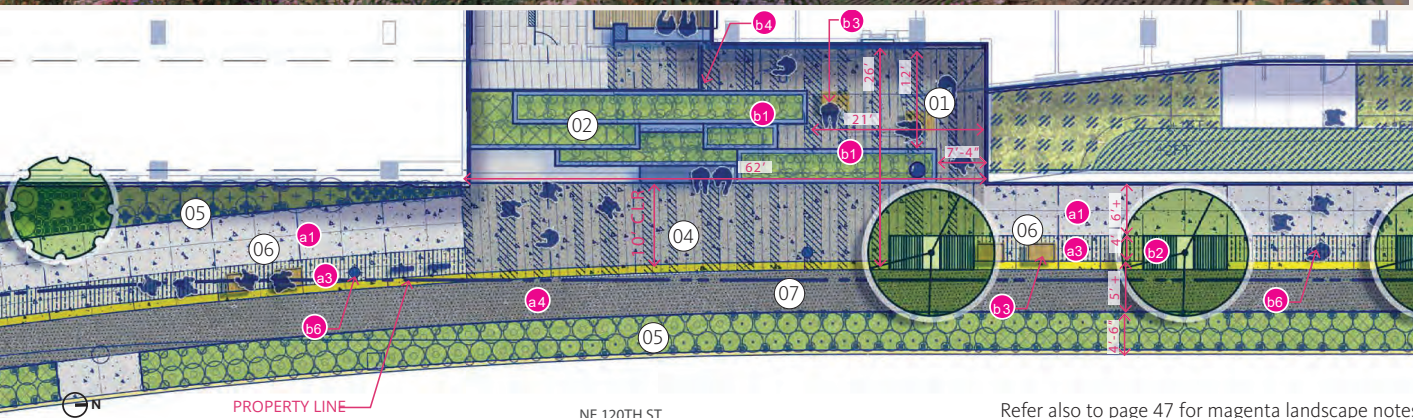
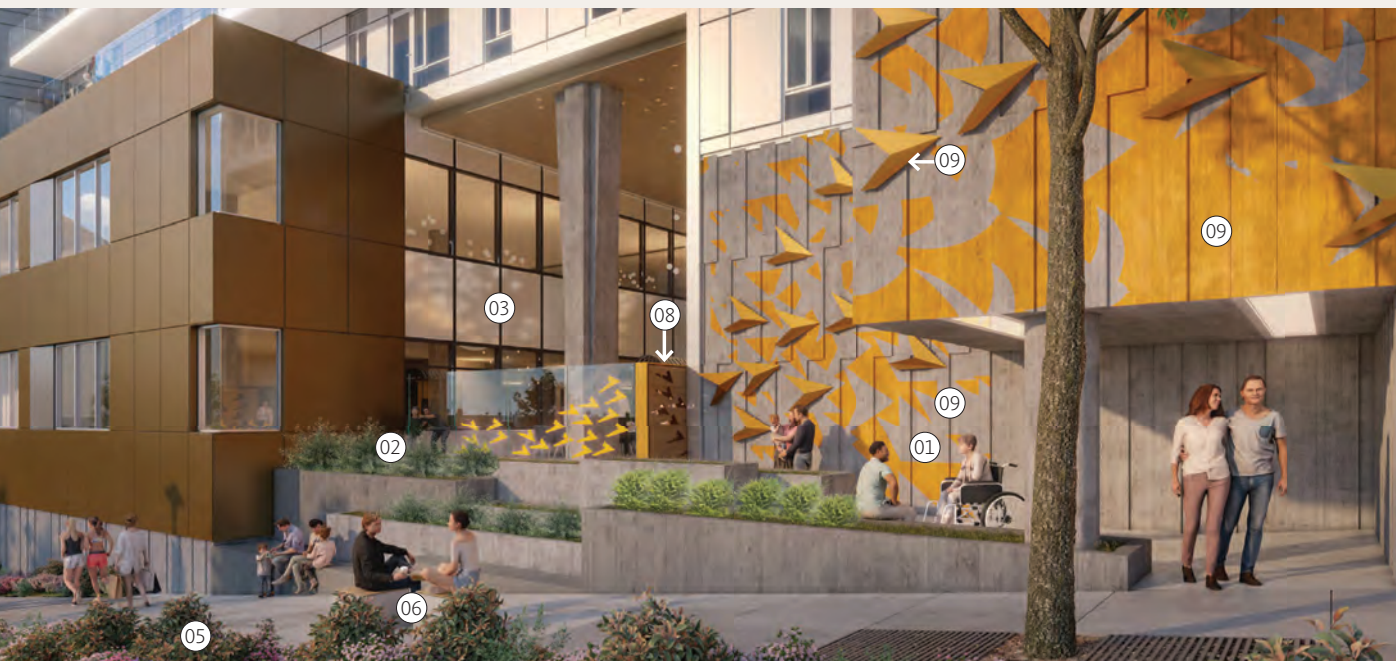
Refer also to page 47 for magenta landscape notes

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- 01 Board-formed concrete wall providing material interest, texture and pop of color.
- 02 Continuous painted mural with graphic representation of the swift bird. Mural dissipates towards the upper north end.
- 03 Three dimensional graphic, sculptural metal birds attached to concrete wall an woven into mural. Birds fade out towards the upper northern end.
- 04 Graphic bird decal applied to glass guardrail
- 05 Gate that includes the bird pattern cut out
- 06 Continuous perimeter landscaped edge with Intermittent seating as street furniture
- 07 Murmuration light fixture in pass through
- 08 Dedicated bike lane

DRC // PEDESTRIAN ORIENTED ELEMENTS



14 - Pass through // Looking Southwest along 120th Avenue NE

Refer also to page 47 for magenta landscape notes

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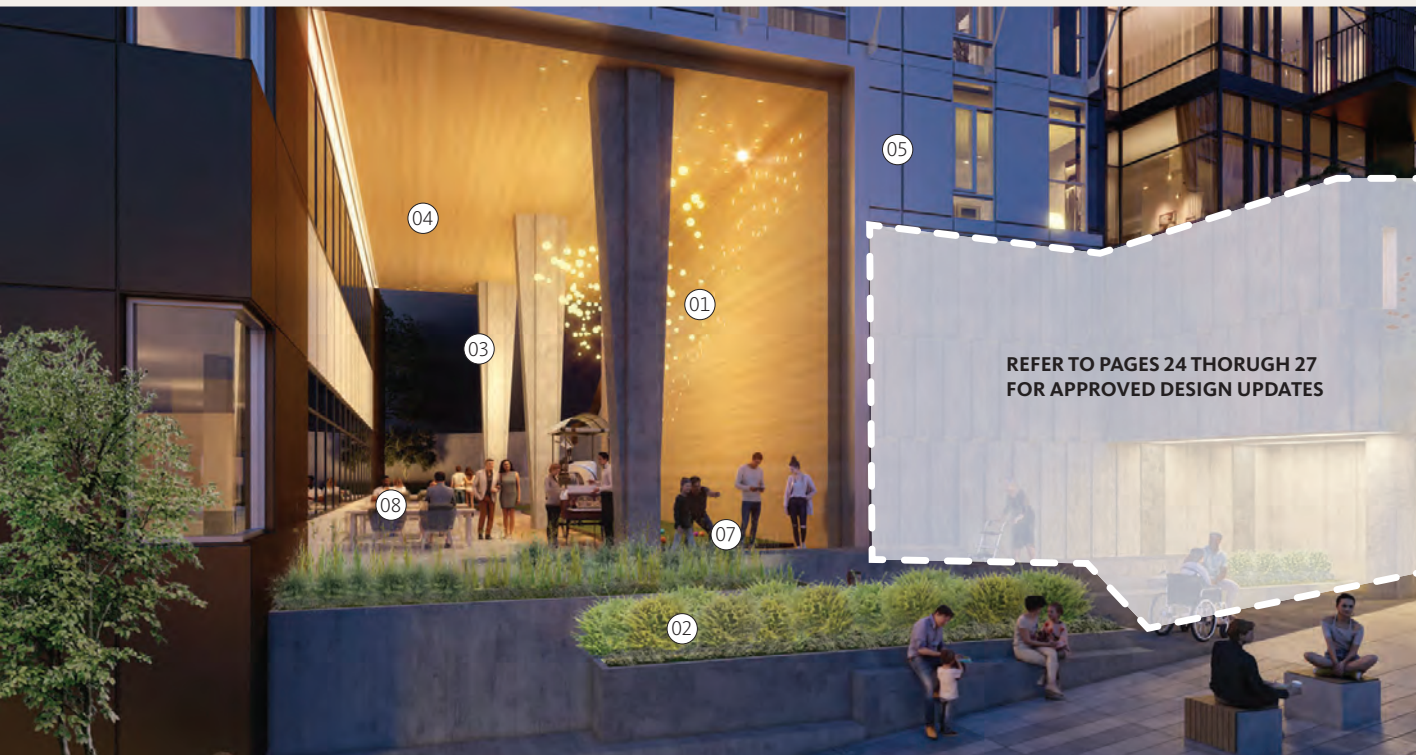
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On hillsides and near residential areas the stepping back or terracing of upper stories should be considered to reduce scale

- 01 Frontage carved away to provide small plaza as a flat, pedestrian friendly, respite, positioned mid way along hill climb as an area to pause and stop.
- 02 Articulated and terraced planters provide detail and reduce scale through a mixture of seating opportunities flanked by planters
- 03 Visual connection to commercial tenant space beyond engages pedestrians with building interior
- 04 Frontage improvements as per the required Totem Lake roadway enhancements
- 05 Continuous perimeter landscaped edge
- 06 Intermittent seating as street furniture
- 07 Integrated bike lane
- 08 Gate that includes the bird pattern cut out
- 09 Continuous painted mural with three dimensional graphic representation of the swift bird.

DRC // PEDESTRIAN ORIENTED ELEMENTS



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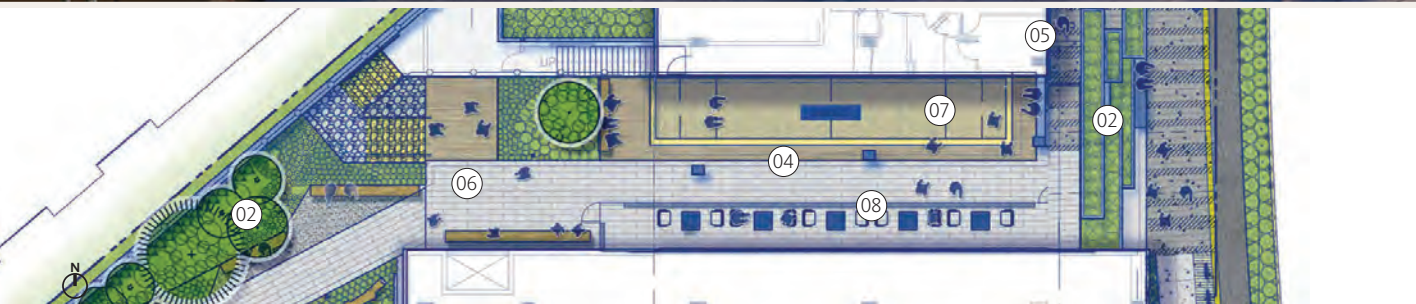
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- 01 Light sculpture as art, suspended in pass through evoking the murmuration of the swift bird. Recessed wall lights to compliment hanging lights
- 02 Integrated landscaping
- 03 Sculpted columns providing architectural interest
- 04 Covered tenant space providing for street level activity with material change to accentuate void and provide warmth
- 05 Upper level terraced back to reduce scale
- 06 Building courtyard beyond
- 07 Bocce ball court
- 08 Outdoor office tenant seating



15 - Pass through // Looking West along 120th Avenue NE

DRC // SE BUILDING ENTRY



16 - South entry // Looking Northwest along 120th Avenue NE

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- 01 Facade set back to provide 15' deep pedestrian accessible area along building entry, creating larger public entry plaza
- 02 Direct pedestrian access with overhead weather protection and integrated lighting for visibility and security
- 03 Structural columns exposed to provide scale and detail
- 04 Clear glass providing visual connection to interior
- 05 Pedestrian bench seating under cover as an amenity along major access
- 06 Landscaping to soften edges
- 07 Concrete paving with distinctive scoring and scale change on property to highlight entry
- 08 Convenience parking near entry
- 09 Frontage improvements as per the required Totem Lake roadway enhancements
- 10 Upper level material change to accentuate and highlight entry

DRC // PEDESTRIAN ORIENTED ELEMENTS



17 - Building Courtyard // Looking Northeast

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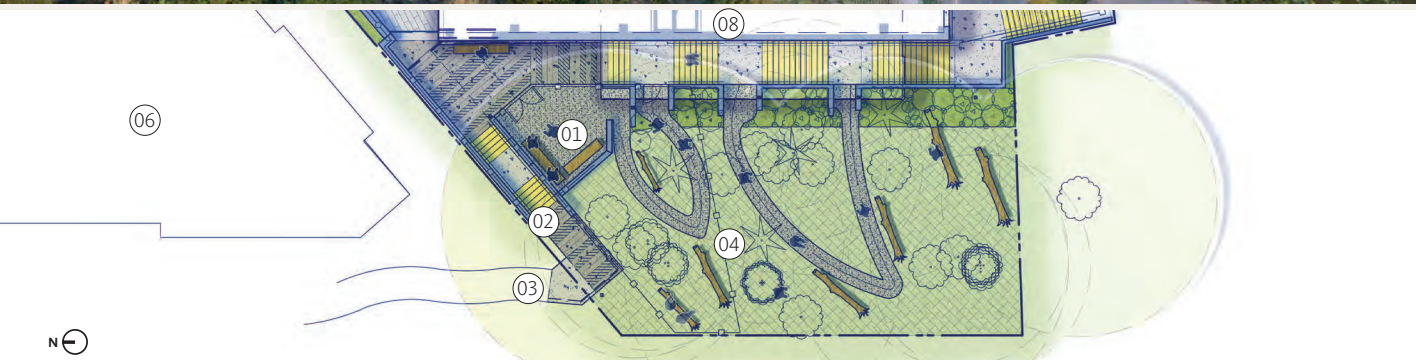
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- ① Board-formed concrete wall providing material interest and texture
- ② Accent logs placed as sculptural seating elements
- ③ Landscaped building courtyard providing visual interest to tenants and adjacent neighboring Jade residences
- ④ Lighting integrated for visibility and safety
- ⑤ Bermed landscaped provides scale and interest
- ⑥ Sculptural stair providing tenant access to courtyard
- ⑦ Path connecting to adjacent dog run and hillside park
- ⑧ Sculpted columns providing architectural interest

DRC // PEDESTRIAN ORIENTED ELEMENTS



18 - Building Parklet // Looking Northeast

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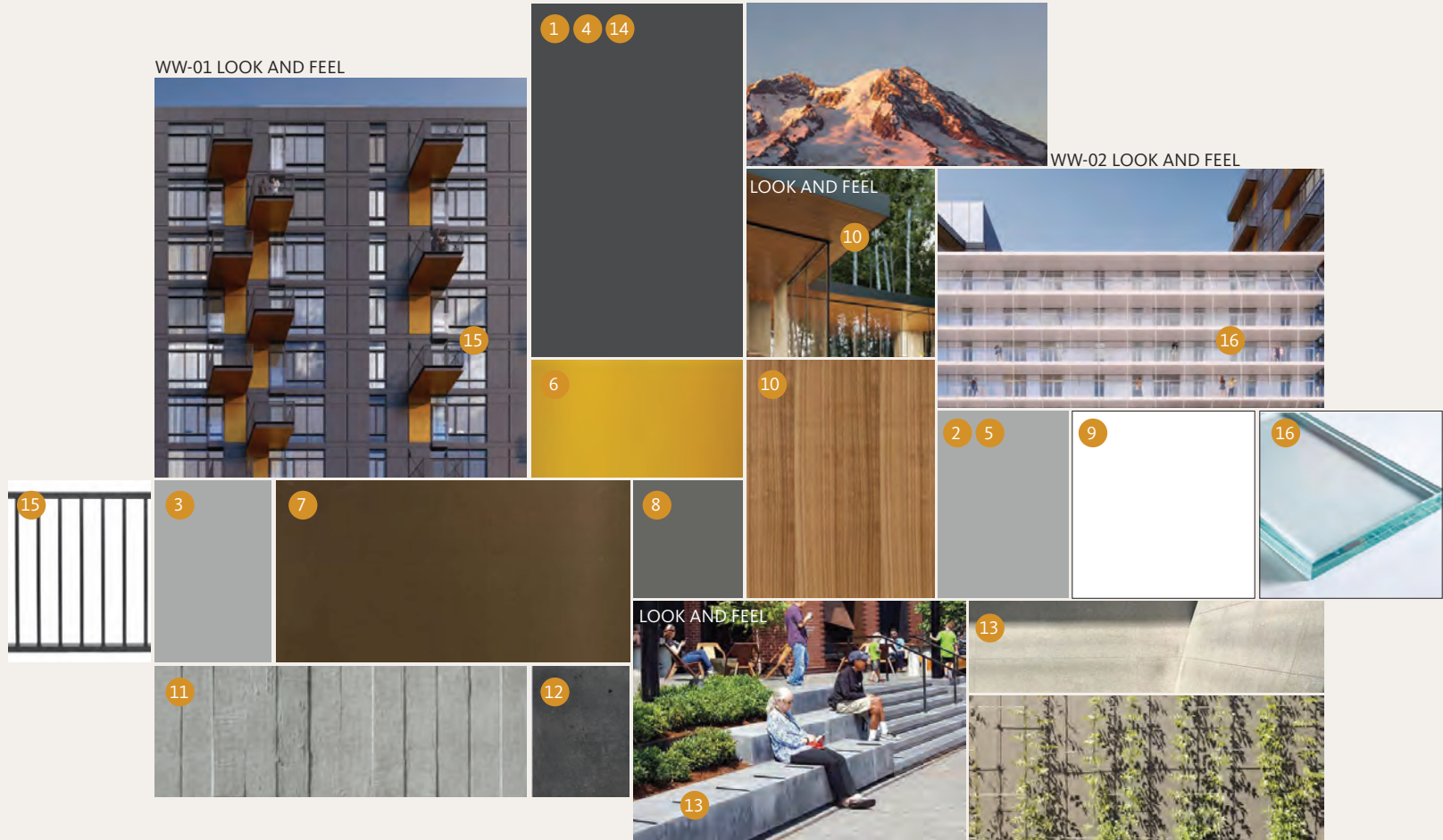
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- 01 Enclosed pet area
- 02 Walkway to Jade pathway
- 03 Jade pathway connection point (Existing, not in scope)
- 04 Existing trees to remain, refer to landscape plan for more detail
- 05 Building courtyard beyond
- 06 The jade residences
- 07 Swyft beyond courtyard
- 08 Office building

C / MATERIAL, COLOR AND DETAIL

DRC // MATERIAL, COLOR AND DETAIL



MATERIAL LEGEND

- | | | | |
|---|----------------------------------|--|---|
| 1 Window wall with clear insulated glass - Black charcoal | 5 Metal panel - Silver | 9 Exposed steel painted white | 13 Exposed structural concrete |
| 2 Window wall with clear insulated glass - Silver | 6 Metal panel - Copper Penny | 10 Phenolic wood panels | 14 Exposed structural steel painted to match 01 |
| 3 Storefront with clear insulated glass - Light Sequin | 7 Metal wall panel - Dark Bronze | 11 Cast in place concrete / Vertical board formed finish | 15 Metal picket railing to match 01 |
| 4 Metal panel - Black charcoal | 8 Metal wall panel - Zinc Grey | 12 Concrete stained dark | 16 Clear laminated glass guardrail |

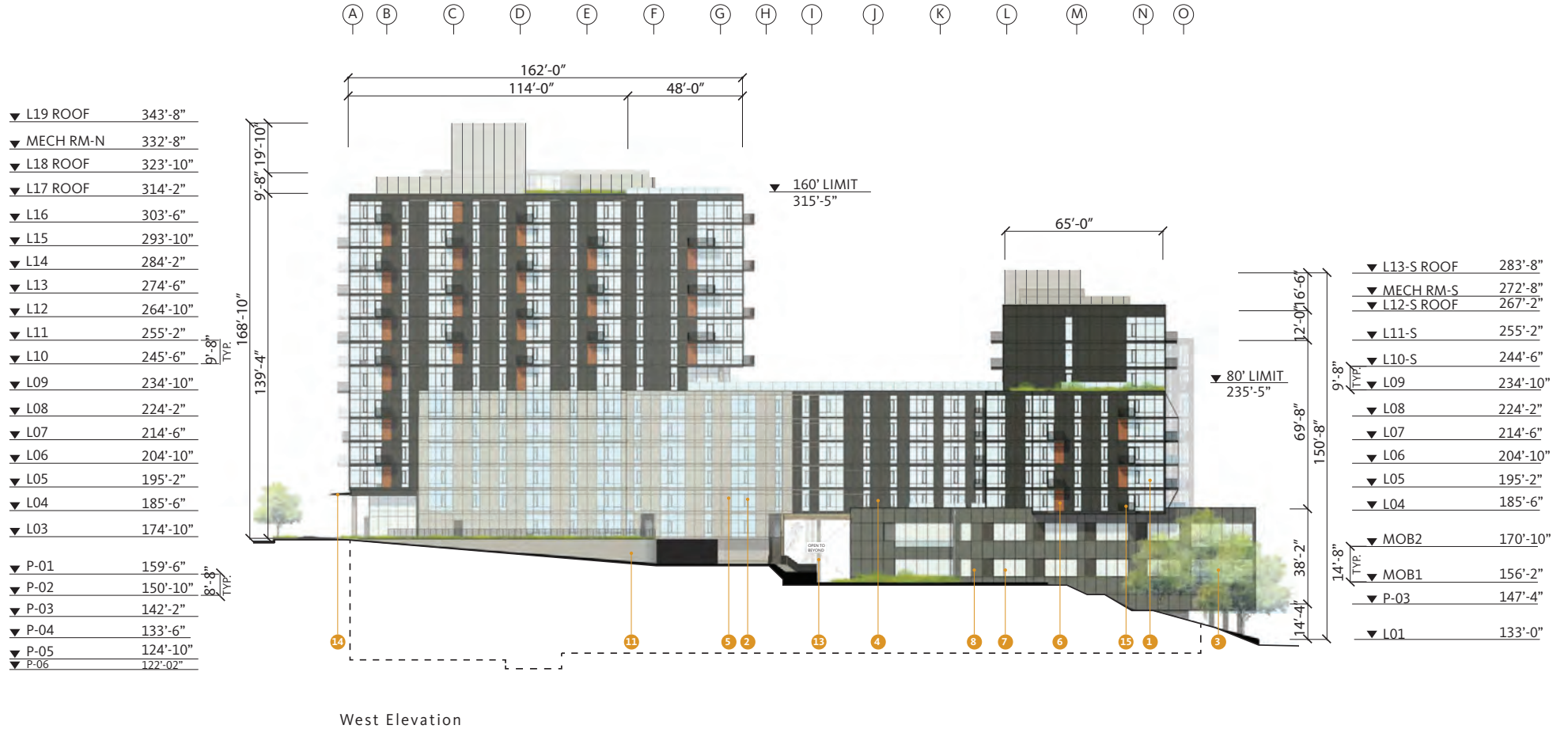
DRC // BUILDING ELEVATIONS & FINISHES



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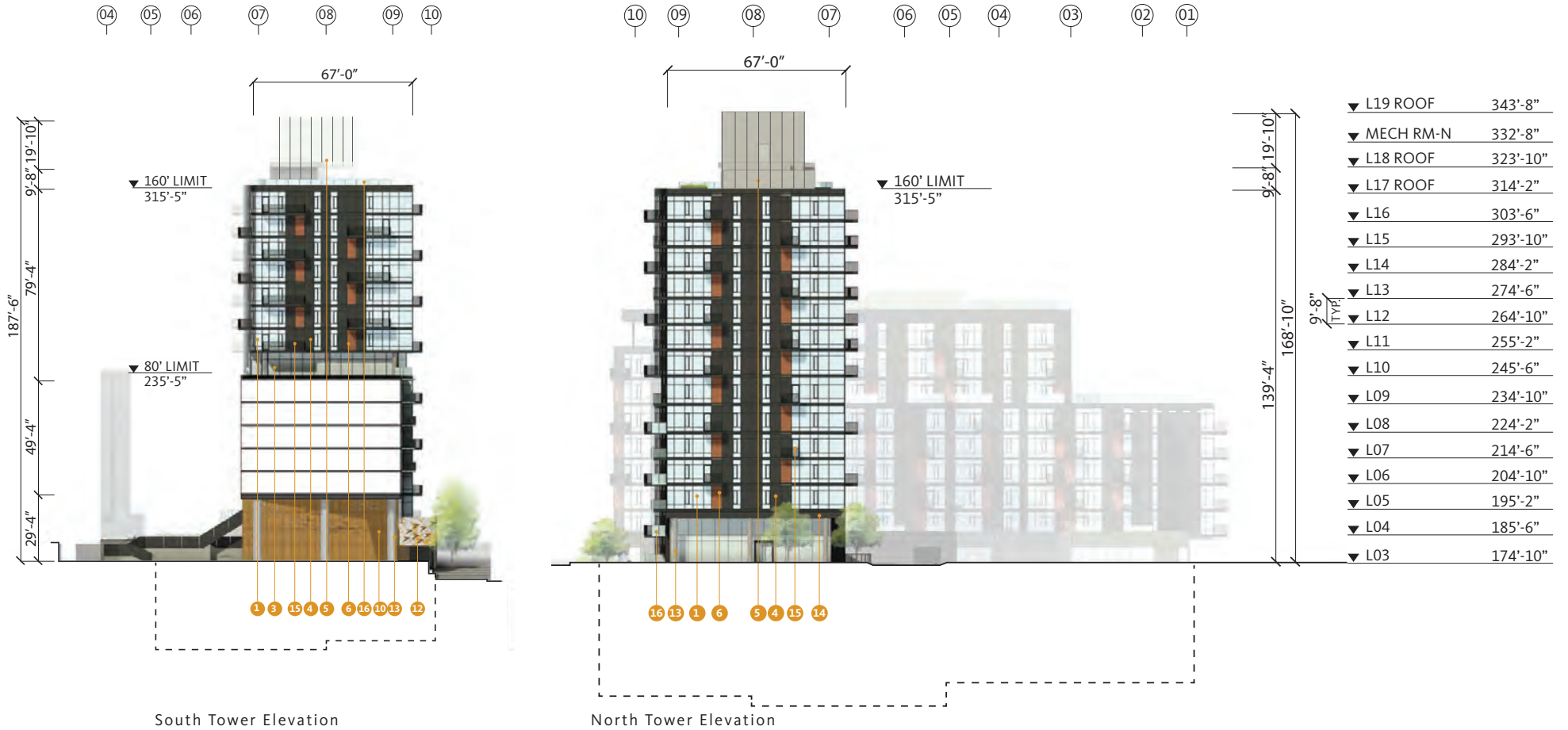
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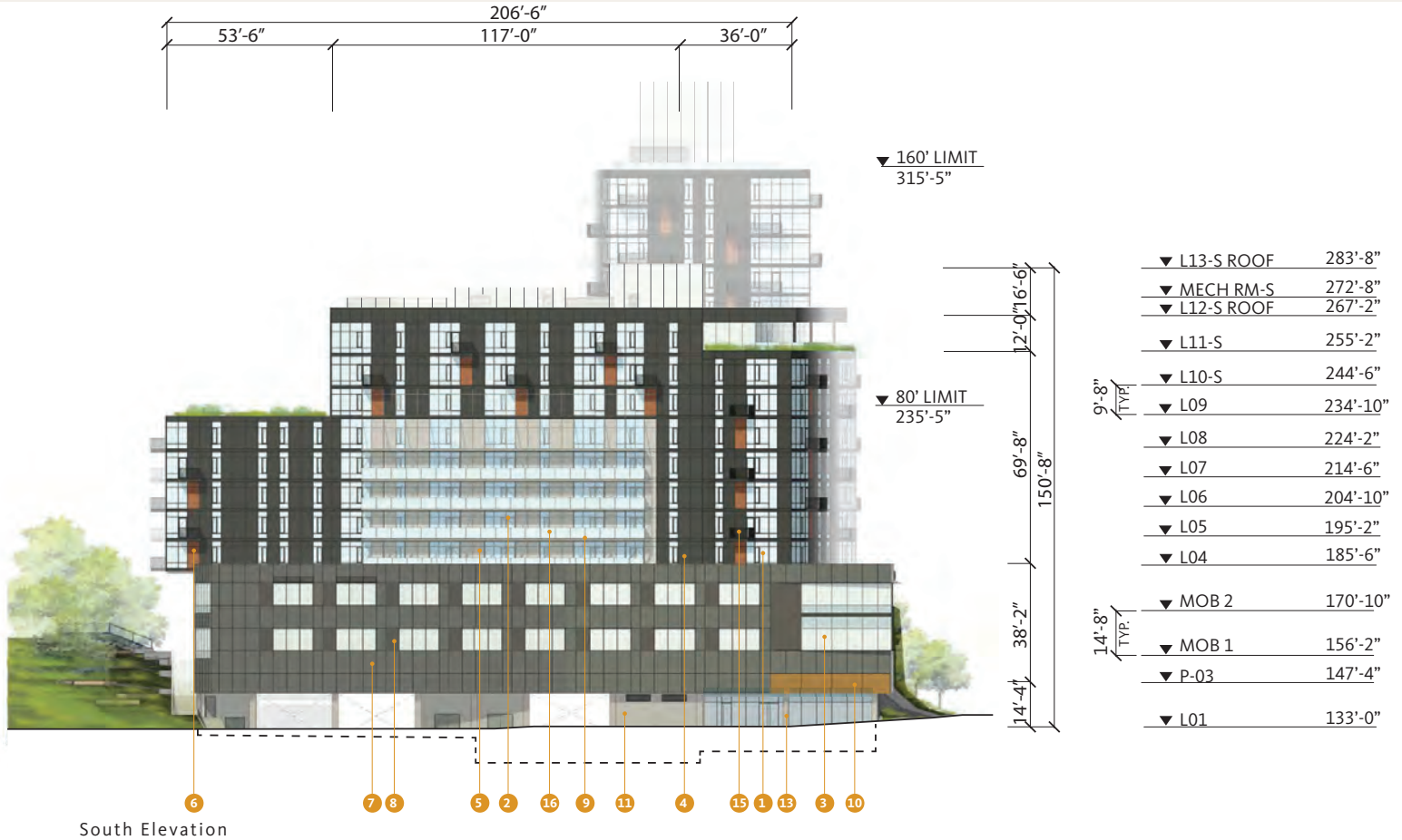
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DRC // BUILDING ELEVATIONS & FINISHES



South Elevation

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DRC // BUILDING ELEVATIONS & FINISHES



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D / **APPENDIX**

DRC // ROOF TOP DESIGN OPTION



North mass and scale // Rooftop facing Northwest

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Horizontal building modulation may be used to reduce the perceived mass of a building and to provide continuity at the ground level of large building complexes. Building design should incorporate strong pedestrian-oriented elements at the ground level and distinctive roof treatments.

- ① Roof top amenity, including a common room, provides distinct change in roof line
- ② Extended roof cover with contrasting material, acts as a clean cornice line to cap the top of the building
- ③ Vertical roof modulation at building core to conceal accessible machine rooms and elevator overrun
- ④ Clear glass, 6 foot tall, windscreen to ensure upper level is usable through out the year, increasing activity. Windscreen set back from building perimeter.
- ⑤ Covered outdoor amenity space
- ⑥ Open air outdoor seating areas
- ⑦ Integrated landscape at roof perimeter

DRC // SITE CIRCULATION & GRADING



DRC // OVERALL SITE PLAN

