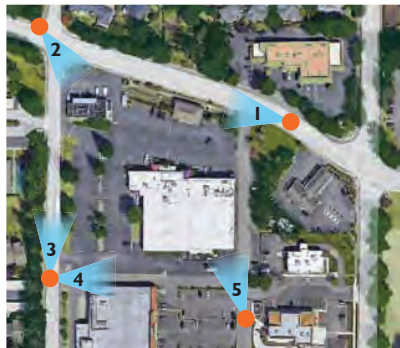


EXISTING SITE PHOTOS

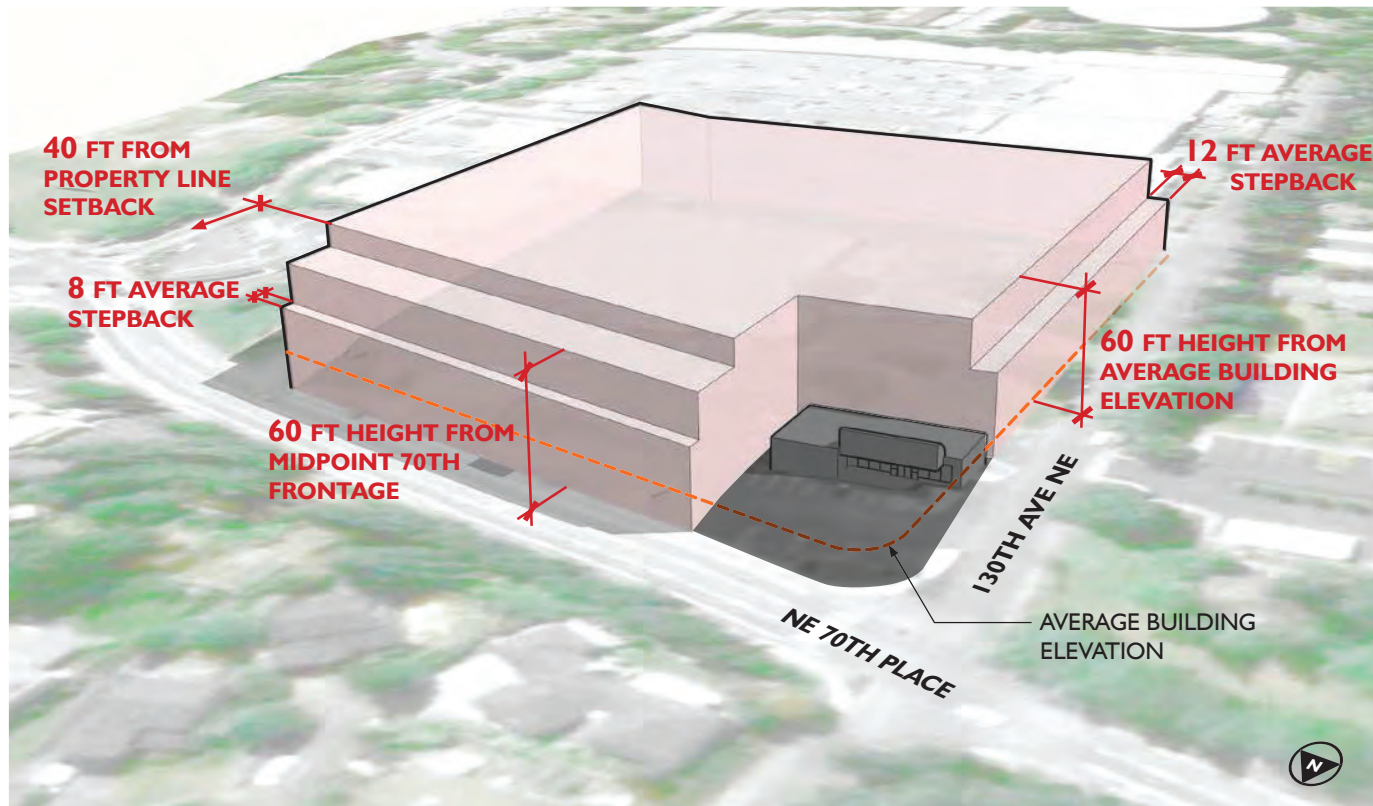


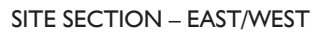
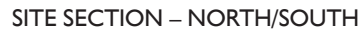
ZONING SUMMARY

Lot Coverage	35.30 table	Entertainment and recreation, restaurant or tavern, retail, allowed at 100% lot coverage.
Building Height	35.10.040.2.b	Maximum height of structure is Sixty feet above average building elevation if:
Use limitation		1) Uses above the 3rd story are limited to Assisted Living Facility and Attached or Stacked Dwelling Units.
Setback along NE 70th		2) No portion of a building within 40 feet of NE 70th Place exceeds a height of 60 feet above NE 70th Place measured at the midpoint of the frontage of the subject property on the NE 70th Place right-of-way. The Design Review Board is authorized to allow rooftop amenities within this 100-foot height limit.
Stepbacks along ROW		4) For all building facades facing and within 100 feet of the abutting right-of-way, all portions of a structure greater than three stories in height, as measured from the abutting right-of-way, shall be stepped back from the third story façade as follows: a. From NE 70th Place and 132nd Avenue NE by an average of 8 feet. b. From 130th Avenue NE and NE 65th Street by an average of 12 feet.
		The required upper story step backs for all floors above the third story shall be calculated as Total Upper Story Step Back Area as follows: Total Upper Story Step Back Area = (Linear feet of front property line(s), not including portions of the site without buildings that are set aside for vehicular areas) x (Required average step back) x (Number of stories proposed above the third story). The Design Review Board is authorized to allow rooftop amenities within the step back area.
Required Open space		5) The development provides publicly accessible pedestrian oriented open space(s) adjacent to the street or through-block pathway. The publicly accessible space(s) shall contain a minimum of 1,000 square feet or one square foot per 200 gross square feet of above grade building area, whichever is greater. The size calculation shall not include the required width of abutting sidewalks or pathways. Locations, dimensions, features and improvements (such as plazas, seating, public art, children's recreation space) shall be reviewed and approved through by the Design Review Board based on applicable guidelines.
Affordable housing		7) Developments creating four or more new dwelling units shall provide at least 10 percent of the units as affordable housing units as defined in Chapter 5 KZC. See Chapter 112 KZC for additional affordable housing incentives and requirements.
Green Building Standards		8) Development shall be designed, built and certified to achieve or exceed one or more of the following green building certification standards: Built Green 5 star certified, LEED Gold certified, or Living Building Challenge certified. An applicant may propose alternative certifications if the Planning Official determines that the alternative certification is equal or superior to the programs listed in the zoning code in terms of building performance.
Height Exceptions	35.10.040.2.c	In addition to the height exceptions established by KZC 115.60, the following exceptions to height regulations zone are established: 1) An additional 5 feet is allowed for buildings providing a grocery store. 2) Decorative parapets may exceed the height limit by a maximum of four feet; provided, that the average height of the parapet around the perimeter of the structure shall not exceed two feet. 3) For structures with a peaked roof, the peak may extend eight feet above the height limit if the slope of the roof is equal to or greater than four feet vertical to 12 feet horizontal.
Street Frontage	35.10.040.1.b	Except along NE 65th Street and 130th Avenue NE, residential uses, assisted living uses, and parking for those uses shall not be located on the street level floor unless an intervening commercial frontage is provided between the street and those other uses or parking subject to the standards above
Residential Units at grade	35.10.040.1.f	Attached or Stacked Dwelling Units and Assisted Living Facilities located at the street level floor along NE 65th Street and 130th Avenue NE shall have a minimum seven (7) foot required yard.
Commercial Frontage	35.10.040.1.c	Development shall contain commercial uses oriented to adjoining arterials and through-block pathways. The location and frontages of these commercial uses shall be reviewed through Design Review for consistency with applicable guidelines or regulations.
Residential Lobbies and Amenities	35.10.141.1.e	Lobbies and amenity space for residential or assisted living uses may be allowed within the commercial frontage provided they do not exceed 20 percent of the building's linear commercial retail frontage along the street or through-block pathway. The Design Review Board (or Planning and Building Director if not subject to DR) may approve a minor increase to ground floor residential lobbies and amenities if they are connected to retail use and the design of the ground floor frontage will maximize visual interest.
Commercial Uses	35.10.040.1.a 35.10.040.1.b	The commercial floor shall be a minimum of 13 feet in height. Commercial frontage shall have a minimum depth of 20 feet and an average depth of at least 30 feet (as measured from the face of the building).
Zone Internal Circulation	35.10.040.1.d	Development shall provide for one north-south through-block pathway connection between NE 70th Place and NE 65th Street and two east-west through-block pathway connections between 130th Avenue NE and 132nd Avenue NE (see Plate 34Q). The Design Review Board shall determine the final location and configuration of the through-block pathway connections based on convenience and utility for nonmotorized access and orientation toward commercial uses and pedestrian oriented open space.
Streets	35.180 Plate 34 Q	NE 70th = Pedestrian Oriented Street / Minor Arterial 130th Ave NE = Major Ped Sidewalk / ((R-28 Neighborhood Access Street (KZC 110.22)?)) Required Internal throughblock connections = "In addition to the Major Pedestrian Sidewalks and Pedestrian-Oriented Streets, development within the Bridle Trails Neighborhood Center (BCX Zone) shall provide for one north-south through-block pathway connection between NE 70th Place and NE 65th Street and two east-west through-block pathway connections between 130th Avenue NE and 132nd Avenue NE."
Pedestrian Oriented Streets	110.52.2	The applicant shall install a 10-foot-wide sidewalk along the entire frontage of the subject property abutting each pedestrian-oriented street.

Major Pedestrian Sidewalk	110.52.3	The applicant shall install that sidewalk on and/or adjacent to the subject property consistent with the following standards: a. Install in the approximate location and make the connections shown in Plate 34; b. A sidewalk width of at least eight (8) feet, unless otherwise noted in Plate 34; c. Have adequate lighting with increased illumination around building entrances and transit stops; and d. If parcels are developed in aggregate, then alternative solutions may be proposed.
Through Block Pathways	105.19.2.b	The through-block pathway shall be installed pursuant to the following standard 1) A minimum unobstructed pavement width of eight (8) feet, paved with decorative concrete. A minimum of five (5) feet may be approved for residential uses. 2) Trees placed at an average of 30 feet on-center between the pathway and any parking or vehicular access area (see Figure 105.19.A). Exceptions: a) To increase business visibility and accessibility, the City may allow modifications in the required tree coverage adjacent to primary building entries; however, no less than one (1) tree per 60 lineal feet of the required pathway shall be provided. b) The required trees must be placed in planting strips at least 4.5 feet in width or within tree grates. 3) Adequate pedestrian lighting at a maximum of 12 feet in height shall be provided along the pathway. 4) Barriers that will limit pedestrian access between the subject property and adjacent properties are not permitted. 5) The through-block pathway may be retained within dedicated rights-of-way, tracts, or easements at the City's option. The width of the pathway right-of-way, tract, or easement will be determined by the Planning Official. 6) If subject to Design Review the City will specifically review and approve the material and configuration of all through-block pathways as part of the Design Review decision.
Overhead Weather Protection	105.18.b	The applicant shall provide pedestrian overhead weather protection along at least 75 percent of a pedestrian-oriented building facade.
Landscape and Street Trees	110.60.4.	Landscape strips are typically found between the curb and the sidewalk and are planted with grass and street trees spaced 30 feet on-center. e. If a landscape strip or street trees in tree grates is not required, street trees planted 30 feet on-center 2.5 feet behind the sidewalk will be required, where feasible.
Landscape Buffer Requirements	95.42 Footnote	If the adjoining property is zoned Bridle Trails Neighborhood Center (BCX Zone) this section KZC 95.42 does not apply.
Landscape Category	35.40 table Note DS-1	Retail, Restaurant or Tavern = category E Residential Use at grade = category E
Required Landscaping	95.4	Landscaping Category E is not subject to this section.
Required Parking	35.40 table	
Residential		Attached Dwelling Units: 1.2 per studio unit. 1.3 per 1 bedroom unit. 1.6 per 2 bedroom unit. 1.8 per 3 or more bedroom unit. 1 per each 300 sq. ft. of gross floor area.
Retail Restaurant	35.40 table note DS-15	Within the BCX zone the required parking for Restaurants and Taverns uses is 1 per each 300 sq. ft. of gross floor area.
Exceptions	35.40 table note DS-2	Within the BCX zone a parking modification to decrease in the required number of spaces for attached or stacked dwelling units is not required to increase the total parking demand rate by fifteen (15) percent per KZC 105.103(3).
Surface Parking	35.10.10	Surface parking areas shall not be located between the street and building unless no feasible alternative exists.

ZONING ENVELOPE





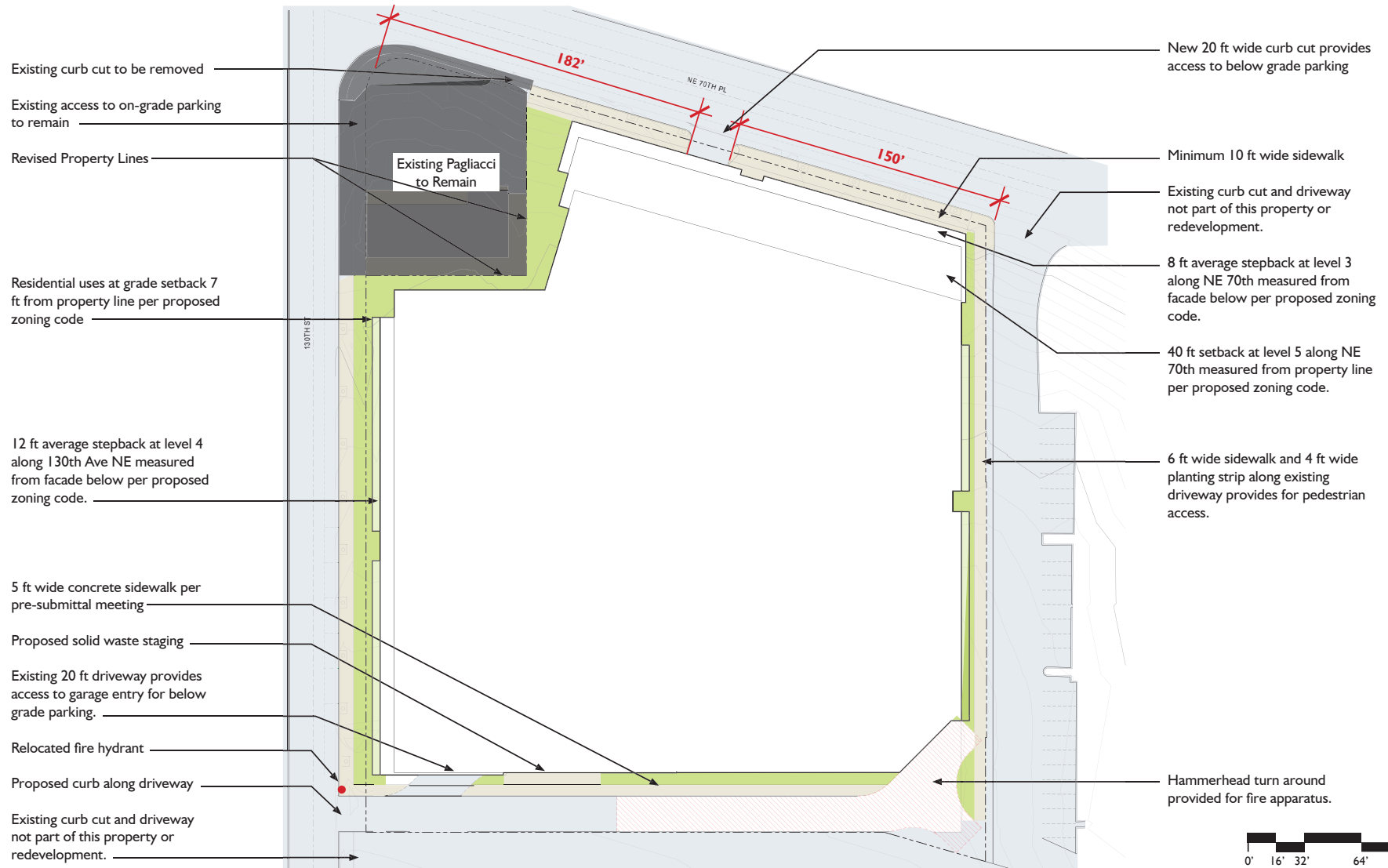
DEVELOPMENT

RELEVANT DESIGN CUES

The development seeks to exhibit the lush peacefulness prevalent throughout the existing neighborhood, capture the dappled lighting on the stroll-able single family streets, and balance that with the desire to provide a modern, convenient, and active development that will add amenities and vibrancy to the neighborhood.



PRELIMINARY SITE PLAN EDGE CONDITIONS



RELEVANT DESIGN GUIDELINES *(REFERENCED FROM THE DESIGN GUIDELINES FOR PEDESTRIAN ORIENTED BUSINESS DISTRICTS)*

PURPOSE OF THE DESIGN GUIDELINES FOR THE BRIDLE TRAILS NEIGHBORHOOD CENTER (BCX ZONE)

The Bridle Trails Neighborhood Plan was adopted in late 2018 by the City Council. The Neighborhood Plan encourages redevelopment of the Bridle Trails Neighborhood Center into a lively pedestrian-oriented, transit-supportive, mixed-use residential and commercial neighborhood center.

The design guidelines are intended to further the following design objectives described in the Plan for neighborhood center and summarized below:

- Careful attention to architectural scale, massing and upper story step backs, pedestrian orientation and connections, compatibility with surrounding residential uses and commercial uses across NE 70th Street, building modulation, and use of materials to reduce the appearance of bulk and mass.
- Buildings are oriented to adjoining rights-of-way and internal pedestrian pathways.
- Green building standards and sustainable site standards are included in development.
- Taller building forms are located away from adjoining residential properties.
- Pedestrian-oriented design elements are incorporated into the development such as plazas to create public gathering spaces with public art, water features, and landscaping.
- Driveways are consolidated to minimize impacts on surrounding streets, and adjacent residential uses, and to foster a pedestrian-oriented site design.
- Parking and transportation impacts are minimized to create a pedestrian-oriented neighborhood center.
- A gateway feature should be provided at the corner of NE 70th Place and 132nd Avenue NE.

SPECIAL CONSIDERATION FOR NEIGHBORHOOD BUSINESS DISTRICTS, FINN HILL NEIGHBORHOOD CENTER (FHNC) AND HOUGHTON/EVEREST NEIGHBORHOOD CENTER (HENC), BRIDLE TRAILS NEIGHBORHOOD CENTER (BCX ZONE)

Issue

To create a focal point for the community and engage pedestrians, buildings are encouraged to be oriented to pedestrian-oriented streets in these zones. However, commercial space that is above or below the grade of the sidewalk can compromise the desired pedestrian orientation.

Guideline

- Commercial space should generally be at grade with the adjoining sidewalk. Where this is not feasible, the building should be setback from the sidewalk far enough to allow a comfortable grade transition with generous pedestrian oriented open space.

SPECIAL CONSIDERATION FOR BRIDLE TRAILS NEIGHBORHOOD CENTER (BCX ZONE)

- Continuous commercial building fronts should be provided along adjoining arterials and through-block pathways.
- Consideration should be made to maximize the usage of through-block pathways with commercial and other public activations. Any non-commercial building fronts should be located in areas where less successful commercial activity may occur.
- Special attention should be made in locating commercial building fronts near intersecting through-block pathways and where transit services are located.

Guideline

- All buildings on pedestrian-oriented streets should be encouraged to have upper-story activities overlooking the street, as well as balconies and roof decks with direct access from living spaces. Planting trellises and architectural elements are encouraged in conjunction with decks and bay windows. Upper-story commercial activities are also encouraged.

Guideline

- All building entries should be well lit. Building facades in pedestrian areas should provide lighting to walkways and sidewalks through building-mounted lights, canopy or awning-mounted lights, and display window lights.
- Encourage variety in the use of light fixtures to give visual variety from one building facade to the next. Back-lit or internally-lit translucent awnings should be prohibited.

Guideline

- Successful pedestrian-oriented plazas are generally located in sunny areas along a well-traveled pedestrian route. Plazas must provide plenty of sitting areas and amenities and give people a sense of enclosure and safety.

SPECIAL CONSIDERATION FOR BRIDLE TRAILS NEIGHBORHOOD CENTER (BCX ZONE)

Plazas should be located facing pedestrian-friendly building fronts, near intersecting through-block pathways and where transit services are located. Plaza should be a focal point of public gather and seek opportunities to provide space for performances, passive and children's recreation.

Guideline

- Design all major pedestrian pathways to be at least 8' wide. Other pathways with less activity can be 6' wide.

The Through block pathway connecting NE70th Place to shops and services within the neighborhood center should be designed with amenities and help transition pedestrian traffic from lower grade at the street to the more level grade within the neighborhood center. Design of this pathway should provide places for people to pause and gather and provide a planted buffer from vehicular traffic.

RELEVANT DESIGN GUIDELINES *(REFERENCED FROM THE DESIGN GUIDELINES FOR PEDESTRIAN ORIENTED BUSINESS DISTRICTS)*

SPECIAL CONSIDERATION FOR BRIDLE TRAILS NEIGHBORHOOD CENTER (BCX ZONE) - PEDESTRIAN PATHS AND AMENITIES

Streets and pathways should enhance the pedestrian experience and find opportunities to provide passive seating areas, cafe seating, green space, small scale performance area, public art, and children's recreation and small public gathering space. Sidewalks along 130th Avenue NE should enhance the City's Greenways connection.

Guideline

- Varied Window treatments should be encouraged. Ground floor uses should have large windows that showcase storefront displays to increase pedestrian interest. Architectural detailing at all window jambs, sills, and heads should be emphasized.

SPECIAL CONSIDERATIONS FOR NEIGHBORHOOD BUSINESS DISTRICTS, FINN HILL NEIGHBORHOOD CENTER (FHNC) AND THE HOUGHTON/EVEREST NEIGHBORHOOD CENTER, BRIDLE TRAILS NEIGHBORHOOD CENTER (BCX ZONE)

Guideline

- Façades over 120 feet in length should incorporate vertical definition including substantial modulation of the exterior wall carried through all floors above the ground floor combined with changes in color and material.

Guideline

- Horizontal building modulation may be used to reduce the perceived mass of a building and to provide continuity at the ground level of large building complexes. Building design should incorporate strong pedestrian-oriented elements at the ground level and distinctive roof treatments.

SPECIAL CONSIDERATION FOR BUILDING MASSING IN CENTRAL BUSINESS DISTRICT I (CBD 1A & 1B) AND THE HOUGHTON/ EVEREST NEIGHBORHOOD CENTER - UPPER STORY STEP BACKS, BRIDLE TRAILS NEIGHBORHOOD CENTER (BCX ZONE)

Guidelines - Upper Story Setbacks

- Buildings above the second story (or third story where applicable in the Downtown Plan) should utilize upper story step backs to create receding building forms as building height increases, allow for additional solar access, and maintain human scale at the street level.
- The final arrangement of building mass should be placed in context with existing and/or planned improvements, solar access, important street corners, and orientation with the public realm.
- A rigid stair step or "wedding cake" approach to upper story step backs is not appropriate.
- Decks and/or balconies should be designed so that they do not significantly increase the apparent mass of the building within the required upper story setback area.
- In addition to applying setbacks to upper stories, building facades should be well modulated to avoid blank walls and provide architectural interest.
- Along pedestrian oriented streets, upper story building facades should be stepped back to provide enough space for decks, balconies and other activities overlooking the street.
- Landscaping on upper story terraces should be included where appropriate to soften building forms and provide visual interest.
- Continuous two or three story street walls should be avoided by incorporating vertical and horizontal modulations into the building form.
- Limited areas of vertical three, four, or five story walls can be used to create vertical punctuation at key facades. Special attention to maintain an activated streetscape is important in these areas.
- For properties on Park Lane which front multiple streets and upper story setbacks are proposed to be averaged, concentration of upper story building mass along Park Lane should be avoided.

Guideline

Color schemes should adhere to the guidelines enumerated above. The use of a range of colors compatible within a coordinated color scheme should be encouraged.

SPECIAL CONSIDERATIONS FOR BRIDLE TRAILS NEIGHBORHOOD CENTER (BCX ZONE)

Special attention to the use of colors and materials should be used on a building's upper stories to reduce the appearance of taller buildings.

Guidelines

- The placement and amount of landscaping for new and existing development should be mandated through design standards. Special consideration should be given to the purpose and context of the proposed landscaping. The pedestrian/ auto landscape requires strong plantings of a structural nature to act as buffers or screens. The pedestrian landscape should emphasize the subtle characteristics of the plant materials. The building landscape should use landscaping that complements the building's favorable qualities and screens its faults. Along the Cross Kirkland Corridor and Eastside Rail Corridor, landscape design should screen where necessary, but generally soften the edge between the public and private space to integrate and complement corridor functions.

SPECIAL CONSIDERATION FOR BRIDLE TRAILS NEIGHBORHOOD CENTER (BCX ZONE)

A combination of both street and private trees with associated landscaping should be used to help mitigate the urban edges of the neighborhood center adjacent to residential neighborhoods.

MASSING OPTION COMPARISON

Massing Option 1

SWEEPING HORIZONTAL DATUMS



PEDESTRIAN APPROACH FROM NORTHEAST

PROS AND CONS:

Pros:

- Massing highlights the primary residential entry at the SE corner.
- Single story inset within massing reflects human scale along NE 70th and 103th Ave NE.
- Meets prescribed zoning code setbacks/stepbacks.

Cons:

- The unmodulated, continuous facades appear long.
- Open space at the SE corner in front of the primary residential entry is limited.
- Interior courtyards are smaller resulting in less than optimal sunlight to courtyard facing residential units.

Massing Option 2

VERTICAL BAYS



PEDESTRIAN APPROACH FROM NORTHEAST

PROS AND CONS:

Pros:

- Larger courtyards provide residents with more access to daylight and a sense of openness.
- Addition of tall massing bays break up the façade so the building reads as residential.
- Provides more open space in front of lobby and amenities fronting shopping center. This allows for amenities to potentially extend to the exterior and better engage the sidewalks connecting to the shopping center.
- Massing reflects intermediate scale along NE 70th and 103th Ave NE.
- Meets prescribed zoning code setbacks/stepbacks.

Cons:

- The saw-tooth elements of the upper levels compete visually with the three story modulation below.

Massing Option 3 (Preferred)

FRAMES



PEDESTRIAN APPROACH FROM NORTHEAST

PROS AND CONS:

Pros:

- Larger courtyards provide residents with more access to daylight and a sense of openness.
- Wide, shallow massing frames break up the facade, reduce facade monotony, and reduce the perceived scale of the building.
- Provides more open space in front of lobby and amenities fronting shopping center. This allows for amenities to potentially extend to the exterior and better engage the sidewalks connecting to the shopping center.
- Massing highlights the primary residential entry at the SE corner.
- Massing reflects a more human scale along NE 70th and 103th Ave NE.
- Meets prescribed zoning code setbacks/stepbacks.

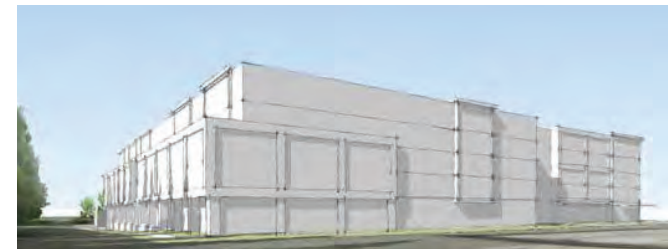
Cons:



PEDESTRIAN APPROACH FROM SOUTHWEST



PEDESTRIAN APPROACH FROM SOUTHWEST



PEDESTRIAN APPROACH FROM SOUTHWEST

MASSING – OPTION 1



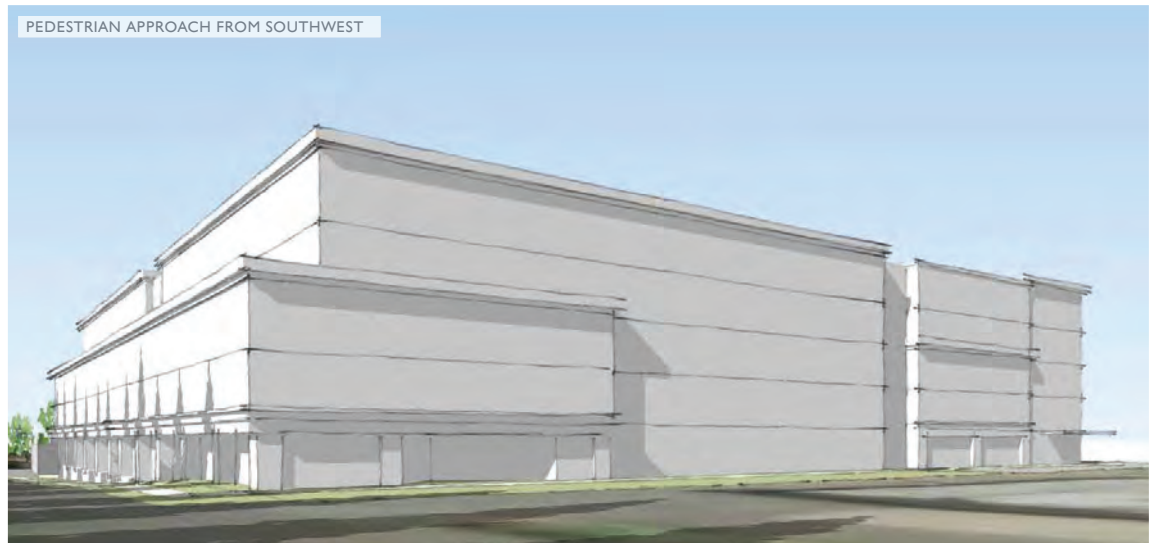
All buildings on pedestrian-oriented streets should be encouraged to have upper-story activities overlooking the street, as well as balconies and roof decks with direct access from living spaces.



Continuous commercial building fronts should be provided along adjoining arterials and through-block pathways.



Commercial space should generally be at grade with the adjoining sidewalk.



The garage entry faces the loading area of Grocery Outlet.

MASSING – OPTION 1



Building design should incorporate strong pedestrian-oriented elements at the ground level and distinctive roof treatments.



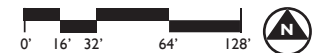
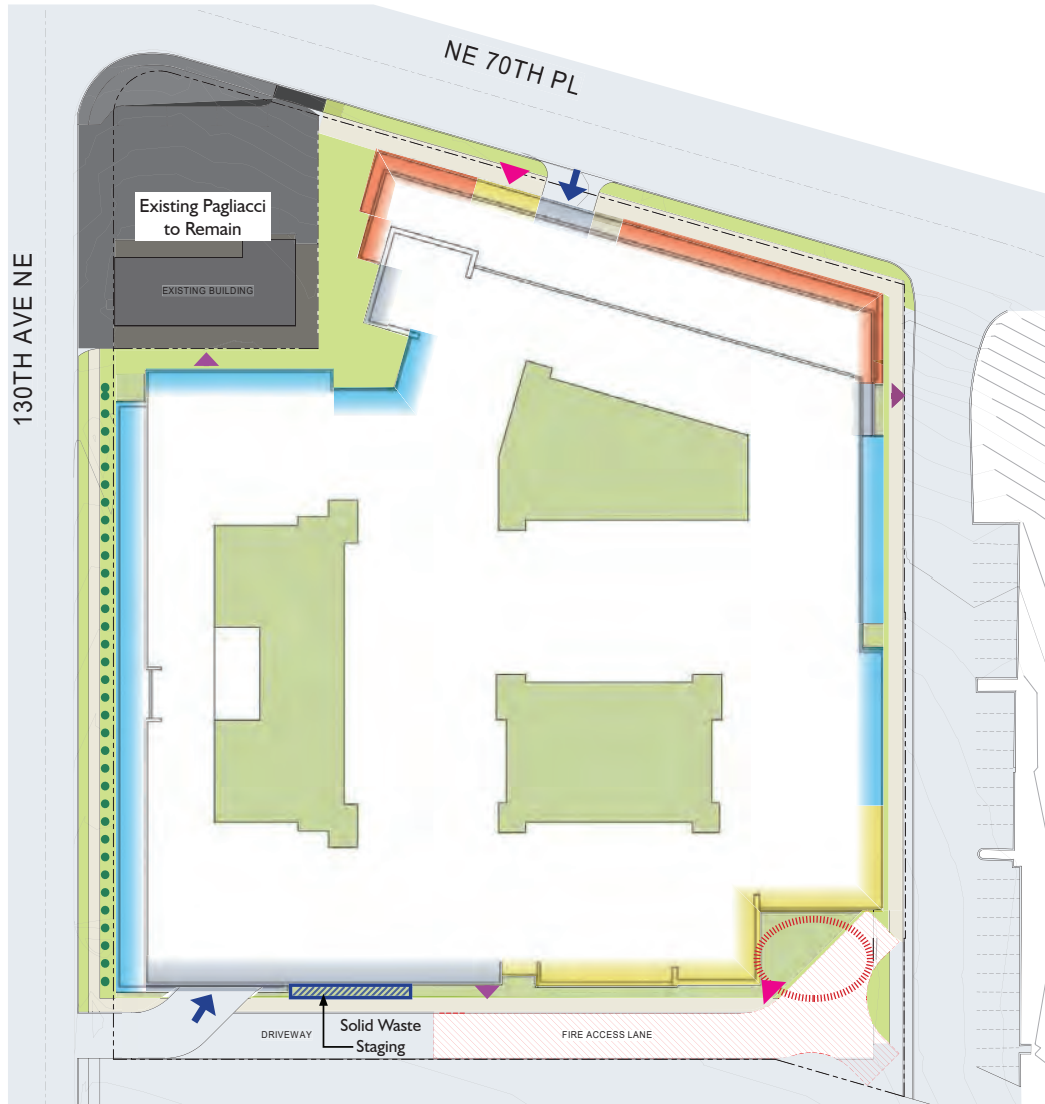
All buildings on pedestrian-oriented streets should be encouraged to have upper-story activities overlooking the street, as well as balconies and roof decks with direct access from living spaces



Horizontal building modulation may be used to reduce the perceived mass of a building and to provide continuity at the ground level of large building complexes.

PROPOSED GRADE RELATED FEATURES – OPTION 1

- RETAIL FRONTAGE AT GRADE
- RESIDENTIAL FRONTAGE AT GRADE
- LOBBY / LEASING / AMENITY AT GRADE
- PARKING / LOADING / MECHANICAL AT GRADE
- PRIMARY PEDESTRIAN ENTRY
- PRIMARY VEHICLE ENTRY
- EGRESS DOOR
- RESIDENTIAL PATIOS AT GRADE
- SOLID WASTE STAGING
- REQUIRED PUBLIC OPEN SPACE



MASSING – OPTION 2



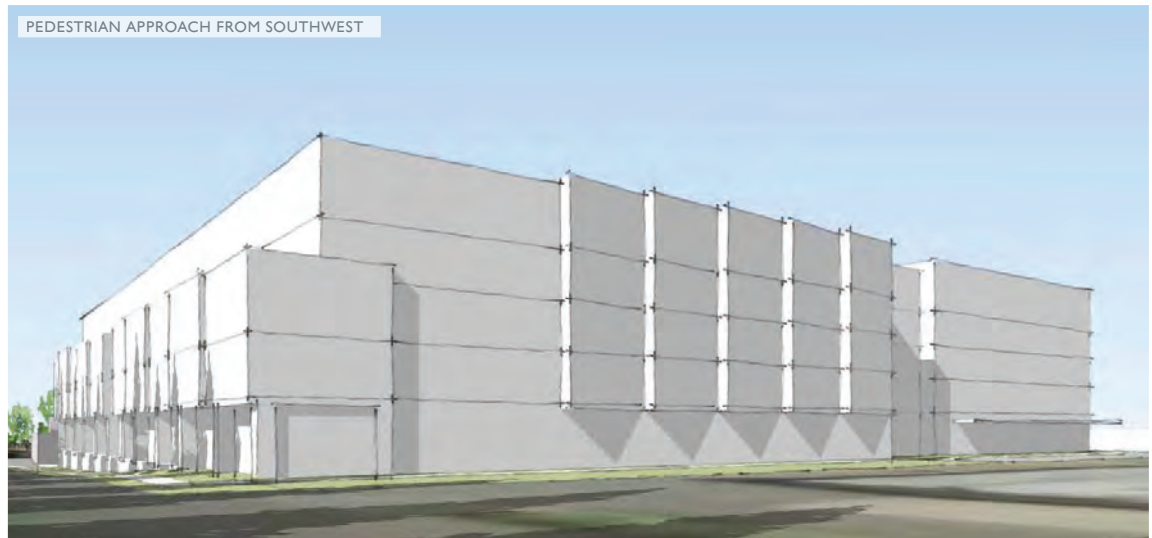
In addition to applying setbacks to upper stories, building facades should be well modulated to avoid blank walls and provide architectural interest.



Horizontal building modulation may be used to reduce the perceived mass of a building and to provide continuity at the ground level of large building complexes. Building design should incorporate strong pedestrian-oriented elements at the ground level and distinctive roof treatments.



Along pedestrian oriented streets, upper story building facades should be stepped back to provide enough space for decks, balconies and other activities overlooking the street.



Facades over 120 feet in length should incorporate vertical definition including substantial modulation of the exterior wall carried through all floors above the ground floor combined with changes in color and material.

MASSING – OPTION 2

PEDESTRIAN APPROACH FROM SOUTHEAST



Limited areas of vertical three, four, or five story walls can be used to create vertical punctuation at key facades.

PEDESTRIAN APPROACH FROM WEST



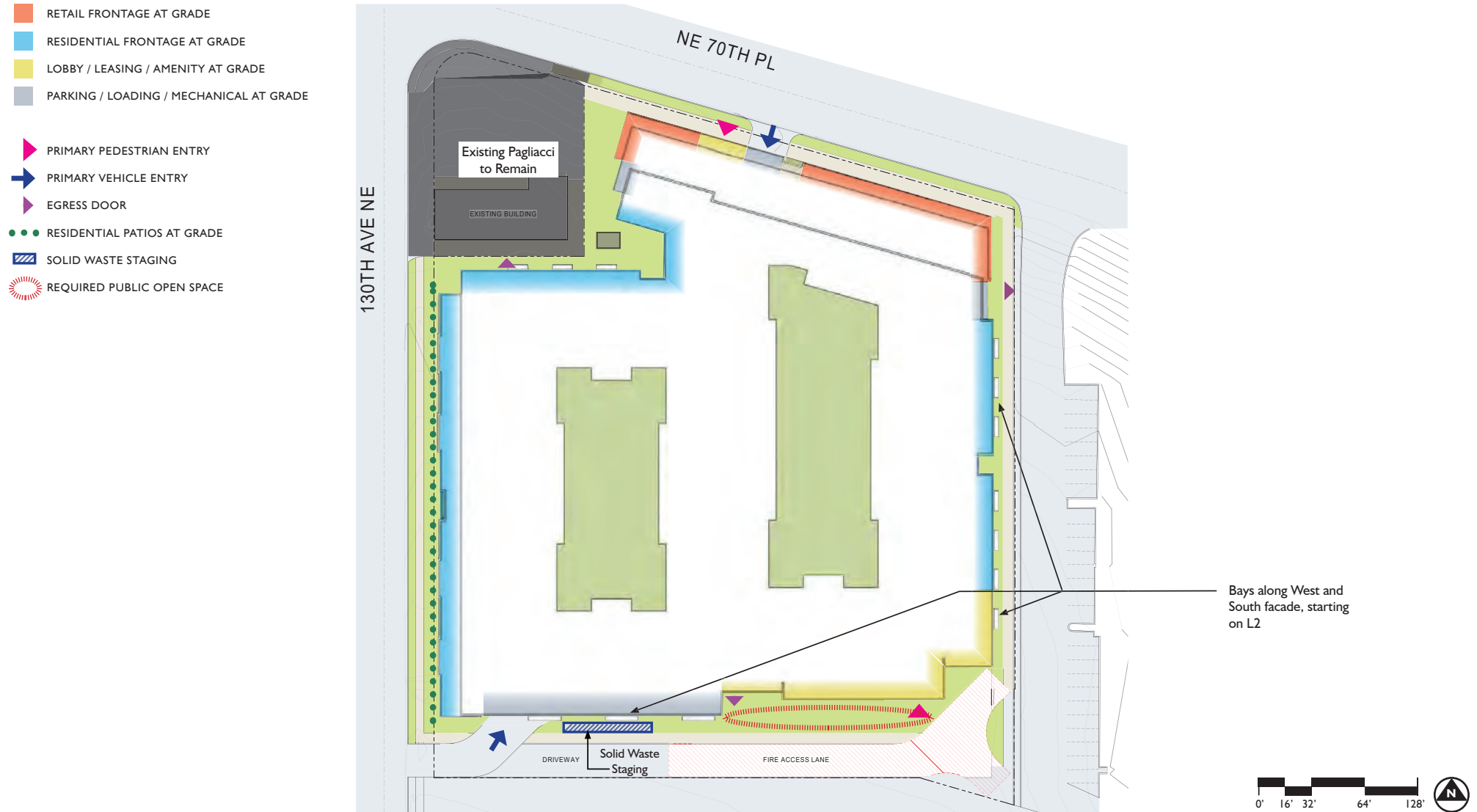
Continuous two or three story street walls should be avoided by incorporating vertical and horizontal modulations into the building form.

AERIAL FROM NORTHEAST

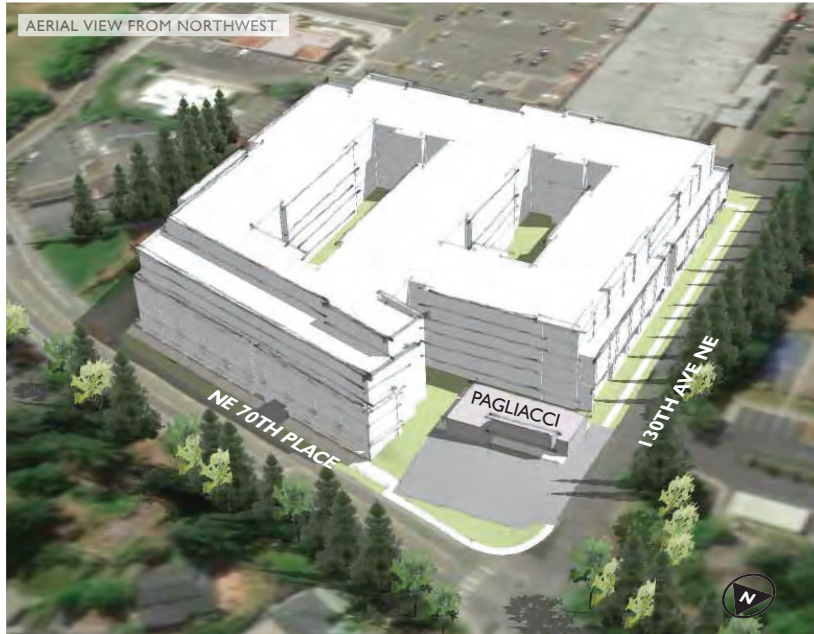


In addition to applying setbacks to upper stories, building facades should be well modulated to avoid blank walls and provide architectural interest.

PROPOSED GRADE RELATED FEATURES – OPTION 2



MASSING – PREFERRED OPTION



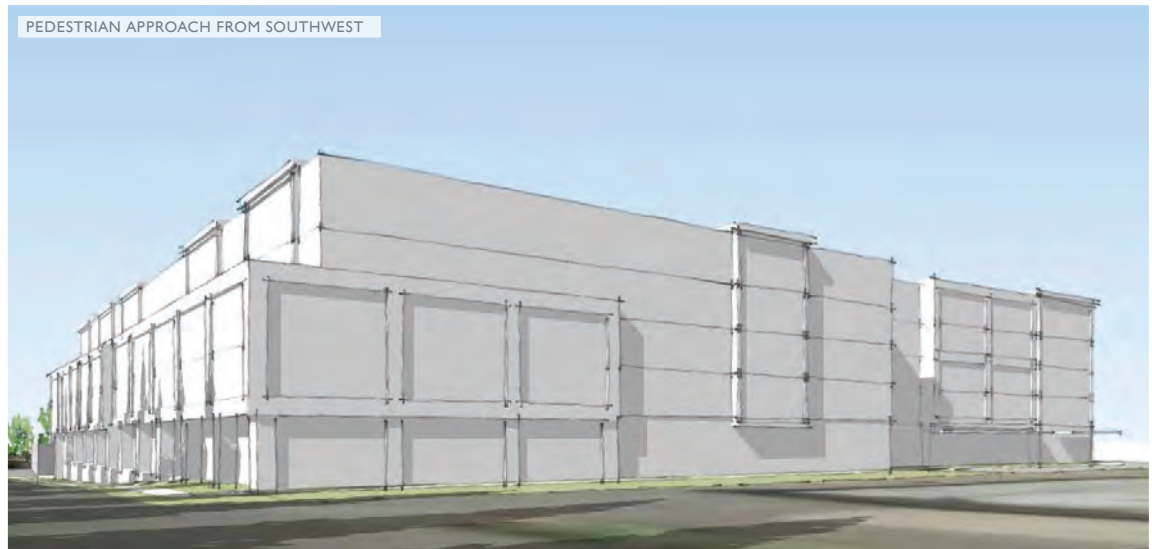
Along pedestrian oriented streets, upper story building facades should be stepped back to provide enough space for decks, balconies and other activities overlooking the street.



Horizontal building modulation may be used to reduce the perceived mass of a building and to provide continuity at the ground level.



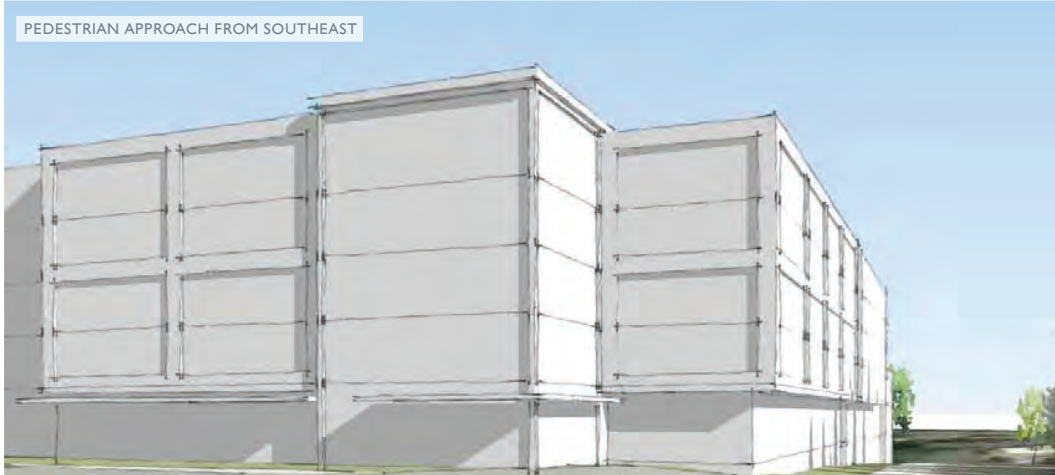
Commercial space should generally be at grade with the adjoining sidewalk.



Continuous two or three story street walls should be avoided by incorporating vertical and horizontal modulations into the building form.

MASSING – PREFERRED OPTION

PEDESTRIAN APPROACH FROM SOUTHEAST



Limited areas of vertical three, four, or five story walls can be used to create vertical punctuation at key facades.

PEDESTRIAN APPROACH FROM WEST



Horizontal building modulation may be used to reduce the perceived mass of a building and to provide continuity at the ground level of large building complexes. Building design should incorporate strong pedestrian-oriented elements at the ground level and distinctive roof treatments.

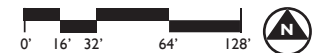
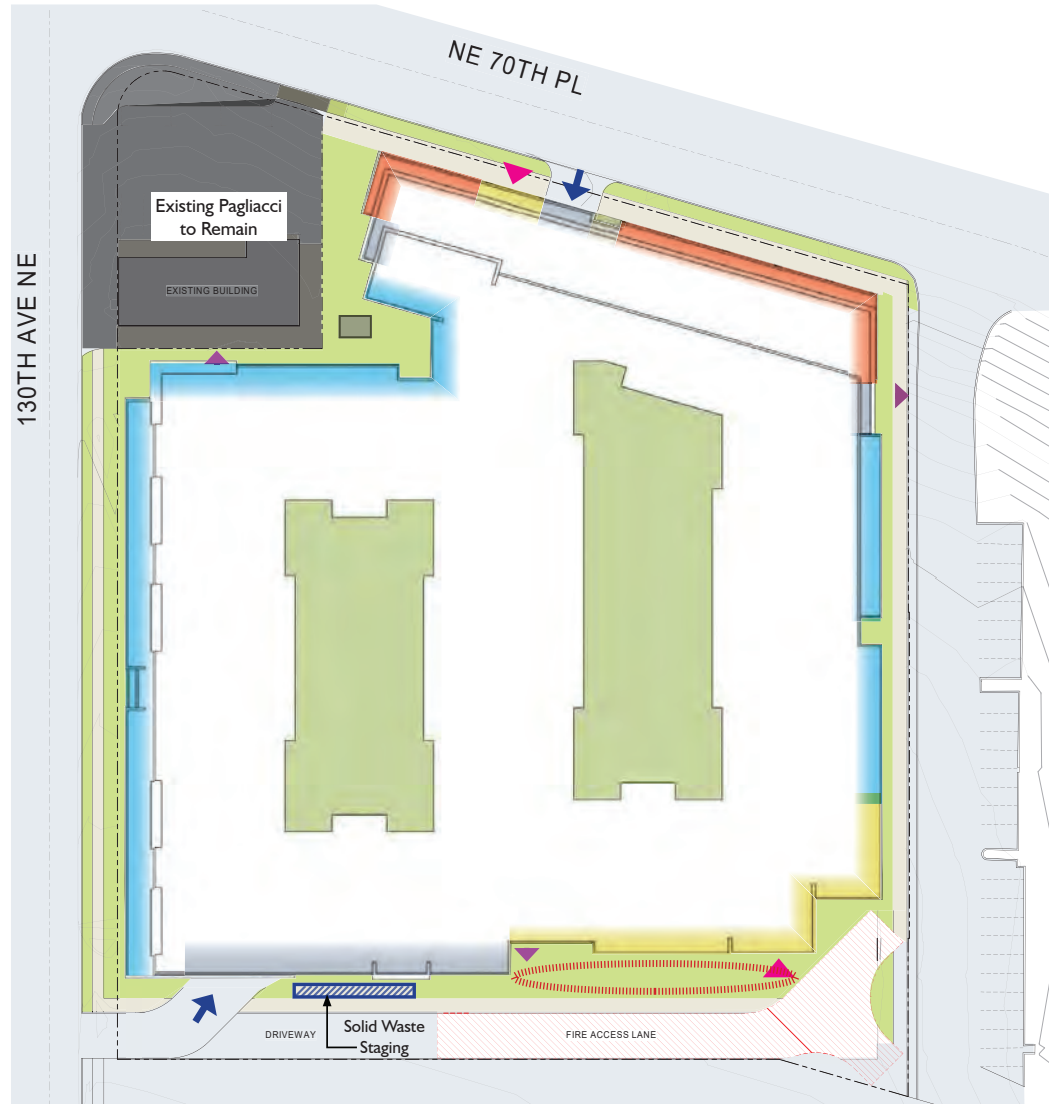
AERIAL FROM NORTHEAST



Buildings above the second story should utilize upper story step backs to create receding building forms as building height increases, allow for additional solar access, and maintain human scale at the street level.

PROPOSED GRADE RELATED FEATURES – PREFERRED OPTION

- RETAIL FRONTAGE AT GRADE
- RESIDENTIAL FRONTAGE AT GRADE
- LOBBY / LEASING / AMENITY AT GRADE
- PARKING / LOADING / MECHANICAL AT GRADE
- PRIMARY PEDESTRIAN ENTRY
- PRIMARY VEHICLE ENTRY
- EGRESS DOOR
- RESIDENTIAL PATIOS AT GRADE
- SOLID WASTE STAGING
- REQUIRED PUBLIC OPEN SPACE



CHAPTER 35 – COMMERCIAL ZONES (BN, BNA, FHNC, BC 1, BC 2, BCX, HENC 1, HENC 3)

Sections:

- [35.05](#) User Guide
 - [35.05.010](#) Applicable Zones
 - [35.05.020](#) Common Code References
- [35.10](#) General Regulations
 - [35.10.010](#) All Commercial Zones
 - [35.10.020](#) BN, BNA Zones
 - [35.10.030](#) BC 1, BC 2 Zones
 - [35.10.040](#) BCX Zones
 - [35.10.050](#) FHNC Zone
 - [35.10.060](#) HENC 1, HENC 3 Zones
- [35.20](#) Permitted Uses
- [35.30](#) Density/Dimensions
- [35.40](#) Development Standards

35.05 User Guide

Step 1. Check that the zone of interest is included in [KZC 35.05.010](#), Applicable Zones. If not, select the chapter where it is located.

Step 2. Refer to [KZC 35.05.020](#), Common Code References, for relevant information found elsewhere in the code.

Step 3. Refer to the General Regulations in [KZC 35.10](#) that apply to the zones as noted.

Step 4. Find the Use of interest in the Permitted Uses Table in [KZC 35.20](#) and read across to the column pertaining to the zone of interest. If a Use is not listed in the table, it is not allowed. A listed use is permitted unless "NP" (Not Permitted) is noted for the table. Note the Required Review Process and Special Regulations that are applicable. There are links to the Special Regulations listed immediately following the table (PU-1, PU-2, PU-3, etc.).

Step 5. Find the Use of interest in the Density/Dimensions Table in [KZC 35.30](#) and read across the columns. Note the standards (Minimum Lot Size, Required Yards, Maximum Lot Coverage, and Maximum Height of Structure) and Special Regulations that are applicable. There are links to the Special Regulations listed immediately following the table (DD-1, DD-2, DD-3, etc.).

Step 6. Find the Use of interest in the Development Standards Table in [KZC 35.40](#) and read across the columns. Note the standards (Landscape Category, Sign Category, and Required Parking Spaces) and Special Regulations that are applicable. There are links to the Special Regulations listed immediately following the table (DS-1, DS-2, DS-3, etc.).

Note: Not all uses listed in the Density/Dimensions and Development Standards Tables are permitted in each zone addressed in this chapter. Permitted uses are determined only by the Permitted Uses Table.

35.05.010 Applicable Zones

This chapter contains the regulations for uses in the commercial zones (BN, BNA, BC 1, BC 2, BCX, FHNC, HENC 1, HENC 3) of the City.

35.05.020 Common Code References

- Refer to Chapter [1](#) KZC to determine what other provisions of this code may apply to the subject property.
- Public park development standards will be determined on a case-by-case basis. See [KZC 45.50](#).
- Review processes, density/dimensions and development standards for shoreline uses can be found in Chapter [88](#) KZC, Shoreline Management.
- Some development standards or design regulations may be modified as part of the design review process. See Chapter [98](#) and [142](#) KZC for requirements.
- Chapter [115](#) KZC contains regulations regarding home occupations and other accessory uses, facilities, and activities associated with Assisted Living Facility, Attached or Stacked Dwelling Units, and Stacked Dwelling Unit uses.
- Development adjoining the Cross Kirkland Corridor or Eastside Rail Corridor shall comply with the standards of [KZC 5.24](#).
- Structures located within 30 feet of a parcel in low density zone or low density use in PLA 17 shall comply with additional limitations on structure size established by [KZC 5.136](#).

(Ord. 4749 § 1, 2021; Ord. 4637 § 3, 2018; Ord. 4636 § 3, 2018; Ord. 4476 § 2, 2015)

35.10 General Regulations**35.10.010 All Commercial Zones**

The following regulations apply to all uses in these zones unless otherwise noted:

- Surface parking areas shall not be located between the street and building unless no feasible alternative exists. Parking areas located to the side of the building are allowed; provided, that the parking area and vehicular access occupies less than 30 percent of the property frontage and design techniques adequately minimize the visibility of the parking.

35.10.020 BN, BNA Zones

- The following commercial frontage requirements shall apply to all development that includes dwelling units or assisted living uses:
 - The street level floor of all buildings shall be limited to one or more of the following uses, except as allowed in subsection (1)(c) of this section: Restaurant or Tavern; Entertainment, Cultural and/or Recreational Facility; or Office. These uses shall be oriented toward fronting arterial and collector streets and have a minimum depth of 20 feet and an average depth of at least 30 feet (as measured from the face of the building along the street).

The Design Review Board (or Planning and Building Director if not subject to DR) may approve a minor reduction in the depth requirements if the applicant demonstrates that the requirement is not feasible given the configuration of existing or proposed improvements and that the design of the commercial frontage will maximize visual interest. The Design Review Board (or Planning and Building Director if not subject to DR) may modify the frontage requirement where the property abuts residential zones in order to create a more effective transition between uses.
 - The commercial floor shall be a minimum of 13 feet in height. In the BN zone, the height of the structure may exceed the maximum height of structure by three feet for a three-story building with the required 13-foot commercial floor.
 - Other uses allowed in this zone and parking shall not be located on the street level floor unless an intervening commercial frontage is provided between the street and those other uses or parking subject to the standards above. Lobbies for residential or assisted living uses may be allowed within the commercial frontage provided they do not exceed 20 percent of the building's linear commercial frontage along the street.