



CITY OF KIRKLAND
Planning and Building Department
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MEMORANDUM

To: Design Review Board
From: Tony Leavitt, Senior Planner
Date: January 31, 2022
File No.: DRV21-00535
Subject: **KIRKLAND URBAN EAST BUILDING
DESIGN RESPONSE CONFERENCE**

I. MEETING GOALS

At the February 7, 2022 Design Review Board (DRB) meeting, the DRB should continue the Design Response Conference from October 4, 2021 and determine if the project is consistent with the design guidelines contained in Kirkland Parkplace Mixed Use Development Master Plan and Design Guidelines, as adopted in Kirkland Municipal Code (KMC) Section 3.30.

At the October 4th meeting, the DRB was accepting of the overall design, but the Board requested that the applicant submit revisions to address the following items:

- Full building perspectives or detailed Sketch Up model (corner to corner, edge to edge)
- Building section cuts and details (corners, terra cotta, at windows)
- Ground floor storefront details including glazing and materials
- Detailed lighting plan including views of the building at night
- Material board (for review by the DRB prior to the meeting)
- Material plans showing locations of colors and materials, including balcony railings
- Show perspectives of the colonnade design during the day and at night to get a feel of the pedestrian experience
- Treatments of any blank walls including the ground floor wall along 6th Street
- Rooftop mechanical screening and maintenance requirements (for example railing or parapet building code requirements)
- Plaza details including a lighting plan, planting plan, paving materials, and seating areas
- Second story terrace plans and details including design and landscaping
- Sign locations and relationship to the Master Sign Plan
- Incorporation of artwork into the plaza area
- Details on net zero water use related to the building and landscaping

- Case study for trees to stabilize in plaza

During the Design Response Conference, the DRB should provide feedback on the building design and site planning for the project.

II. PROPOSAL

The subject property is located at 501 Uptown Court in the Kirkland Urban development (see Attachment 1) and the parcel is 1.31 acres in size. The applicant is proposing a new 6 story mixed-use building that will consist of approximately 180,000 square feet of office and 15,000 square feet of retail on the ground floor with 4 levels of underground parking (see Attachments 2 and 3). The project will front on 6th Street (on the east side of the development) with vehicular access from this right-of-way.

III. SITE

The Kirkland Urban Development site is an approximately 11.5-acre campus consisting of over 1.3 million square feet of retail, office, and residential uses. Kirkland Urban North, Kirkland Urban Central and the Uptown Apartments have been completed and occupied. The Kirkland Urban South project is under construction and expected to be completed in early 2023.

The Kirkland Parkplace Mixed Use Development Master Plan and Design Guidelines for the Kirkland Urban project were approved by the City Council in February of 2015 and most recently amended in December of 2019 (see Attachment 4).

The following list summarizes the zoning designation, uses, and allowed heights of properties adjacent to the subject property:

North: CBD 6 & 7: Maximum height is 54' above Average Building Elevation (ABE) in CBD 6 and 41' above ABE in CBD 7.

East: PLA 5C: Maximum height is between 25' above ABE and 60' above ABE depending on use and size of the site.

South: CBD 5: Maximum height is between 67' above ABE and 80' above ABE depending on use and location of the site.

West: Park/Public Use: Maximum height is determined on a case-by-case basis.

Additional photographs prepared by the applicant that show the surrounding properties are contained in Attachment 2, Page 14.

IV. DESIGN RESPONSE CONFERENCE

The Design Review Board reviews projects for consistency with design guidelines for the Kirkland Parkplace Mixed Use Development Master Plan and Design Guidelines, as adopted in Kirkland Municipal Code Chapter 3.30 (see Attachment 4). See Section VI for information regarding zoning regulations and how they affect the proposed development.

A. Compliance with Design Guidelines

1. Building Design

a. DRB Discussion

At the October 4, 2021 meeting, the DRB was receptive of the building's overall massing but wanted to see more details related to the design of the building. The DRB requested that the applicant submit the following items for the next meeting:

- Full building perspectives or a detailed Sketch Up Model (corner to corner, edge to edge).

- Building section cuts and details (corners, terra cotta, at windows)
- Ground floor storefront details including glazing and materials
- Detailed lighting plan including views of the building at night
- Material board (for review by the DRB prior to the meeting)
- Material plans showing locations of colors and materials, including balcony railings
- Show perspectives of the colonnade design during the day and at night to get a feel of the pedestrian experience
- Treatments of any blank walls including the wall along 6th Street
- Rooftop mechanical screening and maintenance requirements (for example railing or parapet building code requirements)

b. Supporting Design Guidelines

The Kirkland Parkplace Mixed Use Development Master Plan and Design Guidelines contain the following statements that pertain to building design (see Attachment 4, pages 23 through 25). Following each statement are specific design guidelines that apply to the project.

- Orientation to the Street: Ensure that buildings contribute to the liveliness of Parkplace's public spaces, and overall community character.
- Massing/Articulation: Create a variety of form and massing through articulation and use of materials to maintain a pedestrian scale.
- Blank Wall Treatments: Reduce the visual impact of blank walls by providing visual interest.
- Encourage High-Quality Design: Ensure that all buildings in the project area are constructed as a quality addition to the Kirkland Community.
- Building Diversity: Ensure that buildings in the project are distinct and respond to the unique character of their specific function and location.

Additional building design guidelines for the Mixed-Use Hub District (where the proposed building is located) are contained on page 32.

c. Staff Analysis

The applicant has provided revised plans that address the DRB's design comments and request for additional items made during the October 4th meeting (see Attachment 3). For reference, staff has included the October 4th Meeting Plan Set (see Attachment 2).

Staff has reviewed the plans and has the following comments regarding the building design and the applicable design guidelines.

- The proposed design does a good job of activating the surrounding street and public spaces. The ground floor retail space, multiple building entrances, extensive use of glazing on the ground floor and the colonnade (that provides pedestrian weather protection) help to create a pedestrian friendly environment.
- The height of the buildings (6 stories) is being mitigated by the use of vertical and horizontal modulation to help break up the north and south façades of the building. The design utilizes upper level massing cuts

along these facades and the northwest and southeast corners of the building have been stepped back to create terraces as recommend in the guidelines. These elements are effective at reducing the perceived mass of the building The landscaped terraces and the colonnade base design help to maintain a pedestrian scale for the building.

- The design utilizes landscaping and textured materials to screen blank walls along the east and south facades.
- The exterior design of the building is appropriate for Kirkland's urban setting. The building materials details have been provided as part of the packet. Additionally, material boards and samples were provided by the applicant for the DRB's review at City Hall.
- The proposed timber diagrid lateral system on the exterior of the building creates a unique and diverse building design when compared to the other building within the Kirkland Urban development.

The DRB should provide input on the following items:

- Does the building do a good job of connecting to 6th Street and existing public spaces?
- Does the building provide enough horizontal and/or vertical modulation when viewed from key vantages?
- Have blank walls been adequately addressed?
- Does the exterior building design and material options provide enough diversity to the project relative to other projects in the area?

2. Site Planning

a. DRB Discussion

At the October 4, 2021 meeting, the DRB reviewed the applicant's design for the plaza and street frontage areas. They supported the overall design of these areas but requested additional details regarding the following items:

- Plaza details including a lighting plan, planting plan, paving materials, and seating areas
- Second story terrace plans and details including design and landscaping
- Sign locations and relationship to the Master Sign Plan
- Incorporation of artwork into the plaza rea.
- Details on net zero water use related to the building and landscaping

b. Supporting Design Guidelines

The Kirkland Parkplace Mixed Use Development Master Plan and Design Guidelines contain the following statements that pertain to site planning (see Attachment 4, Pages 18 through 21). Following each statement are specific design guidelines that apply to the project.

- Streetscape: Maintain a continuous and safe streetscape with pedestrian-friendly character.
- Public Spaces, Plazas, Courtyards, Terraces and Gardens: Provide a friendly pedestrian environment by creating a variety of usable and interesting public and semi-public open spaces

- Environmental Considerations: Optimize pedestrian comfort using natural environmental conditions. Promote a pedestrian and bicycle-friendly atmosphere.
- Lighting: Ensure that lighting contributes to the character of the project, provides personal safety, and does not disturb adjacent developments and residences.
- Screening of Trash and Service Area: Screen trash and service areas from public view.

Additional site planning guidelines for the Mixed-Use Hub District (where the proposed building is located) are contained on Page 31.

c. Staff Analysis

Staff has reviewed the plans and has the following comments regarding the project's site planning.

- The design utilizes a ground floor colonnade that creates a unique pedestrian experience along the ground floor.
- The design of the public plaza areas around the building utilize sitting areas, landscaping, and hardscape material changes to create inviting spaces for visitors and employees.
- The applicant has submitted a lighting plan for the project.

The DRB should provide input on the following items:

- Does the design of the pedestrian plazas around the building meet the applicable design guidelines?
- Is the design of the public plazas adequate?
- Provide feedback on use of specific materials and landscaping.

V. KEY ZONING REGULATIONS

The applicant's proposal is also subject to the applicable requirements contained in the Kirkland Municipal Code, Zoning Code, Fire and Building Code, and Public Works Standards. It is the responsibility of the applicant to ensure compliance with the various provisions contained in these ordinances. Attachment 5, Development Standards, is provided to familiarize the applicant with some of these additional development regulations. These regulations and standards are not under the review authority of the DRB and will be reviewed for compliance as part of the building permit review for the project.

Development of the subject property is subject to the regulations for the CBD 5A zone. The following regulations are important to point out as they form the basis of any new development on the site. Additionally, the site is subject to the Master Plan Development Standards outlined in the Kirkland Parkplace Mixed Use Development Master Plan (see Attachment 4, Pages 7 and 8).

Below are some of the key zoning standards that apply to the development followed by staff comment in italics.

A. Permitted Uses:

1. The only permitted use allowed in this zone is a mixed-use development containing office, retail, and restaurant uses.

2. The gross floor area of retail and restaurant uses in this zone shall be equal to or greater than 186,000 gross square feet. Retail uses may include accessory short-term drop-off children's play facilities.

Staff Comment:

The applicant is proposing office and retail and uses as part of a mixed-use development. Staff has reviewed the proposed building for compliance with the maximum retail square footage requirements and it complies.

B. Height:

1. The CBD 5A zone allows a maximum height of 115 feet as measured above the average building elevation (ABE) of 74.5 for Area C as established in Plate 7 of the Kirkland Zoning Code.
2. Rooftop appurtenances may exceed the applicable height limitation by a maximum of 16 feet if the area of all appurtenances and screening does not exceed 25 percent of the total area of the building rooftop. All other regulations for rooftop appurtenances in Chapter 115 KZC shall apply.
3. The design guidelines require that the ground level retail height be a minimum of 14 feet in height.

Staff Comment:

The applicant has submitted height calculations with the Design Response Conference application that show compliance with height requirements. Staff will ensure compliance as part of the building permit application review.

- C. Setbacks: The required setback from the south property line is 25 feet. There are no other required setbacks.

Staff Comment: *The project complies with setback requirements.*

D. Master Plan Development Standards

The development is subject to the following program requirements:

- A. The development will include a variety of public open spaces that vary in size and character. A minimum of 15%, or 75,000 square feet, of the site shall be activated pedestrian-oriented space, in the form of courtyards, plazas, etc.
- B. Work in collaboration with representatives from the cultural council and local art community and will identify and create opportunities to integrate art into the project.
- C. All new office buildings will be designed achieve a LEED CS Gold threshold and other environmentally sustainability standards.
- D. The project must include neighborhood-serving retail and services.
- E. The majority of parking for the development shall be placed underground. Surface parking will be provided along selected internal streets and at other selected surface parking locations to support retail uses.
- F. Affordable housing required as part of the residential component.
- G. The Building Use Breakdown is 924,665 square feet of office; 218,345 square feet of retail, fitness and entertainment; and 185 residential units.

Staff Comment: *Staff has reviewed the project for compliance with the development standards and the project complies with the requirements. Staff will ensure compliance as part of the building permit application review.*

E. Master Plan Street Design Minor Modification:

1. The Kirkland Parkplace Mixed Use Development Master Plan contains development standards for the north and south access streets.
2. The applicant has submitted a request to modify these standards (see Attachment 2, Pages 97 through 104).
3. The request is being reviewed by the Planning Director and a decision will be made by the DRB meeting date.

Staff Comment: A decision on the minor modification request is required prior to DRB Approval.

VI. STATE ENVIRONMENTAL POLICY ACT

SEPA is the state law that requires an evaluation of a development proposal for environmental impacts. An Environmental Impact Statement (EIS), Planned Action Ordinance (PAO), and a Supplemental Environmental Impact Statement (SEIS) were completed in October 2008. Two Draft and Final Supplemental Impact Statements were issued in August 2010 and February 2015 for the previous Parkplace proposal. An EIS addendum was completed for the current proposal in January 2019. No changes to the PAO for the project was required. The PAO is in effect through February 28, 2025.

VII. PUBLIC COMMENT

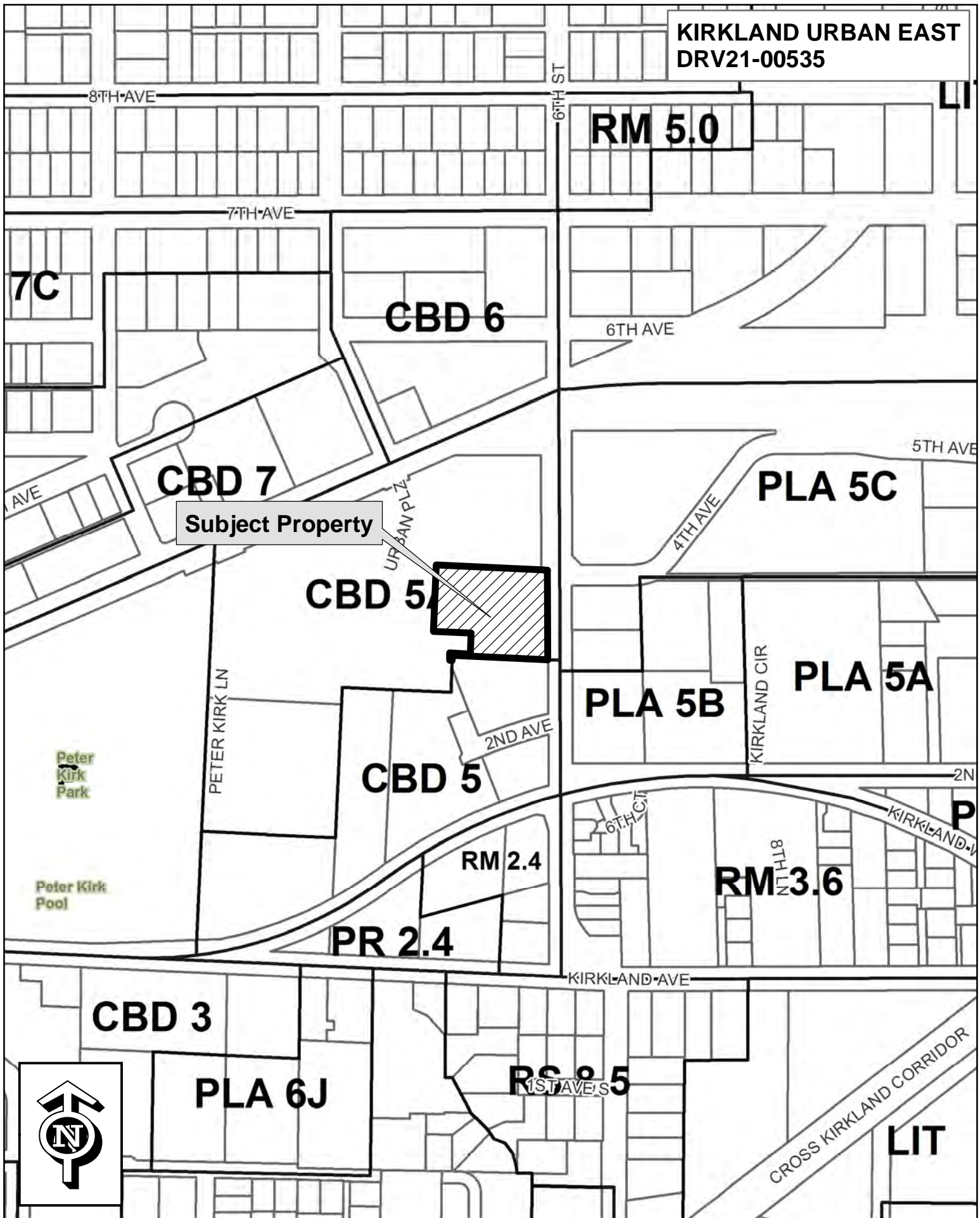
Prior to the finalization and distribution of this staff memo, no public comments were received.

VIII. SUBSEQUENT MODIFICATIONS

Modifications to the approval may be requested and reviewed pursuant to the applicable modification procedures and criteria in effect at the time of the requested modification.

IX. ATTACHMENTS

1. Vicinity Map
2. Development Plans from October 4, 2021 Meeting
3. Revised Development Plans
4. The Kirkland Parkplace Mixed Use Development Master Plan and Design Guidelines
5. Development Standards



City of Kirkland
09-17-2021

Kirkland Urban East Design Response Conference

Project Information

Contents

Address

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CDC Recap

- 06 Project Drivers
- 08 Massing Summary
- 10 DRB Feedback

Landscape Design

- 13 Site and Context
- 15 Entry and Access
- 16 Landscape Approach
- 21 Site Plan
- 22 6th Street Approach
- 25 Arrival + Plaza
- 32 Upper Plaza
- 34 Daycare Connection
- 37 South Fire Lane
- 40 Planting Approach
- 47 Site Perspectives

Building Structure + Facade Design

- 54 Timber Diagrid
- 56 Facade Drivers
- 59 Facade Expression
- 62 Facade Materials
- 66 Elevations

Program + Floor Plans

- 75 Core + Shell Plans
- 83 Campus Parking Plans
- 87 KU East Parking Plans

Sustainability

- 93 Concepts + Drivers
- 95 Rooftop PV

Design Departure / Variation

- 98 Departure Intent
- 99 Street Section
- 100 North Access Road
- 104 South Fire Access

Building Height Calculations

- 106 Construction Type
- 107 Site Section
- 108 Building Height Roof Strategy
- 109 Building Section

Master Plan + Zoning Requirements

- 111 Master Plan Key Points
- 115 Zoning Summary
- 117 Lot Coverage

Appendix

- 119 Solar Study
- 120 CDC Notes
- 123 Landscape Site Plans
- 133 Site Survey Drawings

Development Objectives

Project Goals

The goal of this project, which is the final phase of the Kirkland Urban development, is to complete the campus and provide office and retail spaces that complement the existing buildings and open spaces on site. Alongside the building, the project seeks to create a central landscaped plaza to enrich the ecology of the site and provide an additional site amenity. The project will be driven by regional and sustainable objectives that will take advantage of the site's history and context.

Project Summary

Kirkland Urban East will include about 180,000 SF of office space and approximately 15,000 SF of retail space on the ground floor. The building will create a new gateway to the campus off of 6th street, with retail frontage on 6th and towards the Northwest corner, connecting to retail on the Park Level. Additionally, there will be 4 floors of underground parking connecting to the existing parking garage.

Program Objectives:

The project will provide private meeting and office spaces for the primary tenant of the Phase One and Phase Two buildings, which will allow connected use between the programs in those buildings. In addition, there will be retail on the ground floor to provide a more active upper plaza for visitors and connect to the retail on the Park level of the site.

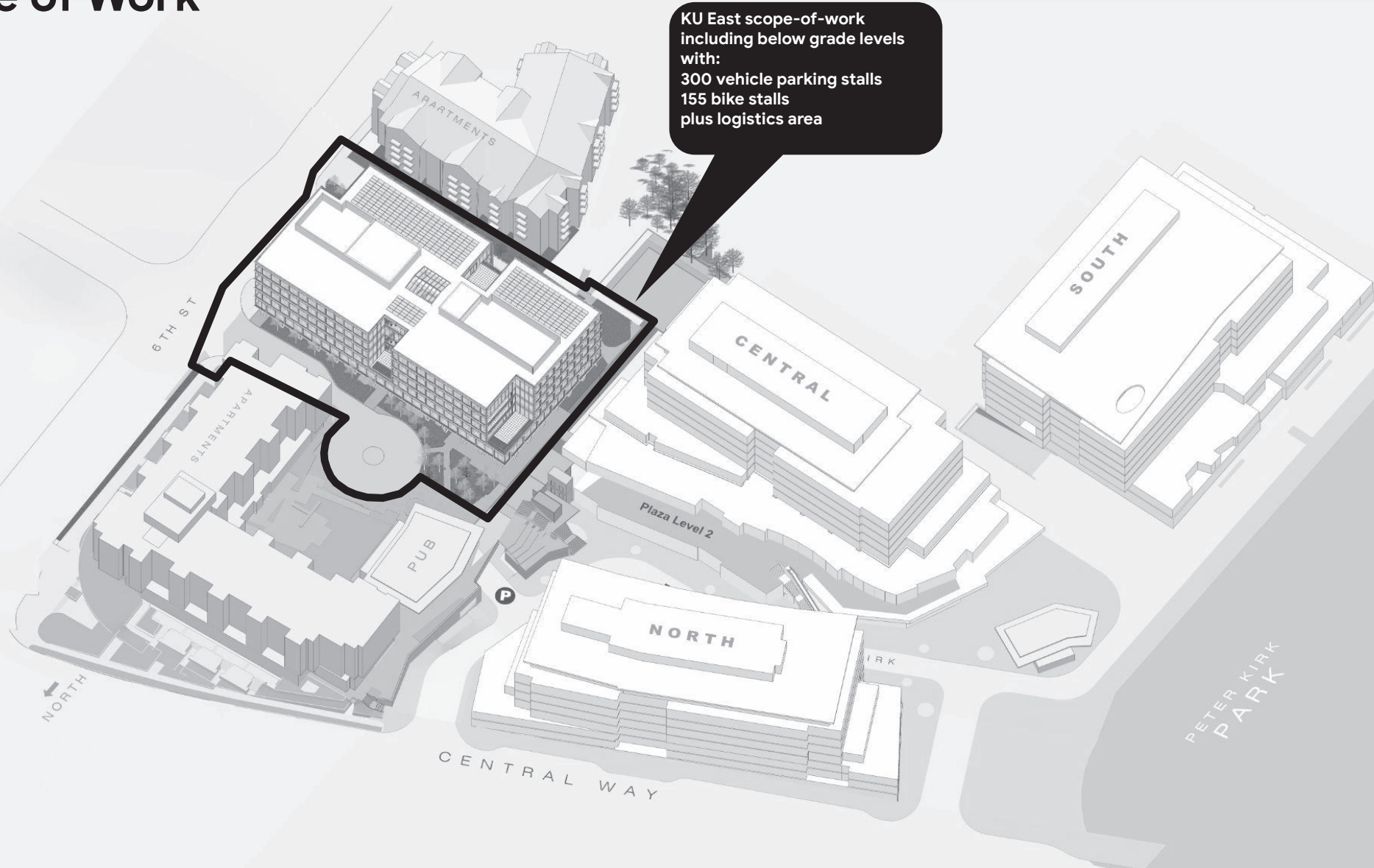
Phasing

This project will occur as the final phase of the development.

Minor Modifications

This project will ask for two minor modifications at the South fire access and North access roads.

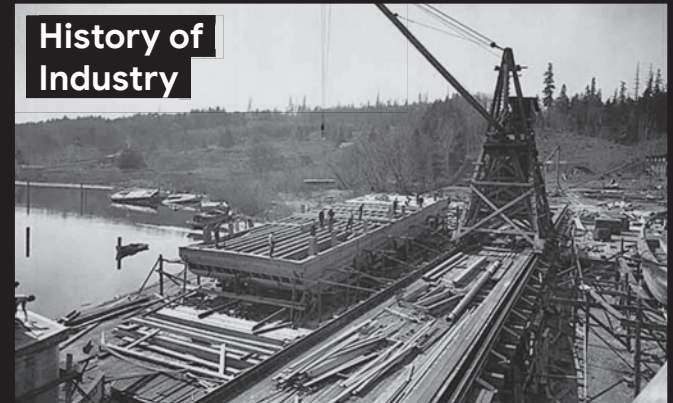
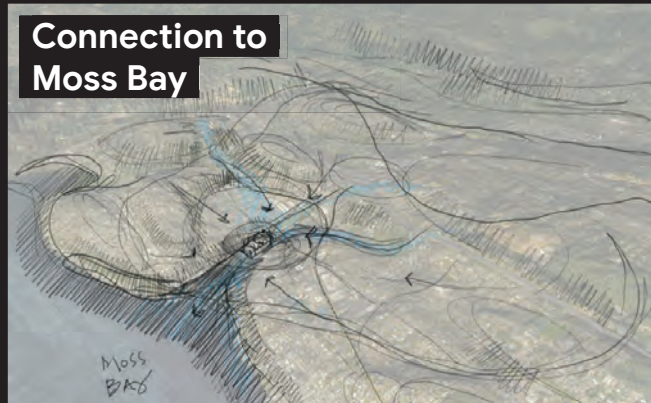
Scope of Work



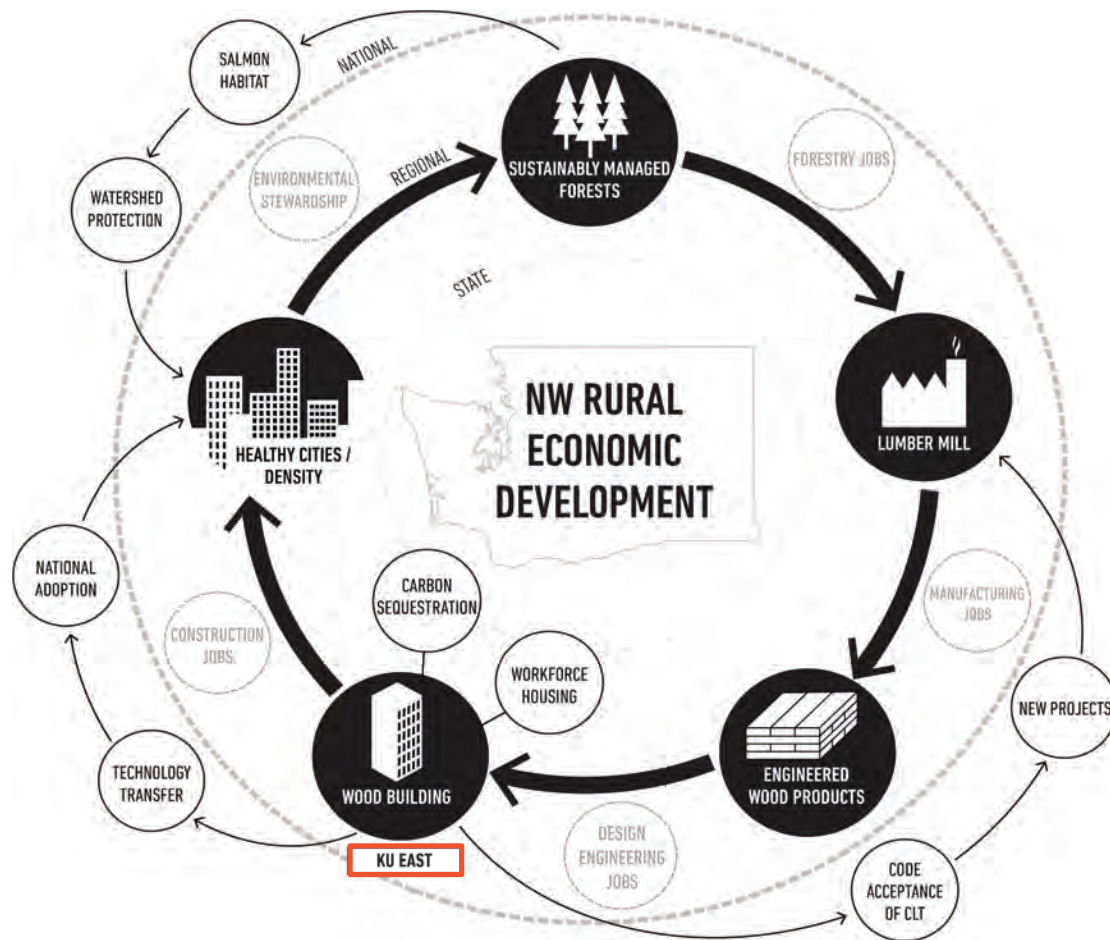
CDC Recap:

- Concept Design Summary
- DRB Feedback

KU East Project Drivers:

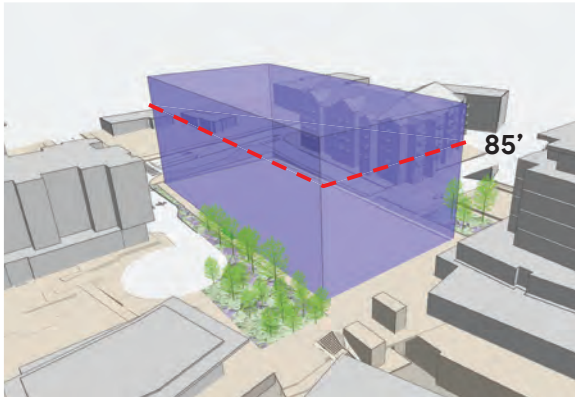


Virtuous Cycle



KU East Massing Options Summary

Zoning Max Massing



For Reference:
This image depicts the maximum envelope for the KU East Site at 115 feet tall.

Massing Option 2



- Pedestrian arcade on North side of the building
- A double height terrace on each side of the building

Massing Option 1



- Pedestrian arcade on North side of the building
- South-facing terraces
- Maximizes the amount of office space on the North side of the building

Massing Option 3 (Preferred)



- Pedestrian arcade on North, East, and West sides of the building
- Full height terraces on all sides of the building
- NW Corner eroded to allow for greater view access to the bay.

Preferred Massing:

Pros:

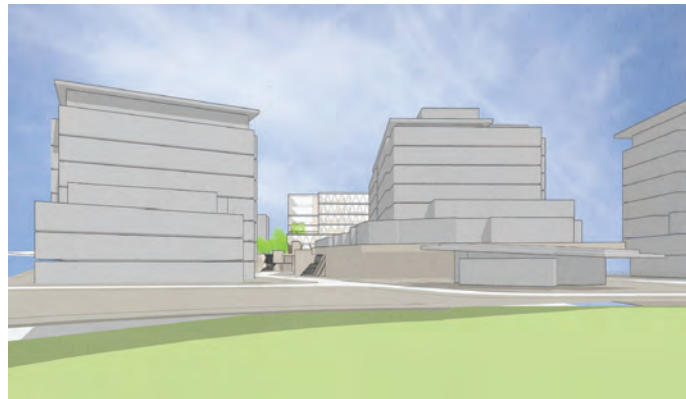
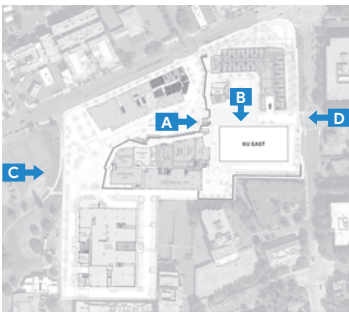
- Pedestrian arcade provides covered access to retail frontages
- Significant massing cuts on all sides of the building break down volume.
- Terraces help activate plaza
- Slots provide increased light access to upper plaza
- Intuitive internal wayfinding via central atrium and massing slots
- Northwest corner terrace breaks down perception of massing from the lower plaza



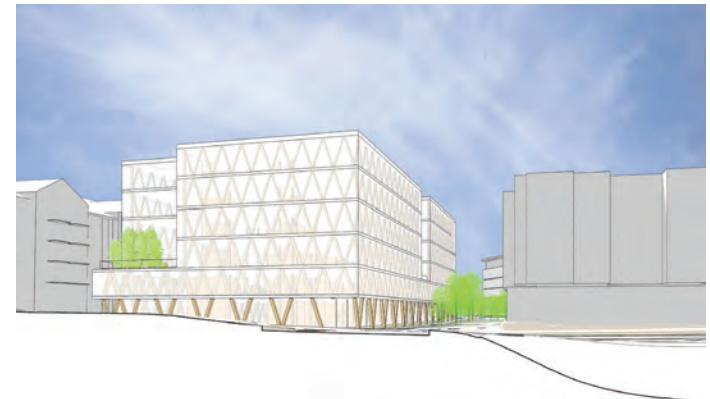
A) View from Lower Plaza



B) View from Upper Plaza



C) View from Peter Kirk Park



D) View from Across 6th Street

DRB Feedback

The DRB expressed a preference for [Massing Option 3](#) (the applicant's preferred plan).

The DRB members also requested to see [detailed landscape plans to better understand the relationship between the building massing and the landscape](#), including the following drawings / visualizations:

- Detailed plans for any pedestrian sidewalks or walkways.
[Pg. 21](#)
- Street section drawings showing adjacent street/ access roads and buildings.
[Pg. 31](#) & [Pg. 39](#)
- Detailed plans for the fire lane and landscaping along the south property line.
[Pg. 38](#)
- Detailed plans for the area near the daycare use.
[Pg. 35](#)
- Views of the South side of the building to show the relationship to adjacent buildings.
[Pg. 36](#)
- Facade Development to show how the building relates to the campus as a whole.
[Pg. 568](#)
- Rooftop Visualization
[Pg. 96](#)

Massing Option 3



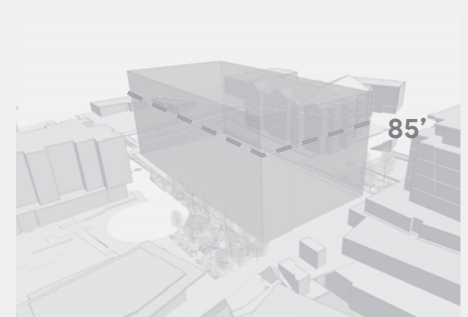
Massing Option 2



Massing Option 1



Zoning Max Massing



Deck Content:

Topics included in this deck:

- Landscape Concepts and Site
- Building Massing Refinement
- Building Structure
- Facade Design
- Building Material Concepts

Topics for future DRC:

- Proposed Design Details
- Site Material Development
- Building Material Development
- Building and Site Lighting

Site Plans + Landscape Design:



Site and Context

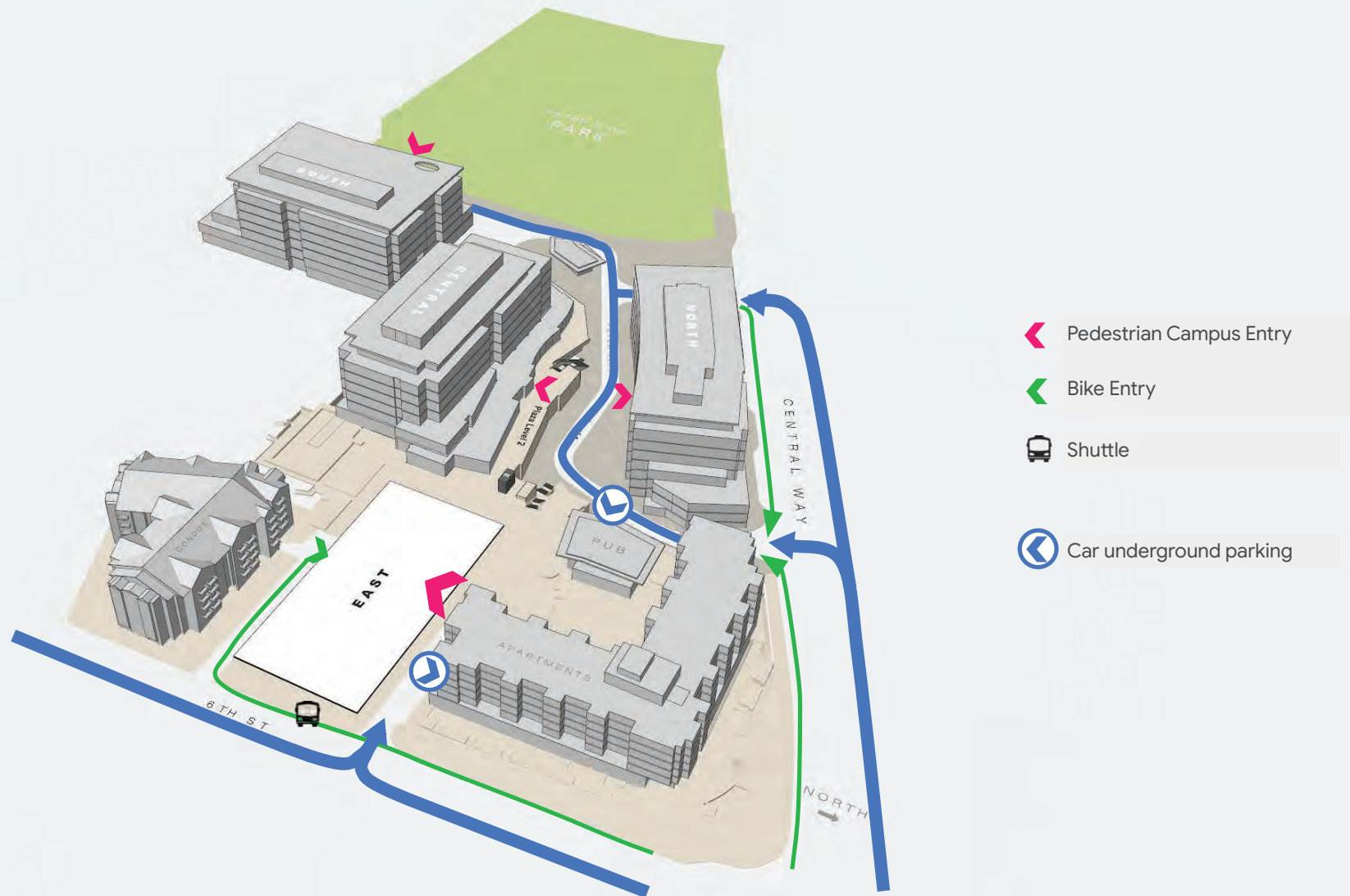
Kirkland Urban East
Retail/Office
210,000 GSF
2025: Target FDOB

KU South
Retail/Office
300,000 sq ft
Q1 2023 Target FDOB

KU North
Retail/Office
230,000 sq ft

KU Central
Retail/Office
278,000 sq ft

KU East Building Entry Access



Landscape Approach

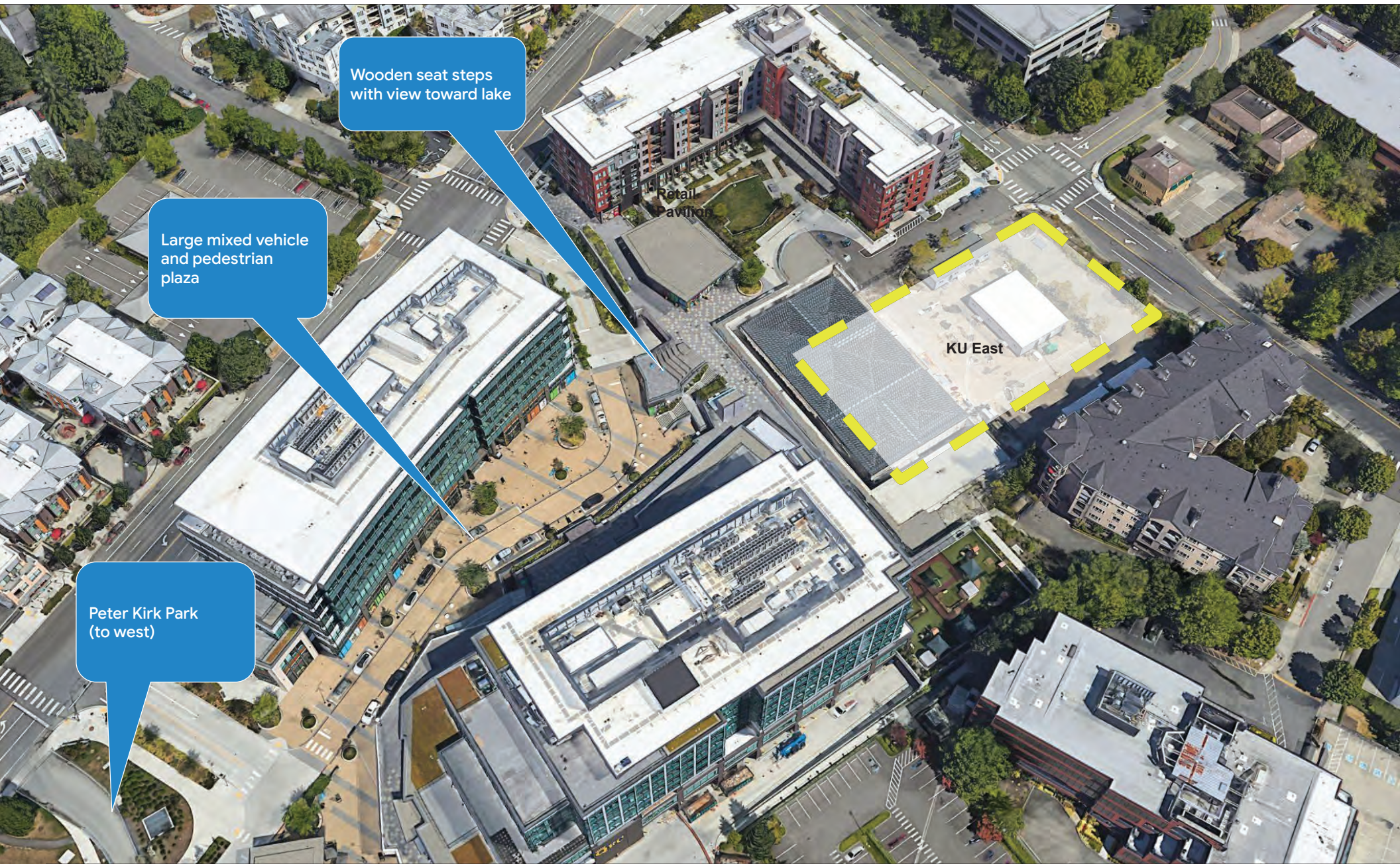


+



Enhance existing Kirkland Urban places

Maximize connections to
local ecology and sustainability



Wooden seat steps
with view toward lake

Large mixed vehicle
and pedestrian
plaza

Peter Kirk Park
(to west)

KU East

Retail
Pavilion

Expand Kirkland Native Ecology



Larger Landscape:
Connect daily experience at KU with the larger bioregional landscape



Species Interdependence:
Plants are food and habitat for co-evolved and interdependent species

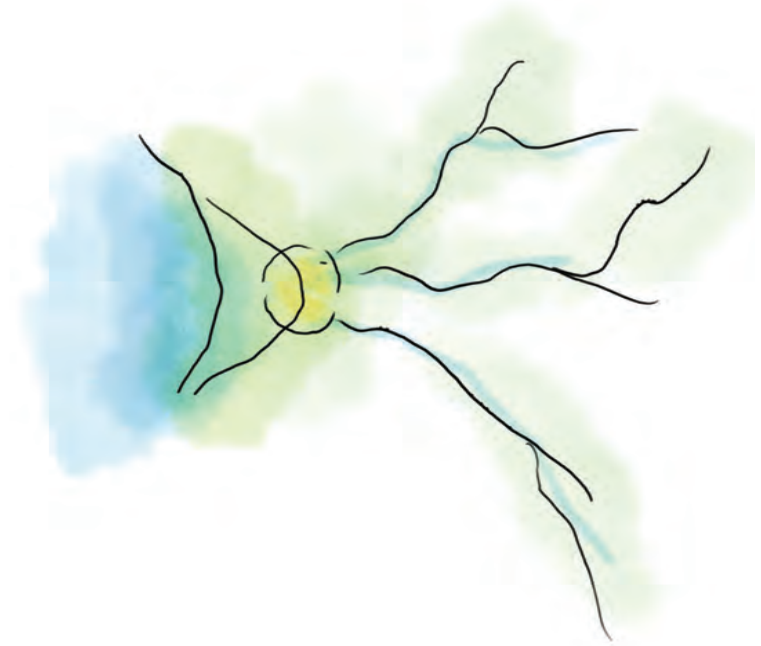
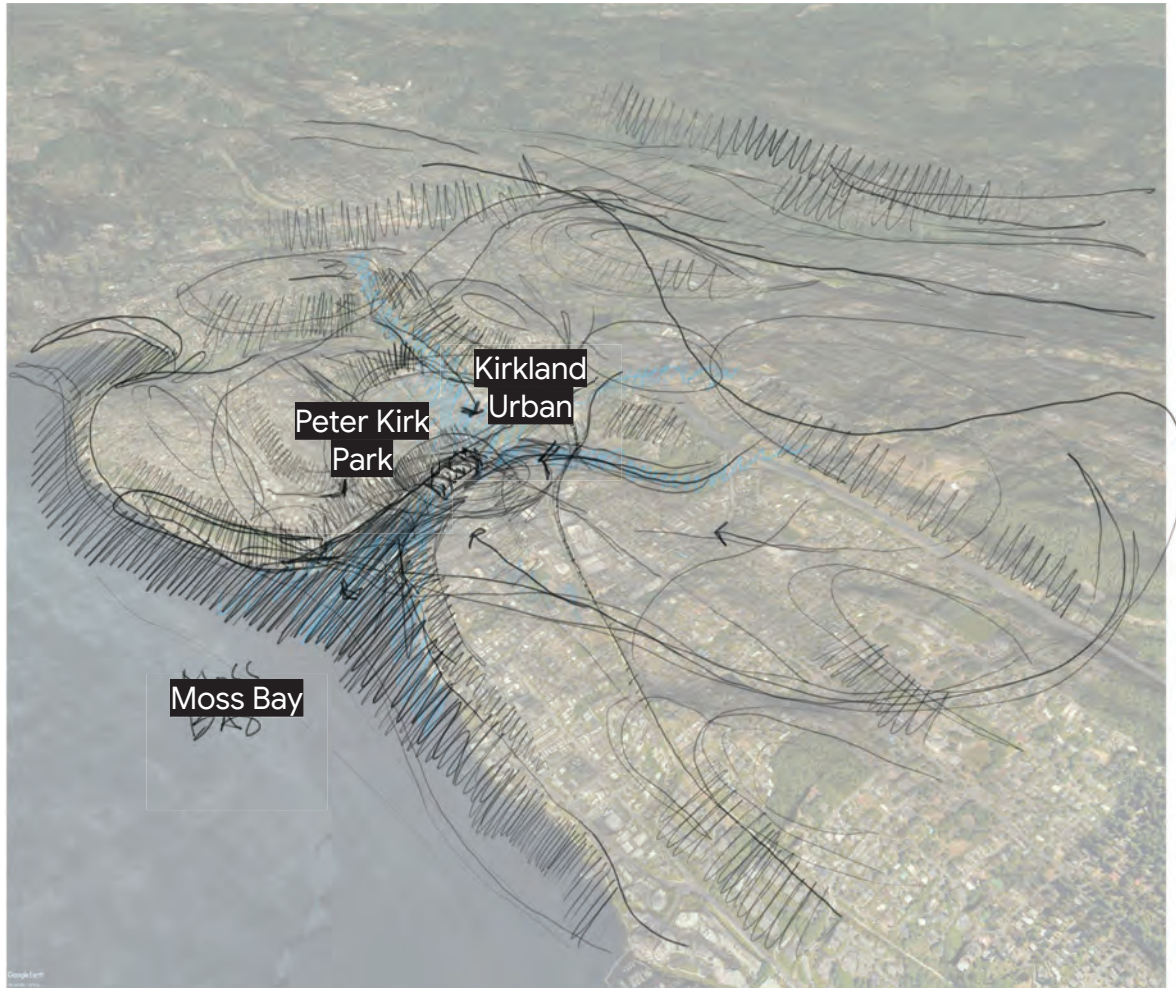


Pioneer Species
Early successional species build soil and quickly establish. This is how natural systems work



Landscape Management:
Adaptively support the evolution of the landscape as a dynamic system (not a fixed design)

Kirkland Urban + Moss Bay



Kirkland Urban sits at the confluence of historic streams and urban connections that lead to Peter Kirk Park and Moss Bay

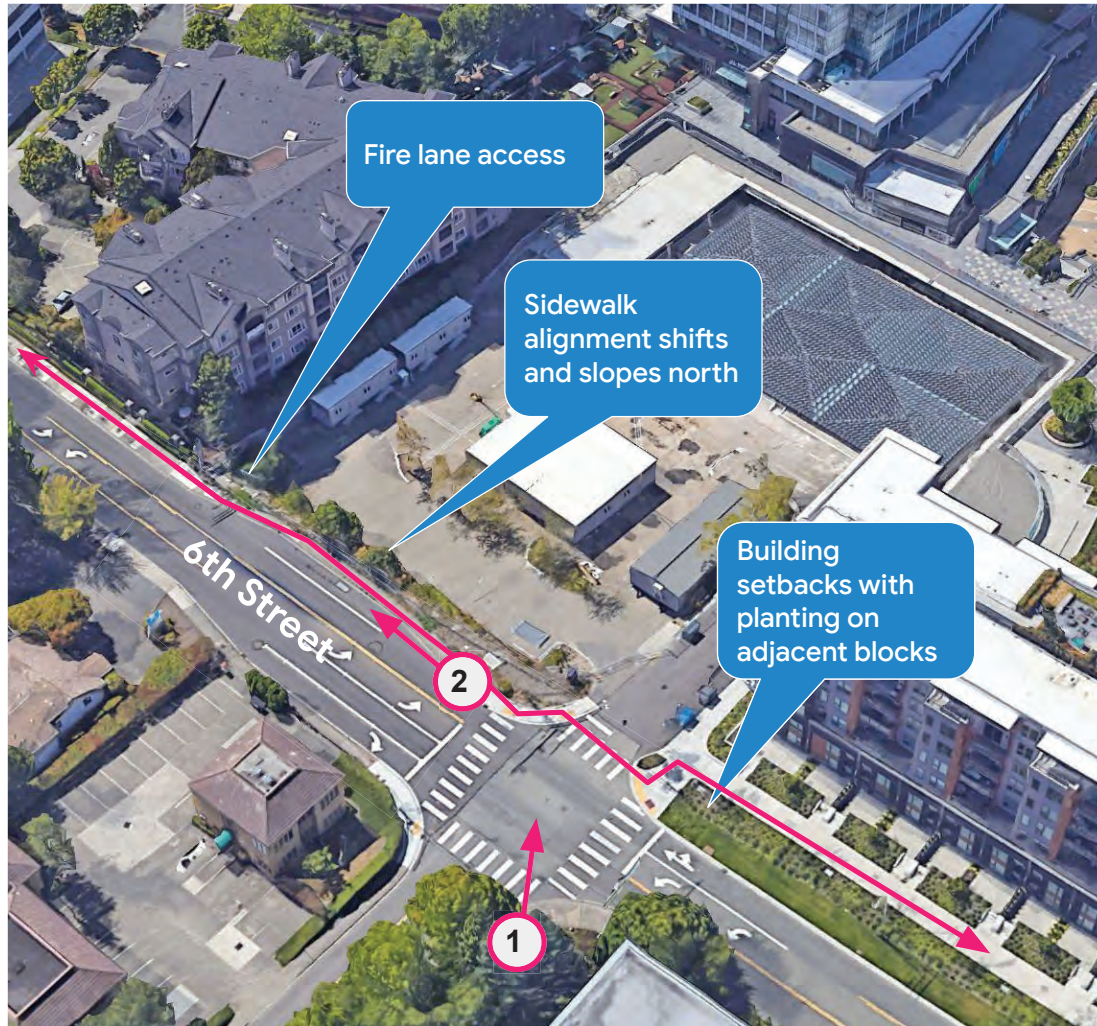
Collect and Filter



Site Plan



6th Street - Existing

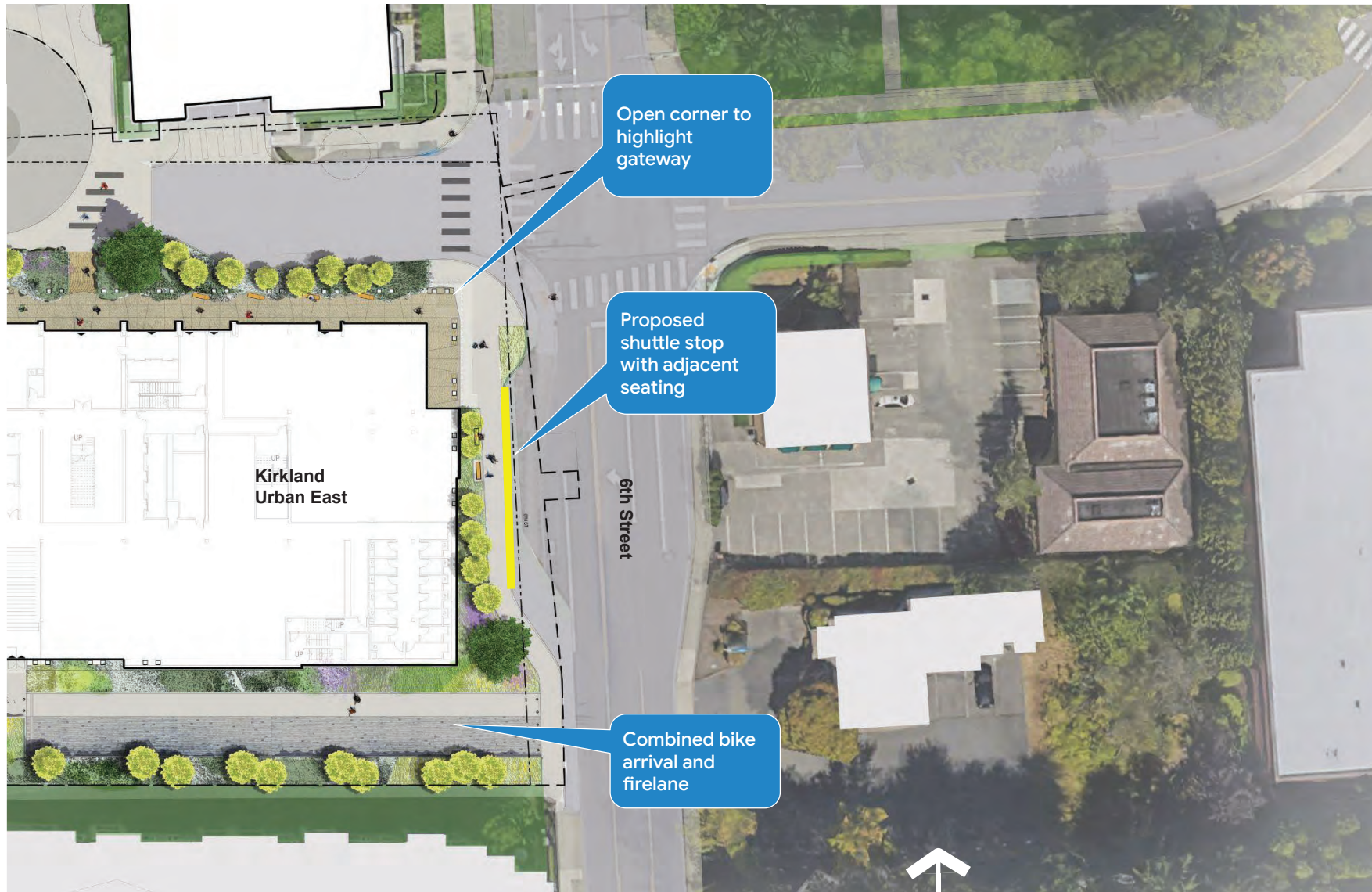


Existing condition looking southwest from 4th Avenue and 6th Street

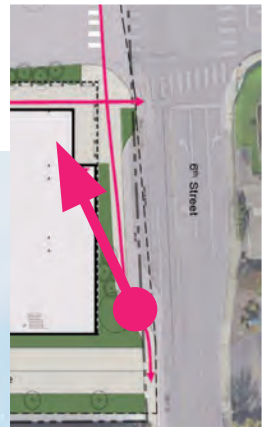


Existing condition looking south on 6th Street

6th Street - Proposed



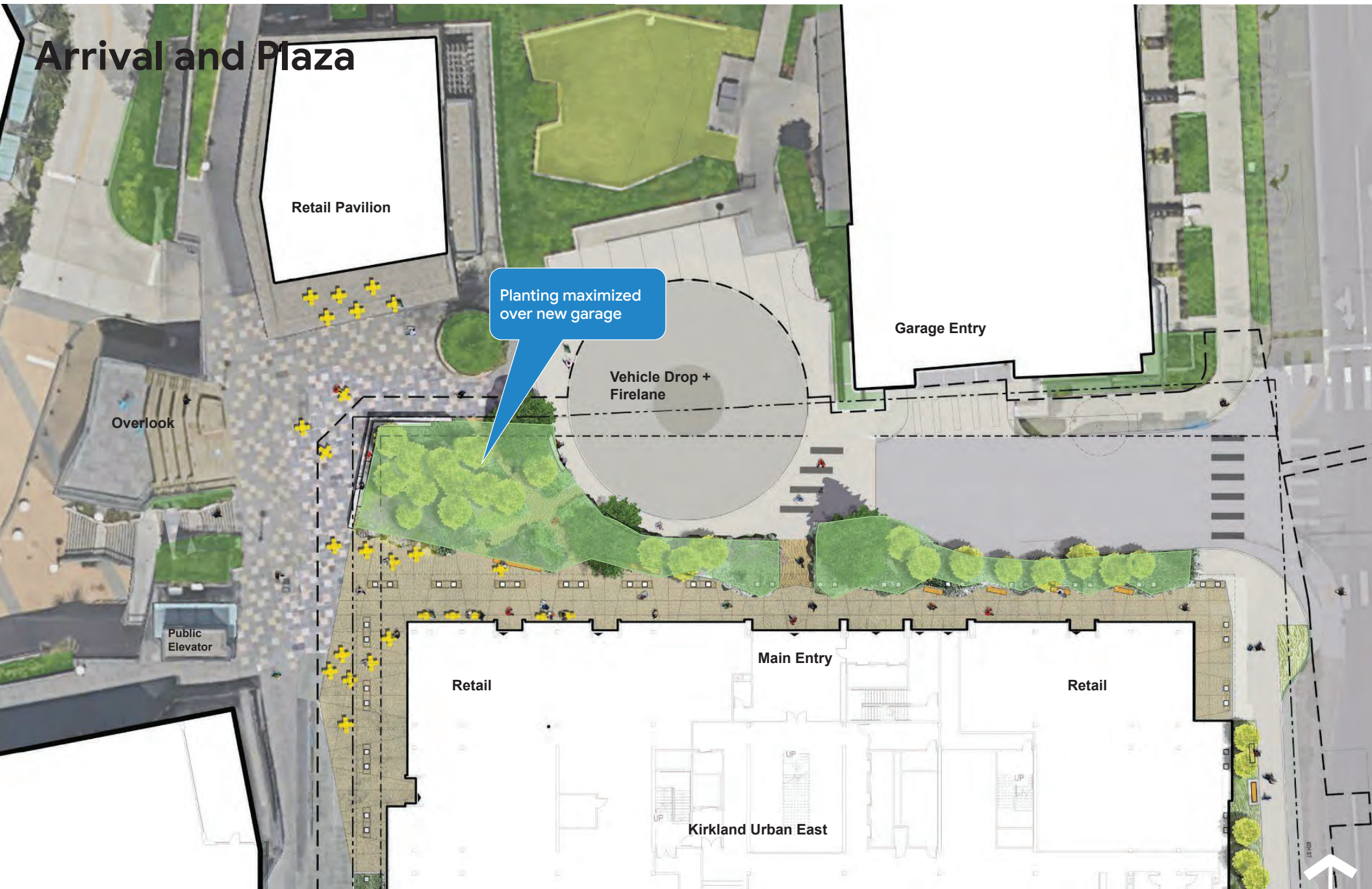
6th Street - view north



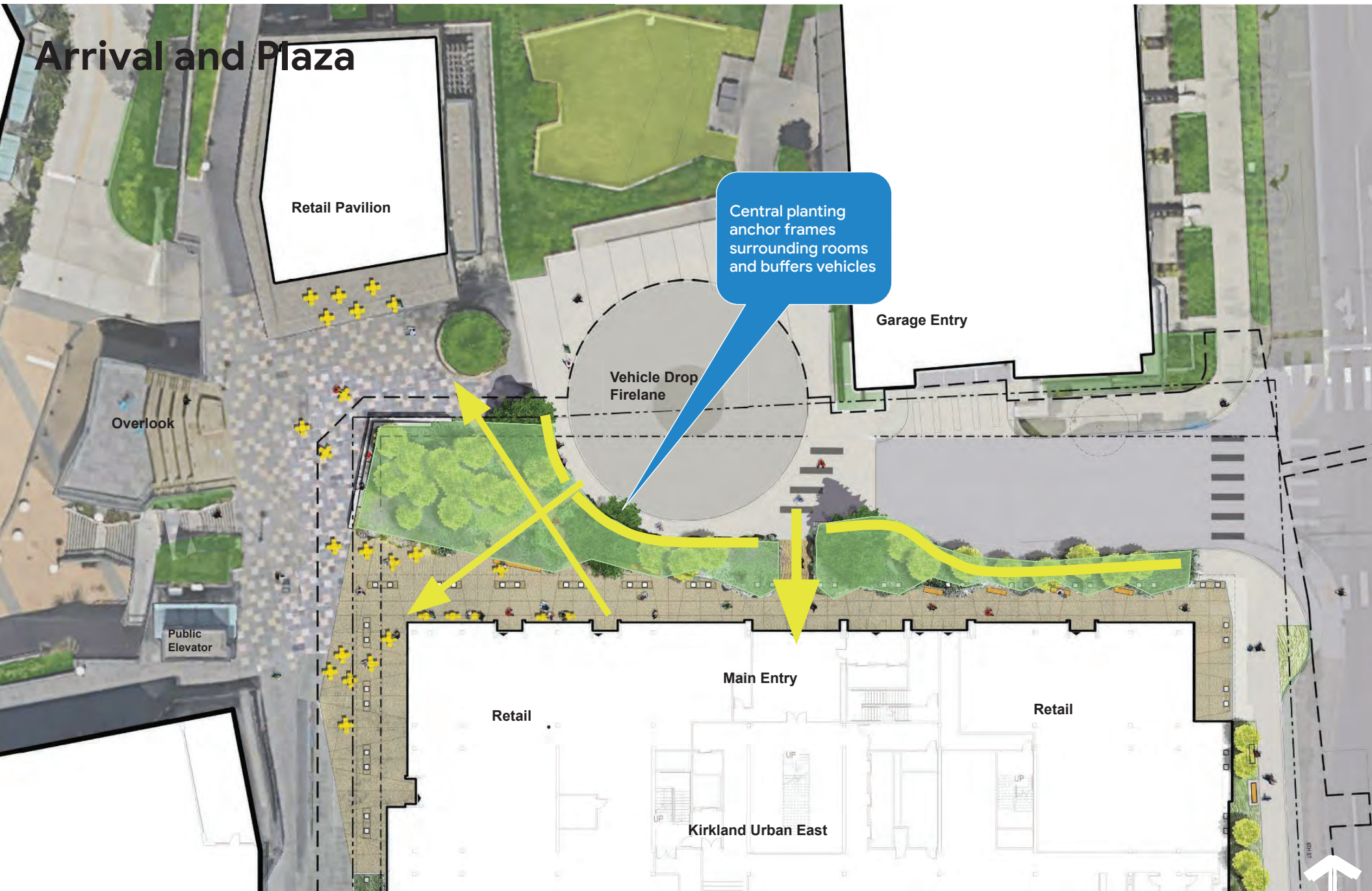
Arrival and Plaza - Existing



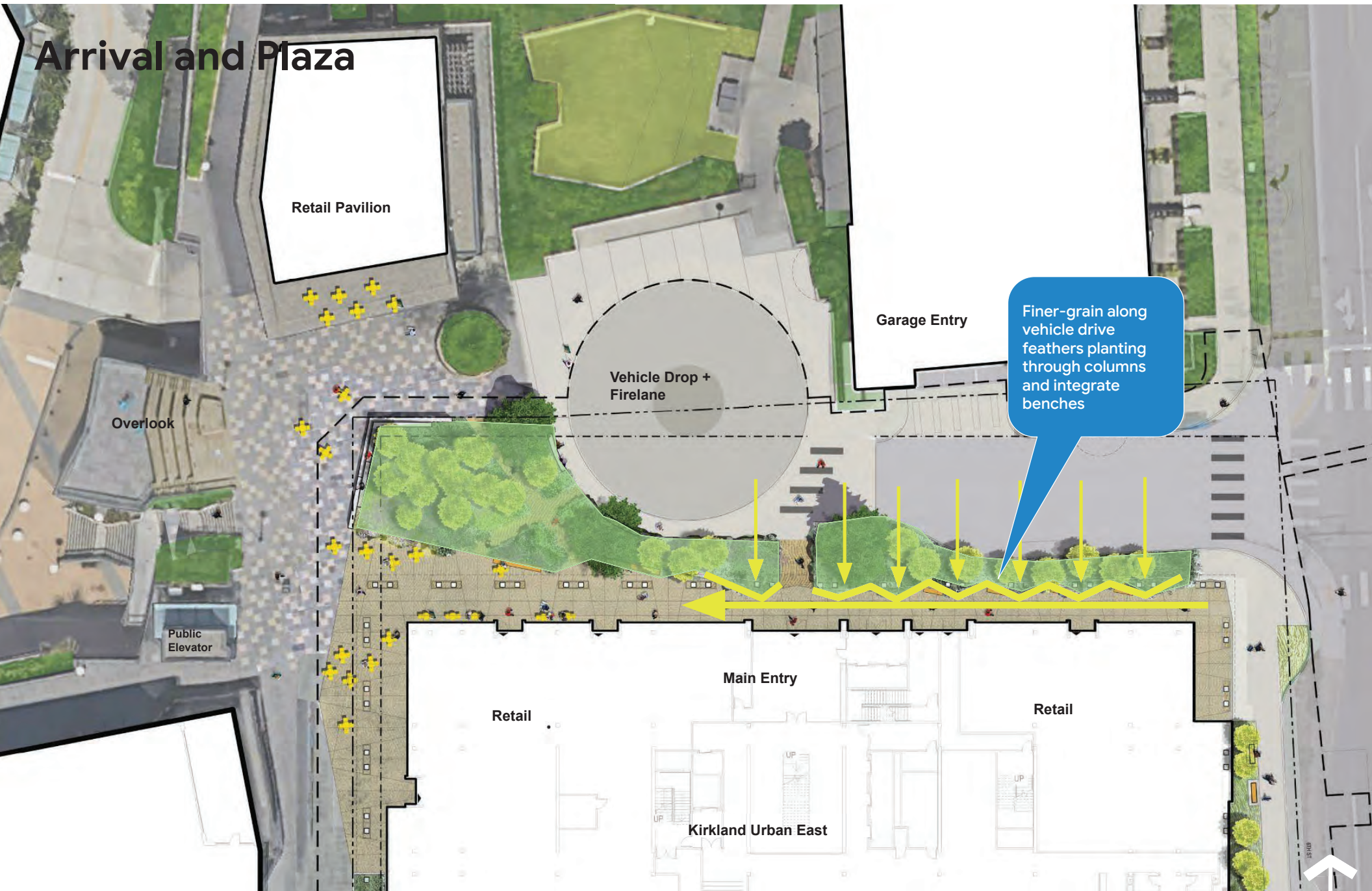
Arrival and Plaza



Arrival and Plaza



Arrival and Plaza



Finer-grain along vehicle drive feathers planting through columns and integrate benches