

Alley Loaded 6-plex

120



Toll Brothers
America's Luxury Home Builder®

BLUELINE

DAHLIN

01-06-2023

COLOR AND MATERIAL LEGEND

- 1 PAINT: SHERWIN WILLIAMS
SW 7004 "SNOW BOUND"
- 2 PAINT: SHERWIN WILLIAMS
SW 6992 "INKWELL"
- 3 PAINT: SHERWIN WILLIAMS
SW 6251 "OUTERSPACE"
- 4 ROOF: TIMBERLINE CHARCOAL
SHINGLE ROOF
- 5 BRICK: MUTUAL MATERIALS
"COAL CREEK" SLIM BRICK TILE
- 6 WOODTONE: RUSTIC SERIES LAP
"OLD CHERRY"
- 7 METAL AWNING / RAILING



FRONT ELEVATION



REAR ELEVATION

Alley Loaded 6-plex

121



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RIGHT ELEVATION



LEFT ELEVATION

Alley Loaded 6-plex

122



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01-06-2023

PLANNING CONDITIONS – Contact Kyle Cotchett, Phone Number 425-587-3254:

Conditions applying to *almost* all permit types:

Note: consult the Kirkland Zoning Code (KZC) online at <http://www.codepublishing.com/wa/kirkland/?html/KirklandZNT.html>

- PBD 1. **PLANNING TO PERFORM FINAL INSPECTION PRIOR TO BUILDING** - BUILDING PERMIT INSPECTION CARD MUST BE SIGNED OFF BY PLANNING PRIOR TO ANY REQUEST FOR FINAL BUILDING INSPECTION. You can request an inspection through www.mybuildingpermit.com. **24 HOUR ADVANCE NOTICE REQUIRED FOR INSPECTION.** Please consult these conditions before scheduling a Planning inspection.
- PBD 2. **HEIGHT VERIFICATION** – A completed, signed and dated height verification form must be submitted to the building inspector at either the underfloor inspection or the slab insulation inspection.
- PBD 3. **REVISED SITE PLAN** - Any proposed changes to the approved site plan, such as but not limited to, added hard surfaces, HVAC units, accessory structures, or tree removals, must be submitted as a revision to the building permit for review and approval prior to implementation.
- PBD 4. **LOT COVERAGE** - Any proposed increase in the total impervious and/or hardscape surfaces on the site must be submitted for review as a revision to this building permit prior to the addition of impervious/and or hardscape area.
- PBD 5. **LOT COVERAGE APPROVED PLANS** - The approved plans do not show any areas of synthetic turf. This material shall not be installed unless a revision to this permit is submitted and approved by the City. For lot coverage purposes, synthetic turf is considered impervious by the Kirkland Zoning Code.
- PBD 6. **ADDITION/ALTERATION TREE RETENTION** - No tree removal is allowed unless approved on your site plan. No damage to tree root systems is allowed. No heavy equipment and stockpiling of materials within tree drip lines. Any additional tree removal must be authorized by the Planning & Building Department prior to removal. Call the planner noted above for more information.
A minimum of two trees must be on the lot following the requirement set forth in KZC 95.33(4).
- PBD 7. **NOTICE OF GEOLOGIC HAZARD** - Prior to final inspection of any development permit, the applicant shall record (unless legally prohibited from doing so), on the title of the property, a notice stating that the property is potentially located in a geologically hazardous area. This notice will inform future owners that, at the time of the permit's issuance, the property was potentially located in a geologically hazardous area.
- PBD 8. **GEOTECHNICAL REPORT** - All development activity shall follow the recommendations of the geotechnical report prepared by dated and submit additional geotechnical information as specified in the report.

- PBD 9. **ALL - HOURS OF CONSTRUCTION** - All development activity and heavy equipment operation is restricted to 7:00 AM to 8:00 PM Monday through Friday, and 9:00 AM to 6:00 PM Saturday. Other restrictions on Saturday include: no working in the right-of-way, no work requiring inspection, and no trucking into or out of the site; however, light grading work on-site on Saturday is allowed. NO development activity or heavy equipment operation may occur on Sundays or the following holidays: New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day, and Christmas Day.
- PBD 10. **MAXIMUM NOISE LEVELS** - All mechanical units shall comply with the maximum environmental noise levels established pursuant to the Noise Control Act of 1974, Revised Code of Washington (RCW) 70.107. See Chapter 173-60 Washington Administrative Code (WAC). A link to the WAC and RCW is available at http://www.kirklandwa.gov/Government/Codes_and_Laws.htm.
- PBD 11. **BALD EAGLE PROTECTION** – This permit is conditioned upon strict observance of all applicable federal laws for bald eagle protection. The permittee is responsible for adhering to the applicable bald eagle management guidelines and/or their federal permit. Visit www.fws.gov/pacific/eagle/ if you need assistance with federal permitting requirements.

Commercial and Multi-Family Permit Conditions:

- PBD 12. **HEIGHT SURVEY** – A completed, signed and dated height verification form must be submitted to the building inspector at either the underfloor inspection or the slab insulation inspection.
- PBD 13. **TREE PROTECTION** - The applicant shall install temporary but immovable construction fencing around the drip line of all significant trees to be retained after the pre-construction meeting but prior to any grading or site construction. The Public Works Department **MUST** inspect and approve all tree fencing prior to the start of any other site work. **DO NOT MOVE OR REMOVE THE FENCING UNLESS AUTHORIZED BY THE PLANNING AND BUILDING DEPARTMENT.** Please call 425-587-3805 to request inspection. **ADVANCE NOTICE OF ONE WORKING DAY REQUIRED FOR INSPECTION.**
- PBD 14. **SIGNS** - A sign permit must be obtained from the Planning & Building Department prior to installation of any new or additional signs. Call the Planning and Building Department at 425-587-3600 for information on sign allowances.
- PBD 15. **ASPHALT PARKING AREA** - All parking areas and driving lanes must be of asphalt or superior material.
- PBD 16. **STRIPED PARKING AREA** - All parking areas and driving lanes must be striped and surrounded by six-inch vertical concrete curb.
- PBD 17. **ROOFTOP APPURTENANCES** - All rooftop appurtenances must be screened in accordance with Zoning Code Section 115.120.

- PBD 18. **COMMERCIAL / MULTI-FAMILY-ROOFTOP SCREENING REQUIRED** – Prior to calling for a Planning Final Inspection, all rooftop screening must be installed.
- PBD 19. **LANDSCAPE PRIOR TO FINAL INSPECTION** - Prior to final inspection by the Planning & Building Department all landscaping and other required improvements must be installed. All installation and maintenance standards shall conform to Kirkland Zoning Code Sections 95.45 and 95.50. Any changes to the approved landscaping plan must be submitted for review and approved as a revision to this building permit prior to implementation.
- PBD 20. **DRIVEWAYS AND PAVING** - Prior to final inspection by the Planning & Building Department, all driveways, parking areas, and curbing must be installed.
- PBD 21. **LANDSCAPE AS-BUILT LANDSCAPE PLAN** - Prior to final inspection by the Planning & Building Department, an as-built landscape plan must be submitted to the Planning & Building Department.
- PBD 22. MAINTENANCE OF REQUIRED LANDSCAPING - All required landscaping shall be maintained throughout the life of the development. The applicant shall submit an agreement to the city to be recorded with King County which will perpetually maintain required landscaping. Prior to issuance of a certificate of occupancy, the proponent shall provide an agreement to maintain and replace all landscaping that is required by the City.

LSM

- PBD 23. **PAVED PARKING** - All parking areas and driving lanes must be of asphalt or superior materials and be striped and surrounded by six-inch vertical concrete curb.
- PBD 24. **PROPERTY CORNERS PRIOR TO FINAL** - Prior to final inspection, all interior and exterior property corners must be permanently set by a registered land surveyor.
- PBD 25. **TREE PROTECTION** - The applicant shall install temporary but immovable construction fencing around the drip line of all significant trees to be retained after the pre-construction meeting but prior to any grading or site construction. The Public Works Department MUST inspect and approve all tree fencing prior to the start of any other site work. DO NOT MOVE OR REMOVE THE FENCING UNLESS AUTHORIZED BY THE PLANNING AND BUILDING DEPARTMENT. Please call 425-587-3805 to request inspection. ADVANCE NOTICE OF ONE WORKING DAY REQUIRED FOR INSPECTION.
- PBD 26. **LANDSCAPE AS-BUILT LANDSCAPE PLAN** - Prior to final inspection by the Planning & Building Department, an as-built landscape plan must be submitted to the Planning & Building Department.
- PBD 27. **UTILITY STRUCTURES IN SETBACKS** - Utility structures which extend more than four inches above finished grade may be constructed within a required setback yard provided no other location within the public right-of-way is feasible and prior approval of the City (Planning

and Public Works Departments) is obtained. Any franchise agreement between the City and a utility company may supersede this requirement.

Sign

- PBD 28. **LANDSCAPING REQUIRED** - Prior to final inspection, an area around the base of each pedestal and monument sign equal to the sign area must be landscaped.
- PBD 29. **PROHIBITED DEVICES** - Applicant is advised to review Zoning Code Section 100.85 which specifies prohibited types of signs and other advertising devices, including banners, flashing lights, and balloons. These devices are not approved as part of this permit application.
- PBD 30. **CHANGING MESSAGE CENTERS** - Changing message centers may display only public service time and temperature information.
- PBD 31. **WIRING** - No overhead wiring to freestanding signs allowed. Wiring must be placed underground.

Toll Brothers

Memo

To: Kyle Cotchett
From: David Morse
cc:
Date: 12/20/22
Re: Kirkland – CKC Landscape Modification

Per our conversations, both over the phone and at City Hall, I am submitting a formal request for modification to the landscape buffers on the south property line south of Forbes Creek (per KZC 142.37).

Current code KZC 95.42(2), as it applies to this site, reads:

2. *Buffering Standard 2. For standard 2, the applicant shall provide:*

- *a five-foot-wide landscaped strip with*
- *a six-foot-high solid screening fence or wall placed on the property line when adjacent to private property.*
- *The landscaped strip must be planted as follows:*
 - a. One row of trees planted no more than 10 feet apart on center along the entire length of the buffer, with deciduous trees of two-inch caliper, minimum, and/or coniferous trees at least six feet in height, minimum. The spacing may be increased to 15 feet to accommodate larger species and avoid long-term crowding. At least 50 percent of the required trees shall be evergreen.*
 - b. Living ground covers planted from either four-inch pot with 12-inch spacing or one-gallon pot with 18-inch spacing to cover within two years 60 percent of the land use buffer not needed for viability of the trees.*

We believe that strict adherence to this code does not prescribe the best and most appropriate landscape buffer for this development.

Context:

The homes along our south property line sit over 30' above our site. The hillside, separating our community from these homes, has heavily wooded slopes that exceed grades of 80%. Existing foliage screens the current commercial buildings on our site from the neighboring properties. Many of the homes have stockade fences or other improvements that allow the homeowners a choice of privacy or views to the west looking above our site.

Proposal

We propose to leave in place the existing, heavily wooded slopes separating our community from these homes. This will create an undisturbed wooded buffer of 25' – 40' (5 – 8 times wider than code requirements). We propose solid retaining walls, ranging from 6' – 14' in height, at the base of the slope. Additional gabion basket walls will extend above the retaining walls at the end of each townhome. This will create a solid screen of up to 17' above finished grade (>10' above code). We propose to use native plants along the wall and the south end of the townhomes to tie our site into the native vegetation.

Concerns

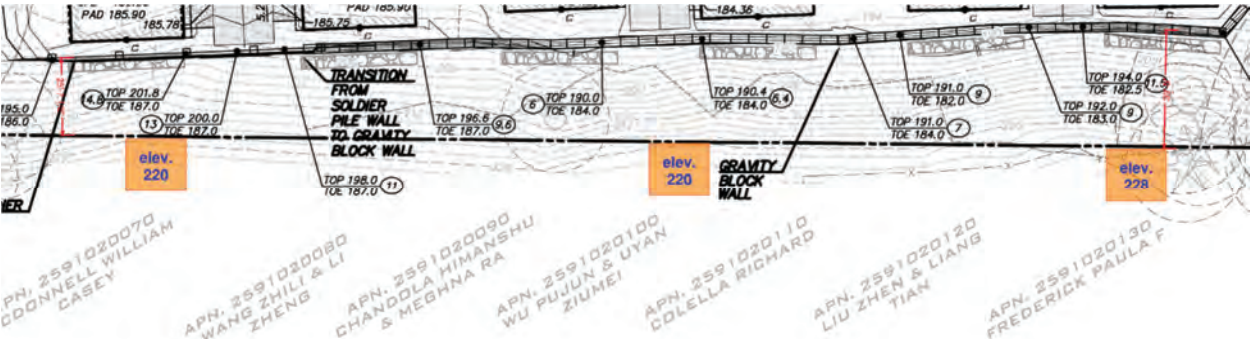
We are concerned that any modifications to the slopes' ground cover and canopy (removal of well-established vegetation) to accommodate new plantings could potentially undermine soil stability at our south property line. Also, the insertion of perimeter plantings and a screen wall will be disruptive to the neighbors' views and property line improvements. Furthermore, it will appear out of place on the steep hillside. For what it is worth, we discussed this issue during the Conceptual Design Review Meeting and encountered no objections.

We believe that we have submitted a superior design that greatly exceeds the intent of the landscape buffer code provisions. Our design avoids any intrusion on to the neighboring properties, provides no detrimental impact to adjacent property owners, and affords our neighbors to the south maximum privacy. Accordingly, we ask that that the Design Review Board grant a *design departure & minor variation* and approve our landscape plans as submitted.

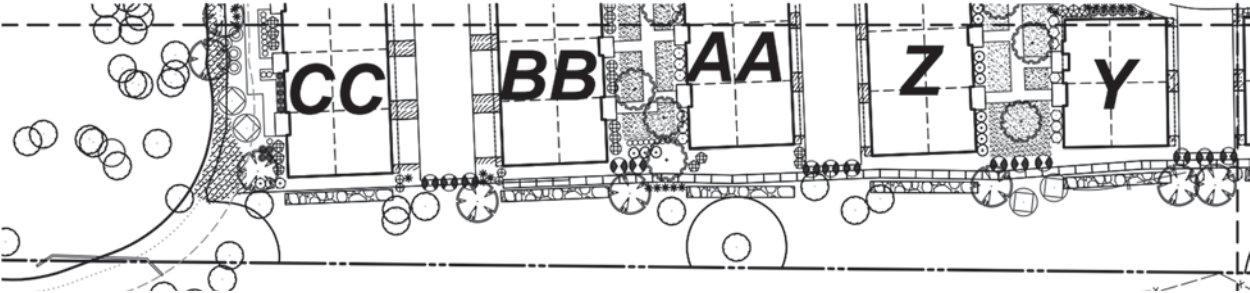
Exhibits:

- A. Site plan showing topo, wall placement, wall height, and distance to property line.
- B. Landscaping at south property line
- C. Photos, taken in the winter, illustrating the relationship of the neighboring residences to our property. Many of the homes have fences on the property lines while others attempt to take advantage of westerly views with decks.
- D. Section of Building BB, retaining wall, and south property line.

A



B











D



- 1 EXISTING TREES TO REMAIN
- 2 GABION BASKET
- 3 EXISTING UNDERSTORY TO REMAIN
- 4 BAMBOO
- 5 VINE MAPLE

Landscape Section - Alley A - West Elevation Building BB



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NW 1/4, SEC 33, TWP 26N, RGE 5E, W.M.

TREE PROTECTION MEASURES

1. TREE PROTECTION FENCES WILL NEED TO BE PLACED AROUND EACH TREE OR GROUP OF TREES TO BE RETAINED.
 - A. TREE PROTECTION FENCES ARE TO BE PLACED ACCORDING TO CITY STANDARD PLAN NO. CK-R-49 AND AS NOTED IN THE TREE INVENTORY/CONDITIONS SPREADSHEET, COLUMN B - LIMITED OF ESTIMATED (SEE ARBORIST REPORT DATED 8/14/22).
 - B. TREE PROTECTION FENCES MUST BE INSPECTED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION WORK ACTIVITIES.
 - C. NOTHING MUST BE PARKED OR STORED WITHIN THE TREE PROTECTION FENCES--NO EQUIPMENT, VEHICLES, SOIL, DEBRIS OR CONSTRUCTION SUPPLIES OF ANY SORTS.
2. CEMENT TRUCKS MUST NOT BE ALLOWED TO DEPOSIT WASTE OR WASH OUT MATERIALS FROM THEIR TRUCKS WITHIN THE TREE PROTECTION FENCES.
3. THE TREE PROTECTION FENCES NEED TO BE CLEARLY MARKED WITH THE FOLLOWING OR SIMILAR TEXT IN FOUR INCH OR LARGER LETTERS:

TREE PROTECTION AREA, ENTRANCE PROHIBITED
TO REPORT VIOLATIONS CONTACT
CITY CODE ENFORCEMENT AT
425-587-3225

THE AREA WITHIN THE TREE PROTECTION FENCING MUST BE COVERED WITH WOOD CHIPS, HOC PURL, OR SIMILAR MATERIALS TO A DEPTH OF 8 TO 10 INCHES. THE MATERIALS SHOULD BE PLACED PRIOR TO BEGINNING CONSTRUCTION AND REMAIN UNTIL THE TREE PROTECTION FENCING IS TAKEN DOWN.

4. THE AREA WITHIN THE TREE PROTECTION FENCING MUST BE COVERED WITH WOOD CHIPS, HOC PURL, OR SIMILAR MATERIALS TO A DEPTH OF 8 TO 10 INCHES. THE MATERIALS SHOULD BE PLACED PRIOR TO BEGINNING CONSTRUCTION AND REMAIN UNTIL THE TREE PROTECTION FENCING IS TAKEN DOWN.
5. WHEN EXCAVATION OCCURS NEAR TREES THAT ARE SCHEDULED FOR RETENTION, THE FOLLOWING PROCEDURE MUST BE FOLLOWED TO PROTECT THE LONG TERM SURVIVABILITY OF THE TREE.
 - A. AN ARBORIST (NATIONAL SOCIETY OF ARBORICULTURE, ISA) CERTIFIED ARBORIST MUST BE WORKING WITH ALL EQUIPMENT OPERATOR.
 - B. THE CERTIFIED ARBORIST SHOULD BE EQUIPPED WITH A SHOVEL, HAND PRUNGERS, A PAIR OF LOPPERS, A HANDSAW, AND A POWER SAW (A "DANVERS" IS RECOMMENDED).
 - C. THE ARBORIST MUST BE PLACED TO "COMB" THE MATERIAL DIRECTLY AWAY FROM THE TRUNK AS OPPOSED TO CUTTING ACROSS THE ROOTS.
 - D. COMING IS THE OPTIMAL EXCAVATION OF THE GROUND COVER PLANTS AND SOIL IN DEPTHS THAT ONLY EXPOSE AS DEEP AS THE TRUNK OF THE TREE.
 - E. WHEN ANY ROOTS OF ONE INCH DIAMETER OR GREATER OF THE TREE TO BE RETAINED IS STRUCK BY THE EQUIPMENT, THE CERTIFIED ARBORIST SHOULD STOP THE EQUIPMENT OPERATOR.
 - F. THE CERTIFIED ARBORIST SHOULD THEN EXCAVATE AROUND THE TREE ROOT BY HAND/SHOVEL AND CLEARLY OUT THE TREE ROOT.
 - G. THE CERTIFIED ARBORIST SHOULD THEN INSTRUCT THE EQUIPMENT OPERATOR TO CONTINUE.

6. PUTTING UTILITIES UNDER THE ROOT ZONE.
 - A. BORING UNDER THE ROOT SYSTEMS OF TREES (AND OTHER VEGETATION) SHALL BE DONE UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST. THIS IS TO BE ACCOMPLISHED BY EXCAVATING A LIMITED TRENCH OR PIT ON EACH SIDE OF THE CRITICAL ROOT ZONE OF THE TREE AND THEN HAND DIGGING OR PUSHING THE PIPE THROUGH THE SOIL UNDER THE TREE TO THE CLOSEST PIT WALLS SHALL BE A MINIMUM OF 7 FEET FROM THE CENTER OF THE TREE AND SHALL BE SUFFICIENT DEPTH TO LAY THE PIPE AT THE GRADE AS SHOWN ON THE PLAN AND PROFILE.
 - B. TUNNELING UNDER THE ROOTS OF TREES SHALL BE DONE UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST IN AN OPEN TRENCH BY CAREFULLY EXCAVATING AND HAND DIGGING AROUND AREAS WHERE LARGE ROOTS ARE EXPOSED. NO ROOTS 1 INCH IN DIAMETER OR LARGER SHALL BE CUT.
 - C. THE CONTRACTOR SHALL VERIFY THE VERTICAL AND HORIZONTAL LOCATION OF EXISTING UTILITIES TO AVOID CONFLICTS AND MAINTAIN MINIMUM CLEARANCES. ADJUSTMENT SHALL BE MADE TO THE GRADE OF THE NEW UTILITY AS REQUIRED.
7. WATERING.
 - A. THE TREES WILL REQUIRE SIGNIFICANT WATERING THROUGHOUT THE SUMMER AND EARLY FALL IN ORDER TO SURVIVE LONG-TERM. AN EAST AND ECONOMIC WATERING CAN BE DONE USING SOAKER HOSES PLACED THREE FEET FROM THE TRUNK OF THE TREE AND SPACED AROUND THE TREE. ONE 75-FOOT SOAKER HOSE PER TREE IS ADEQUATE. IT IS BEST TO PLACE THE SOAKERS USING LANDSCAPE STAPLES (AVAILABLE FROM HO POWER IN BELLEVUE FOR PENNIES APiece) THEN COVER THE AREA WITH TWO TO THREE INCHES COMPOSTED MATERIALS. THE COMPOSTED MATERIAL WILL ACT AS A BARRIER TO MINIMIZE EVAPORATION AND WILL ALSO STIMULATE THE MICROBIAL ACTIVITY OF THE SOIL WHICH IS ANOTHER BENEFIT TO THE HEALTH OF THE TREE.
 - B. WATER THE TREE TO A DEPTH OF 18 TO 20 INCHES. RECOMMENDED LEAVING THE WATER ON THE SOAKER HOSES FOR SIX TO EIGHT HOURS AND THEN DIGGING DOWN TO DETERMINE HOW DEEP YOUR WATER IS PENETRATING. THEN ADJUST ACCORDINGLY. IT MAY TAKE A GOOD TWO DAYS OF WATERING TO REACH THE PROPER DEPTH.
 - C. ONCE THE WATER REACHES THE PROPER DEPTH, TURN OFF THE HOSES FOR FOUR WEEKS AND THEN WATER AGAIN. WATER MORE OFTEN WHEN TEMPERATURES INCREASE--EVERY THREE WEEKS WHEN TEMPERATURES EXCEED 80 DEGREES AND EVERY TWO WEEKS WHEN TEMPERATURES EXCEED 90 DEGREES. THIS CUTTING OUT OF THE SOIL IN BETWEEN WATERING IS IMPORTANT TO PREVENT SOIL PATHOGENS FROM ATTACKING THE TREES.

CROSS KIRKLAND CORRIDOR

NE 108TH ST

116TH AVE NE

SCALE: 1" = 30'

NOTE: TREES OUTSIDE LIMITS OF SITE WORK HAVE NOT BEEN SURVEYED AND ARE NOT SHOWN ON THESE PLANS (TYP)

TREE LEGEND

- X X EXISTING TREE TO BE REMOVED
- ○ EXISTING TREE TO REMAIN

NOTE
TREES OUTSIDE LIMITS OF SITE WORK HAVE NOT BEEN SURVEYED AND ARE NOT SHOWN ON THESE PLANS.

FENCING NOTE

TREE PROTECTION AND SILT FENCING IS SHOWN OFFSET FROM THE CLEARING LIMITS FOR THE PURPOSE OF PLAN CLARITY, BUT SHOULD BE INSTALLED AT THE LOCATION OF THE CLEARING LIMITS DELINEATED ON THIS PLAN.

TREE FENCING AND SIGNAGE TO BE INSTALLED PER PRE-APPROVED PLAN CK-R-49 AND CANNOT BE MOVED DURING CONSTRUCTION WITHOUT WRITTEN APPROVAL BY CITY OF KIRKLAND PLANNING DEPARTMENT.

UNDERGROUND UTILITY NOTE

UNDERGROUND UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES. TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL, THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.

TREE RETENTION PLAN

KIRKLAND CKC

ENHANCED LAND SURFACE MODIFICATION PLANS

PARCEL #3326059243 & 3893100921

CITY OF KIRKLAND WASHINGTON

JOHN WOODROW
21-263
SHEET NAME:
TR-01



BHT 11 OF 48



UNDERGROUND UTILITY NOTE

UNDERGROUND UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL EXISTING UTILITIES BEFORE CREATING ANY INTERFERING UTILITY. ANY DAMAGE TO UTILITIES OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES, TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL, THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.

[illegible]

Section 55.93	USE  REGULATIONS 	DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS										
		Required Review Process	Lot Size	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
				REQUIRED YARD (See Ch. 115)			Lot Coverage	Height of Structure				
				Front	Side	Rear						
.010	Packaging of Prepared Materials Manufacturing See Spec. Regs. 1 and 2.	D.R., Chapter 142 KZC	None	20'	0'	0'	80%	Where adjoining a low density zone, 30' above average building elevation. Otherwise, 35' above average building elevation.	A	C	1 per each 1,000 sq. ft. of gross floor area.	1. The following manufacturing uses are permitted: a. Food, drugs, stone, clay, glass, china, ceramics products, electrical equipment, scientific or photographic equipment; b. Fabricated metal products, but not fabrication of major structural steel forms, heavy metal processes, boiler making, or similar activities; c. Cold mix process only of soap, detergents, cleaning preparations, perfumes, cosmetics, or other toilet preparations; d. Packaging of prepared materials; e. Textile, leather, wood, paper and plastic products from pre-prepared material; and f. Other compatible uses which may involve manufacturing, processing, assembling, fabrication and handling of products, and research and technological processes. 2. May include as part of this use, accessory retail sales, or service occupying not more than 20 percent of the gross floor area (50 percent for properties located within 150 feet of the Cross Kirkland Corridor). The landscaping and parking requirements for these accessory uses will be the same as for the primary use. 3. Breweries, wineries and distilleries may include tasting rooms, accessory retail sales, or office utilizing not more than 20 percent of the gross floor area (no limit for properties located within 150 feet of the Cross Kirkland Corridor).
.015	Breweries, Wineries, and Distilleries										1 per each 1,000 sq. ft. of gross floor area. Tasting rooms 1 per each 100 sq. ft. of gross floor area.	

Section 55.93

Zone
TL 10E

USE ZONE CHART

Section 55.93	<div>USE</div> <div>↓</div> <div>REGULATIONS</div> <div>↓</div>	DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS										
		Required Review Process	Lot Size	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
				REQUIRED YARD (See Ch. 115)			Lot Coverage	Height of Structure				
				Front	Side	Rear						
.020	Warehouse Storage Service	D.R., Chapter 142 KZC	None	20'	0'	0'	80%	Where adjoining a low density zone, 30' above average building elevation. Otherwise, 35' above average building elevation.	A	C	1 per each 1,000 sq. ft. of gross floor area.	1. May include, as part of this use, accessory retail sales, or service occupying no more than 20 percent of the gross floor area. The landscaping and parking requirements for these accessory uses will be the same as for the primary use.
.030	Wholesale Trade											
.040	Industrial Laundry Facility											
.050	Wholesale Printing or Publishing											
.060	A Retail Establishment providing banking and related financial services				Same as for primary use.		1 per each 300 sq. ft. of gross floor area.	1. This use is permitted if accessory to a primary use, and: a. It will not exceed 20 percent of the gross floor area of the building; b. It will not be located in a separate structure from the primary use; c. It will not exceed 50 percent of the ground floor area of the building; d. The use is integrated into the design of the building; and e. There is no vehicle drive-in or drive-through.				
.070	Office Use		10'				Where adjoining a low density zone, then 50' above average building elevation. Otherwise, 80' above average building elevation.	C See also Spec. Reg. 1(a).	D	If medical, dental or veterinary office, then 1 per each 200 sq. ft. of gross floor area. Otherwise, 1 per each 300 sq. ft. of gross floor area.	1. The following regulations apply only to veterinary offices: a. If there are outdoor runs or other outdoor facilities for the animals, then use must comply with Landscape Category A. b. Outside runs and other outside facilities for the animals must be set back at least 10 feet from each property line and must be surrounded by a fence or wall sufficient to enclose the animals. See KZC 115.105, Outdoor Use, Activity and Storage, for further regulations.	

Section 55.93	<div>USE</div> <div>↓</div> <div>REGULATIONS</div> <div>↓</div>	DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS										
		Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.080	High Technology	D.R., Chapter 142 KZC	None	10'	0'	0'	80%	Where adjoining a low density zone, 50' above average building elevation. Otherwise, 80' above average building elevation.	C See Spec. Reg. 3.	D	If manufacturing, then 1 per each 1,000 sq. ft. of gross floor area. If office, then 1 per 300 sq. ft. of gross floor area. Otherwise, see KZC 105.25.	1. This use may include research and development, testing, assembly, repair or manufacturing or offices that support businesses involved in the pharmaceutical and biotechnology, communications and information technology, electronics and instrumentation, computers and software sectors. 2. May include, as part of this use, accessory retail sales or service occupying not more than 20 percent of the gross floor area. The landscaping and parking requirements for these accessory uses will be the same as for the primary use. 3. Refer to KZC 115.105 for provisions regarding outside use, activity and storage. 4. Any outdoor storage area must be buffered according to Landscape Category A.
.090	Public Utility							If adjoining a low density zone, then 50' above average building elevation. Otherwise, 80' above average building elevation.	C See Spec. Reg. 1.	B	See KZC 105.25.	1. Landscape Category A or B may be required depending on the type of use on the subject property and the impacts associated with the use on the nearby uses.
.100	Government Facility Community Facility											
.110	Vehicle or Boat Repair, Services, Washing or Rental See Spec. Reg. 1.									E		1. Outdoor vehicle or boat parking or storage areas must be buffered as required for a parking area in KZC 95.45. See KZC 115.105, Outdoor Use, Activity and Storage, for additional regulations.
.120	Restaurant or Tavern See Spec. Reg. 1.					Where adjoining a low density zone, 30' above average building elevation. Otherwise 35' above average building elevation.	B	1 per each 100 sq. ft. of gross floor area.	1. This use is only permitted as a primary use on properties located within 150 feet of the Cross Kirkland Corridor. On other properties, this use is only permitted if accessory to a permitted primary use where: a. It will not exceed 20 percent of the gross floor area of the building; b. It is not located in a separate structure from the primary use; c. The use is integrated into the design of the building. 2. No vehicle drive-in or drive-through facilities are permitted.			

Section 55.93

Zone
TL 10E

USE ZONE CHART

Section 55.93	<div>USE</div> <div>↓</div> <div>REGULATIONS</div> <div>↑</div>	DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS										
		Required Review Process	Lot Size	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
				REQUIRED YARD (See Ch. 115)			Lot Coverage	Height of Structure				
				Front	Side	Rear						
.130	Entertainment, Cultural and/or Recreational Facility	D.R., Chapter 142 KZC	None	20'	0'	0'	80%	Where adjoining a low density zone, 30' above average building elevation. Otherwise, 35' above average building elevation.	A	E	See KZC 105.25.	<div>1. The use shall be conducted within a wholly enclosed building, unless the parcel abuts the Cross Kirkland Corridor (CKC). Outdoor activities may be located only between the CKC and the building.</div> <div>2. The structure containing the use shall have been in existence on June 1, 2004, and shall not be altered, changed, or otherwise modified to accommodate the use if the cost of such alteration, change, or modification exceeds 30 percent of the replacement cost of that building.</div> <div>3. The use must be discontinued when there is an alteration, change, or other work in a consecutive 12-month period to the space in which the use is located, and the cost of the alteration, change or other work exceeds 30 percent of the replacement cost of that space.</div>
.140	Public Park	Development standards will be determined on a case-by-case basis. See KZC 45.50 for required review process.										
.150	Development Containing Stacked or Attached Dwelling Units and one or more of the following uses: <ul style="list-style-type: none">• Retail establishments, including restaurants and taverns, and/or• Office uses	D.R., Chapter 142 KZC.	10 acres	10'	0'	0'	80%	80' above average building elevation. See Spec. Reg. 5.	See Spec. Reg. 6.	E	See KZC 105.25.	<div>1. A development which includes one or more of the uses specifically listed in this “use” column may also include one or more of the other uses allowed in this zone.</div> <div>2. Development must be located on property adjacent to the Cross Kirkland Corridor (CKC), and provide building and site orientation to the CKC.</div> <div>3. Vehicular and pedestrian access must be oriented away from primary access routes for industrial traffic.</div> <div>4. Developers and residents in this zone should be aware that this property lies within a district containing and allowing future development of uses of a light industry/office nature, and impacts typically associated with these uses, such as noise and odor, may be experienced by residents.</div> <div>5. Maximum building height for development that includes land on both sides of the CKC is 100 feet. At least 25 percent of the gross floor area of the development must be on either side of the corridor to satisfy this requirement.</div> <div>6. The landscaping requirement adjacent to property in TL 10D shall comply with KZC 95.42(1). Where existing residential use abuts the parcel boundaries, KZC 95.42(2) applies.</div>

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Toll Brothers

Memo

To: Kyle Cotchett
From: David Morse
cc:
Date: December 16, 2022
Re: Kirkland -- CKC Townhomes
Section 55.93 Zone TL 10E.150
Building and site orientation to the CKC

Kyle—

We are very excited to add to the visual narrative of the CKC. Our hope is that you will find us to be good stewards of our property and this opportunity. We are fortunate to share ~300' of frontage along the CKC. This affords us an opportunity to anchor our development to one of Kirkland's signature features. Fronting the CKC not only provides a gateway into our development, it sets a thematic tone for our community.

One concept we initially explored was to place townhomes along CKC frontage to capture the views and natural surroundings. But, we were quickly dissuaded from this idea for a myriad of reasons:

- Fronting the CKC with buildings would benefit only a handful of residents while impairing others' use of the trail.
- The location of a 72" metro sewer main and easement restricts development potential.
- A city water main easement running through the site reduces developable area.
- Critical area buffers restrict development area.
- Tricky topography challenges make the CKC frontage area difficult to develop.
- The narrowness of the site at this location compresses buildable footprints.

In the end, we rested on the idea of meeting the CKC with a park that would draw our community outdoors. We made this our principal recreational area and expanded it to occupy nearly all our property adjacent to the CKC. We believe this to be the best and most egalitarian solution because it opens the CKC to the full community. With pickleball, picnic tables, benches, and a playground, we expect that our park will encourage people of all ages to enjoy a trailside respite, away from the noise of I-405 and the hustle of the industrial area to the north. Likewise, it will encourage trail-users to venture into our community to meet their friends.

Engagement to the CKC is further actualized with three footpaths that will connect the CKC to an integrated network of walkways within the development. These paths then connect to each townhome: essentially connecting the CKC to every front door.

The site is served by a single drive that runs south from the neighboring industrial area and terminates trailside at our park. A continuous bike/pedestrian way runs along this road. All alleys and paseos feed into this drive and funnel activity either north and off property, or south and on to the CKC. Although none of our townhomes directly front the CKC, all their residents are provided equal access and opportunity to connect with the trail.

So you can see, that even though the CKC frontage represents less than 10% of community's perimeter, it plays an outsized and integral role.