

EXISTING SITE CONDITIONS
+ VIEWS FROM NEIGHBORING
RESIDENTIAL PROPERTY

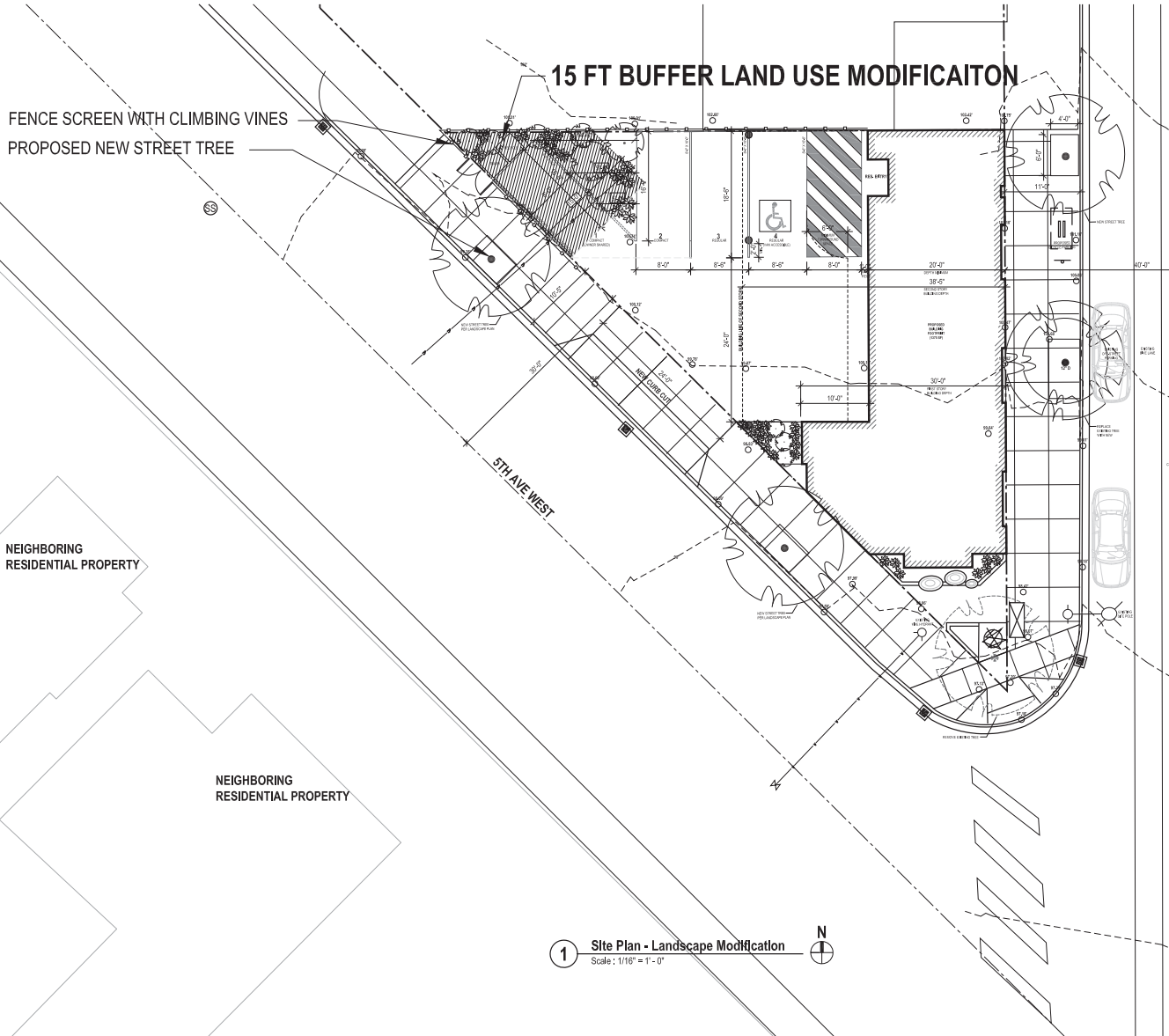


FENCE SCREEN WITH CLIMBING VINES
PROPOSED NEW STREET TREE

NEIGHBORING
RESIDENTIAL PROPERTY

NEIGHBORING
RESIDENTIAL PROPERTY

15 FT BUFFER LAND USE MODIFICATION



1 Site Plan - Landscape Modification
Scale: 1/16" = 1'-0"

LAND USE MODIFICATION NARRATIVE: [KZC 95.42.2]

We are requesting a land use modification 95.46.(b) for the required 15 ft buffer at the parking off 5th Avenue. KZC 95.46.(b) states due to the existing topography, other characteristics of the subject property, and the distance of development from the neighboring property, we feel it decreases or eliminates the need for buffering.

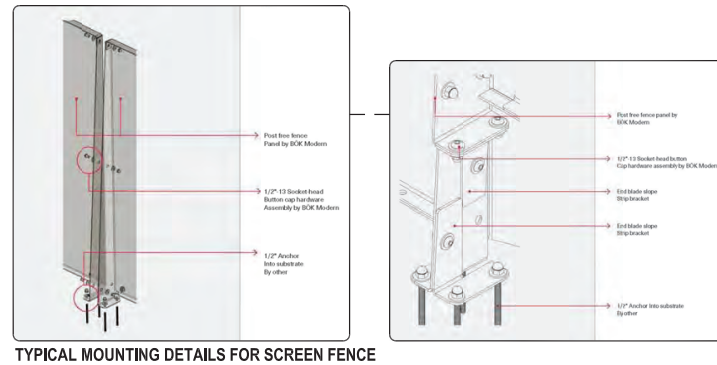
Due to the challenging characteristics of the triangular site, we first obtained a parking modification **TRAN20-0057**. With the approved parking, we were able to derive our building footprint while meeting minimum requirements in the Kirkland Zoning Code.

The 15ft buffer would make parking infeasible due to the triangular site and required parking turn around radius, shown from the approved parking modification (TRAN20-0057), to buffer the neighboring residential homes across the street. The 15ft buffer would also make it infeasible to create a useable office space on the ground floor, as well as achieve the 20-30ft required building depth.

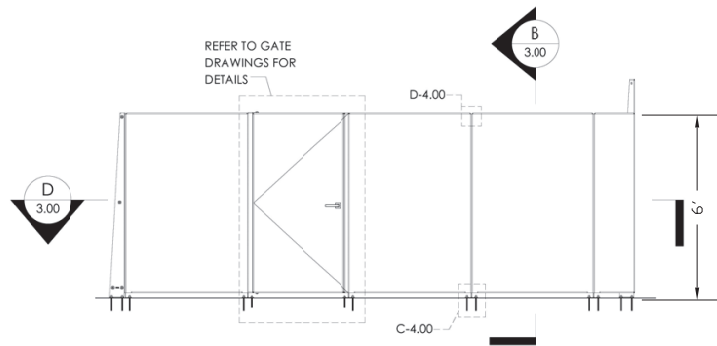
We have provided a 6ft fence with climbing vines and new street tree, and feel it will be sufficient to provide the visual buffer screen for those units. We have also provided an average of 9ft (or 5ft - 14.5ft) landscaping between the angled stall and the other stalls to provide as much landscape buffering as feasibly possible.

LANDSCAPE MODIFICATION DESIGN REVIEW RESPONSE

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TYPICAL MOUNTING DETAILS FOR SCREEN FENCE



TYPICAL ELEVATION FOR SCREEN FENCE

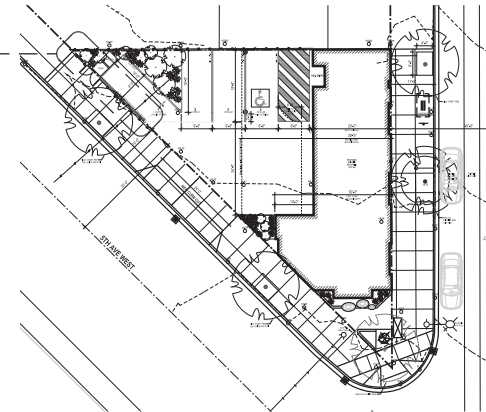


C 27

PATTERN SELECTED FOR SCREEN FENCE



EXAMPLES OF SCREEN FENCE



SITE KEY

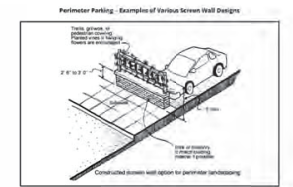


FIGURE 85.45.B

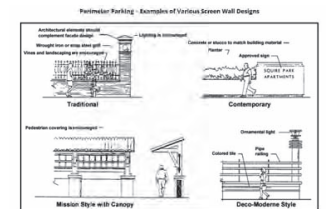
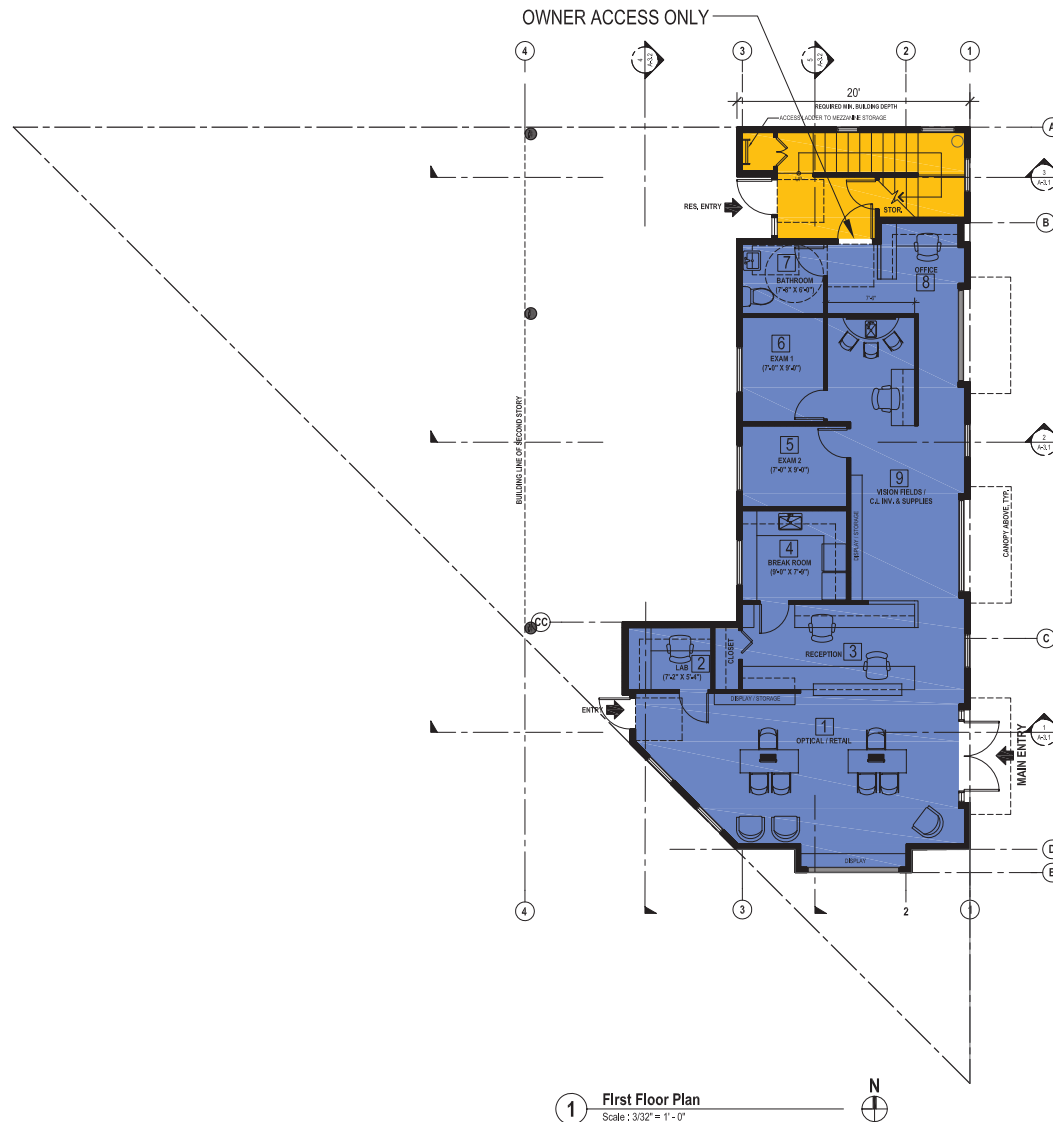


FIGURE 85.45.C

LANDSCAPE SCREEN WALL DETAILS

DESIGN REVIEW RESPONSE

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USE: Mixed-Use

COMMERCIAL (1st Floor):

Number of Floors: 1
Square Footage: 1,137 SF (excludes stairs)
Ceiling Height: 13'

RESIDENTIAL (2nd Floor)

Number of Floors: 1 + Roof Deck
Dwelling Units: (1) 2-Bedroom unit
Square Footage: 1,578 SF
+143 SF (Stairs)
+495 SF (Patio Decks)
+450 SF (Roof Deck)
Ceiling Height: 10'
Residential Entry: Off Parking

KEY NOTES:

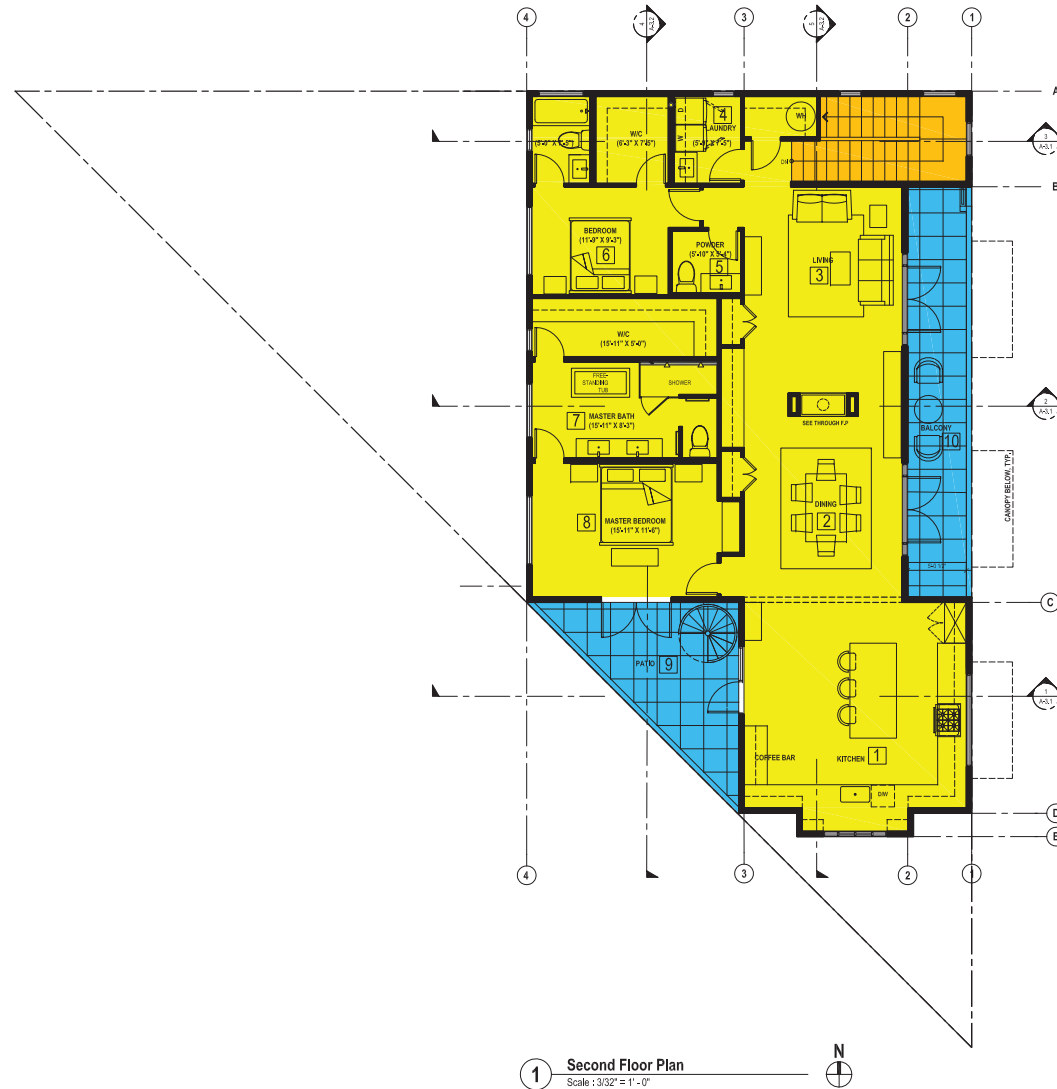
- 1. OPTICAL / RETAIL
- 2. LAB
- 3. RECEPTION
- 4. BREAK ROOM
- 5. EXAM 2
- 6. EXAM 1
- 7. BATHROOM
- 8. OFFICE
- 9. VISION FIELDS / C.L. INV. & SUPPLIES

KEY:

COMMERCIAL
STAIR

FIRST FLOOR DESIGN REVIEW RESPONSE

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USE: Mixed-Use

COMMERCIAL (1st Floor):

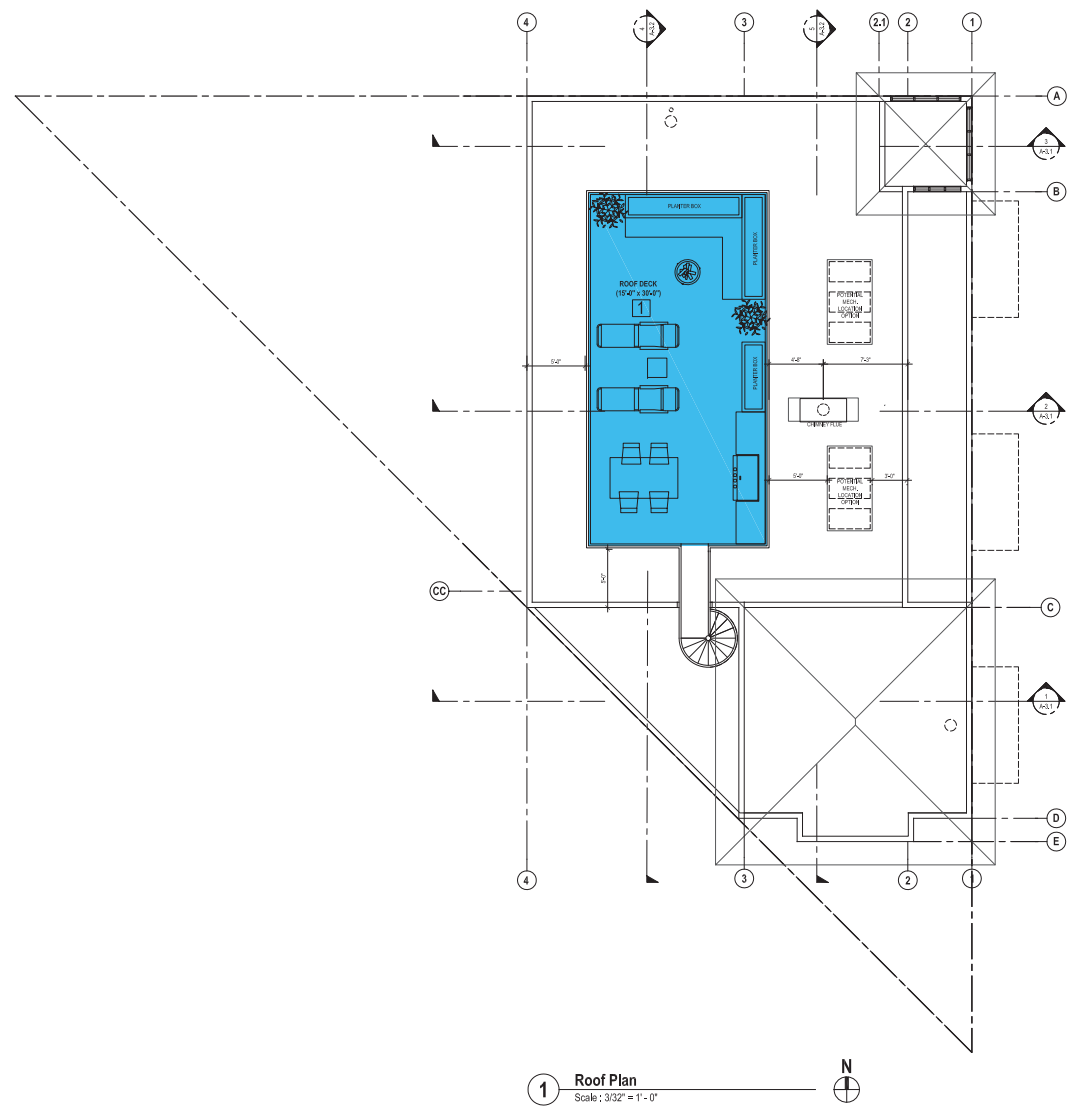
Number of Floors: 1
 Square Footage: 1,137 SF (excludes stairs)
 Ceiling Height: 13'

RESIDENTIAL (2nd Floor)

Number of Floors: 1 + Roof Deck
 Dwelling Units: (1) 2-Bedroom unit
 Square Footage: 1,578 SF
 +143 SF (Stairs)
 +495 SF (Patio Decks)
 +450 SF (Roof Deck)
 Ceiling Height: 10'
 Residential Entry: Off Parking

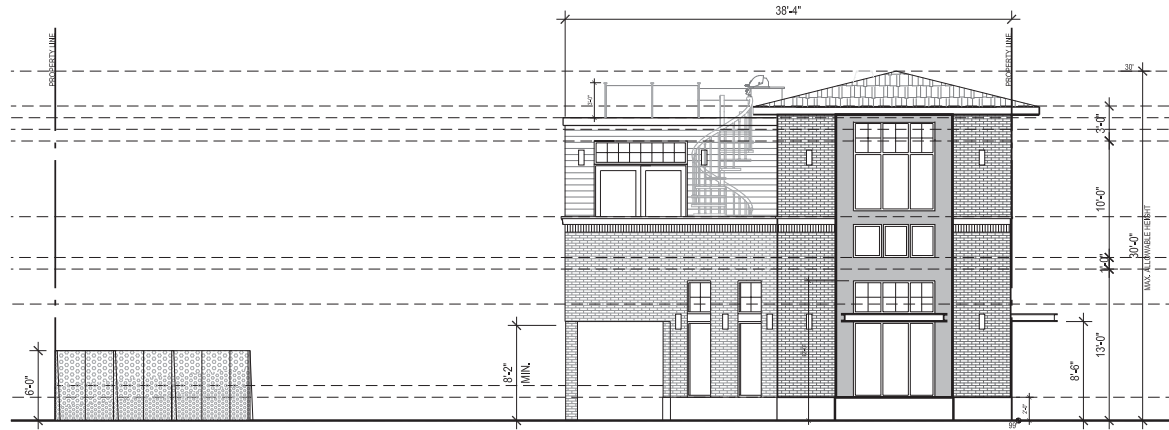
SECOND FLOOR DESIGN REVIEW RESPONSE

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KEY NOTES:
 1. ROOF DECK - 450 SF
KEY:
 ROOF DECK

ROOF PLAN
DESIGN REVIEW RESPONSE
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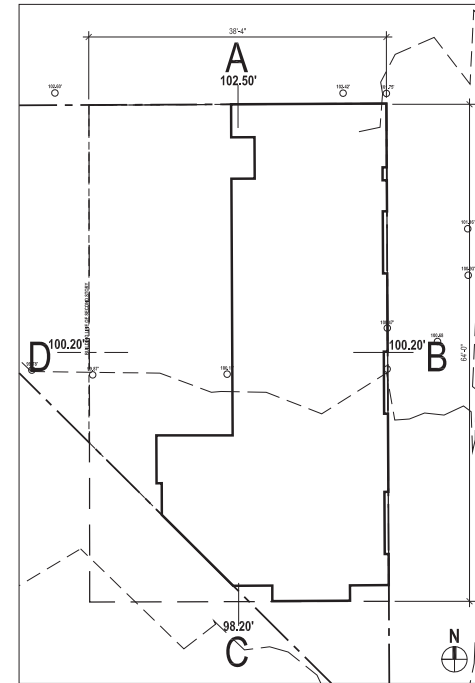


1 South Elevation (corner of Market St and 5th Ave)
Scale: 3/32" = 1'-0"



2 East Elevation (Market Street)
Scale: 3/32" = 1'-0"

SITE KEY: (scale: 1/16" = 1'-0")



AVERAGE BUILDING ELEVATION:
[Per Plate 17A]

A = 102.5' a = 38.33'
B = 100.20' b = 64'
C = 98.20' c = 38.33'
D = 100.20' d = 64'

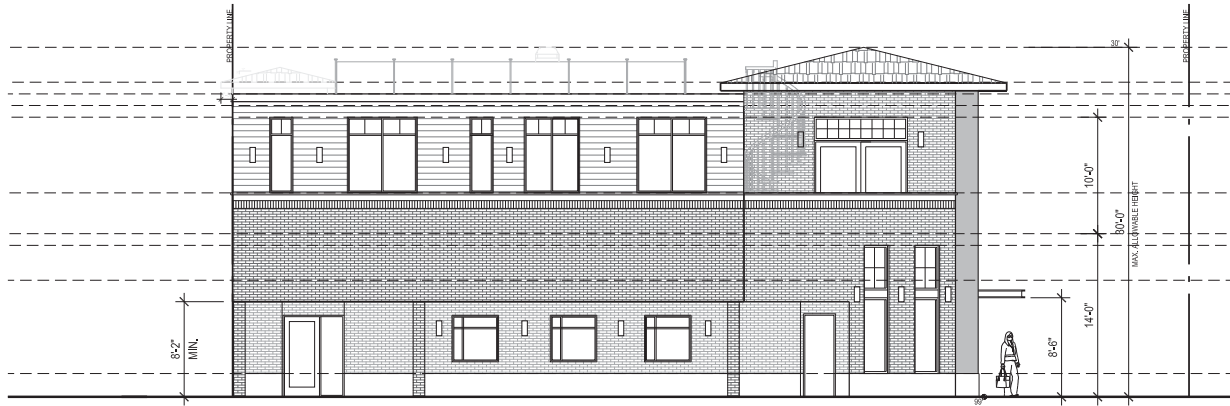
$3928.83 + 6412.8 + 3764 + 6412.8$
 $38.33 + 64 + 38.33 + 64$

$= 20,518.43$
204.66

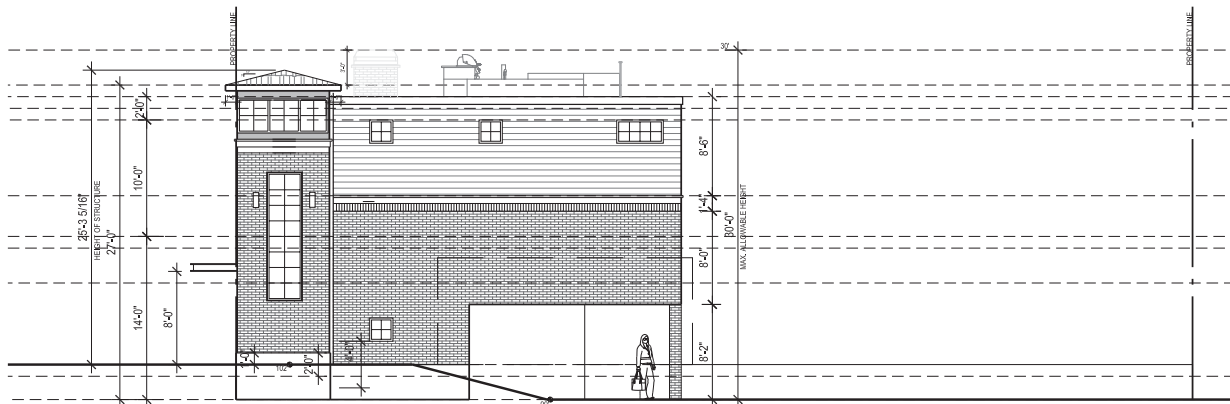
$= 100.26$ ABE

ELEVATIONS DESIGN REVIEW RESPONSE

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① West Elevation (5th Ave)
Scale: 3/32" = 1' - 0"



② North Elevation
Scale: 3/32" = 1' - 0"

ELEVATIONS DESIGN REVIEW RESPONSE

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SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

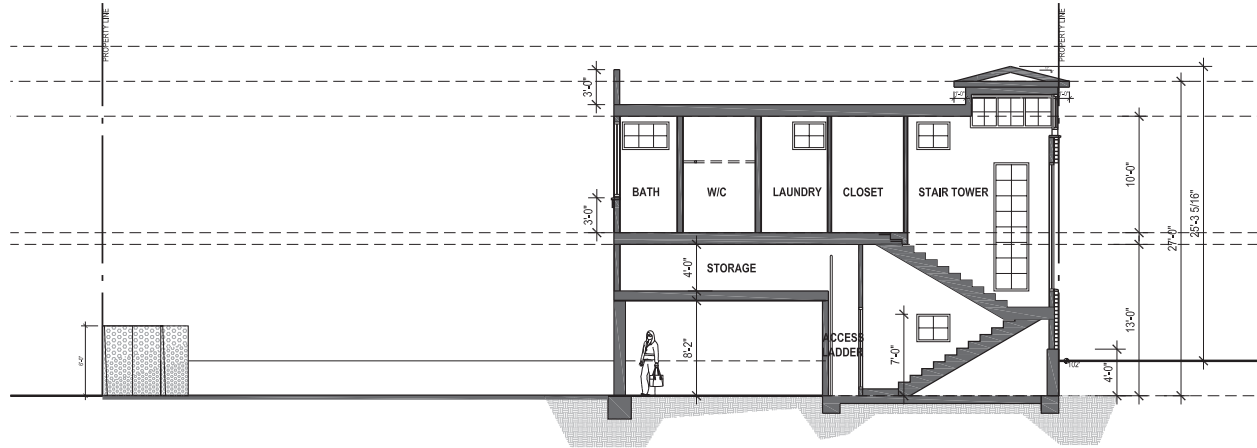


WEST ELEVATION

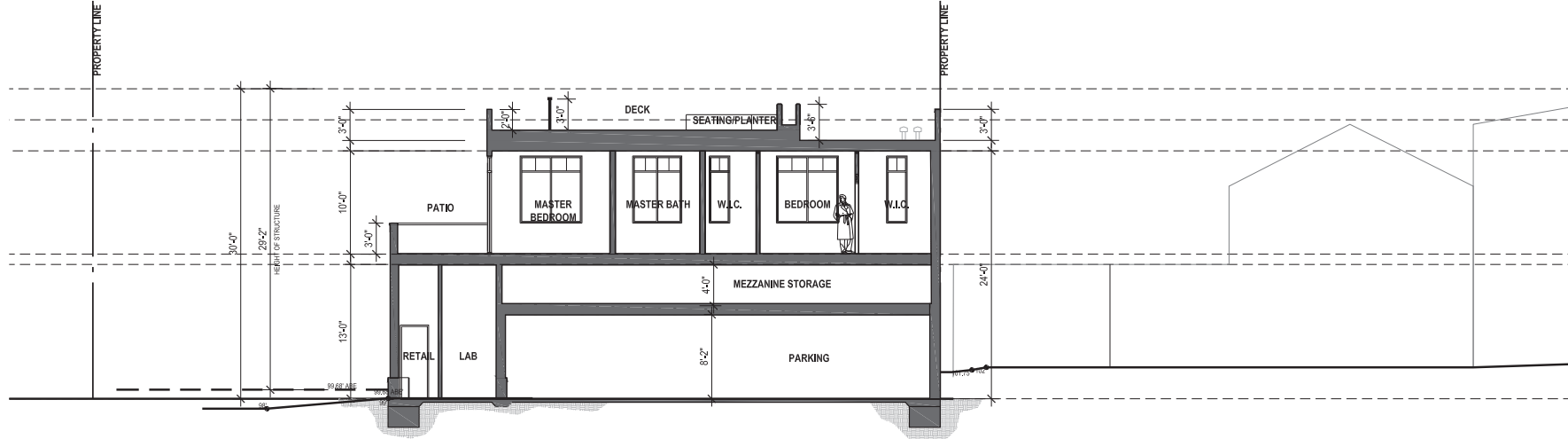
ELEVATIONS

DESIGN REVIEW RESPONSE

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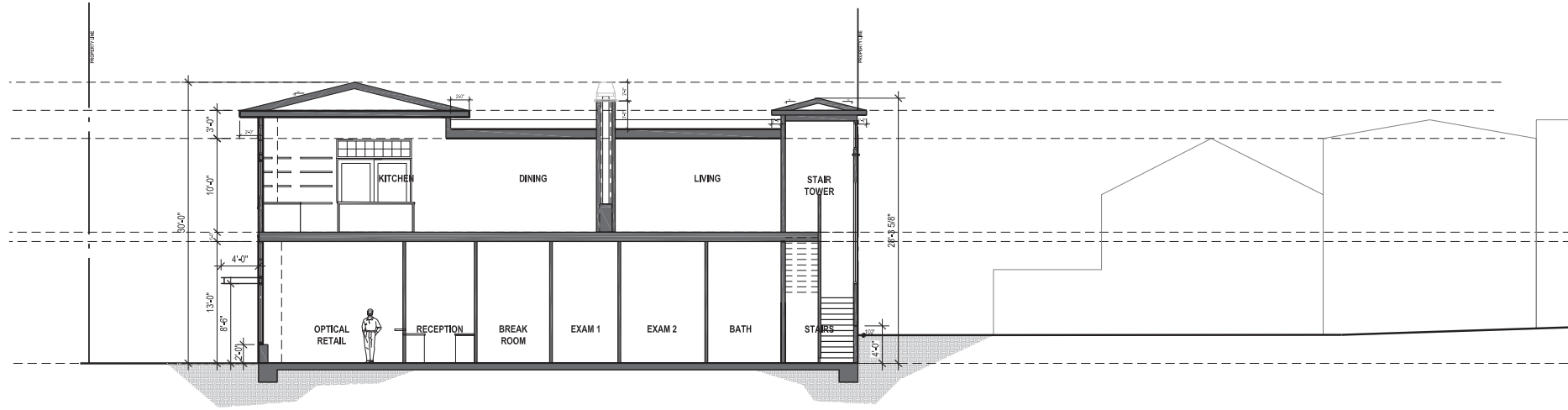
1 Section 3
Scale : 3/32" = 1' - 0"



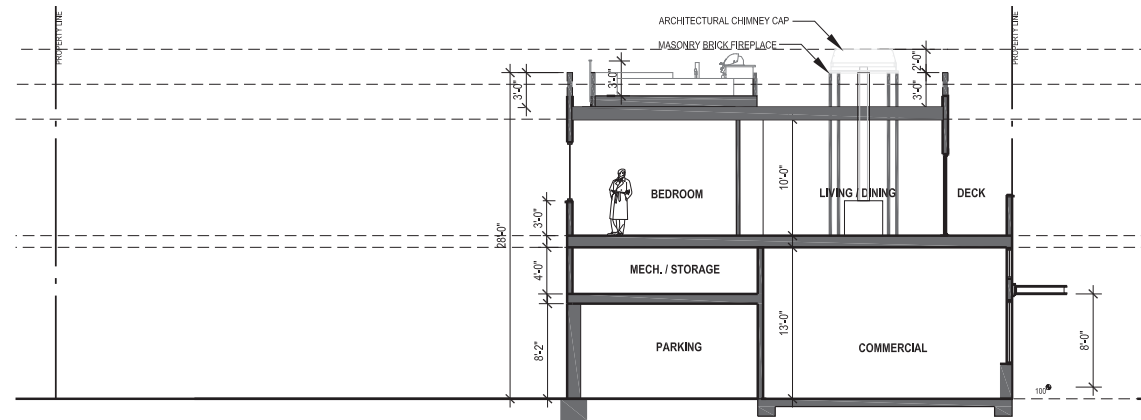
2 Section 4
Scale : 3/32" = 1' - 0"

SECTIONS DESIGN REVIEW RESPONSE

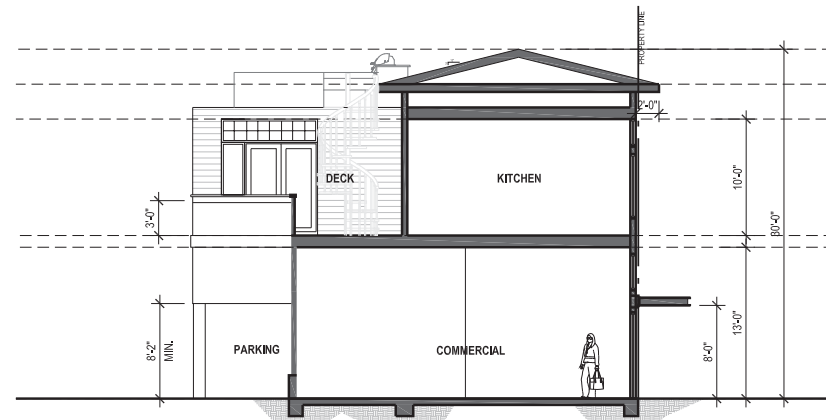
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1 Section 5
Scale: 3/32" = 1' - 0"



2 Section 1
Scale: 3/32" = 1' - 0"



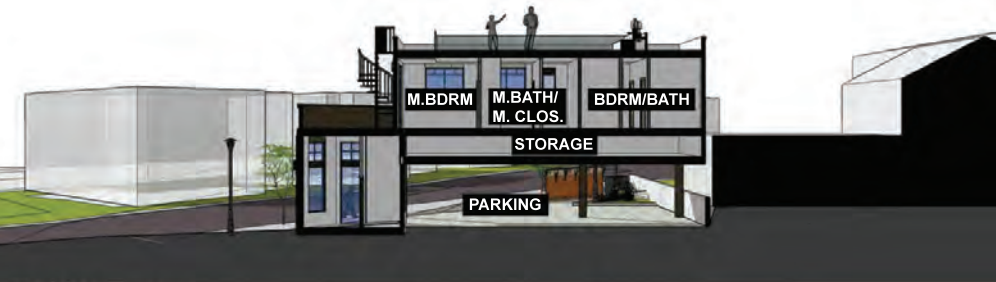
3 Section 2
Scale: 3/32" = 1' - 0"

SECTIONS DESIGN REVIEW RESPONSE

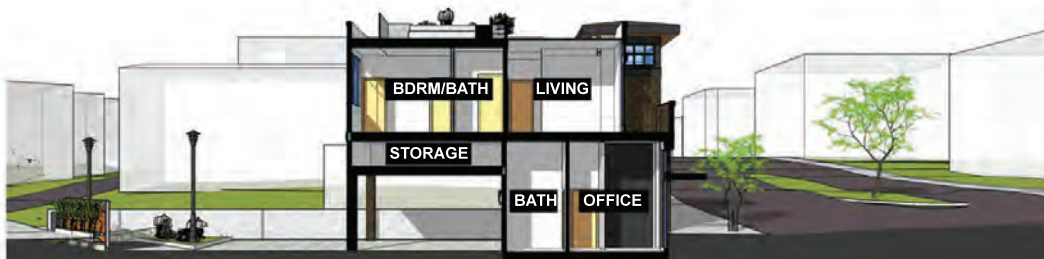
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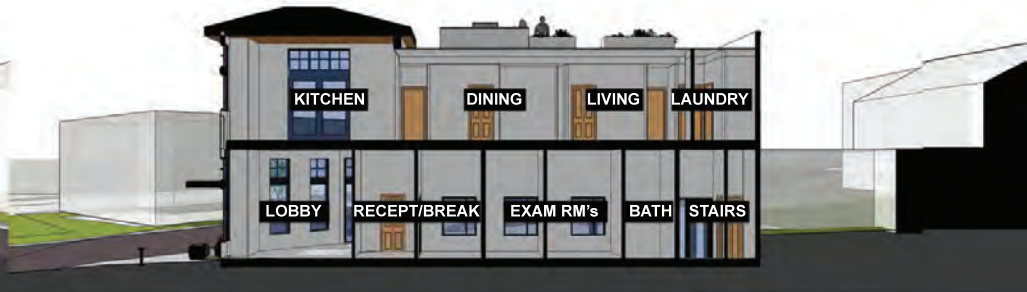
SECTION - A



SECTION - C



SECTION - B



SECTION - D

SECTIONS

DESIGN REVIEW RESPONSE

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NORTH-EAST PERSPECTIVE - CORNER OF MARKET STREET & 5TH AVE W.



SOUTH-EAST PERSPECTIVE - MARKET STREET



NORTH-WEST PERSPECTIVE - 5TH AVE W.



SOUTH-WEST PERSPECTIVE - 5TH AVE W.

PERSPECTIVES

DESIGN REVIEW RESPONSE

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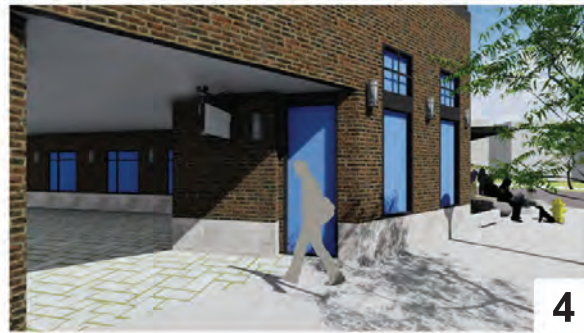
1



2



3



4

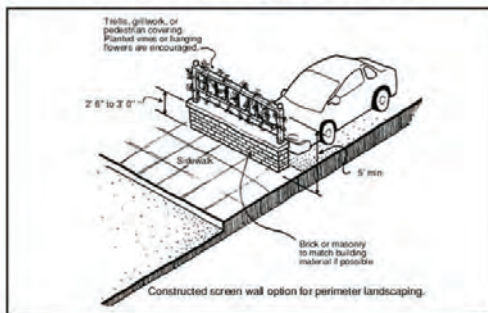


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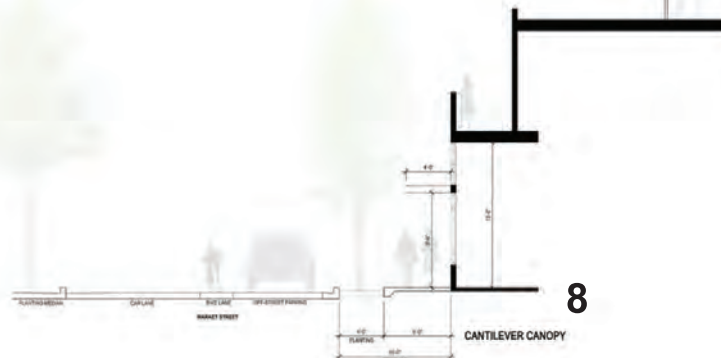
6

Perimeter Parking - Examples of Various Screen Wall Designs



7

FIGURE 95.45.B



8

SHEET INDEX:

- 1 - CORNER POCKET PLAZA
- 2 - APPROACH FROM CORNER OF MARKET ST.
- 3 - APPROACH FROM ACROSS MARKET STREET
- 4 - COMMERCIAL ENTRANCE FROM 5TH AVE W.
- 5 - APPROACH FROM NORTH OF MARKET STREET
- 6 - VIEW FROM ROOFTOP TERRACE
- 7 - PARKING SCREEN WALL
- 8 - CANOPY SECTION

PEDESTRIAN EXPERIENCE

DESIGN REVIEW RESPONSE

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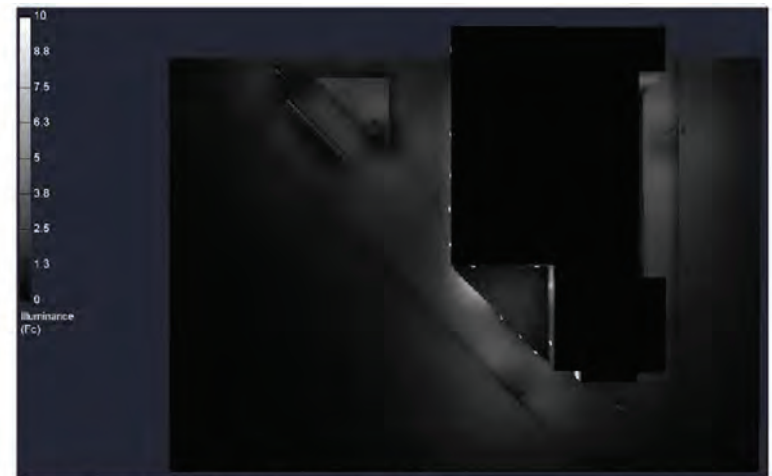
RENDERING - LOOKING NW - GREY SCALE
PHOTOMETRICS - PERSPECTIVE



SITE LIGHTING - TRADITIONAL-MODERN

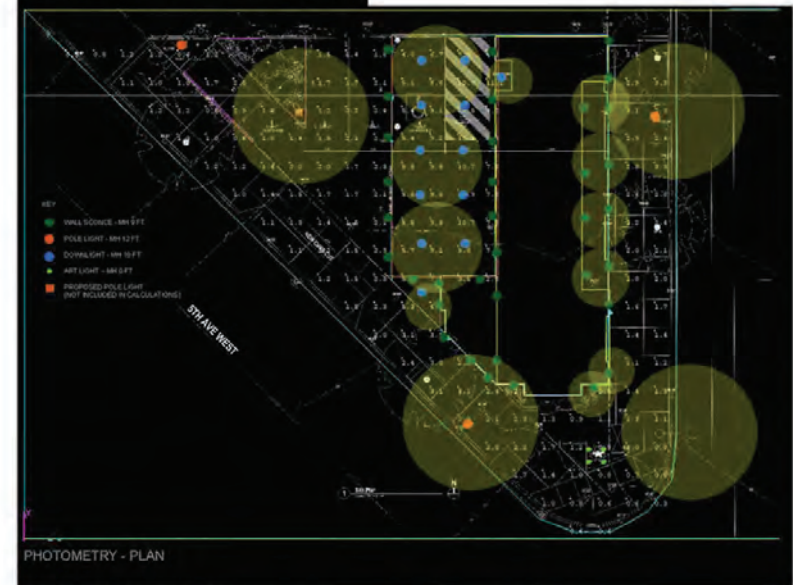


WALL MOUNTED SCENCE - TRADITIONAL-MODERN



RENDERING - PLAN VIEW - GREY SCALE
PHOTOMETRICS - SITE PLAN

PHOTOMETRIC CALCULATIONS
REFLECTANCE (F/M/C): 0.5
CALCULATIONS TAKEN AT GROUND LEVEL (0'-0")



PHOTOMETRICS - SITE PLAN

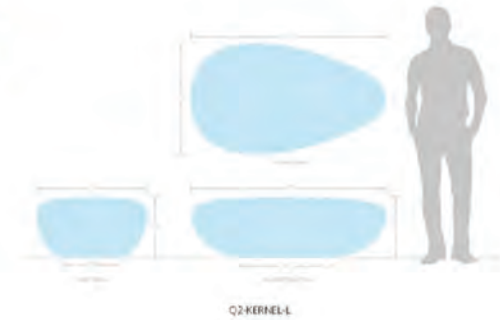
LIGHTING
DESIGN REVIEW RESPONSE
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PROPOSED SIGNAGE LOCATIONS:
1 - BUSINESS SIGN - AWNING
2 - ADDRESS SIGN

SIGNAGE DESIGN REVIEW RESPONSE

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SEATING - QCP "STONE EGG"



SCULPTURE - TROY PILLOWS STUDIO (SEATTLE / LOCAL ARTIST)

(EXACT SCULPTURE TO BE DETERMINED)



KEY

ARTWORK

DESIGN REVIEW RESPONSE

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ARCHITECTURAL CONCRETE



1



BRICK COLOR (or SIMILAR)



4

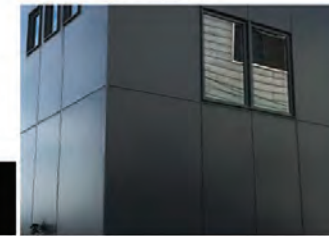
LAP SIDING



2



FIBER CEMENT PANEL



5

STOREFRONT



3



WINDOW LITES



6

MATERIALS

DESIGN REVIEW RESPONSE

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A. SCALE**MASSING:**

1. Explore massing options with a combination of options 1 + 3.
2. Masonry patterning and material transition between office and residential uses.
3. Detailed massing at stairwell.
4. Properly show how grading of Market Street will impact building's elevations.
5. Discuss compliance with the rooftop appurtenances requirements (KZC 115.120) and provide details on screening, height, and aesthetics.
6. Encourage creating a massing that ties into the historic nature and existing buildings along the Market Street Corridor.
7. Varied window treatments encouraged. Large showcase windows for storefront displays to increase pedestrian interest.
8. Vertical building modulation to add variety.
9. Horizontal building modulation. Strong pedestrian-oriented elements at ground level and distinctive roof treatments.
10. Market Street Corridor: Window treatment in the historical district should reflect the existing historic building in the district.

RESPONSE:

Massing options to combine 1 & 2 were explored. The proposed massing reflects the scale and massing of option 1, which was a full block historical mass, along with preferred option 3, which was a modern historical mass that set back the residential space from the commercial.

The proposed massing emphasized a prominent corner not only as a gateway to the Market Street corridor when entering Market Street from the South, but also to mimic the full block historical architectural features similar to the existing buildings in the historical district. The South corner tower and the height of the North stair tower along Market Street enables the commercial level to reflect the historical architectural brick, while still achieving the setback of the residential and providing as much terrace space without compromising the Owner approved floor plans. The towers also mimic the residential units adjacent to the property both next to and across the street from the site. The materials and architectural elements will blend well and integrate into the neighborhood fabric seamlessly, and if not also, providing a gateway to the corridor and district, marrying both modern and historical aspects Kirkland.

B. PARKING LOT LOCATION & DESIGN**PARKING & LANDSCAPE SCREENING:**

Due to the property size and shape, the project will need a modification from the Design Review Board to the street level building depth as permitted through KZC 51.28.4.a. The DRB questioned the ability for the proposed lab area be expanded to increase the overall ground floor depth. Explore any abilities to expand the ground floor as much as possible while maintaining compliance with the approved parking modification (TRAN20-00557) and minimum dimensional standards for parking stalls and vehicle turn around space.

The property is also subject to vegetative buffer standards per KZC 95. The Board discussed these regulations and identified a need for detailed and effective screening to comply with KZC 95 and the Design Guidelines for the Market Street Corridor.

RESPONSE:

The challenging triangular building site and existing dangerous conditions of the drive-through parking lot provided opportunity to provide a viable solution, while also maintaining zoning and minimum building depths required of the city of Kirkland.

The parking was established with parking modification TRAN20-0057. This approved parking modification was also derived and influenced by the required minimum building depth of 20ft along Market Street. The minimum lengths, number of stalls, and compact to standard ratio were all achieved and approved in the approved modification. The second level cantilevers over the parking to provide as much building depth as possible to achieve more than the minimum 20ft building depth required in KZC 51.28.4.a.

The vegetative buffer complies with KZC 95 as a 5ft landscaping screen wall along the parking is provided, similar to what is shown in fig. 95.45.B.

C. BUILDING MATERIAL, COLOR, AND DETAIL**MATERIALS:**

1. Incorporate the project into the fabric of the historic corridor along Market Street. Provide options and material details
2. Ornament and applied art should be integrated with the structures and the site environment. Emphasis on highlighting building features such as doors, windows, eaves, and on materials such as wood siding and ornamental masonry. Ornament may take the form of traditional or contemporary elements. Original artwork or hand-crafted details should be considered in special areas.
3. Color schemes should adhere to the guidelines. Where appropriate, use the natural colors of materials such as brick, stone, tile, and stained wood (painted wood is acceptable). Use only high-quality coatings for concrete. Consider the color of neighboring buildings when selecting colors for new buildings.
4. Buildings should be designed to architecturally enhance building corners.
5. Special Considerations for the Market Street Corridor: Emphasis on building features such as doors, windows, cornice treatment, bricks, and ornamental masonry should be taken into consideration when designing new or remodeled buildings in the historic district. These features should be in keeping with the building's materials, colors, and details of the existing historic buildings.
6. Special Considerations for the Market Street Corridor: Electrical signs are not allowed along the Market Street Corridor. Signs within the historic district should reflect historic nature of the buildings in the area.

RESPONSE:

The colors, materials, signage, lighting, window lites, and other architectural details and features were chosen to reflect the existing historical buildings as well as connect with the adjacent neighboring residential units.

DESIGN REVIEW RESPONSE TO COMMENTS

DESIGN REVIEW RESPONSE

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D. PEDESTRIAN ORIENTED ELEMENTS

PEDESTRIAN EXPERIENCE:

1. Maximize the proposed pocket plaza along the south façade of the building, include significant details of the pedestrian space including seating, pavement materials, and landscaping.
2. Suggested installation of French doors from the building out to the pedestrian space and moving the display area onto the Market Street façade for more visibility.
3. Art installation from a local artist.
4. Installation of bike parking on Market Street to best support the existing bike lane.
5. All building entries should be well lit. Building facades in pedestrian areas should provide lighting to walkways and sidewalks through building-mounted lights, canopy, or awning-mounted lights, and display window lights. Encourage variety in the use of light fixtures to give visual variety from one building façade to the next. Backlit or internally lit translucent awnings should be prohibited.
6. Successful pedestrian-oriented plazas are generally located in sunny areas along a well-traveled pedestrian route. Plazas must provide plenty of sitting areas and amenities and give people a sense of enclosure and safety.
7. Blank walls should be avoided near sidewalks, parks, the Cross Kirkland Corridor and Eastside Rail Corridor, and pedestrian areas. Where unavoidable, blank walls should be treated with landscaping, art, or other architectural treatments.
8. Kirkland should continue its tradition of encouraging public art pieces.

RESPONSE:

To keep the pocket plaza more open and uninterrupted from business circulation, the entrance was kept on Market Street, which allowed for more open space in the corner plaza for public use. The display case was then kept so it can be viewed or enjoyed while seated.

The pocket plaza emphasizes sculptural "egg" stone seating for public use.

The pedestal incorporated in the landscaping plan is intended for a sculptural art piece. A local sculptural artist from Seattle is depicted in the proposal.

Bike parking was always included along Market Street and is shown in the pedestrian experience renders, as well as the landscape and site plans.

Lighting photometrics are presented to show optimal site lighting in the parking, 5th Ave. W., and Market Street, as well as, along the building facade and upper terraces.

E. ITEMS REQUIRED FOR DESIGN RESPONSE CONFERENCE

DESIGN REVIEW ITEMS:

1. Exhibit detailing the ground floor dimensions and narrative addressing the ground floor depth modification request.
2. Exhibit detailing the required parking stall dimensions, drive aisle dimensions, turning radius dimensions, and how these requirements may or may not impact the ability to expand the ground floor space.
3. Security and safety for the residential space – Describe safety and security measures for the residential space and highlight occupancy restrictions.
4. Detailed elevations that properly show the grade of Market Street and highlighting façade treatments, masonry patterning, colors, and material transactions from the office to the residential uses.
5. Provide a materials board with sample colors and material treatments. Since the Board is continuing to hold virtual meetings, this should be dropped off at City Hall in advance of the Design Response Conference so that the Board members have an opportunity to stop by City Hall prior to the meeting.
6. Include building sections showing not only the proposed structure, but also neighboring buildings.
7. Finalize the landscape plan making sure to focus on the parking screening required landscape buffers, and the pedestrian space.
8. Details of any display areas along Market Street and/or adjacent to the pedestrian space.
9. 3-D model of the project with adjacent buildings and landscaping

RESPONSE:

1.&2 The site plan and building depth exhibit depicts all dimensions that comply with the approved parking modification, parking code minimums, and minimum depth requirements.

3. The residential space is owner occupied. The residential and commercial spaces have separate entrances for privacy and security.

4. All elevations, especially the East elevation along Market Street is depicted in the proposal with accurate grade and dimensions along with how the masonry base would transition as the grade increases to the North.

5. Material selections are provided in the proposal and samples will be sent to the Design Review Board for review.

6. Building sections have been included in the proposal and show the neighboring buildings.

7. The landscape buffer exhibit, landscape screen wall fence detail sheet, and the landscape plan are included in the proposal. Parking screening to comply with Fig. 95.45.B, with 5ft high landscaped fencing and climbing vines.

8. Pedestrian experience sheet provides renders of the proposal which show pedestrian approaches to the proposed building.

9. All renders show adjacent buildings, landscaping, and grade.

DESIGN REVIEW RESPONSE TO COMMENTS CONTINUED

DESIGN REVIEW RESPONSE

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