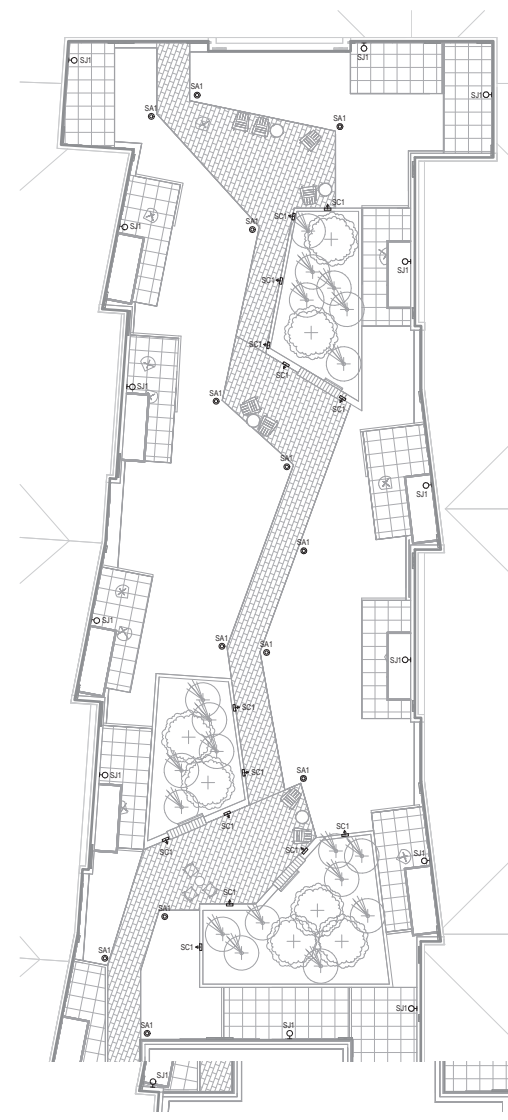
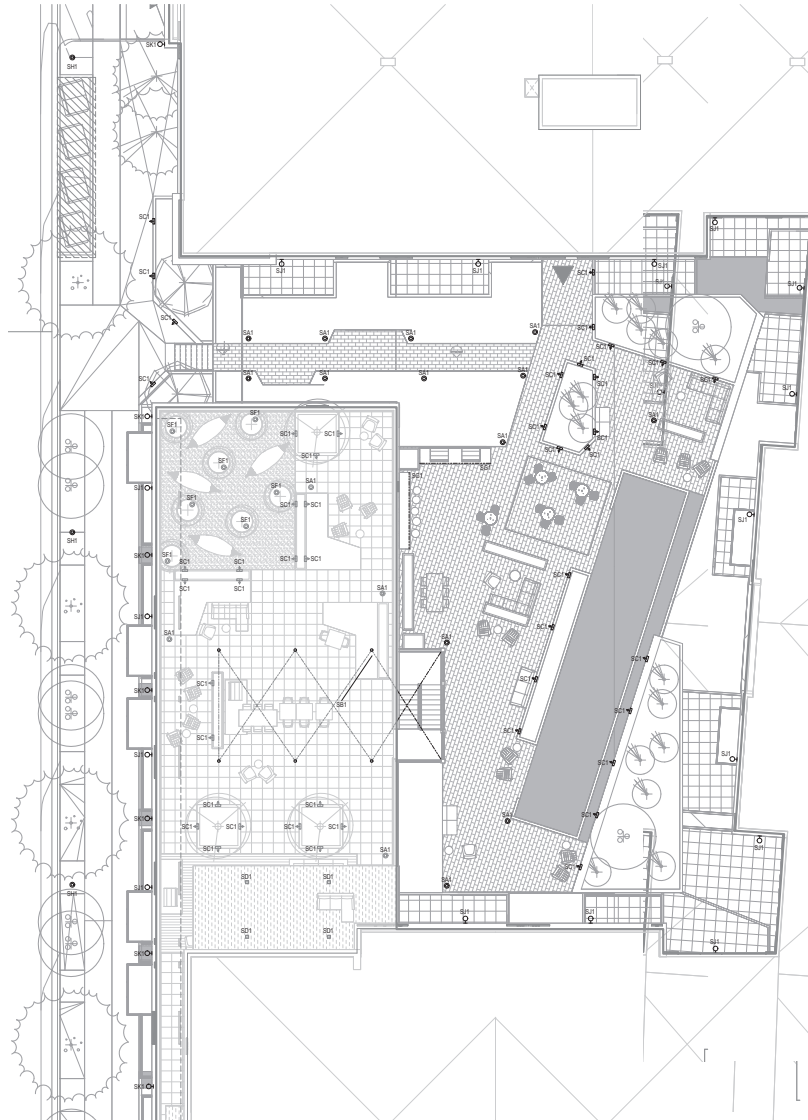


## LIGHTING PLANS

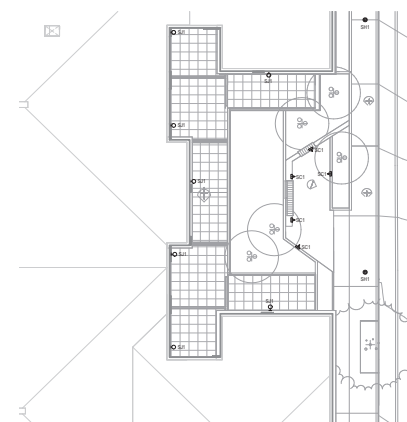
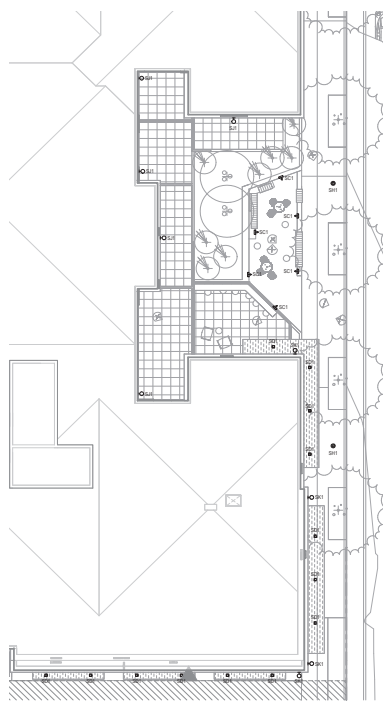


# LIGHTING PLANS



## MODERA BRIDLE TRAILS

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WEBER THOMPSON

## OVERHEAD WEATHER PROTECTION COMPLIANCE (DRB RESPONSE 7)

### OVERHEAD WEATHER PROTECTION REQUIREMENTS

#### KZC 92.15.2 - PEDESTRIAN-ORIENTED IMPROVEMENTS ON OR ADJACENT TO THE SUBJECT PROPERTY

2. PEDESTRIAN-ORIENTED SPACE AND PLAZAS IN BDC, CBD, BN, BNA, BCX, MSC 2, FHNC, HENC 1, HENC 3, NRHBD, RHBD AND TLBD ZONES
- A. IN THE CBD, BN, BNA, BCX, MSC 2, FHNC, HENC 1, HENC 3 OR IN BDC – IF THE SUBJECT PROPERTY ABUTS A PEDESTRIAN-ORIENTED STREET (SEE PLATE 34 IN CHAPTER 180 KZC) OR PUBLIC PARK, THE SPACE, IF ANY, BETWEEN THE SIDEWALK AND THE BUILDING MUST BE DEVELOPED CONSISTENT WITH THE FOLLOWING CRITERIA:...

#### KZC PLATE 34Q - PEDESTRIAN CIRCULATION IN BCX

IDENTIFIES NE 70TH AS A PEDESTRIAN ORIENTED STREET.

#### KZC 105.18.3.B - PEDESTRIAN ACCESS - OVERHEAD WEATHER PROTECTION

OVERHEAD WEATHER PROTECTION – LOCATION – THE APPLICANT SHALL PROVIDE PEDESTRIAN OVERHEAD WEATHER PROTECTION IN THE FOLLOWING LOCATIONS:

- 1) ALONG ANY PORTION OF THE BUILDING WHICH IS ADJACENT TO A PEDESTRIAN WALKWAY OR SIDEWALK;
- 2) OVER THE PRIMARY EXTERIOR ENTRANCE TO ALL BUILDINGS INCLUDING RESIDENTIAL UNITS.
- 3) EXCEPTIONS IN DESIGN DISTRICTS:  
IN RHBD, BN, BNA, BCX, MSC 2, FHNC, HENC 1, HENC 3 AND TLBD ZONES:  
ALONG AT LEAST 75 PERCENT OF A PEDESTRIAN-ORIENTED BUILDING FACADE.

#### KZC 105.18.3.C - PEDESTRIAN ACCESS - OVERHEAD WEATHER PROTECTION

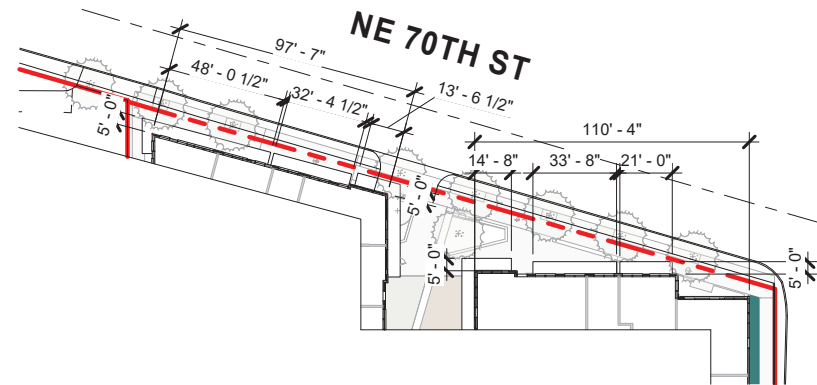
OVERHEAD WEATHER PROTECTION MUST COVER AT LEAST FIVE (5) FEET OF THE WIDTH OF THE ADJACENT WALKWAY AND MUST BE AT LEAST EIGHT (8) FEET ABOVE THE GROUND IMMEDIATELY BELOW IT.

### OVERHEAD WEATHER PROTECTION PROVIDED

#### COMPLIANCE ALONG NE 70TH ST:

FRONTAGE:  $97'-7" + 110'-4" = 207'-11"$   
 COVERAGE:  $48'-1/2" + 32'-4\ 1/2" + 13'-6\ 1/2" + 14'-8" + 33'-8" + 21'-0" = 163'-3\ 1/5"$

$$\frac{163'-3\ 1/2"}{207'-11"} = 78.5\% > 75\% = \text{COMPLIANT}$$



KZC 92.15.2 and KZC Plate 34 Q identify NE 70th as a Pedestrian Oriented Street where overhead weather protection is required. The project complies by providing 5' deep canopies over the adjacent walking surfaces for at least 75% of the building facade.

## SETBACK AND STEPBACK COMPLIANCE: 130TH AVE NE

### STEP BACK @130TH AVE NE

#### KZC 35.10.040.2.d.2 AND d.3 - UPPER STORY STEPBACK COMPLIANCE CALCULATIONS -

FOR ALL BUILDING FACADES FACING AND WITHIN 100 FEET OF THE ABUTTING RIGHT-OF-WAY, ALL PORTIONS OF A STRUCTURE GREATER THAN 3 STORIES IN HEIGHT, AS MEASURED FROM THE ABUTTING RIGHT-OF-WAY, SHALL BE STEPPED BACK FROM THE THIRD STORY BY AN AVERAGE OF 12 FEET (FROM 130TH AVE NE). THE REQUIRED UPPER STORY STEP BACKS FOR ALL FLOORS ABOVE THE THIRD STORY SHALL BE CALCULATED AS TOTAL UPPER STORY STEP BACK AREA AS FOLLOWS:

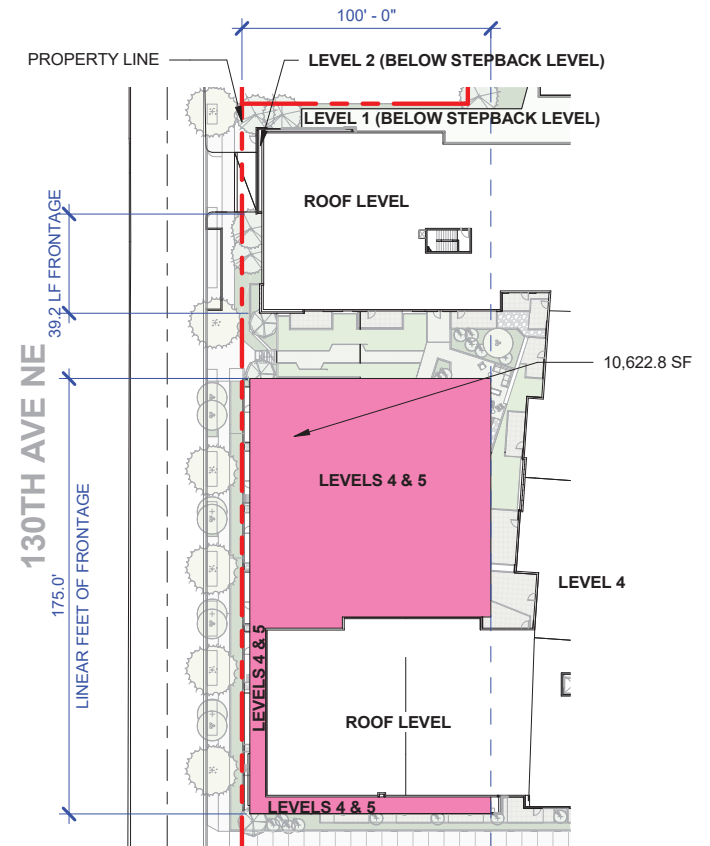
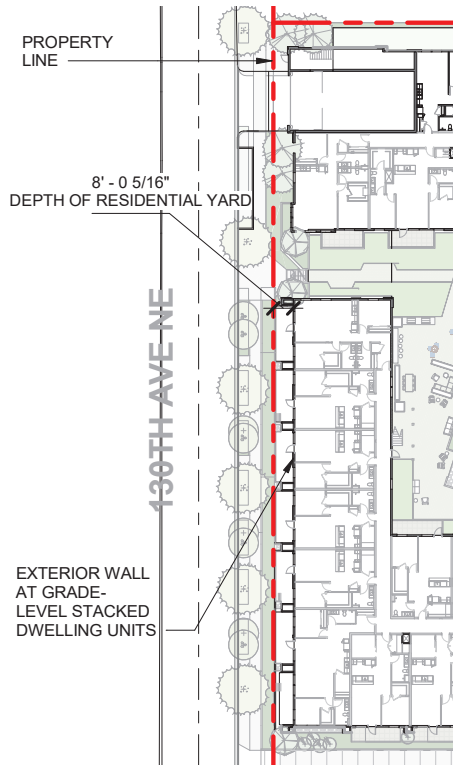
REQUIRED UPPER STORY STEP BACK AREA = LINEAR FEET OF FRONTAGE (NOT INCL PORTIONS OF THE SITE WITHOUT BUILDINGS OR FOR VEHICULAR AREAS) \* REQUIRED AVERAGE SETBACK \* NUMBER OF STORIES ABOVE THIRD STORY  
 = (174.9 FT + 39.2 FT) \* 12 FT \* 2  
 = 5,148 SF

PROVIDED STEP BACK AT LEVELS 4 & 5 = STEP BACK @ LEVEL 4 + STEP BACK @ LEVEL 5  
 = 10,622.8 SF + 10,622.8 SF  
 = **21,245.2 SF > 5,148 SF, MEETS REQUIREMENT**

#### KZC 35.10.040.2.n YARD COMPLIANCE CALCULATIONS -

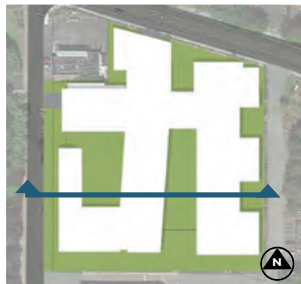
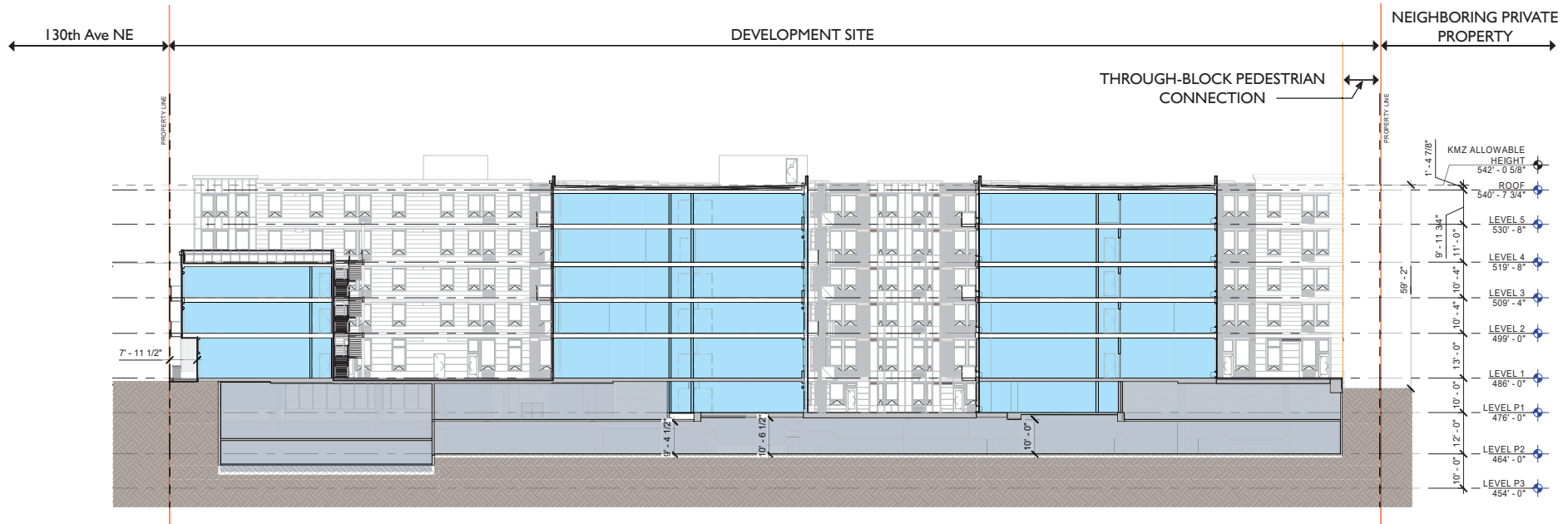
ATTACHED OR STACKED DWELLING UNITS LOCATED AT THE STREET LEVEL FLOOR ALONG 130TH AVENUE NE SHALL HAVE A MINIMUM 7 FOOT REQUIRED YARD. PER PLAN 2C/G1.02,

YARD PROVIDED = **8' - 0 5/16" > 7 FEET, MEETS REQUIREMENT**

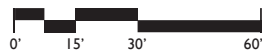


The design team has reviewed the setback along 130th with city officials and confirmed the project is compliant as shown with pilasters, unit patios, and similar exterior detail elements within the setback at grade.

## EAST-WEST BUILDING SECTION



- COMMERCIAL
- ACTIVE USE / RESIDENTIAL AMENITY
- RESIDENTIAL LOBBY
- RESIDENTIAL APARTMENT HOMES
- PARKING, MECHANICAL, AND BACK OF HOUSE



The design team reviewed the balcony and property line condition along 130th with city officials. The design team has reduced the size of the balconies to ensure they do not cross the property line.

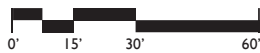
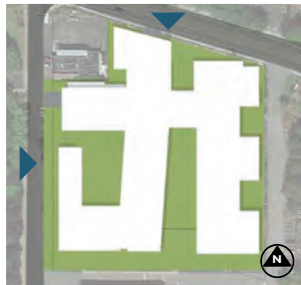


## BUILDING ELEVATIONS: STREETS

NORTH ELEVATION: NE 70th PLACE



WEST ELEVATION: 130th AVE NE



### MATERIAL LEGEND

- ① Concrete, Cast in Place
- ②A Masonry: Dark Color
- ②B Masonry: Light Color
- ③A Fiber Cement Panel: Color A
- ③B Fiber Cement Panel: Color B
- ③C Fiber Cement Panel: Color C

- ③D Fiber Cement Panel: Color D
- ④A Horizontally Expressed Fiber Cement Panel: Color A
- ④B Horizontally Expressed Fiber Cement Panel: Color B
- ⑤ Fiber Cement Plank

- ⑥A Wood-Look Panel
- ⑥B Wood-Look Board and Batten
- ⑦A Vinyl Windows: White
- ⑦B Vinyl Windows: Black
- ⑧ French Doors
- ⑨ Aluminum Storefront

- ⑬ Metal and Glass Canopy
- ⑭ Metal and Glass Guardrail
- ⑮ Metal and Glass Bolt-on Balcony
- ⑯ Cornice
- ⑰ Roll Up Garage Door

# BUILDING ELEVATIONS: THROUGH-BLOCK CONNECTIONS

## SOUTH ELEVATION: THROUGH-BLOCK CONNECTION

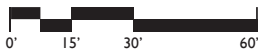


## EAST ELEVATION: THROUGH-BLOCK CONNECTION



### MATERIAL LEGEND

- |                                  |   |                                 |                                      |
|----------------------------------|---|---------------------------------|--------------------------------------|
| (1) Concrete, Cast in Place      | (3D) Fiber Cement Panel: Color D                        | (6A) Wood-Look Panel            | (13) Metal and Glass Canopy          |
| (2A) Masonry: Dark Color         | (4A) Horizontally Expressed Fiber Cement Panel: Color A | (6B) Wood-Look Board and Batten | (14) Metal and Glass Guardrail       |
| (2B) Masonry: Light Color        | (4B) Horizontally Expressed Fiber Cement Panel: Color B | (7A) Vinyl Windows: White       | (15) Metal and Glass Bolt-on Balcony |
| (3A) Fiber Cement Panel: Color A | (5) Fiber Cement Plank                                  | (7B) Vinyl Windows: Black       | (16) Cornice                         |
| (3B) Fiber Cement Panel: Color B |   | (8) French Doors                | (17) Roll Up Garage Door             |
| (3C) Fiber Cement Panel: Color C |   | (9) Aluminum Storefront         |                                      |



## BUILDING ELEVATIONS: ADDITIONAL NORTHERN ELEVATIONS

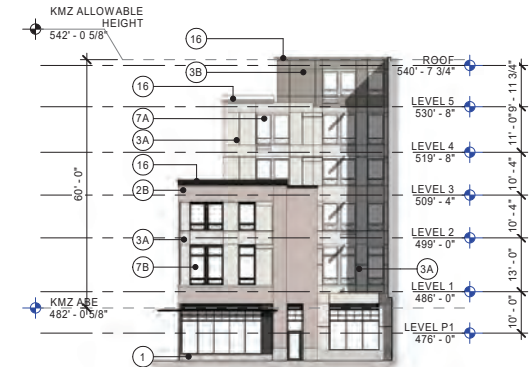
WEST ELEVATION: FACING PAGLIACCI SITE



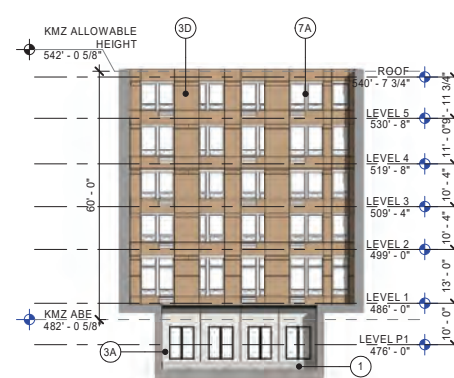
NORTH ELEVATION: FACING PAGLIACCI SITE



EAST ELEVATION: PLAZA A



SOUTH ELEVATION: PLAZA A



WEST ELEVATION: PLAZA A



### MATERIAL LEGEND

- ① Concrete, Cast in Place
- ②A Masonry: Dark Color
- ②B Masonry: Light Color
- ③A Fiber Cement Panel: Color A
- ③B Fiber Cement Panel: Color B
- ③C Fiber Cement Panel: Color C

- ③D Fiber Cement Panel: Color D
- ④A Horizontally Expressed Fiber Cement Panel: Color A
- ④B Horizontally Expressed Fiber Cement Panel: Color B
- ⑤ Fiber Cement Plank

- ⑥A Wood-Look Panel
- ⑥B Wood-Look Board and Batten
- ⑦A Vinyl Windows: White
- ⑦B Vinyl Windows: Black
- ⑧ French Doors
- ⑨ Aluminum Storefront

- ⑬ Metal and Glass Canopy
- ⑭ Metal and Glass Guardrail
- ⑮ Metal and Glass Bolt-on Balcony
- ⑯ Cornice
- ⑰ Roll Up Garage Door