

## WESTERN FRONTAGE ARTICULATION AT SOUTHWEST CORNER



### PE-6 UPPER-STORY ACTIVITIES OVERLOOKING THE STREET

Resident outdoor amenity space and private residential decks are provided at upper story setbacks adding an additional level of activation along the through-block connection.

### PI-1 PATHWAY WIDTH

The east-west through-block connection varies in width but is over eight feet wide in all locations, providing plenty of space for residential amenities to spill out, as well as space for joggers, kids bike riding, strollers and other pedestrians. The wide through-block connection is safely separated from the adjacent shopping center parking lot by continuous planting and street trees.

### S-3 BUILDING MODULATION VERTICAL

A large break in the frontage separates the massing into shorter building segments. The resulting two masses are further broken down by vertical gestures running from grade to roof line. These gestures are highlighted by plane changes in the massing as well as material changes on the facades and changes in the roof line. No segment on the southern frontage is over 120 feet long.

### S-4 & BUILDING MODULATION HORIZONTAL S-5 & UPPER STORY STEP BACKS

While building stepbacks are not required along the through-block connections, the building design does step back the massing along much of the southern frontage. Additionally the lowest levels of the facade are clad in a different material and capped with trim. This expression further horizontally modulates the massing and distinguishes the pedestrian realm, adding scale to the building.

### BM-2 COLOR

The building's design focuses on a natural and fresh color palette. A mottled brick has been chosen for the brick frame elements to add variety and depth to the facade and warm, earthy accent colors enhance the richness of the color palette.

### BM-3 STREET CORNERS

At the facade opening at the southern facing residential courtyard, the building corners are highlighted by their massing, contrasting cladding, and raised parapets. The upper level interior amenity space at the south west corner is similarly distinguished.



## WESTERN FRONTAGE ARTICULATION



### PE-6 UPPER-STORY ACTIVITIES OVERLOOKING THE STREET

Resident outdoor amenity space and private residential decks are provided at upper story setbacks adding an additional level of activation along 130th street frontage.

### PL-1 PARKING LOCATIONS & ENTRANCES

A parking entry is provided at the north end of 130th in a location where it is best separated from residential patios at grade and the intersection with the east-west through-block connection.

### S-1 FENESTRATION PATTERNS

Paired and singular punched window openings provide pattern to the facades — a language typical in residential typology.

### S-2 ARCHITECTURAL ELEMENTS: DECKS, BAY WINDOWS, ARCADES, PORCHES

Balconies fronting the residential street emphasize the residential nature of the building and enhance the human scale of the facade. The building design also utilizes a variety of cornice shapes and profiles which add detail to the building modulation.

### S-3 BUILDING MODULATION VERTICAL

A large opening in the massing at the western facing courtyard breaks the building into two smaller massing segments. To the north, vertical gestures running from grade to roof line further break down the frontage. To the south, the frontage is broken down by the rhythm of brick pilasters that run grade to parapet and the groupings of paired balconies modulating the frontage.

### S-4 & BUILDING MODULATION HORIZONTAL S-5 & UPPER STORY STEP BACKS

While prescriptive building stepbacks are required along 70th and 130th, the code allows for averaging which provides opportunities for areas of coplanar facade. These limited areas coupled with the large portion of the frontage with no upper stories reduce the appearance of “wedding cake” massing. Additionally the lowest levels of the facade are clad differently and capped with trim further horizontally modulating the massing.

### BM-2 COLOR

The building’s design focuses on a natural and fresh color palette. A mottled brick has been chosen for the brick frame elements to add variety and depth to the facade and warm, earthy accent colors enhance the richness of the color palette.

### BM-3 STREET CORNERS

At the facade opening to the western facing residential courtyard, the building corners are highlighted by their massing, contrasting cladding, and raised parapets. At the southwest upper massing, a canopy wraps the frontage where there is amenity space highlighting the building corner as well as the unique use.

### NF-1 VISUAL QUALITY OF LANDSCAPES

Street trees coupled with landscaping and additional trees mimic the lush landscaping of the adjacent neighborhood and soften the developments frontage to feel coherent with the Bridle Trails neighborhood.



## WESTERN FRONTAGE ARTICULATION AT THE NORTHWEST CORNER

### PE-4 PEDESTRIAN COVERINGS

Canopies are provided along all of 70th. In keeping with larger development and arterial frontage guidance, the canopies are similar in design and style. However the canopy above the primary residential entry is located higher on the facade highlighting this entry and providing variety along the street frontage.

### PE-5 “PEDESTRIAN-FRIENDLY” BUILDING FRONTS

The ground-level facade between 2' and 6' above the sidewalk is primarily transparent providing views into active uses and retail. Commercial frontage is prioritized along 70th where commercial activity is likely to be most successful.

### PE-6 UPPER-STORY ACTIVITIES OVERLOOKING THE STREET

Resident outdoor amenity space and private residential decks are provided at upper story setbacks adding an additional level of activation along the pedestrian-oriented street frontage.

### S-1 FENESTRATION PATTERNS

Paired and singular punched window openings provide pattern to the facades — a language typical in residential — while finer grain muntins add character to the storefront windows at active uses.

### S-4 & BUILDING MODULATION HORIZONTAL, S-5 & UPPER STORY STEPBACKS

While prescriptive building setbacks are required along 70th and 130th, the code allows for averaging which provides opportunities for areas of coplanar facade. These limited areas where the building continues from grade to roof line coupled with variations in the setback parapets reduce the appearance of “wedding cake” massing. The areas with large setbacks provide horizontal modulation to help reduce the apparent height of the building as perceived by pedestrians.

### BM-2 COLOR

The building's design focuses on a natural and fresh color palette. A mottled brick has been chosen for the brick frame elements to add variety and depth to the facade and warm, earthy accent colors enhance the richness of the color palette. The upper most level fronting 70th is a neutral gray tone that helps the top floor disappear from view.





## PEDESTRIAN VIEW ON NE 70TH



EXISTING PEDESTRIAN CONDITION



### PE-1 SIDEWALK WIDTH: MOVEMENT ZONE

A direct 10' wide sidewalk is provided along all NE 70th frontage in keeping with design guidelines as well as code requirements for pedestrian oriented streets.

### PE-2 SIDEWALK WIDTH: CURB ZONE

Street trees and other pedestrian amenities are provided within the curb zone of the sidewalk.

### PE-3 SIDEWALK WIDTH: THE STOREFRONT ACTIVITY ZONE

Retail storefronts angle away from the primary sidewalk, graciously opening towards the central plaza. This angle creates wider sidewalk areas along the retail frontage and opportunities for retail to spill out, engaging pedestrians without impeding their movement.

### PE-4 PEDESTRIAN COVERINGS

Canopies are provided along all of 70th. In keeping with larger development and arterial frontage guidance, the canopies are similar in design and style. However the canopy above the primary residential entry is located higher on the facade highlighting this entry and providing variety along the street frontage.

### PE-5 "PEDESTRIAN-FRIENDLY" BUILDING FRONTS

The ground-level facade between 2' and 6' above the sidewalk is primarily transparent providing views into active uses and retail. Commercial frontage is prioritized along 70th where commercial activity is likely to be most successful.

### PE-7 LIGHTING FROM BUILDINGS

Masonry pilasters along 70th are highlighted by accent lights that add detail to the facade and illumination to the street frontage. Additional down lights on the canopies illuminate retail entries and sidewalks for pedestrian ease and safety.

### PI-2 PEDESTRIAN PATH AND AMENITIES

The landscape design includes plenty of seat walls and places for tables, as well as more open areas appropriate for gathering or active recreation. On 70th and in the 70th plaza, built-in seat walls create pleasant places for shoppers to rest, set down belongings, or wait for a friend.

### PI-3 STREET TREES

Street trees are provided along 70th in keeping with Kirkland codes and design guidelines.

### BM-2 COLOR

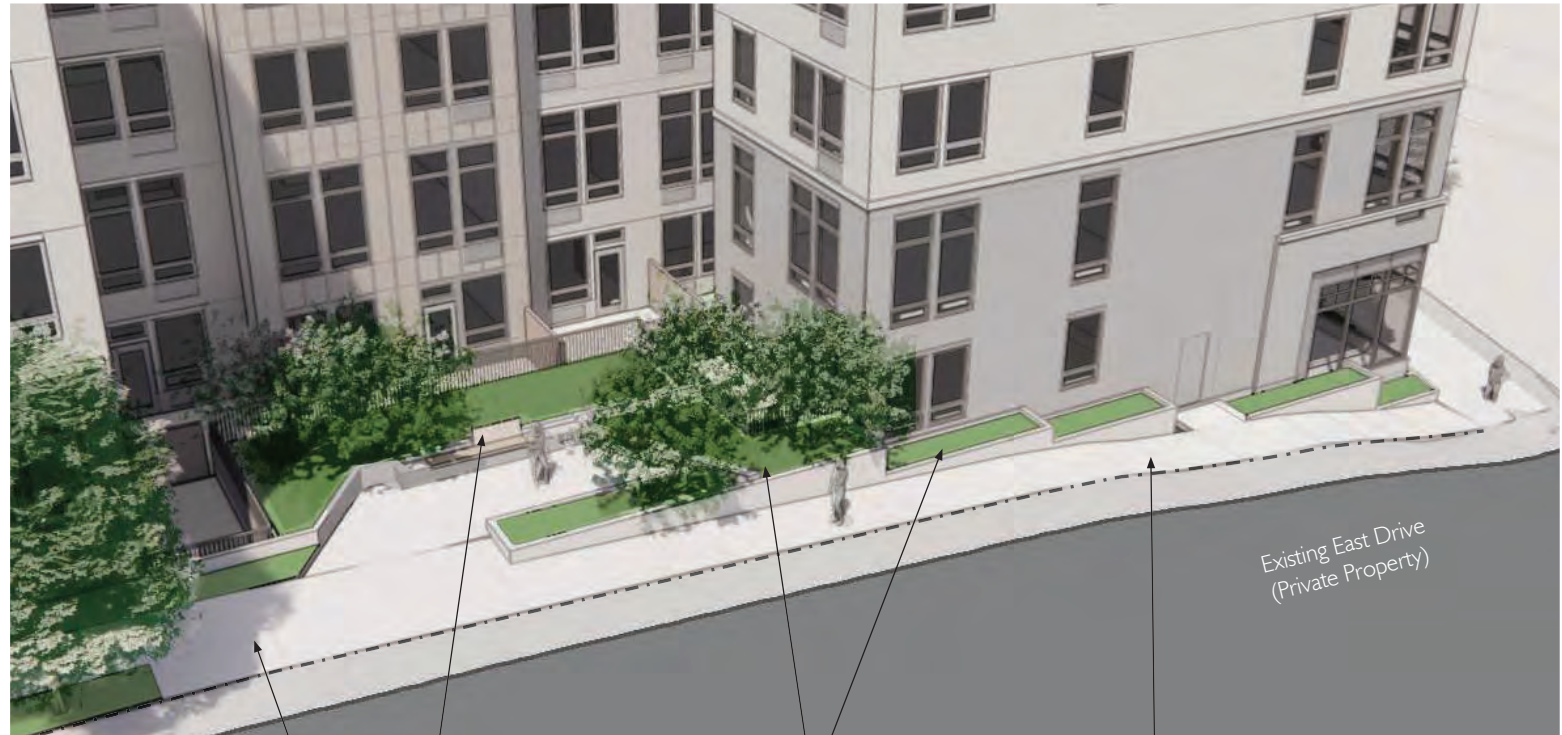
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### BM-4 SIGNS

Retail signs are planned to hang below the storefront canopies adjacent to retail entries. This orientation works well for pedestrians. Additional signage is planned for atop the canopy which is easier for passing vehicles to identify.

## EASTERN THROUGH-BLOCK PEDESTRIAN CONNECTION

Courtyard B Birdseye Diagram



NOT TO SCALE



10' sidewalk: 6' clear,  
with 4' planting areas with  
street trees

Public resting area with  
seating and planting

Terraced planting beds

New 6' clear sidewalk with  
terraced street planting  
(7-18% slope to match  
adjacent roadway)



## PEDESTRIAN VIEWS ON EASTERN THROUGH-BLOCK CONNECTION

Looking North at Northern Public Open Space closer to 70th



### PE-5 “PEDESTRIAN-FRIENDLY” BUILDING FRONTS

Commercial frontage is prioritized along 70th where commercial activity is likely to be most successful. The project strategically places other active uses, like residential amenities along the through-block connections, to activate pedestrian experience. The ground-level facade between 2' and 6' above the sidewalk is primarily transparent at active uses to provide views into active spaces. Grade-related amenity spaces throughout the building maintain commercial floor heights so they may be converted at a later date if adjacent properties redevelop and the frontage becomes more conducive for true commercial use. The southeast corner amenity space includes a patio fronting the mini public open space. This provides an added layer of activation in what would otherwise be a residential courtyard.

### PE-4 PEDESTRIAN COVERINGS

Although overhead weather protection is not required along the through-block connections, the development includes canopies in areas where there is active use frontage as a way to enhance pedestrian comfort and engagement between interior and exterior activities.

### PI-1 PATHWAY WIDTH

The project provides two smaller public open spaces along the north-south through-block connection in keeping with the special considerations for BCX in design guidelines PI-1. These open spaces provide stopping points along the through-block connection for pedestrians climbing grade between 70th and the center of the BCX zone and are enhanced with seating, and planting.

Looking South at Southern Public Open Space Adjacent to Active Use Residential Amenity Spaces



### PI-2 PEDESTRIAN PATH AND AMENITIES

The landscape design includes plenty of seat walls and places for tables, as well as more open areas appropriate for gathering or active recreation. In the smaller opens spaces along the north-south through-block connection, public amenities focus on resting places for pedestrians climbing the hill and places for smaller groups and conversations in lieu of large gatherings.

### PI-3 STREET TREES

Street trees are not required on through block connections. However, because this through-block is located adjacent to the shopping center's primary vehicle entry, the design treats this front similarly to a street and includes street trees separating pedestrians from vehicles. Along this edge the design calls for conifers in keeping with the evergreens on the other side of the driveway.

### BM-2 COLOR

The building's design focuses on a natural and fresh color palette. A mottled brick has been chosen for the brick frame elements to add variety and depth to the facade and warm, earthy accent colors enhance the richness of the color palette. The upper most level fronting 70th is a neutral gray tone that helps the top floor disappear from view.



## PEDESTRIAN VIEWS ON SOUTHERN THROUGH-BLOCK CONNECTION



EXISTING PEDESTRIAN CONDITION



### PE-5 “PEDESTRIAN-FRIENDLY” BUILDING FRONTS

Commercial frontage is prioritized along 70th where commercial activity is likely to be most successful. The project strategically places other active uses, like residential amenities along the through-block connections, to activate pedestrian experience. The ground-level facade between 2' and 6' above the sidewalk is primarily transparent at active uses to provide views into active spaces. Grade-related amenity spaces throughout the building maintain commercial floor heights so they may be converted at a later date if adjacent properties redevelop and the frontage becomes more conducive for true commercial use. The active use space adjacent to the large public open space includes a patio adding an additional layer of activation and engagement between the two spaces.

### PE-4 PEDESTRIAN COVERINGS

Although overhead weather protection is not required along the through-block connections, the development includes canopies in areas where there is active use frontage as a way to enhance pedestrian comfort and engagement between interior and exterior activities.

### PE-7 LIGHTING FROM BUILDINGS

Masonry pilasters are highlighted by accent lights that add detail to the facade and illumination to the street frontage. Additional down lights on the canopies illuminate entries, while bollard lights line the through-block pathway adding to pedestrian safety.

### PE-8 PEDESTRIAN-ORIENTED PLAZAS

The large public open space at the south end of the site has excellent solar access and responds well to the existing shopping center organization. Ringed by seat walls and lush planting, the center of the open space includes non-permanent seating to maintain flexibility. Located adjacent to active uses and active use patios, the open space is ideal for larger gatherings.

### PE-1 PATHWAY WIDTH

In keeping with the larger public open space centered on the southern frontage, and the wide open spaces of the adjacent shopping center, the east-west through-block connection is wider than required. The additional width allows for a variety of activities and pedestrian needs.

### PI-2 PEDESTRIAN PATH AND AMENITIES

The landscape design includes plenty of seat walls and places for tables, as well as more open areas appropriate for gathering or active recreation.

### BM-2 COLOR

The building's design focuses on a natural and fresh color palette. A mottled brick has been chosen for the brick frame elements to add variety and depth to the facade and warm, earthy accent colors enhance the richness of the color palette.



## PEDESTRIAN VIEW ON 130TH AVE NE



EXISTING PEDESTRIAN CONDITION

### PE-6 UPPER-STORY ACTIVITIES OVERLOOKING THE STREET

Resident outdoor amenity space and private residential decks are provided at upper story setbacks adding an additional level of activation along 130th street frontage.

### PE-7 LIGHTING FROM BUILDINGS

Masonry pilasters along 130th are highlighted by accent lights that add detail to the facade and illumination to the street frontage. Soffits above apartment patios have lighting as well that will be controlled by residents. These features add to the safety of both residents and pedestrians.

### PI-2 PEDESTRIAN PATHS AND AMENITIES

A comfortable sidewalk and ample planting along 130th enhance pedestrian experience in keeping with the city's Greenways connection.

### S-2 ARCHITECTURAL ELEMENTS: DECKS, BAY WINDOWS, ARCADES, PORCHES

Balconies fronting the residential street emphasize the residential nature of the building and enhance the human scale of the facade. The building design also utilizes a variety of cornice shapes and profiles which add detail to the building modulation.

### NF-1 VISUAL QUALITY OF LANDSCAPES

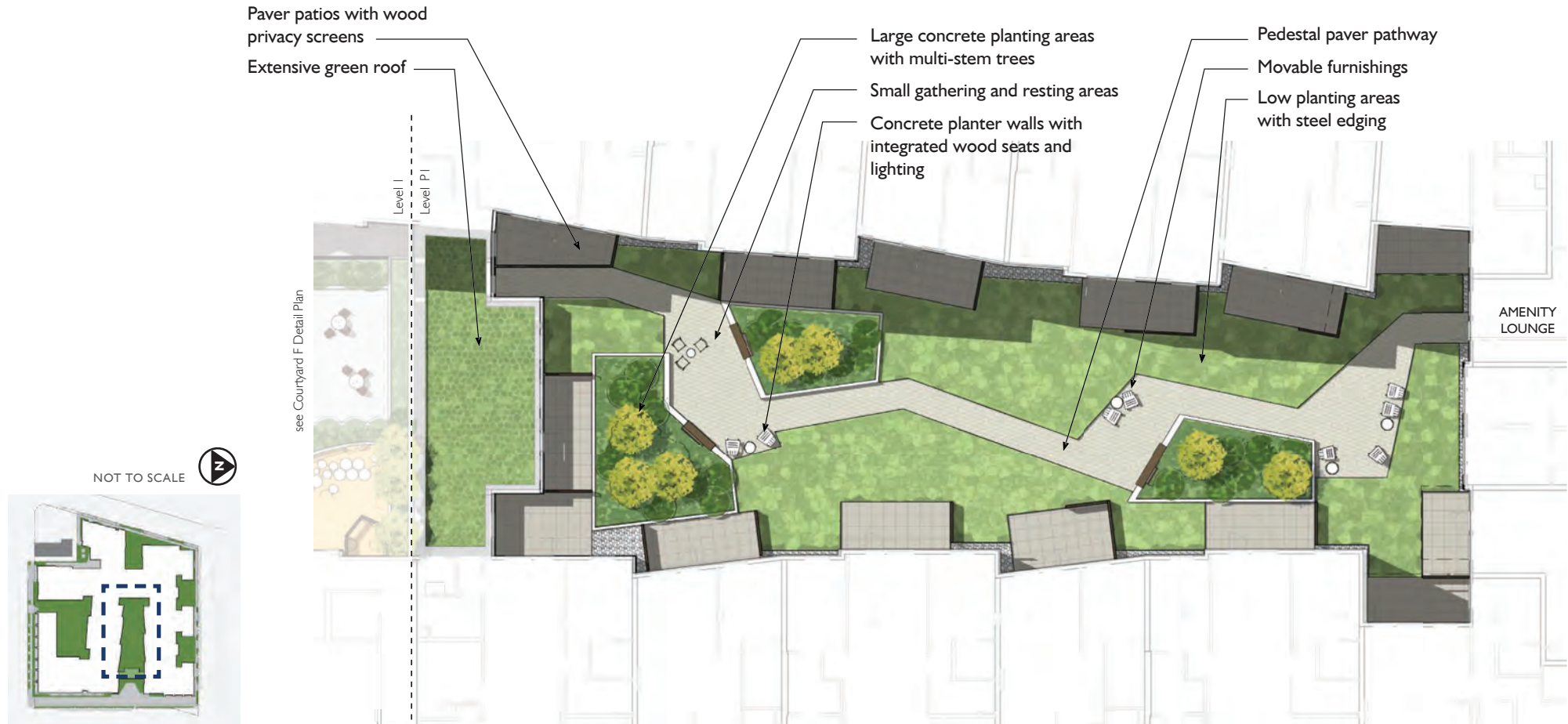
Street trees coupled with landscaping and additional trees mimic the lush landscaping of the adjacent neighborhood and soften the developments frontage to feel coherent with the Bridle Trails neighborhood.





## PRIVATE RESIDENTIAL COURTYARDS

Courtyard D, Level P I Detail Plan





## PRIVATE RESIDENTIAL COURTYARDS

Courtyard D Inspirations and View





## PRIVATE RESIDENTIAL COURTYARDS

### Courtyard E, Level I Detail Plan





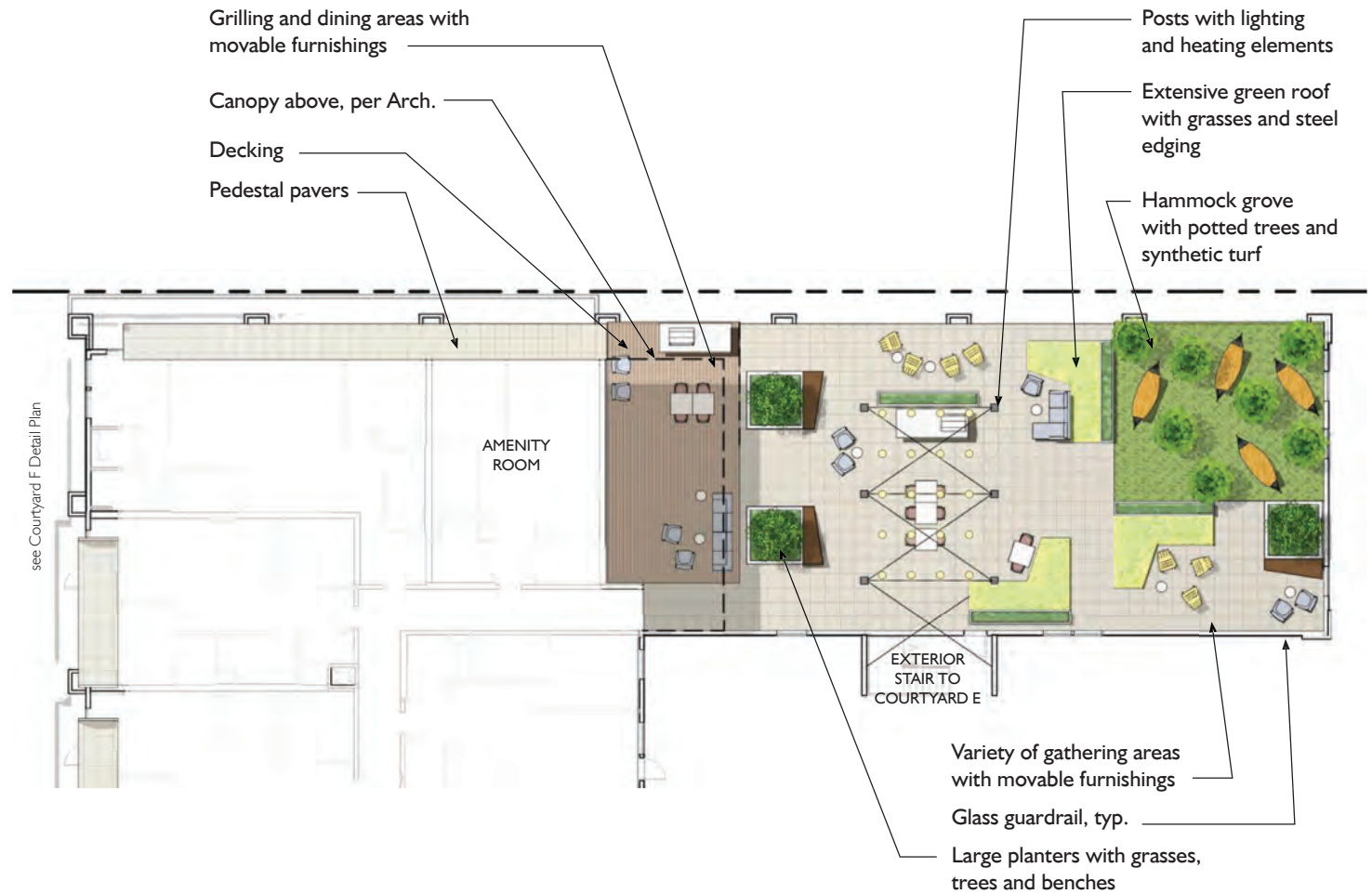
## PRIVATE RESIDENTIAL COURTYARDS

### Courtyard E Inspirations and View



## PRIVATE RESIDENTIAL COURTYARDS

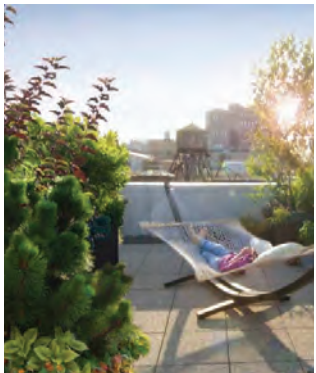
### Roofdeck Amenity Level 4 Detail Plan





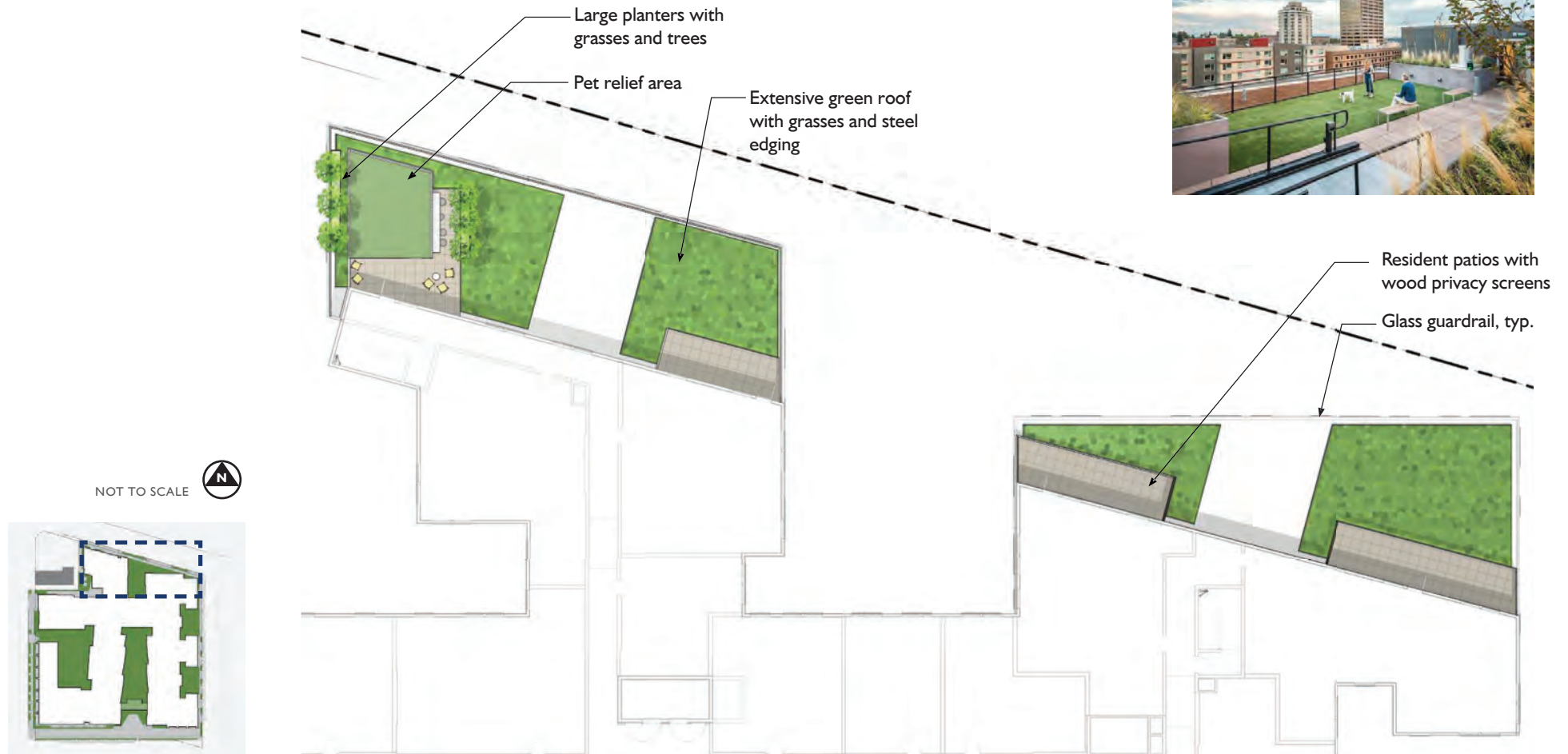
## PRIVATE RESIDENTIAL COURTYARDS

Roofdeck Amenity Level 4 Inspirations and Rendering



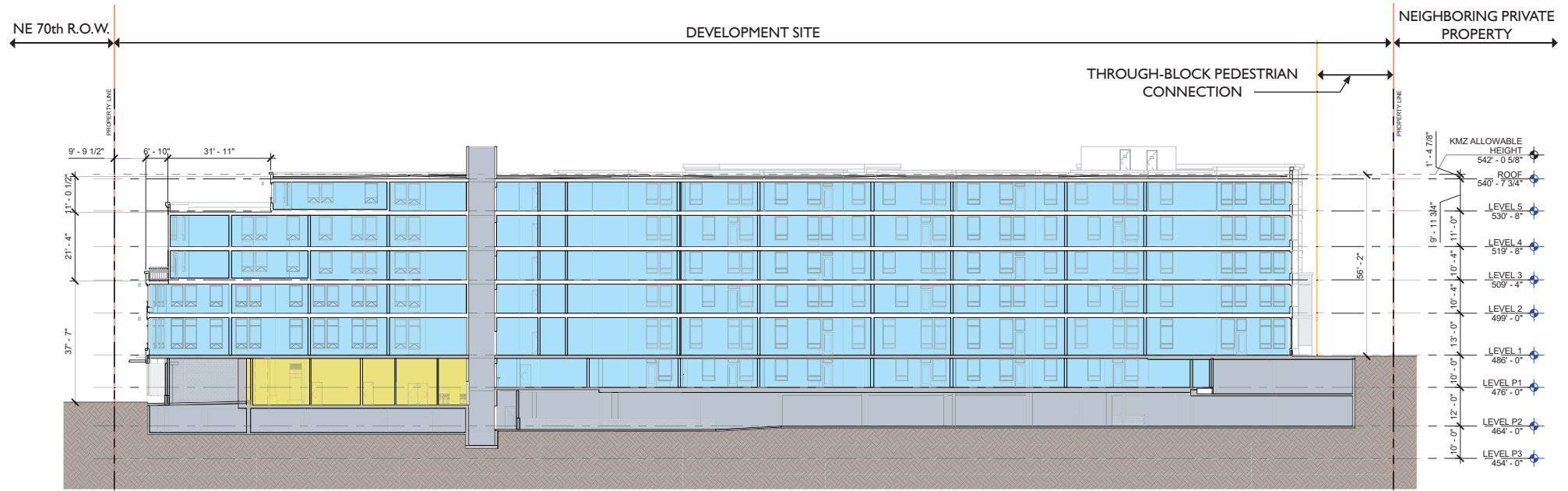
## PRIVATE RESIDENTIAL COURTYARDS

### Roofdeck Amenity Level 5 Detail Plan





# NORTH-SOUTH BUILDING SECTION



- COMMERCIAL
- ACTIVE USE / RESIDENTIAL AMENITY
- RESIDENTIAL LOBBY
- RESIDENTIAL APARTMENT HOMES
- PARKING, MECHANICAL, AND BACK OF HOUSE

