

DRC // PEDESTRIAN ORIENTED ELEMENTS



SUGGESTED DESIGN GUIDELINE TECHNIQUES TO USE

All building fronts should have pedestrian-friendly features and be well lit.

On pedestrian-oriented streets should be encouraged to have upper-story activities overlooking the street. Successful pedestrian-oriented plazas are generally located in sunny areas along a well-traveled pedestrian route. Plazas must provide plenty of sitting areas and amenities and give people a sense of enclosure and safety.

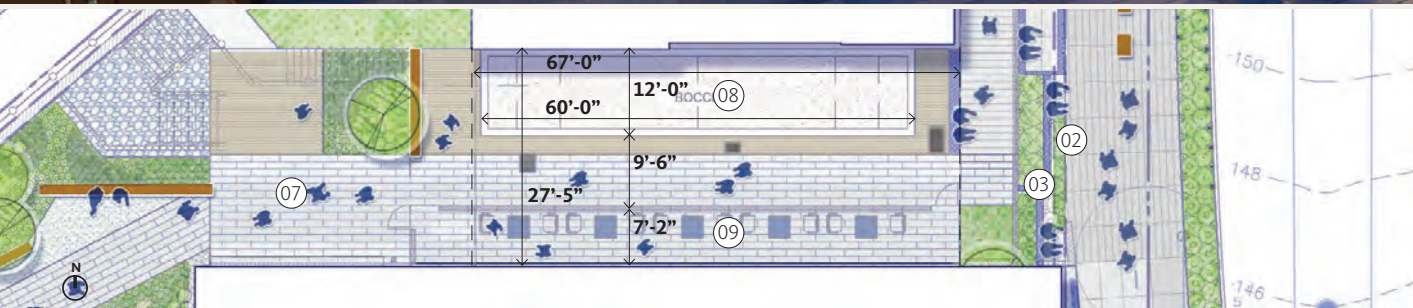
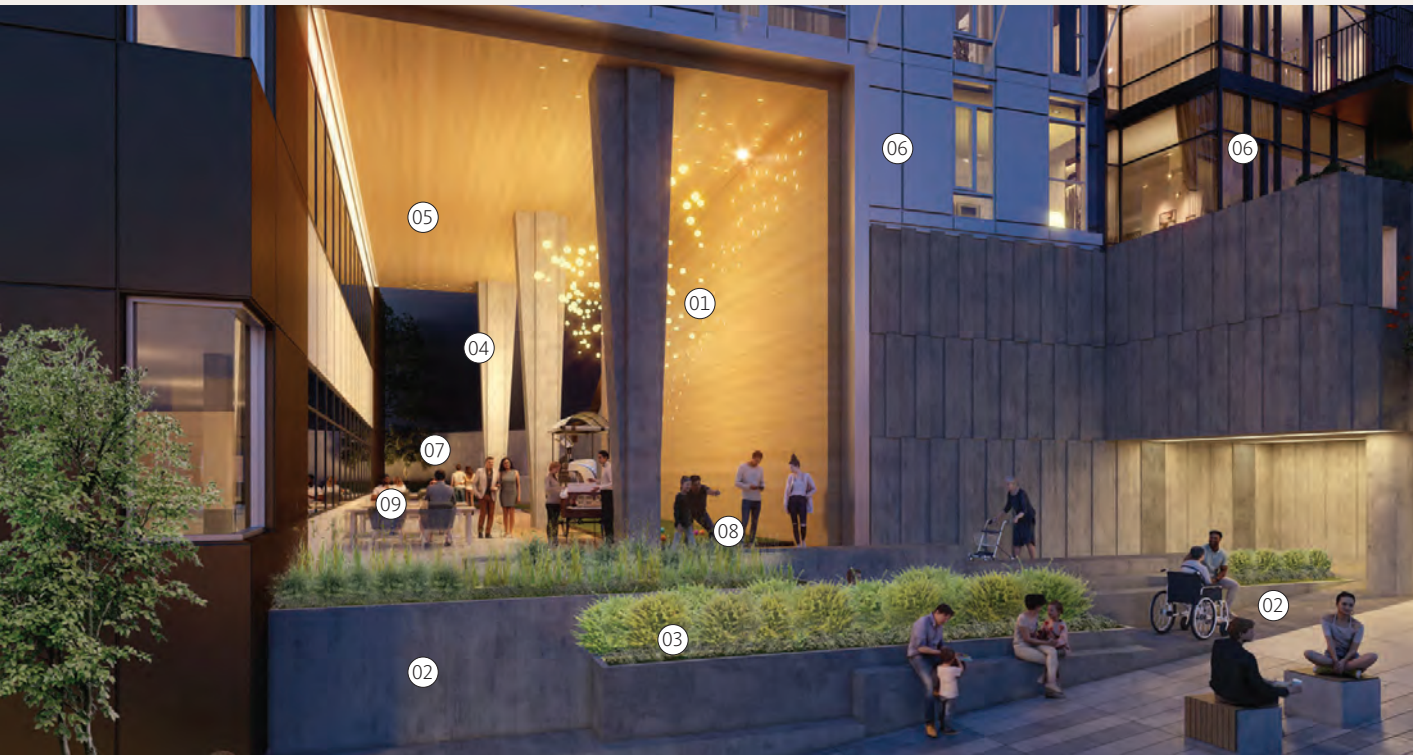
Where unavoidable, blank walls should be treated with landscaping, art, or other architectural treatments.

The intrusive qualities of parking garages must be mitigated. In pedestrian areas, ground-level retail uses, or appropriate pedestrian spaces should be required. Also, extensive landscaping should be required near residential areas and in high visibility locations.

On hillsides and near residential areas the stepping back or terracing of upper stories should be considered to reduce scale

- ① Frontage carved away to provide for large scale pedestrian friendly respite, positioned mid way along hill climb as an area to pause and stop.
- ② Articulated and terraced planters provide detail and reduce scale through a mixture of seating opportunities flanked by planters
- ③ Visual connection to commercial tenant space beyond engages pedestrians with building interior
- ④ Frontage improvements as per the required Totem Lake roadway enhancements
- ⑤ Continuous perimeter landscaped edge
- ⑥ Intermittent seating as street furniture
- ⑦ Integrated bike lane

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13 - Pass through // Looking West along 120th Avenue NE

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- ① Light sculpture as art, suspended in pass through evoking the murmur of the swift bird. Recessed wall lights to compliment hanging lights
- ② Frontage carved away to provide for large scale pedestrian friendly respite, positioned mid way along hill climb as an area to pause and stop.
- ③ Integrated landscaping
- ④ Sculpted columns providing architectural interest
- ⑤ Covered tenant space providing for street level activity with material change to accentuate void and provide warmth
- ⑥ Upper level terraced back to reduce scale
- ⑦ Building courtyard beyond
- ⑧ Bocce ball court
- ⑨ Outdoor office tenant seating

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14 - South entry // Looking Northwest along 120th Avenue NE

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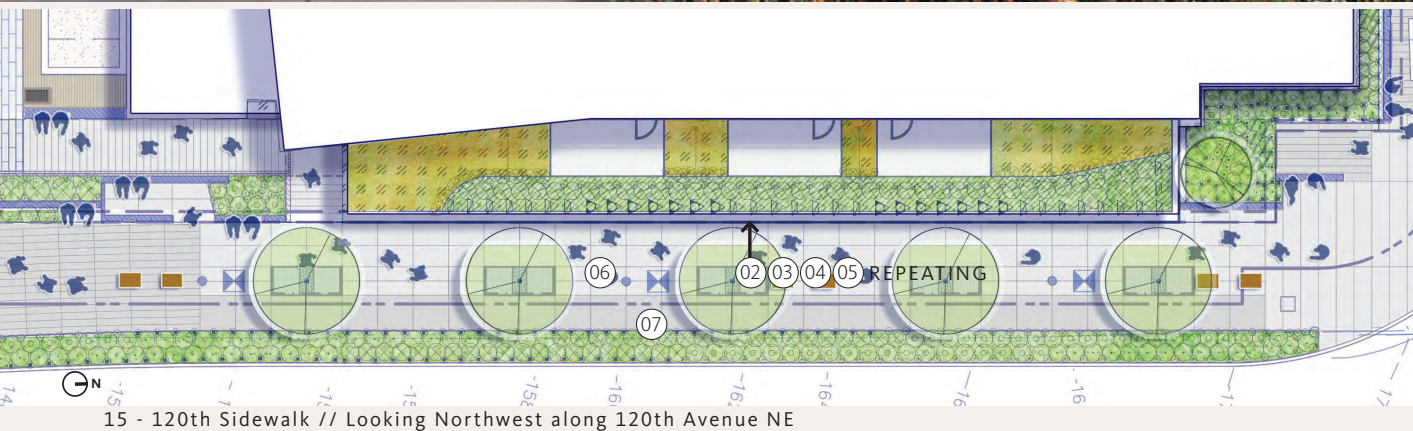
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- ① Facade set back to provide 15' deep pedestrian accessible area along building entry, creating larger public entry plaza
- ② Direct pedestrian access with overhead weather protection and integrated lighting for visibility and security
- ③ Structural columns exposed to provide scale and detail
- ④ Clear glass providing visual connection to interior
- ⑤ Pedestrian bench seating under cover as an amenity along major access
- ⑥ Landscaping to soften edges
- ⑦ Concrete paving with distinctive scoring and scale change on property to highlight entry
- ⑧ Convenience parking near entry
- ⑨ Frontage improvements as per the required Totem Lake roadway enhancements

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15 - 120th Sidewalk // Looking Northwest along 120th Avenue NE

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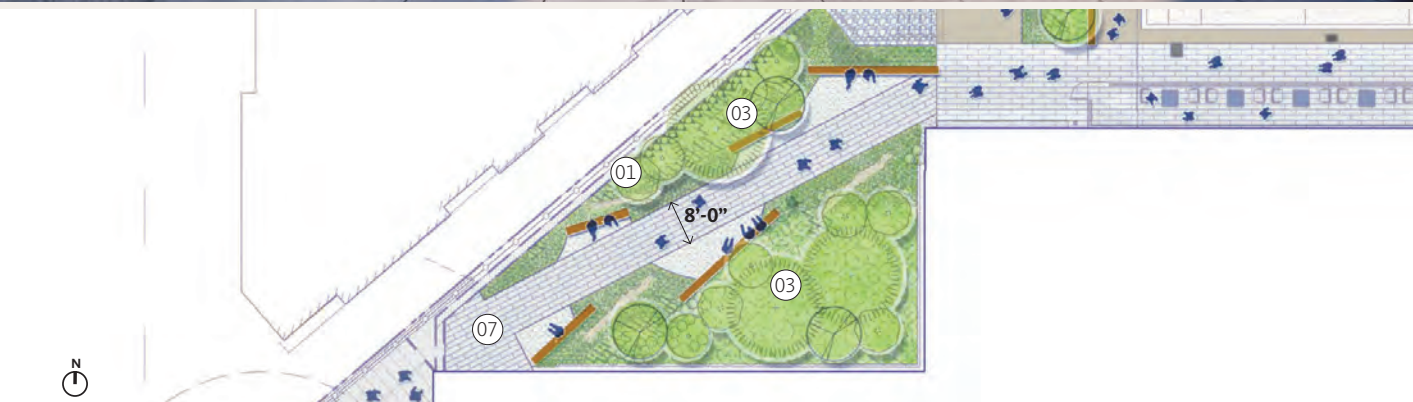
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- 01 Board-formed concrete wall providing material interest and texture
- 02 Smooth stained concrete at regular intervals adding rhythm to hill side facade
- 03 Steel cables at regular intervals as facade detail and to allow landscaped vines to grow down from podium above
- 04 Openings to provide facade relief and natural ventilation to garage beyond. Aperture to include lighting as accents during night time
- 05 Sculptural art accents secured to concrete referencing the swift flight patterns and providing visual interest and curiosity to pedestrians
- 06 Frontage improvements as per the required Totem Lake roadway enhancements
- 07 Continuous perimeter landscaped edge with Intermittent seating as street furniture

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16 - Building Courtyard // Looking Northeast

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- ① Board-formed concrete wall providing material interest and texture
- ② Accent logs placed as sculptural seating elements
- ③ Landscaped building courtyard providing visual interest to tenants and adjacent neighboring Jade residences
- ④ Lighting integrated for visibility and safety
- ⑤ Bermed landscaped provides scale and interest
- ⑥ Sculptural stair providing tenant access to courtyard
- ⑦ Path connecting to adjacent dog run and hillside park
- ⑧ Sculpted columns providing architectural interest

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17 - Building Parklet // Looking Northeast

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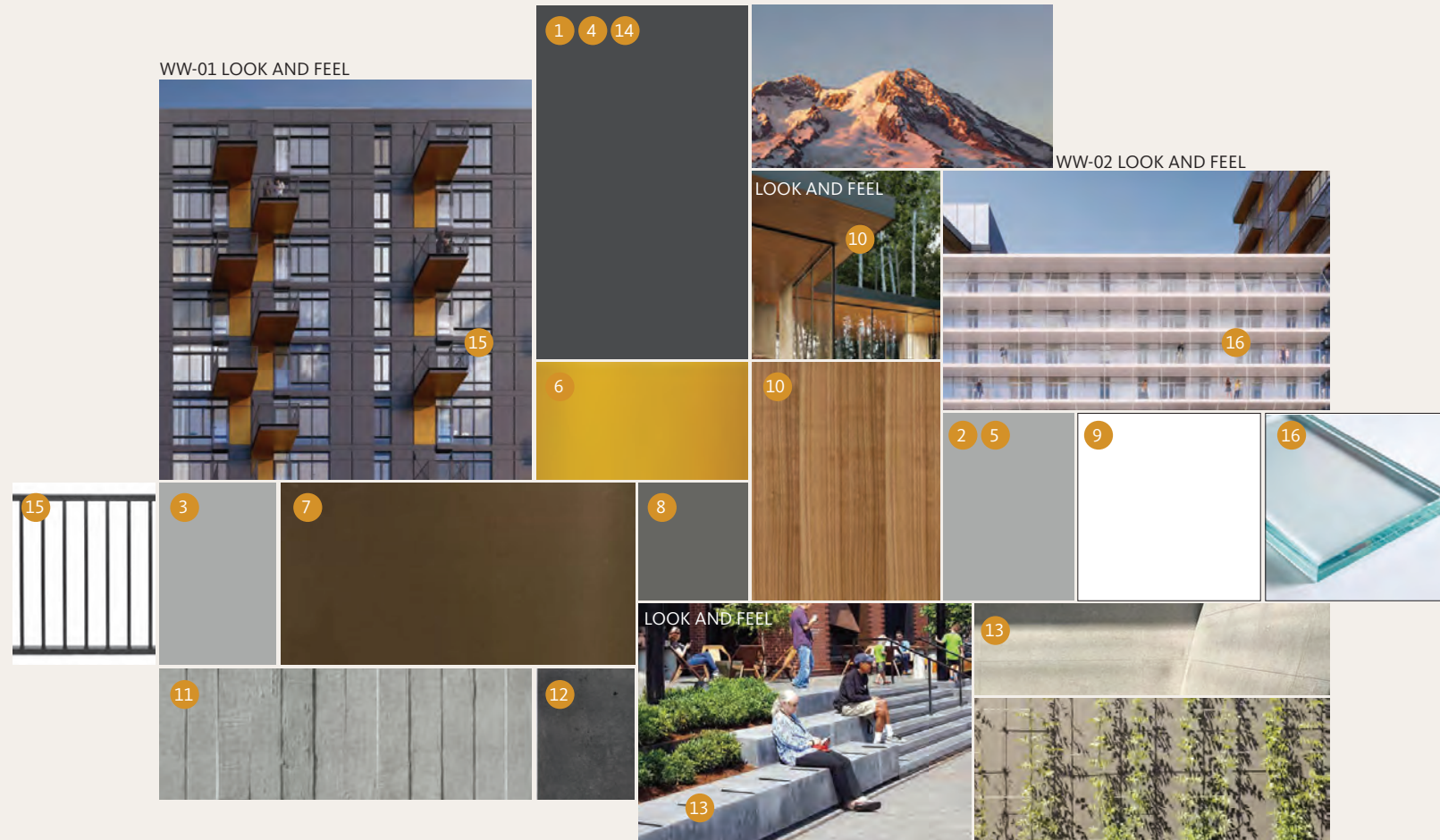
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- 01 Enclosed pet area
- 02 Walkway to Jade pathway
- 03 Jade pathway connection point (Existing, not in scope)
- 04 Existing trees to remain, refer to landscape plan for more detail
- 05 Building courtyard beyond
- 06 The jade residences
- 07 Swyft beyond courtyard
- 08 Office building

C / **MATERIAL, COLOR AND DETAIL**

DRC // MATERIAL, COLOR AND DETAIL



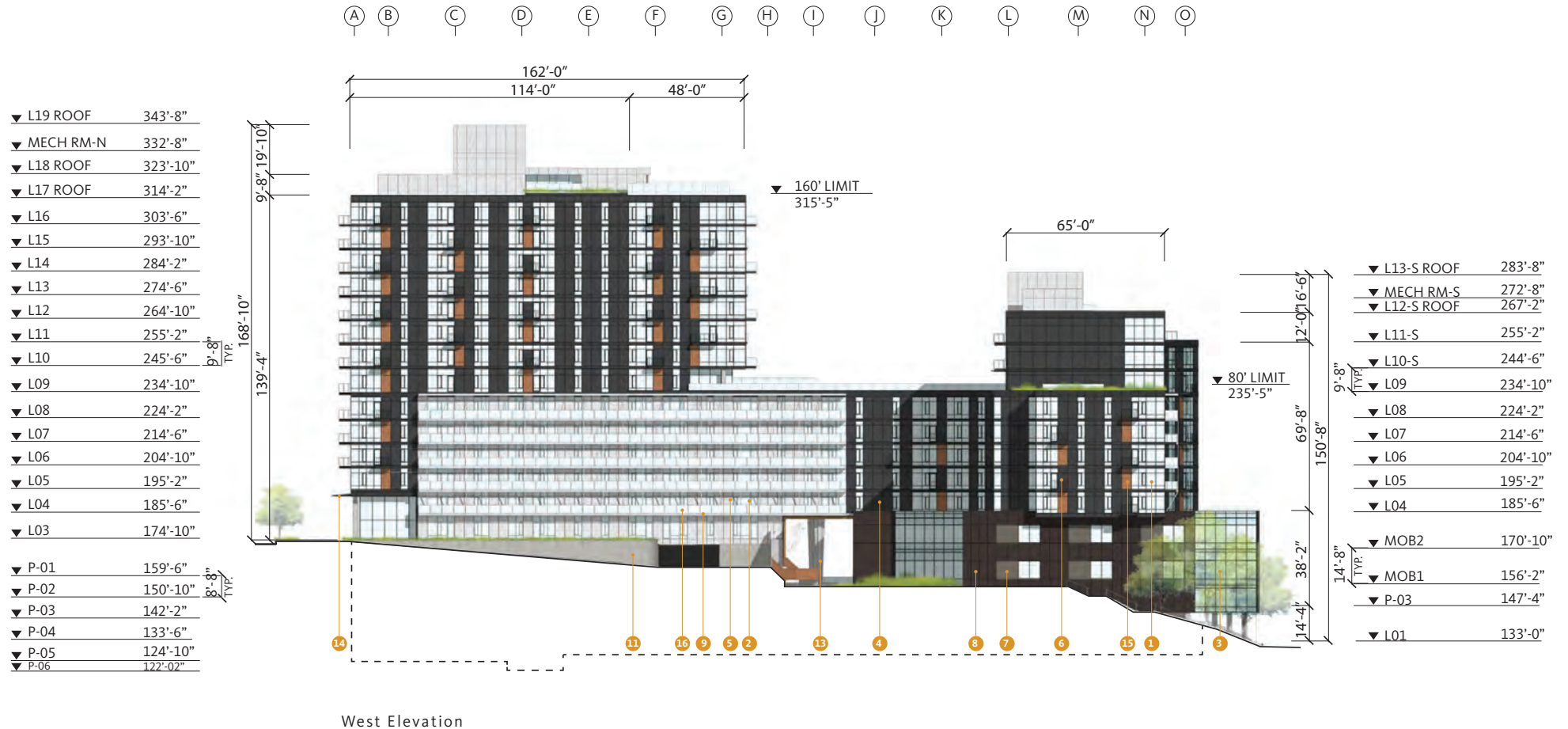
MATERIAL LEGEND

- | | | | |
|---|----------------------------------|--|---|
| 1 Window wall with clear insulated glass - Black charcoal | 5 Metal panel - Silver | 9 Exposed steel painted white | 13 Exposed structural concrete |
| 2 Window wall with clear insulated glass - Silver | 6 Metal panel - Copper Penny | 10 Phenolic wood panels | 14 Exposed structural steel painted to match 01 |
| 3 Storefront with clear insulated glass - Light Sequin | 7 Metal wall panel - Dark Bronze | 11 Cast in place concrete / Vertical board formed finish | 15 Metal picket railing to match 01 |
| 4 Metal panel - Black charcoal | 8 Metal wall panel - Zinc Grey | 12 Concrete stained dark | 16 Clear laminated glass guardrail |

DRC // BUILDING ELEVATIONS & FINISHES



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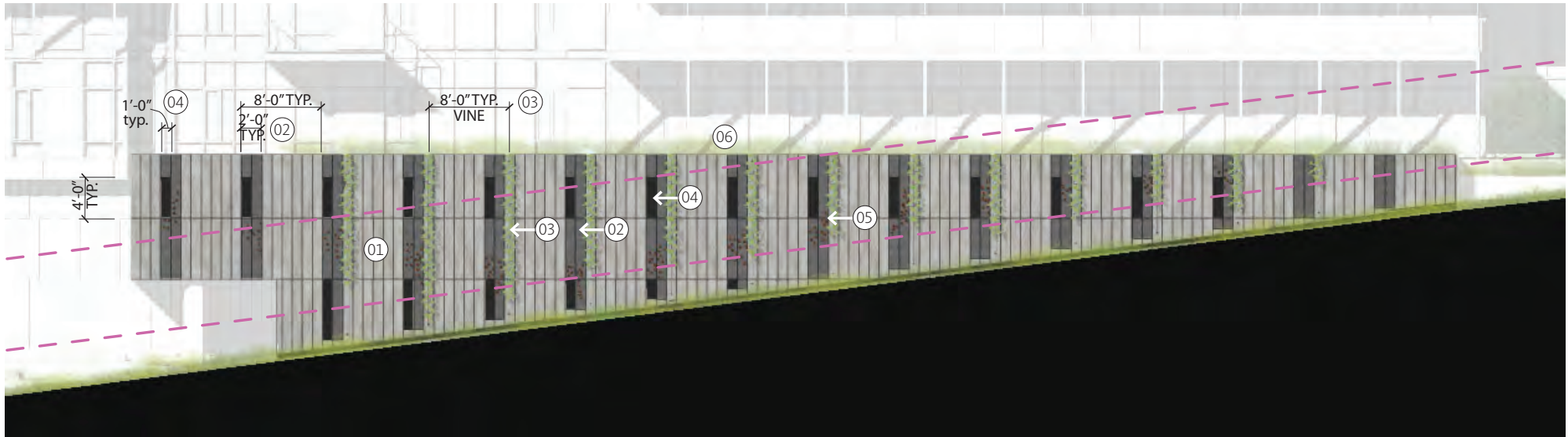
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DRC // BUILDING ELEVATIONS & FINISHES



Enlarged East Elevation at Hill Climb

— Zone between 4' and 13' above grade

- ① Board-formed concrete wall providing material interest and texture
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- ③ Steel cables at regular intervals as facade detail and to allow landscaped vines to grow down from podium above
- ④ Openings to provide facade relief and natural ventilation to garage beyond. Aperture to include lighting as accents during night time
- ⑤ Sculptural art accents secured to concrete referencing the swift flight patterns and providing visual interest and curiosity to pedestrians
- ⑥ Landscape podium top

D / **APPENDIX**

DRC // ROOF TOP DESIGN OPTION



North mass and scale // Rooftop facing Northwest

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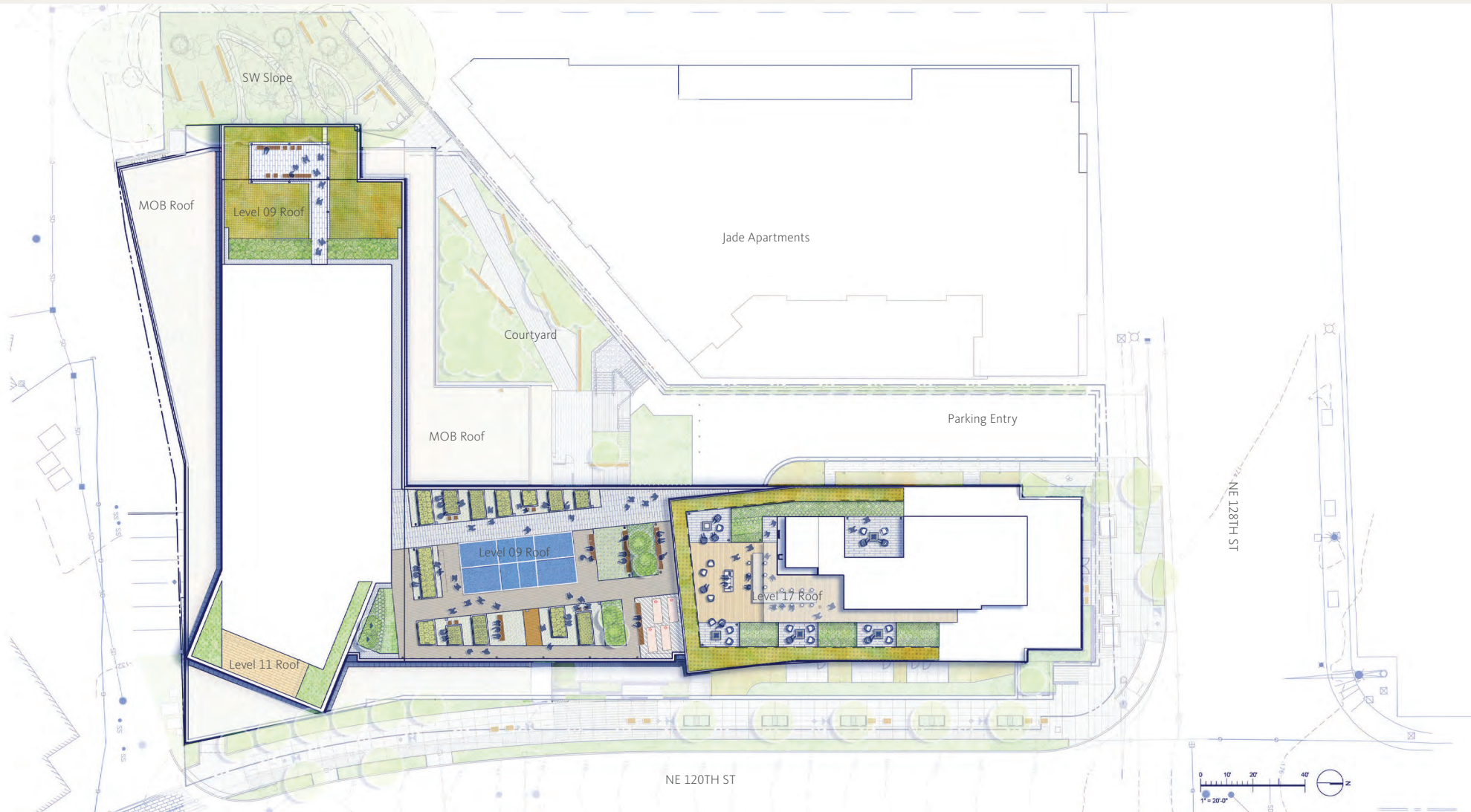
Architectural building elements such as arcades, balconies, bay windows, roof decks, trellises, landscaping, awnings, cornices, friezes, art concepts, and courtyards should be encouraged.

Vertical building modulation should be used to add variety and to make large buildings appear to be an aggregation of smaller buildings.

Horizontal building modulation may be used to reduce the perceived mass of a building and to provide continuity at the ground level of large building complexes. Building design should incorporate strong pedestrian-oriented elements at the ground level and distinctive roof treatments.

- ① Roof top amenity, including a common room, provides distinct change in roof line
- ② Extended roof cover with contrasting material, acts as a clean cornice line to cap the top of the building
- ③ Vertical roof modulation at building core to conceal accessible machine rooms and elevator overrun
- ④ Clear glass, 6 foot tall, windscreen to ensure upper level is usable through out the year, increasing activity. Windscreen set back from building perimeter.
- ⑤ Covered outdoor amenity space
- ⑥ Open air outdoor seating areas
- ⑦ Integrated landscape at roof perimeter

DRC // OVERVIEW PLAN



DRC // SITE PLAN

