

PUBLIC OPEN SPACE COMPLIANCE

KZC 35.10.040.2.e - PEDESTRIAN-ORIENTED OPEN SPACES

THE DEVELOPMENT SHALL PROVIDE PUBLICLY ACCESSIBLE PEDESTRIAN ORIENTED OPEN SPACE(S) ADJACENT TO THE STREET OR THROUGH-BLOCK PATHWAY. THE PUBLICLY ACCESSIBLE SPACE(S) SHALL CONTAIN A MINIMUM OF 1,000 SQUARE FEET OR ONE SQUARE FOOT PER 200 GROSS SQUARE FEET OF ABOVE GRADE BUILDING AREA, WHICHEVER IS GREATER. THE SIZE CALCULATION SHALL NOT INCLUDE THE REQUIRED WIDTH OF ABUTTING SIDEWALKS OR PATHWAYS. LOCATIONS, DIMENSIONS, FEATURES AND IMPROVEMENTS (SUCH AS PLAZAS, SEATING, PUBLIC ART, CHILDREN'S RECREATION SPACES SHALL BE REVIEWED AND APPROVED THROUGH BY THE DESIGN REVIEW BOARD BASED ON APPLICABLE GUIDELINES.

REQUIRED = 410,588 GROSS SQUARE FEET OF ABOVE GRADE BUILDING AREA
200 GSF

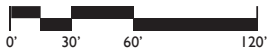
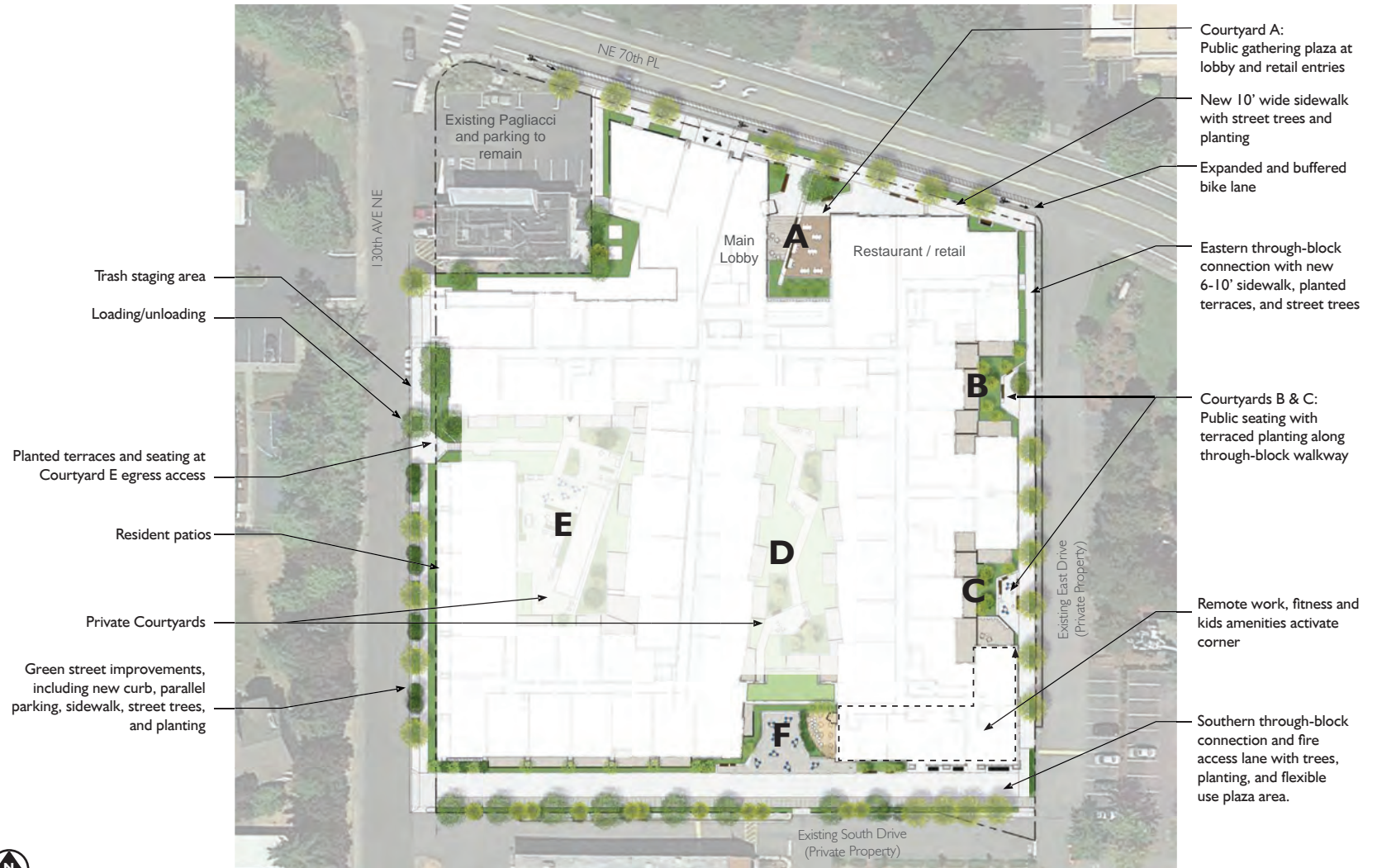
= 2,053 SF

PROVIDED = 3787 SF + 909 SF + 771 SF + 1303 SF

= 6,770 SF > 2,053 SF, MEETS REQUIREMENT



LANDSCAPE PLAN AT GRADE (LEVELS PI & LI)

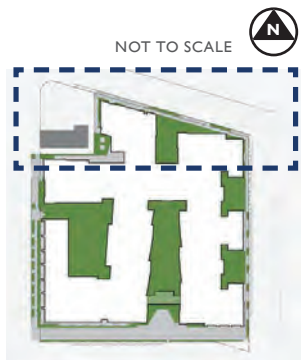


NE 70TH PUBLIC SPACE

EXISTING CONDITIONS

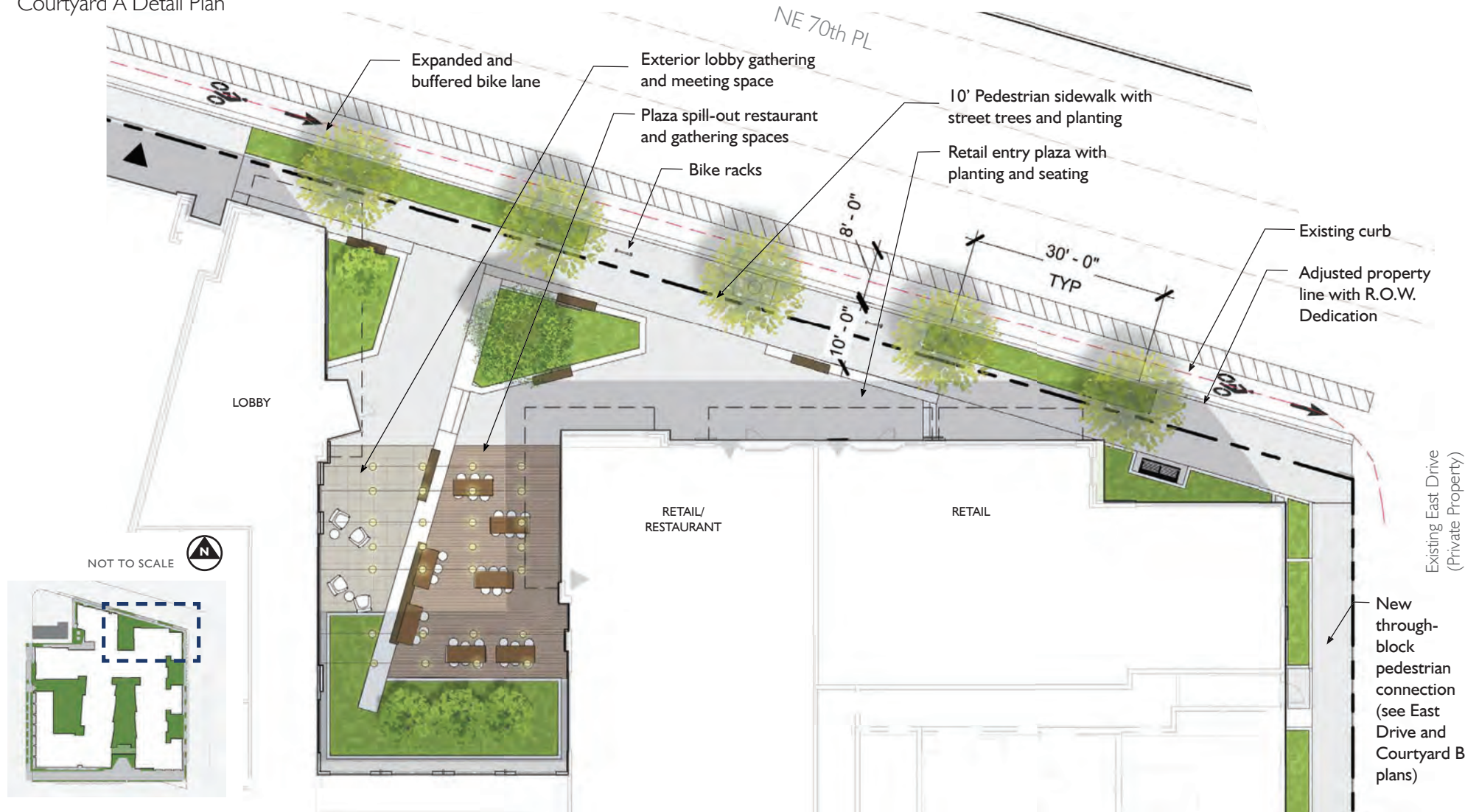


CHARACTER IMAGES



NE 70TH PUBLIC SPACE

Courtyard A Detail Plan



PEDESTRIAN VIEW ON NE 70TH



EXISTING PEDESTRIAN CONDITION



PE-1 SIDEWALK WIDTH: MOVEMENT ZONE

A direct 10' wide sidewalk is provided along all NE 70th frontage in keeping with design guidelines as well as code requirements for pedestrian oriented streets.

PE-2 SIDEWALK WIDTH: CURB ZONE

Street trees and other pedestrian amenities are provided within the curb zone of the sidewalk.

PE-3 SIDEWALK WIDTH: THE STOREFRONT ACTIVITY ZONE

Retail storefronts angle away from the primary sidewalk, graciously opening towards the central plaza. This angle creates wider sidewalk areas along the retail frontage and opportunities for retail to spill out, engaging pedestrians without impeding their movement.

PE-4 PEDESTRIAN COVERINGS

Canopies are provided along all of 70th. In keeping with larger development and arterial frontage guidance, the canopies are similar in design and style. However the canopy above the primary residential entry is located higher on the facade highlighting this entry and providing variety along the street frontage.

PE-5 "PEDESTRIAN-FRIENDLY" BUILDING FRONTS

The ground-level facade between 2' and 6' above the sidewalk is primarily transparent providing views into active uses and retail. Commercial frontage is prioritized along 70th where commercial activity is likely to be most successful.

PE-7 LIGHTING FROM BUILDINGS

Masonry pilasters along 70th are highlighted by accent lights that add detail to the facade and illumination to the street frontage. Additional down lights on the canopies illuminate retail entries and sidewalks for pedestrian ease and safety.

PI-2 PEDESTRIAN PATH AND AMENITIES

The landscape design includes plenty of seat walls and places for tables, as well as more open areas appropriate for gathering or active recreation. On 70th and in the 70th plaza, built-in seat walls create pleasant places for shoppers to rest, set down belongings, or wait for a friend.

PI-3 STREET TREES

Street trees are provided along 70th in keeping with Kirkland codes and design guidelines.

BM-2 COLOR

The building's design focuses on a natural and fresh color palette. A mottled brick has been chosen for the brick frame elements to add variety and depth to the facade and warm, earthy accent colors enhance the richness of the color palette.

BM-4 SIGNS

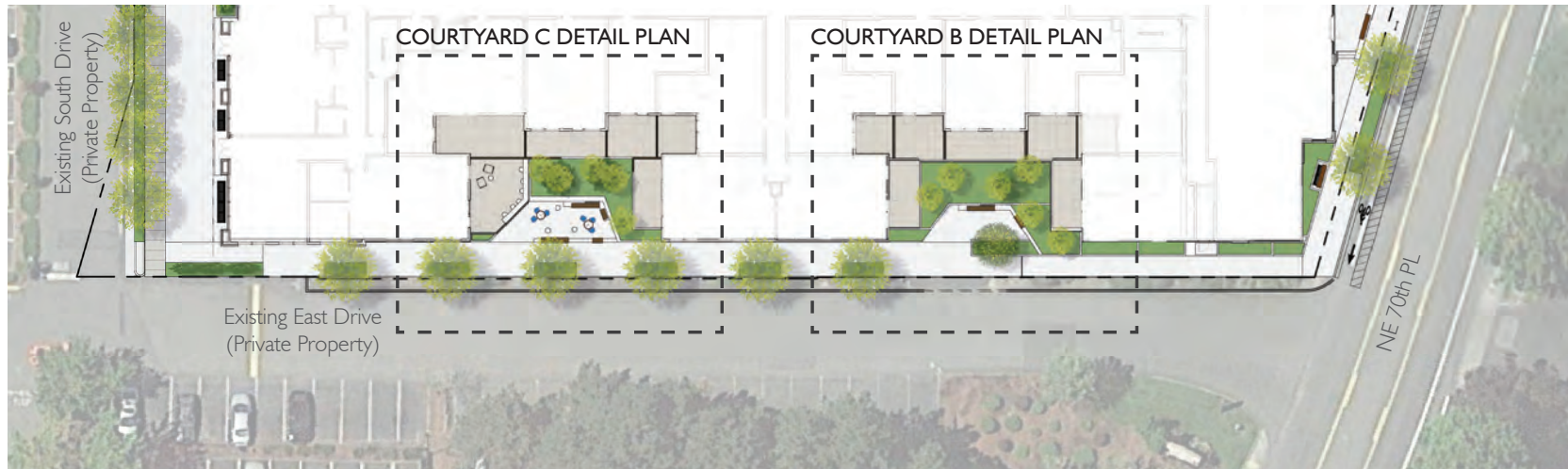
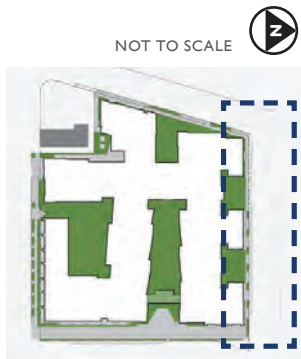
Retail signs are planned to hang below the storefront canopies adjacent to retail entries. This orientation works well for pedestrians. Additional signage is planned for atop the canopy which is easier for passing vehicles to identify.

EASTERN THROUGH-BLOCK PEDESTRIAN CONNECTION

EXISTING CONDITIONS

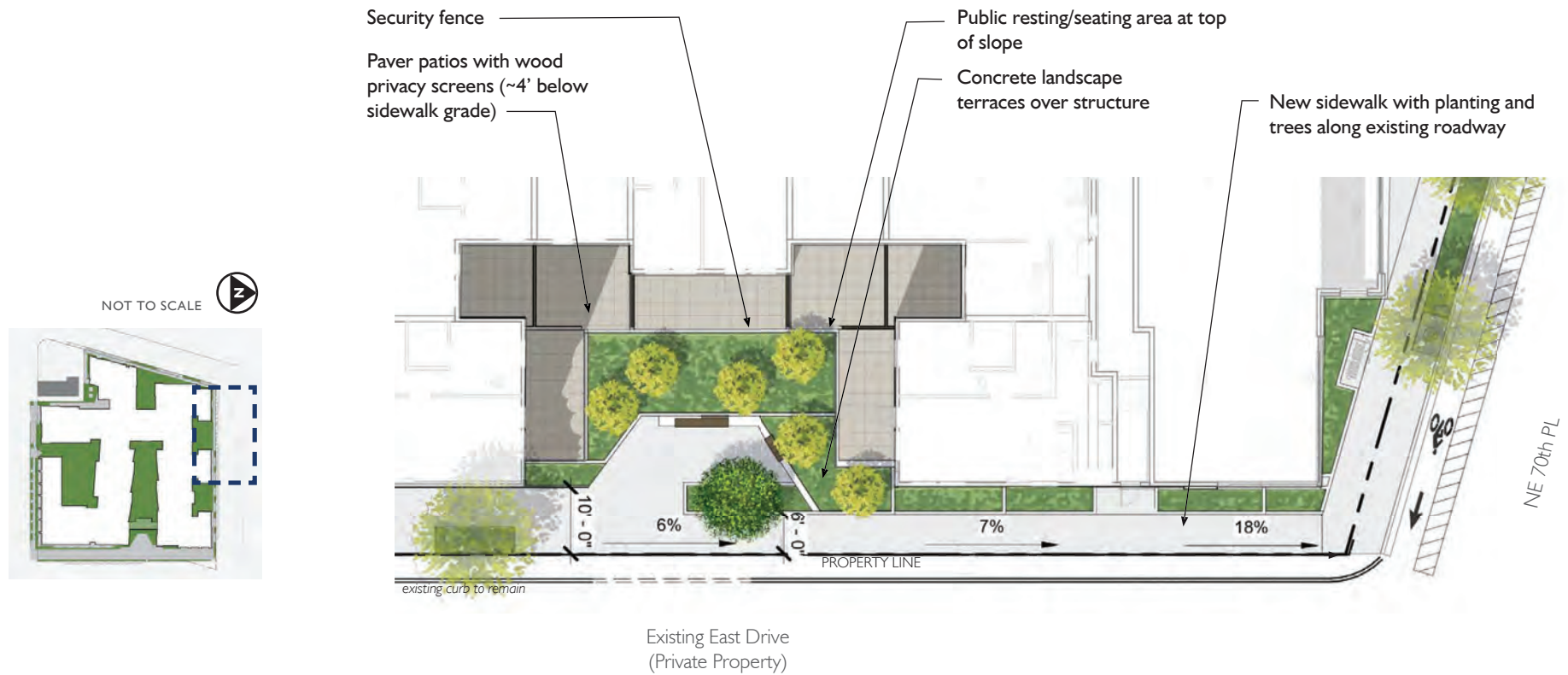


CHARACTER IMAGES



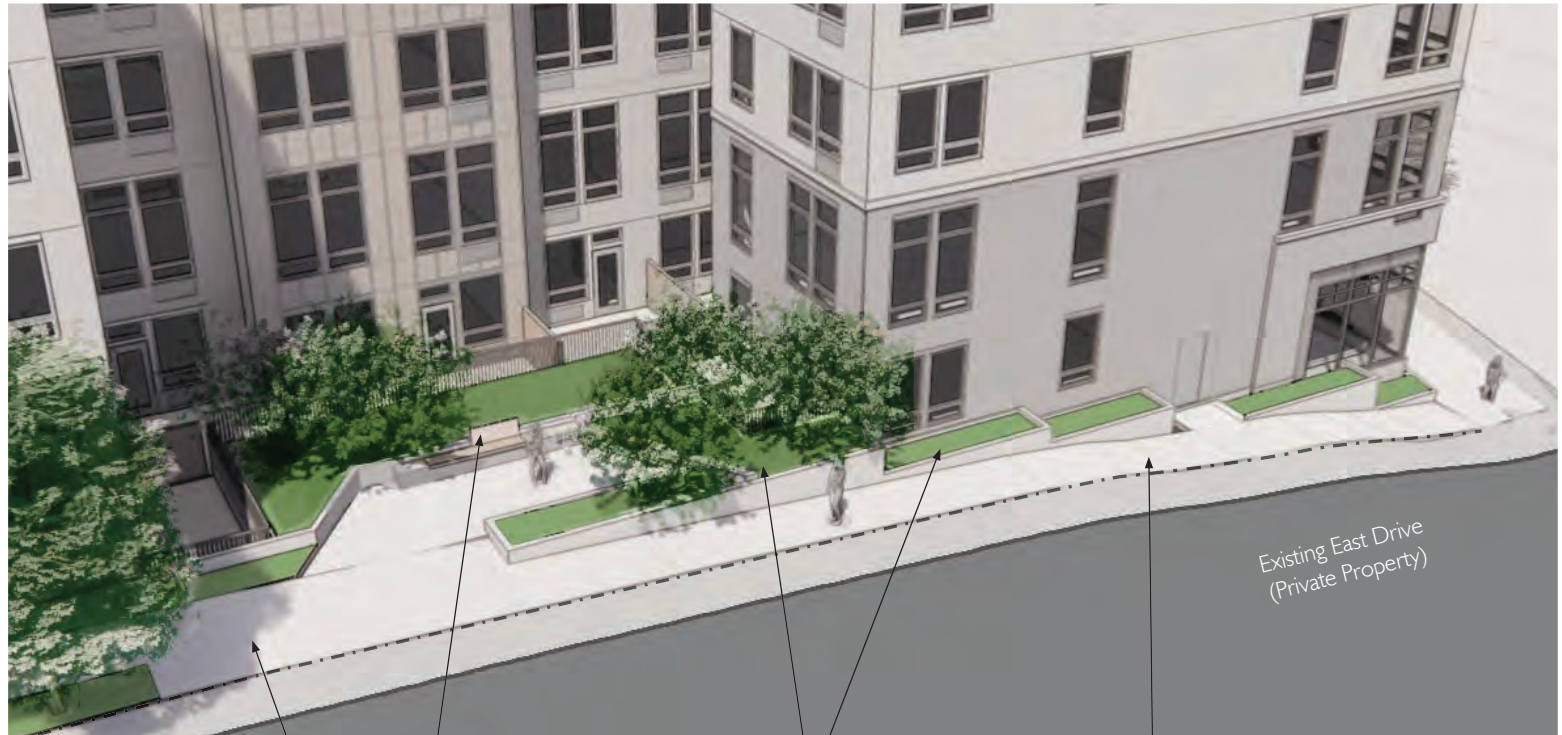
EASTERN THROUGH-BLOCK PEDESTRIAN CONNECTION

Courtyard B Detail Plan



EASTERN THROUGH-BLOCK PEDESTRIAN CONNECTION

Courtyard B Birdseye Diagram



NOT TO SCALE



10' sidewalk: 6' clear,
with 4' planting areas with
street trees

Public resting area with
seating and planting

Terraced planting beds

New 6' clear sidewalk with
terraced street planting
(7-18% slope to match
adjacent roadway)

EASTERN THROUGH-BLOCK PEDESTRIAN CONNECTION

Courtyard C Detail Plan



PEDESTRIAN VIEWS ON EASTERN THROUGH-BLOCK CONNECTION

Looking North at Northern Public Open Space closer to 70th



PE-5 “PEDESTRIAN-FRIENDLY” BUILDING FRONTS

Commercial frontage is prioritized along 70th where commercial activity is likely to be most successful. The project strategically places other active uses, like residential amenities along the through-block connections, to activate pedestrian experience. The ground-level facade between 2' and 6' above the sidewalk is primarily transparent at active uses to provide views into active spaces. Grade-related amenity spaces throughout the building maintain commercial floor heights so they may be converted at a later date if adjacent properties redevelop and the frontage becomes more conducive for true commercial use. The southeast corner amenity space includes a patio fronting the mini public open space. This provides an added layer of activation in what would otherwise be a residential courtyard.

PE-4 PEDESTRIAN COVERINGS

Although overhead weather protection is not required along the through-block connections, the development includes canopies in areas where there is active use frontage as a way to enhance pedestrian comfort and engagement between interior and exterior activities.

PI-1 PATHWAY WIDTH

The project provides two smaller public open spaces along the north-south through-block connection in keeping with the special considerations for BCX in design guidelines PI-1. These open spaces provide stopping points along the through-block connection for pedestrians climbing grade between 70th and the center of the BCX zone and are enhanced with seating, and planting.

Looking South at Southern Public Open Space Adjacent to Active Use Residential Amenity Spaces



PI-2 PEDESTRIAN PATH AND AMENITIES

The landscape design includes plenty of seat walls and places for tables, as well as more open areas appropriate for gathering or active recreation. In the smaller opens spaces along the north-south through-block connection, public amenities focus on resting places for pedestrians climbing the hill and places for smaller groups and conversations in lieu of large gatherings.

PI-3 STREET TREES

Street trees are not required on through block connections. However, because this through-block is located adjacent to the shopping center's primary vehicle entry, the design treats this front similarly to a street and includes street trees separating pedestrians from vehicles. Along this edge the design calls for conifers in keeping with the evergreens on the other side of the driveway.

BM-2 COLOR

The building's design focuses on a natural and fresh color palette. A mottled brick has been chosen for the brick frame elements to add variety and depth to the facade and warm, earthy accent colors enhance the richness of the color palette. The upper most level fronting 70th is a neutral gray tone that helps the top floor disappear from view.

SOUTHERN THROUGH-BLOCK PEDESTRIAN CONNECTION

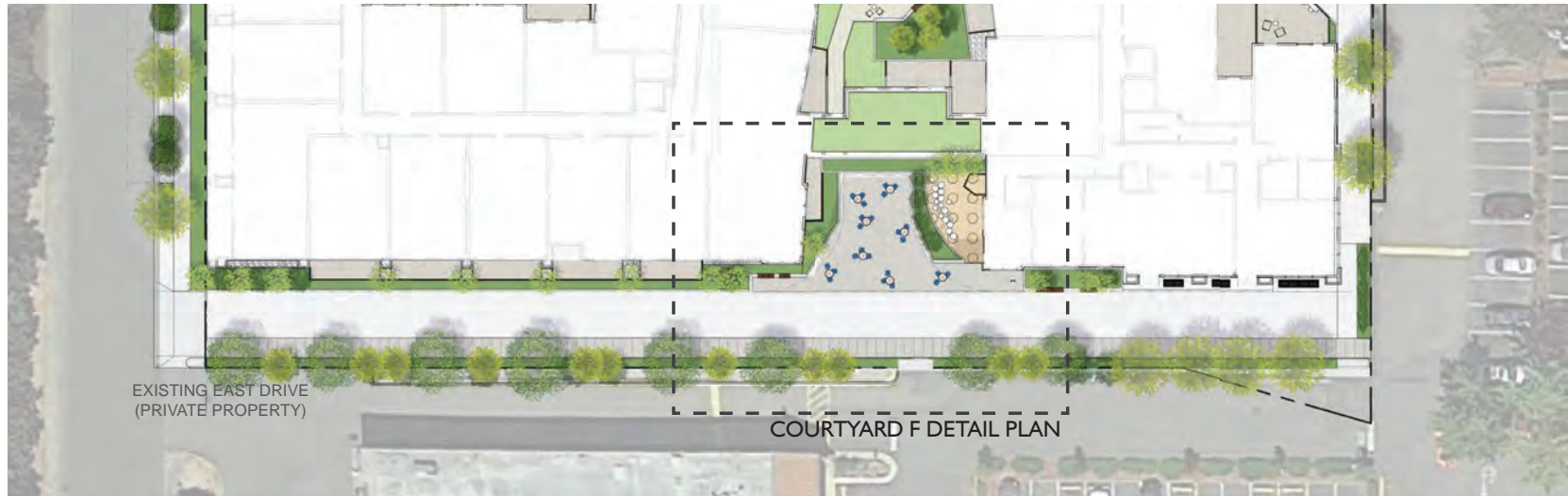
EXISTING CONDITIONS



CHARACTER IMAGES

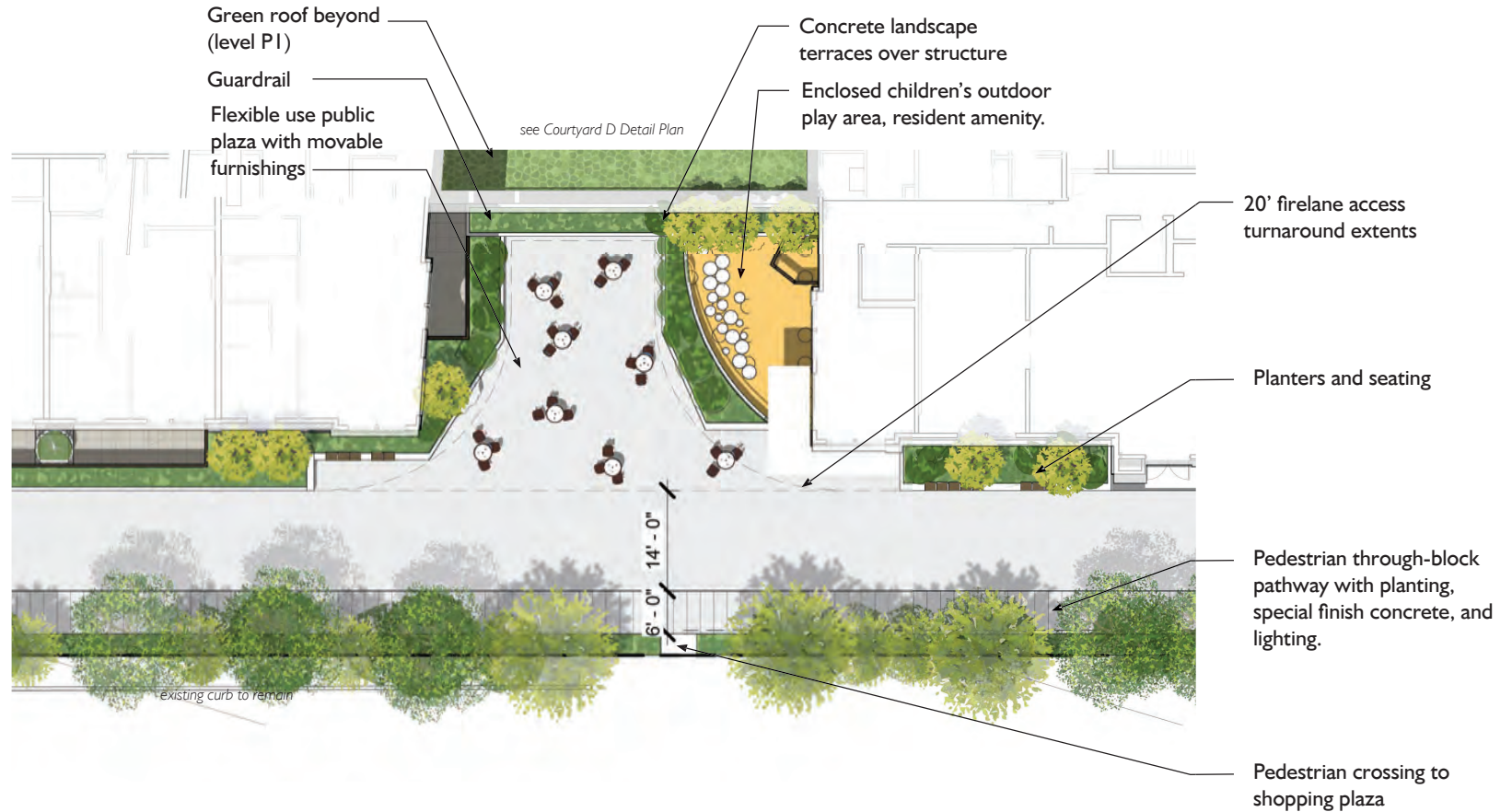


NOT TO SCALE



SOUTHERN THROUGH-BLOCK PEDESTRIAN CONNECTION

Courtyard F Detail Plan



NOT TO SCALE



PEDESTRIAN VIEWS ON SOUTHERN THROUGH-BLOCK CONNECTION



EXISTING PEDESTRIAN CONDITION



PE-5 “PEDESTRIAN-FRIENDLY” BUILDING FRONTS

Commercial frontage is prioritized along 70th where commercial activity is likely to be most successful. The project strategically places other active uses, like residential amenities along the through-block connections, to activate pedestrian experience. The ground-level facade between 2' and 6' above the sidewalk is primarily transparent at active uses to provide views into active spaces. Grade-related amenity spaces throughout the building maintain commercial floor heights so they may be converted at a later date if adjacent properties redevelop and the frontage becomes more conducive for true commercial use. The active use space adjacent to the large public open space includes a patio adding an additional layer of activation and engagement between the two spaces.

PE-4 PEDESTRIAN COVERINGS

Although overhead weather protection is not required along the through-block connections, the development includes canopies in areas where there is active use frontage as a way to enhance pedestrian comfort and engagement between interior and exterior activities.

PE-7 LIGHTING FROM BUILDINGS

Masonry pilasters are highlighted by accent lights that add detail to the facade and illumination to the street frontage. Additional down lights on the canopies illuminate entries, while bollard lights line the through-block pathway adding to pedestrian safety.

PE-8 PEDESTRIAN-ORIENTED PLAZAS

The large public open space at the south end of the site has excellent solar access and responds well to the existing shopping center organization. Ringed by seat walls and lush planting, the center of the open space includes non-permanent seating to maintain flexibility. Located adjacent to active uses and active use patios, the open space is ideal for larger gatherings.

PE-1 PATHWAY WIDTH

In keeping with the larger public open space centered on the southern frontage, and the wide open spaces of the adjacent shopping center, the east-west through-block connection is wider than required. The additional width allows for a variety of activities and pedestrian needs.

PI-2 PEDESTRIAN PATH AND AMENITIES

The landscape design includes plenty of seat walls and places for tables, as well as more open areas appropriate for gathering or active recreation.

BM-2 COLOR

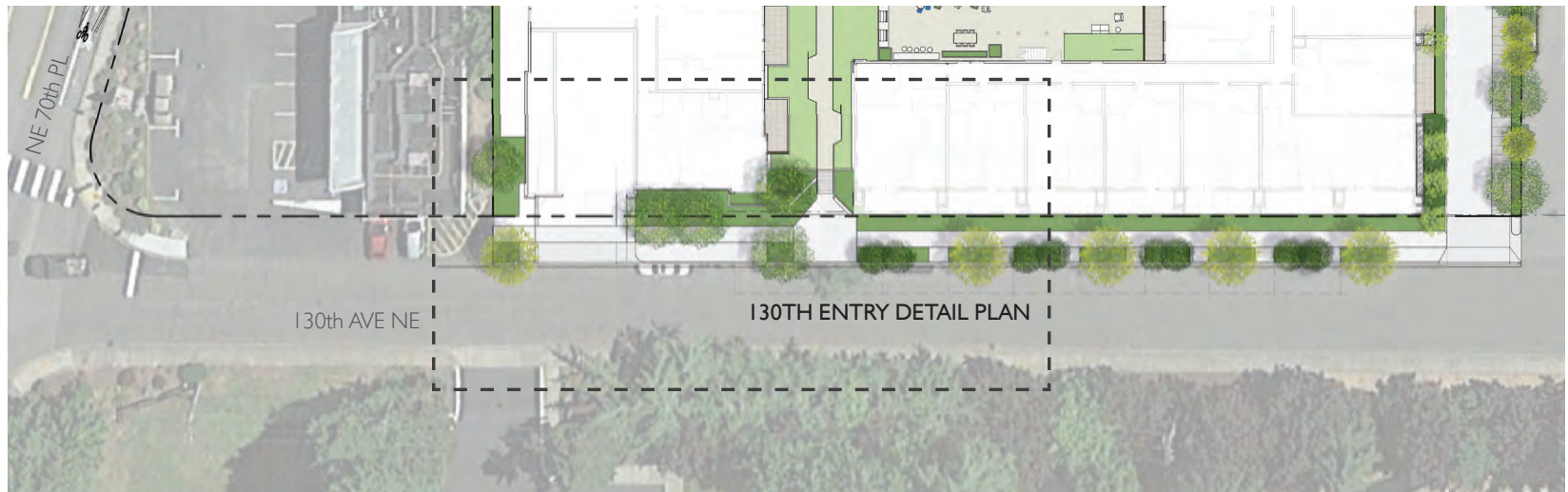
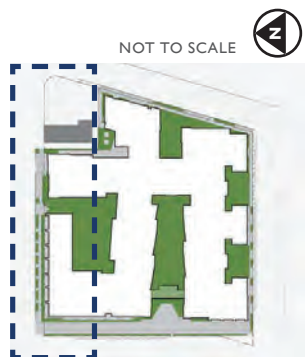
The building's design focuses on a natural and fresh color palette. A mottled brick has been chosen for the brick frame elements to add variety and depth to the facade and warm, earthy accent colors enhance the richness of the color palette.

I30TH AVE NE PEDESTRIAN GREEN STREET

EXISTING CONDITIONS

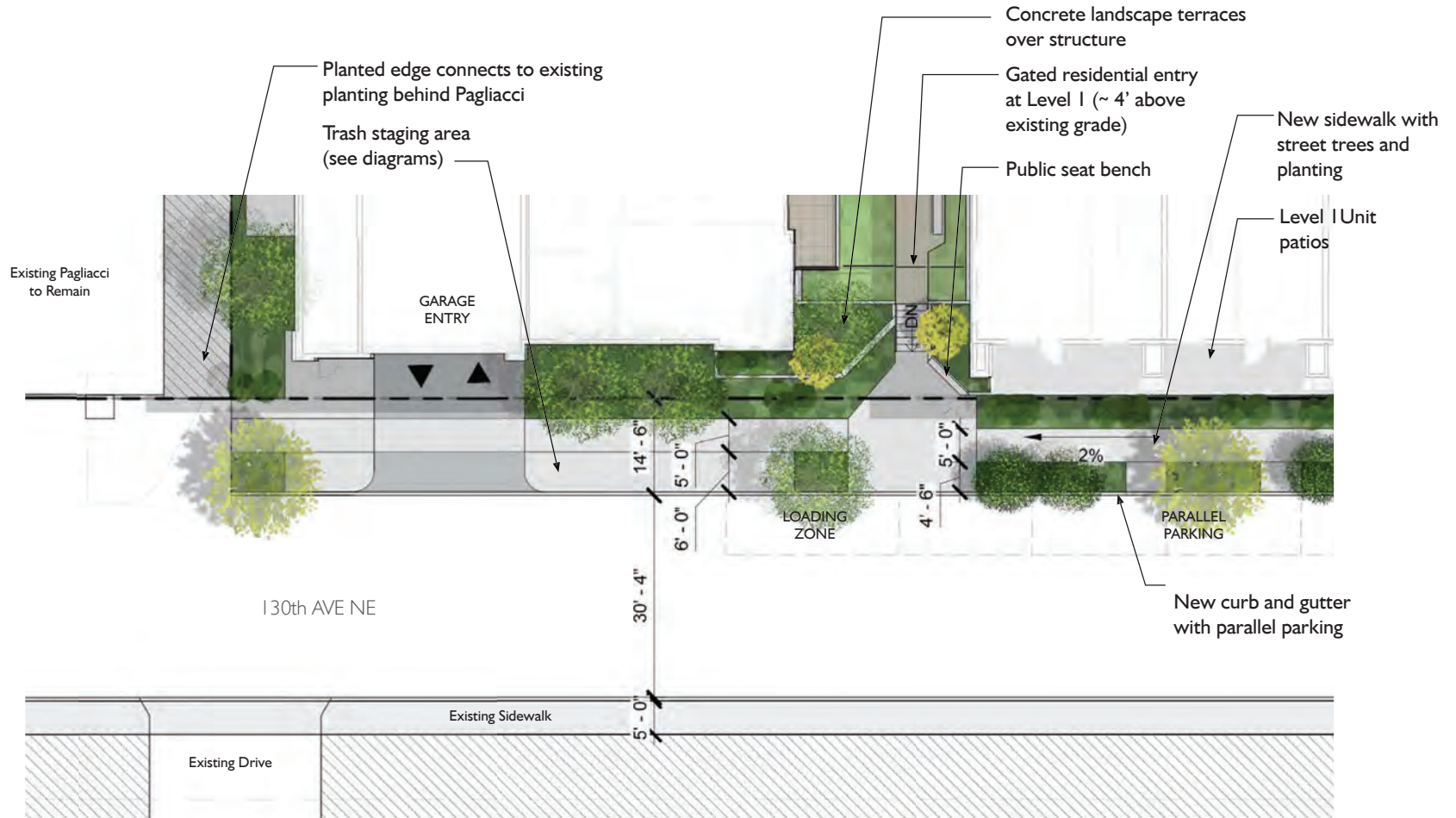


CHARACTER IMAGES



130TH AVE NE PEDESTRIAN GREEN STREET

Private Courtyard Entry Detail Plan



PEDESTRIAN VIEW ON I30TH AVE NE



EXISTING PEDESTRIAN CONDITION

PE-6 UPPER-STORY ACTIVITIES OVERLOOKING THE STREET

Resident outdoor amenity space and private residential decks are provided at upper story setbacks adding an additional level of activation along I30th street frontage.

PE-7 LIGHTING FROM BUILDINGS

Masonry pilasters along I30th are highlighted by accent lights that add detail to the facade and illumination to the street frontage. Soffits above apartment patios have lighting as well that will be controlled by residents. These features add to the safety of both residents and pedestrians.

PI-2 PEDESTRIAN PATHS AND AMENITIES

A comfortable sidewalk and ample planting along I30th enhance pedestrian experience in keeping with the city's Greenways connection.

S-2 ARCHITECTURAL ELEMENTS: DECKS, BAY WINDOWS, ARCADES, PORCHES

Balconies fronting the residential street emphasize the residential nature of the building and enhance the human scale of the facade. The building design also utilizes a variety of cornice shapes and profiles which add detail to the building modulation.

NF-I VISUAL QUALITY OF LANDSCAPES

Street trees coupled with landscaping and additional trees mimic the lush landscaping of the adjacent neighborhood and soften the developments frontage to feel coherent with the Bridle Trails neighborhood.



LANDSCAPE & OPEN SPACE

LANDSCAPE MATERIALS PALETTE

The materials palette is simple, modern, warm, and bright with low maintenance and durable finishes.



Concrete pavers in select courtyard and roof deck gathering areas, and most resident patios.



Cast-in-place concrete sidewalks with select areas of special finish such as integral color, special finish, or sawcut joints on the south through-block crossing.



Metal edging to define areas with stone fill and planting over structure.



Wood seat benches on concrete walls in plazas and as distinct furnishings at entries.



Board formed or special finish concrete planter walls in select public and private areas.



Concrete walls with terraced planting.

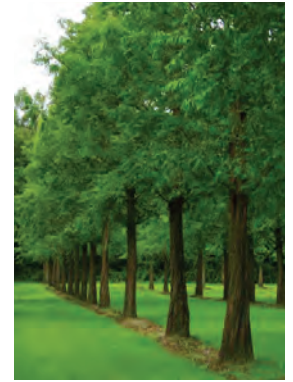
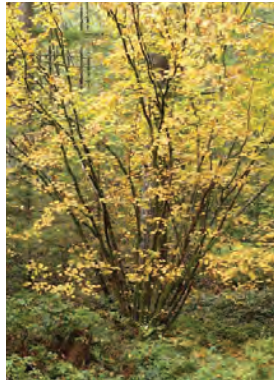
LANDSCAPE PLANTING INSPIRATIONS

The lush local character of the Bridle Trails Park and neighborhood will guide planting character and inform both native and adapted species choices.



LANDSCAPE CHARACTER - TREES

The project will include a diversity of trees that: are native and/or adapted; urban and waterwise/drought tolerant; of seasonal interest; provide long-term street canopy potential and a range of life spans and growth rates; include a mix of evergreen and deciduous. Trees will be cross-referenced with City of Kirkland Tree list. Species shown may not be final installed tree species.



Species shown from top row left: *Carpinus caroliniana* (American hornbeam), *Ulmus proproc* 'JFS-Bieberich' (Emerald Sunshine elm) ; *Cercidiphyllum japonicum* (Katsura); *Quercus robur* x. *Q. alba* 'Crimschmidt' (Crimson Spire Oak) ; *Parrotia persica* (Persian ironwood); *Rhamnus purshiana* (Cascara buckthorn). Second Row: *Stewartia pseudocam* (Japanese stewartia); *Acer circinatum* (vine maple); *Malus transitoria* Golden Raindrops (flowering crabapple); *Magnolia virginiana* 'Jim Wilson' Moonglow (Sweetbay magnolia); *Chamaecyparis obtusa* 'Gracilis' (slender hinoki false cypress); *Metasequoia glyptostroboides* (dawn redwood)

LANDSCAPE CHARACTER - PLANTING

The project planting will include a diversity of native and adapted plants that are urban and waterwise/drought tolerant; support biodiversity; exhibit a range of life spans and growth rates and are low maintenance and disease resistant. Images shown to convey character and some species. Species shown may not be final installed plant species.

