



DESIGN REVIEW BOARD DECISION

FILE NUMBER: DRV22-00693
PROJECT NAME: 601 Market St
APPLICANT: Todd Kilburn, Kilburn Architects
PROJECT PLANNER: Kyle Cotchett, Associate Planner

I. SUMMARY OF DECISION

Todd Kilburn, with Kilburn Architects, has applied for a Design Response Conference for a new mixed-used development on the subject property located at 601 Market St (see Attachment 1). The project consists of 1,137 SF of medical office on the first floor and a two-bedroom residential unit on the second floor. Parking will be provided on a surface level parking area on the west side of the property and will be partially covered. Vehicular access is proposed from 5th Avenue West.

On January 23rd, the Design Review Board (DRB) approved the project as shown on the plans dated subject to the following conditions:

- A. This application is subject to the applicable requirements contained in the Kirkland Municipal Code, Zoning Code, and Building and Fire Code. It is the responsibility of the applicant to ensure compliance with the various provisions contained in these ordinances. Attachment 2, Development Standards, is intended to familiarize the applicant with some of the additional development regulations. This attachment does not include all of the additional regulations.
- B. As part of the application for a building permit the applicant shall submit the following:
 1. Construction plans demonstrating compliance with the project plans approved by the DRB (see Attachment 3).
 2. Plans that include:
 - a. Details on materials to be utilized on the underside of roof eaves and canopies. Materials shall be complimentary to the materials approved by the DRB for the façade of the structure.
 - b. A more definitive belly band between the uses on the ground and second floor.
 3. A summary of any project changes that are not consistent with the DRB approval indexed to the permit drawings. Based on the scope of changes, staff may require a minor modification application.
- C. Prior to final inspection of a building permit by the Planning Official, the project architect shall submit a letter stating that they have evaluated the project to ensure it is consistent

with the plans approved through Design Board Review and no modifications have been made that were not previously approved by the City.

II. DESIGN RESPONSE CONFERENCE MEETINGS

A. Background Summary

Staff reports and associated materials for the meetings referenced below can be found online at the DRBs meeting webpage:

<https://www.kirklandwa.gov/Government/Departments/Planning-and-Building/Design-Review-Board/DRB-Meeting-Materials-Archive>

To prepare for the Design Response Conference, the DRB held a Conceptual Design Response Conference on May 2nd, 2022 on the proposed project. At the meeting, the DRB provided direction to the applicant in preparation for the Design Response Conference.

Below is a summary of the Board's discussions at the Design Response Conference held on January 23rd, 2023.

January 23rd, 2023 Design Response Conference: The Design Review Board reviewed the plans submitted by the applicant dated December 16th, 2022. Staff provided an overview of the Zoning Code regulations for the MSC 3 zone and the key design issues for the project. Staff's memo dated January 23rd, 2023, provides an analysis of project consistency with the zoning regulations and Design Guidelines for Pedestrian Oriented Districts. See Section III below for further information regarding the DRB's discussion and conclusions.

B. Public Comment

All public comment letters and e-mails received during the Design Response Conference meetings were forwarded on to the Board for consideration in addition to the oral comment from the public meetings. All comments are contained in the City's official file. Below is a summary of the general public comment themes that emerged through the design review process:

- Viewed as a positive and compatible improvement to the Market Street Corridor.
- Parking not seen as an issue.

III. DESIGN REVIEW BOARD DISCUSSION AND CONCLUSIONS

Below is a summary of the key issues and conclusions reached by the Design Review Board during the design review process. For more background on these issues and evaluation of how the project meets the Zoning Code and Comprehensive Plan policies see staff advisory reports from the design response conferences contained in File DRV22-00693.

A. BUILDING HEIGHT, ARCHITECTURAL AND HUMAN SCALE

DRB Discussion: The DRB evaluated the proposed building height, architectural, and human scale elements. The applicant successfully implemented the west façade terrace from Option 1

of the conceptual design conference and addressed blank wall concerns on the north façade through window treatments. The Board celebrated the applicant's ability to compliment the historic context of the buildings in the area in terms of massing and window treatment. While the Board did applaud the applicant on addressing the aforementioned design treatments, the Board also discussed the need for a more definitive belly band between the ground and second floor uses.

DRB Conclusions: The DRB concluded that the proposed project was consistent with the design guidelines found in the Design Guidelines for Pedestrian Oriented Business Districts that relate to building height, architectural and human scale. However, the Board also concluded that upon submittal of a building permit, the applicant should submit plans that include a more definitive belly band between the uses on the ground and second floor.

B. PEDESTRIAN-ORIENTED ELEMENTS

DRB discussion: The DRB reviewed plans that illustrate the proposed street activation techniques and pedestrian engagement along Market Street through the proposal for a "pocket plaza" and local artwork installation. The Board commended the applicant on finding a place on this difficult site for public art and seating.

DRB conclusions: The DRB concluded that the proposed project was consistent with the design guidelines found in the Design Guidelines for Pedestrian Oriented Business Districts that relate to pedestrian-oriented elements.

C. BUILDING MATERIALS, COLOR AND DETAIL

DRB discussion: The DRB evaluated the proposed materials, colors, and details. The Board was apprehensive at first glance about the use of a darker brick color than what is utilized on neighboring historic sites, but after further inspection the Board supported the applicant's color palette for the project. The Board applauded the applicant's ability to pull inspiration from neighboring developments in terms of materials, color, and detail to create a project that reflects the surrounding character. However, the Board also discussed the need to not overlook the smaller details of the underside of roof eaves and canopies. The Board stated that materials in these areas should be complimentary to the materials proposed for the façade of the structure.

DRB conclusions: The DRB concluded that the proposed project was consistent with the design guidelines found in the Design Guidelines for Pedestrian Oriented Business Districts that relate building materials, color, and details. However, the Board also concluded that upon submittal of a building permit, the applicant should submit plans that include details on materials to be utilized on the underside of roof eaves and canopies. The proposed materials should be complimentary to the materials approved by the DRB for the façade of the structure.

D. MINOR VARIATION

DRB discussion: The DRB evaluated the proposed minor variation request for the depth requirements for the street level floor use under KZC 51.28.4.a. For street level office uses, a minimum depth of 20 feet and an average depth of at least 30 feet (as measured from the face of the building along the street) is required. KZC Section 51.28.4.a. allows an applicant to

request a minor reduction in depth requirements. The DRB may grant a minor variation if the applicant demonstrates that the requirement is not feasible given the configuration of existing or proposed improvements and that the design of the commercial frontage will maximize visual interest (KZC Section 51.28.4.a.). The applicant proposed an average depth of 20.7 feet, with a minimum depth of 20 feet and a maximum depth of 30 feet (see Attachment 3). The Board agreed that due to the constraints posed by the size and shape of the parcel, the request for a modification to the depth requirements was appropriate and well addressed.

DRB conclusions: The DRB concluded that the applicant demonstrated that the average depth requirement is not feasible given the configuration of the proposed improvements and that the proposed design of the commercial frontage will maximize visual interest. Therefore, the Board approved proposed minor variation request for the street level floor average depth requirements.

IV. DEVELOPMENT REVIEW COMMITTEE

Comments and requirements placed on the project by City departments are found on the Development Standards, Attachment 2.

V. SUBSEQUENT MODIFICATIONS

Modifications to the approval may be requested and reviewed pursuant to the applicable modification procedures and criteria in effect at the time of the requested modification.

VI. APPEALS OF DESIGN REVIEW BOARD DECISIONS AND LAPSE OF APPROVAL

Appeals

Section 142.40 of the Zoning Code allows the Design Review Board's decision to be appealed to the Hearing Examiner by the applicant or any person who submitted written or oral comments to the Design Review Board. The appeal must be in the form of a letter of appeal and must be delivered, along with any fees set by ordinance, to the Planning and Building Department by 5:00 p.m., May 15, 2023, fourteen (14) calendar days following the postmarked date of distribution of the Design Review Board's decision.

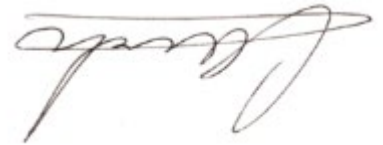
Only those issues under the authority of the Design Review Board as established by Kirkland Zoning Code 142.35(2) are subject to appeal.

Lapse of Approval (KZC 142.55)

The applicant must begin construction or submit to the City a complete building permit application for the development activity, use of land or other actions approved under this chapter within five (5) years after the final approval of the City of Kirkland on the matter, or the decision becomes void.

The applicant must substantially complete construction for the development activity, use of land or other actions approved under this chapter and complete the applicable conditions listed on the notice of decision within seven (7) years after the final approval on the matter or the decision becomes void.

Carlos Castaneda, Design Review Board Chair
Date: 04/17/23



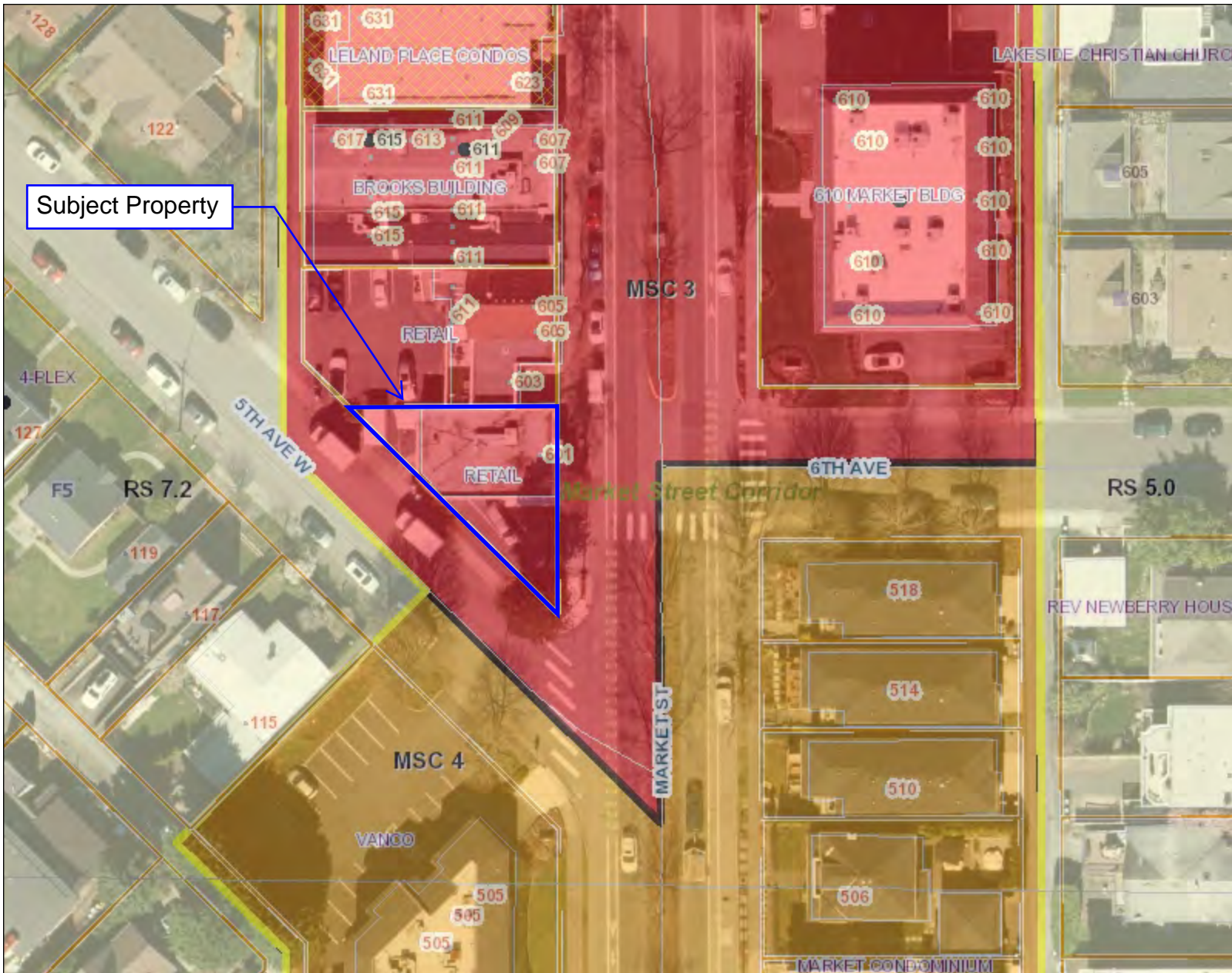
VIII. APPROVAL

- 1. Vicinity Map
- 2. Development Standards
- 3. Applicant Proposal dated December 16th, 2022

VII. ATTACHMENTS



601 Market St Vicinity Map



Subject Property

Legend

- Address
 - Other Address
 - Current Address
 - Current ADU
 - Pending Address
- City Limits
- Grid
- QQ Grid
- Cross Kirkland Corridor
- Regional Rail Corridor
- Streets
- Parcels
- Buildings
- Parks
- Schools
- Overlay Zones
 - (EQ)
 - (HL)
 - (HP)
- Planned Unit Development
- Design District
- City Zoning
 - Commercial
 - Industrial
 - Transit Oriented Development
 - Office

1: 700



Notes

116.7 0 58.33 116.7 Feet

NAD_1983_StatePlane_Washington_North_FIPS_4601_Feet

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PLANNING CONDITIONS – Contact Kyle Cotchett, Phone Number 425-587-3254:

Conditions applying to *almost* all permit types:

Note: consult the Kirkland Zoning Code (KZC) online at <http://www.codepublishing.com/wa/kirkland/?html/KirklandZNT.html>

- PBD 1. **PLANNING TO PERFORM FINAL INSPECTION PRIOR TO BUILDING** - BUILDING PERMIT INSPECTION CARD MUST BE SIGNED OFF BY PLANNING PRIOR TO ANY REQUEST FOR FINAL BUILDING INSPECTION. You can request an inspection through www.mybuildingpermit.com. **24 HOUR ADVANCE NOTICE REQUIRED FOR INSPECTION.** Please consult these conditions before scheduling a Planning inspection.
- PBD 2. **HEIGHT VERIFICATION** – A completed, signed and dated height verification form must be submitted to the building inspector at either the underfloor inspection or the slab insulation inspection.
- PBD 3. **HEIGHT SURVEY** – A height survey, by a licensed surveyor, must be submitted to the building inspector at time of the roof sheathing inspection for structures that will be within one foot of the maximum allowed height.
- PBD 4. **REVISED SITE PLAN** - Any proposed changes to the approved site plan, such as but not limited to, added hard surfaces, HVAC units, accessory structures, or tree removals, must be submitted as a revision to the building permit for review and approval prior to implementation.
- PBD 5. **LOT COVERAGE** - Any proposed increase in the total impervious and/or hardscape surfaces on the site must be submitted for review as a revision to this building permit prior to the addition of impervious/and or hardscape area.
- PBD 6. **LOT COVERAGE APPROVED PLANS** - The approved plans do not show any areas of synthetic turf. This material shall not be installed unless a revision to this permit is submitted and approved by the City. For lot coverage purposes, synthetic turf is considered impervious by the Kirkland Zoning Code.
- PBD 7. **ADDITION/ALTERATION TREE RETENTION** - No tree removal is allowed unless approved on your site plan. No damage to tree root systems is allowed. No heavy equipment and stockpiling of materials within tree drip lines. Any additional tree removal must be authorized by the Planning & Building Department prior to removal. Call the planner noted above for more information.
A minimum of two trees must be on the lot following the requirement set forth in KZC 95.33(4).
- PBD 8. **NOTICE OF GEOLOGIC HAZARD** - Prior to final inspection of any development permit, the applicant shall record (unless legally prohibited from doing so), on the title of the property, a notice stating that the property is potentially located in a geologically hazardous area. This notice will inform future owners that, at the time of the permit's issuance, the property was potentially located in a geologically hazardous area.

- PBD 9. **GEOTECHNICAL REPORT** - All development activity shall follow the recommendations of the geotechnical report prepared by dated and submit additional geotechnical information as specified in the report.
- PBD 10. **ALL - HOURS OF CONSTRUCTION** - All development activity and heavy equipment operation is restricted to 7:00 AM to 8:00 PM Monday through Friday, and 9:00 AM to 6:00 PM Saturday. Other restrictions on Saturday include: no working in the right-of-way, no work requiring inspection, and no trucking into or out of the site; however, light grading work on-site on Saturday is allowed. NO development activity or heavy equipment operation may occur on Sundays or the following holidays: New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day, and Christmas Day.
- PBD 11. **MAXIMUM NOISE LEVELS** - All mechanical units shall comply with the maximum environmental noise levels established pursuant to the Noise Control Act of 1974, Revised Code of Washington (RCW) 70.107. See Chapter 173-60 Washington Administrative Code (WAC). A link to the WAC and RCW is available at http://www.kirklandwa.gov/Government/Codes_and_Laws.htm.
- PBD 12. **BALD EAGLE PROTECTION** – This permit is conditioned upon strict observance of all applicable federal laws for bald eagle protection. The permittee is responsible for adhering to the applicable bald eagle management guidelines and/or their federal permit. Visit www.fws.gov/pacific/eagle/ if you need assistance with federal permitting requirements.

Commercial and Multi-Family Permit Conditions:

- PBD 13. **HEIGHT SURVEY** – A completed, signed and dated height verification form must be submitted to the building inspector at either the underfloor inspection or the slab insulation inspection.
- PBD 14. **HEIGHT SURVEY** – A height survey, by a licensed surveyor, must be submitted to the building inspector at time of the roof sheathing inspection for structures that will be within one foot of the maximum allowed height.
- PBD 15. **TREE PROTECTION** - The applicant shall install temporary but immovable construction fencing around the drip line of all significant trees to be retained after the pre-construction meeting but prior to any grading or site construction. The Public Works Department MUST inspect and approve all tree fencing prior to the start of any other site work. DO NOT MOVE OR REMOVE THE FENCING UNLESS AUTHORIZED BY THE PLANNING AND BUILDING DEPARTMENT. Please call 425-587-3805 to request inspection. ADVANCE NOTICE OF ONE WORKING DAY REQUIRED FOR INSPECTION.
- PBD 16. **ADR COMPLIANCE** - All items required through the Administrative Design Review process shall be in place and inspected by the Planning & Building Department prior to issuance of a Certificate of Occupancy.

- PBD 17. **SIGNS** - A sign permit must be obtained from the Planning & Building Department prior to installation of any new or additional signs. Call the Planning and Building Department at 425-587-3600 for information on sign allowances.
- PBD 18. **ASPHALT PARKING AREA** - All parking areas and driving lanes must be of asphalt or superior material.
- PBD 19. **STRIPED PARKING AREA** - All parking areas and driving lanes must be striped and surrounded by six-inch vertical concrete curb.
- PBD 20. **ROOFTOP APPURTENANCES** - All rooftop appurtenances must be screened in accordance with Zoning Code Section 115.120.
- PBD 21. **COMMERCIAL / MULTI-FAMILY-ROOFTOP SCREENING REQUIRED** – Prior to calling for a Planning Final Inspection, all rooftop screening must be installed.
- PBD 22. **LANDSCAPE PRIOR TO FINAL INSPECTION** - Prior to final inspection by the Planning & Building Department all landscaping and other required improvements must be installed. All installation and maintenance standards shall conform to Kirkland Zoning Code Sections 95.45 and 95.50. Any changes to the approved landscaping plan must be submitted for review and approved as a revision to this building permit prior to implementation.
- PBD 23. **DRIVEWAYS AND PAVING** - Prior to final inspection by the Planning & Building Department, all driveways, parking areas, and curbing must be installed.
- PBD 24. **LANDSCAPE AS-BUILT LANDSCAPE PLAN** - Prior to final inspection by the Planning & Building Department, an as-built landscape plan must be submitted to the Planning & Building Department.
- PBD 25. **MAINTENANCE OF REQUIRED LANDSCAPING** - All required landscaping shall be maintained throughout the life of the development. The applicant shall submit an agreement to the city to be recorded with King County which will perpetually maintain required landscaping. Prior to issuance of a certificate of occupancy, the proponent shall provide an agreement to maintain and replace all landscaping that is required by the City.

Mechanical

- PBD 26. **ROOFTOP APPURTENANCES** - All rooftop appurtenances must be screened in accordance with Zoning Code Section 115.120.
- PBD 27. **UTILITY STRUCTURES IN SETBACKS** - Utility structures which extend more than four inches above finished grade may be constructed within a required setback yard provided no other location within the public right-of-way is feasible and prior approval of the City (Planning and Public Works Departments) is obtained. Any franchise agreement between the City and a utility company may supersede this requirement.

- PBD 28. **MECHANICAL IN SETBACKS** - HVAC and similar types of mechanical equipment may be placed no closer than five feet to a side or rear property line, and shall not be located within a required front yard (unless specifically approved pursuant to KZC 115.115(3)(p)(2)); provided, that such equipment may be located in a storage shed approved pursuant to KZC 115.115(3)(m) or a garage approved pursuant to KZC 115.115(3)(o)(2).

All HVAC and similar types of mechanical equipment shall be baffled, shielded, enclosed, or placed on the property in a manner that will ensure compliance with the Noise Control Act of 1974, Revised Code of Washington (RCW) 70.107. See Chapter 173-60 Washington Administrative Code (WAC).

Sign

- PBD 29. **REMOVE EXISTING SIGNS** - All existing signs shall be removed prior to the installation of new signs.
- PBD 30. **LANDSCAPING REQUIRED** - Prior to final inspection, an area around the base of each pedestal and monument sign equal to the sign area must be landscaped.
- PBD 31. **PROHIBITED DEVICES** - Applicant is advised to review Zoning Code Section 100.85 which specifies prohibited types of signs and other advertising devices, including banners, flashing lights, and balloons. These devices are not approved as part of this permit application.
- PBD 32. **CHANGING MESSAGE CENTERS** - Changing message centers may display only public service time and temperature information.
- PBD 33. **WIRING** - No overhead wiring to freestanding signs allowed. Wiring must be placed underground.



PUBLIC WORKS CONDITIONS

Permit #: DRV22-00693

Project Name: 601 Market

Project Address: 601 Market St.

Date: January 18th, 2023

Public Works Staff Contacts

Stephen Lam, Associate Development Engineer

Phone: 425-587-3826 / E-mail: slam@kirklandwa.gov

General Conditions:

1. All public improvements associated with this project including street and utility improvements, must meet the [City of Kirkland Public Works Pre-Approved Plans and Policies Manual](#). A Public Works Pre-Approved Plans and Policies manual can be purchased from the Public Works Department, or it may be retrieved from the Public Works Department's page at the City of Kirkland's web site.
2. This project will be subject to [Public Works Permit and Connection Fees](#). It is the applicant's responsibility to contact the Public Works Department by phone or in person to determine the fees. The applicant should anticipate the following fees:
 - Water, Sewer, and Surface Water Connection Fees *
 - Side Sewer Inspection Fee *
 - Water Meter Fee *
 - Right-of-way Fee
 - Review and Inspection Fee
 - Building Permits associated with this proposed project will be subject to the traffic, park, and school impact fees per Chapter 27 of the Kirkland Municipal Code. The impact fees shall be paid prior to issuance of the Building Permit(s). Any existing buildings within this project which are demolished will receive a Traffic Impact Fee credit, Park Impact Fee Credit, School Impact Fee Credit and Fire Impact Fee Credit (NEW). This credit will be applied to the first Building Permits that are applied for within the project. The credit amount for each demolished building will be equal to the most currently adopted Fee schedule.

** Fee to be paid with the issuance of a Building Permit.*

3. All street and utility improvements shall be permitted by obtaining a [Land Surface Modification \(LSM\) Permit](#), including the required [LSM Checklist](#).
4. Review of Building Permits within a detached multi-family project: One detached multi-family Building Permit must be submitted prior to issuance of the LSM. Multiple Building Permits may be reviewed concurrently with the LSM review.



5. Maintenance Securities:

- If a recording Performance Security has not yet been posted, then prior to issuance of the LSM Permit a standard right of way restoration security ranging from \$10,000.00 to 30,000.00 (value determined based on amount of ROW disruption) shall be posted with Public Works Department. This security will be held until the project has been completed.
- Prior to Final Inspection of the Land Surface Modification improvements, there will be a condition of the permit to establish a two year Maintenance security.

6. All civil engineering plans which are submitted in conjunction with a building, grading, or right-of-way permit must conform to the [Public Works Policy G-7, Engineering Plan Requirements](#). This policy is contained in the Public Works Pre-Approved Plans and Policies manual.

7. All street improvements and underground utility improvements (storm, sewer, and water) must be designed by a Washington State Licensed Engineer; all drawings shall bear the engineers stamp.

8. All plans submitted in conjunction with a building, grading or right-of-way permit must have elevations which are based on the King County datum only (NAVD 88).

9. A completeness check meeting is required prior to submittal of any Building Permit applications.

10. Prior to issuance of any commercial or multifamily Building Permit, the applicant shall provide a plan for garbage, recycling and composting storage and pickup. The plan shall conform to [Policy G-9](#) in the Public Works Pre-approved Plans and be approved by Waste Management and the City. Important feature is to provide enough storage area for recycling and composting; and being able to pick up containers without storing in the ROW overnight. Submit the plan with a cover letter to explain how Policy G-9 requirements will be met. Please contact John MacGillivray, 425.587.3804, if you have questions.

11. The required tree plan shall include any significant tree in the public right-of-way along the property frontage.

Sanitary Sewer Conditions:

1. The existing sanitary sewer main in the right-of-way is adequate to serve the project.
2. Provide a 6-inch minimum side sewer stub to each lot. Side sewers serving the property shall be PVC gravity sewer pipe per Public Works Pre-Approved Criteria. Remove and



replace any substandard pipes. Verify existing pipe condition by video inspection if the pipe is to remain.

3. Any businesses serving food or drink are required to have grease interceptor on the waste line prior to discharge to the City sewer system. The interceptor shall be sized per the Uniform Plumbing Code (minimum).

Water System Conditions:

1. The existing water main in the right-of-way is adequate to serve the project.
2. Provide a separate water service from the water main to the meter for each lot. City of Kirkland will set water meters 2" and smaller. Water meters are sized per the Uniform Plumbing Code when the Building Permit is submitted. A ¾" meter is typical for a new single-family home, which requires a 1" water service line from the main. See Pre-Approved Plans for more details. Structures with a fire sprinkler system plumbed to the domestic water service will require a 1" meter at a minimum.
3. The existing water service shall be abandoned at the main, unless expressly approved otherwise by Public Works Department.
4. See Fire Department conditions for fire flow requirements.
5. In mixed-use projects each use shall have a separate water meter, i.e., the retail use shall have a separate water meter from residential use. Irrigation will need a separate water service as well.

Surface Water Conditions:

1. Provide temporary and permanent storm water control in accordance with the [2016 King County Surface Water Design Manual \(KCSWDM\)](#) and the City of Kirkland Addendum (Policy [D-10](#)).
2. To determine the drainage review level required, the target impervious surface area is the maximum allowable lot coverage area for the project, plus any offsite improved impervious areas. See Policies [D-2](#) and [D-3](#) in the Public Works Pre-Approved Plans for drainage review information, or contact Kirkland Surface Water staff at (425) 587-3800 for assistance. The Kirkland [Drainage Review Flow Chart](#) is a helpful tool to determine a project's drainage review level. Drainage review levels are summarized below:
 - Full Drainage Review
 - Any non-single-family residential project that creates more than 2,000 sf of new and/or replaced impervious surface, or greater than 7,000 sf of land disturbing activity will trigger a Full Drainage Review.



- Single family residential projects that propose improvements greater than the Simplified thresholds explained above will be subject to a Full Drainage Review.

- 3. Attention to Civil Plan Designers: Kirkland Zoning Code Update and Surface Water Design Policy Update** -- Public Works Policy D-10 (City's Addendum to the 2016 KC-SWDM) was updated in July 2019. Follow the new guidelines in D-10 regarding flow control analysis. Effective on July 12, 2019, the City updated KZC Chapter 115.90 – Calculating Lot Coverage. Background: The regulation update allowed conventional (sand set) pavers to be counted as a “Partially Exempt Material”, allowed to received 50 percent exemption for the area they cover, and up to 10 percent of the total lot size. Conventional pavers do not have to meet surface water mitigation specifications (e.g. not designed as LID BMP pervious pavers per Public Works Pre-Approved Plan CK-L-09). As a result, lots are allowed 10 percent more runoff generating surface area, and thus have to provide flow control accordingly.

For calculating impervious coverage for proposed residential and commercial development must be estimated for each specific proposal. Impervious coverage for frontage layouts – streets, sidewalks, trails, etc – shall be taken from the layouts of the proposal. House/driveway or building coverage shall be as follows:

- For residential development, the assumed impervious coverage shall be the maximum impervious coverage permitting by the Kirkland Zoning Code (KZC) plus an additional 10%.
 - For commercial or multi-family development, the impervious coverage shall either:
 - Assume the maximum impervious coverage permitted by the KZC plus an additional 10% OR
 - Estimate impervious coverage from layouts of the proposal. If estimated from the layouts of the proposal, the impervious coverage shall include calculations of all impervious surfaces, including eaves. This option may require a Reduced Impervious Surface Limit to be recorded on the property.
4. This project is in a Level 1 Flow Control Area (Potential Direct Discharge), and is required to comply with core drainage requirements in the KCSWDM.
- a) To qualify for direct discharge, the applicant must demonstrate (at a minimum):
- The conveyance system between the project site and Lake Washington will be comprised of manmade conveyance elements and will be within public right-of-way or a public or private drainage easement, AND
 - The conveyance system will have adequate capacity per Core Requirement #4, Conveyance System, for the entire contributing drainage area, assuming build-



out conditions to current zoning for the equivalent area portion and existing conditions for the remaining area;

- b) If a stormwater detention system is required, this project may be designed to Level 1 flow control standards. Existing conditions may be used as the pre-developed condition. Calculations of the existing impervious surface area for modeling shall be in accordance with the formula described in the KCSWDM.
5. The project may qualify for an exception to detention if the target surfaces will generate no more than a 0.15 cfs increase in the **existing site conditions** 100-year peak flow. The 15-minute time step must be used to perform the flow control analysis. Do not use the 1-hour time step. Approved hydrologic modeling programs are MGS Flood and WWHM 2012.
 6. Evaluate the feasibility and applicability of dispersion, infiltration, and other stormwater Low Impact Development (LID) Best Management Practices (BMPs) per the KCSWDM. If feasible, stormwater LID BMPs are required to the maximum extent feasible. If LID BMPs are infeasible, pervious pavement cannot be used to reduce overall impervious lot coverage. The Private Maintenance Agreement will be recorded on all projects that construct a stormwater LID BMP or facility, per Policy [D-7](#).
 7. Soil information may be necessary for designing LID BMPs per the KCSWDM, and there are other reasons a soil report is necessary for a project (e.g., steep slopes, sensitive areas, etc.). Refer to Policy [D-8](#) for details.
 8. Special inspections may be required for LID BMPs on this project. Provide documentation of inspections by a licensed geotechnical professional that the BMP will function as designed.
 9. If the project will create or replace more than 5,000 square feet of pollution generating impervious surface (PGIS), provide water quality treatment in accordance with the KCSWDM. **The enhanced treatment level is required for multi-family residential, commercial, industrial projects, and single family residential projects with eight or more dwelling units per acre density.**
 10. Soil Amendment per Pre-Approved Plan E.12 is required for all landscaped areas.
 11. Provide a separate storm drain connection to each lot for conveyance. All roof and driveway drainage must be tight-lined to the storm drain system or utilize low impact development techniques on-site.
 12. Provide collection and conveyance of right-of-way storm drainage.
 13. Construction Stormwater Pollution Prevention Plan (CSWPPP):



- All proposed projects that will conduct construction activities onsite, or offsite must provide stormwater pollution prevention and spill controls to prevent, reduce, or eliminate the discharge of pollutants (including sediment) to onsite or adjacent stormwater systems or watercourses.
- Refer to Core Requirement No. 5 in the KCSWDM and Policy [D-12](#).
- Provide an erosion control report and plan with the Building or Land Surface Modification Permit application. The plan shall be in accordance with the KCSWDM.
- Construction drainage control shall be maintained by the developer and will be subject to periodic inspections. During the period from May 1 and September 30, all denuded soils must be covered within 7 days; between October 1 and April 30, all denuded soils must be covered within 12 hours. Additional erosion control measures may be required based on site and weather conditions. Exposed soils shall be stabilized at the end of the workday prior to a weekend, holiday, or predicted rain event.

14. This project is located with ¼ mile of a Category 5 waterbody documented in the state's Water Quality Assessment 303(d) listing for Phosphorus. If water quality treatment is required, then the project shall be assumed to be located within a designated Sensitive Lake WQ Treatment area for the purposes of applying the area-specific water quality treatment requirement in Section 1.2.8.1 of the KC-SWDM.

Street and Pedestrian Improvement Conditions:

1. The subject property abuts Market Street and 5th Ave W. These streets are Principal Arterial and Neighborhood Access type streets respectively. Zoning Code sections 110.10 and 110.25 require the applicant to make half-street improvements in rights-of-way abutting the subject property. Section 110.30-110.50 establishes that this street must be improved with the following:

Market Street:

- A. Remove existing curb and install new Type-A concrete curb and gutter. The face of curb shall match the existing alignment.
- B. Remove existing sidewalk and provide sidewalk from back of curb to the property line (minimum width to be 8-ft wide)
- C. Provide 4' x 6' tree wells and street trees 30-ft on-center.
- D. Identify and protect trees with retention value in the right-of-way as street trees.
- E. Remove existing driveway cuts, and replace with new frontage improvements.
- F. New sidewalk, curb, and ramp at the corner may remain.

5th Ave W:

- A. Remove existing curb and install new Type-A concrete curb and gutter. The face of curb shall match the existing alignment.
- B. Remove existing sidewalk and provide new 8-ft sidewalk.
- C. Provide 4' x 6' tree wells and street trees 30-ft on-center.



- D. Identify and protect trees with retention value in the right-of-way as street trees.
 - E. Remove existing driveway cuts, and replace with new frontage improvements.
 - F. New sidewalk, curb, and ramp at the corner may remain.
2. Access Requirements (KZC Chapter 105.10):
 - A. Access is allowed under TRANS20-00557 and TRANS21-00018.
 3. Access Modification (KZC 105.103.3): A modification to improvement requirements of KZC Chapter 105 may be required or granted if the applicant demonstrates on submitted plans and/or in writing that the following criteria have been met for modifications to the applicable sections:

For a modification to KZC 105.10 for vehicular access easements or tracts and for KZC 105.60(2)&(3) and 105.97 for parking area design, the requirements may be modified if:

- 1) The modifications will not affect the ability to provide any property with police, fire, emergency medical, or other essential services; and
- 2) One (1) of the following requirements is met: (a) The modification is necessary because of a preexisting physical condition; or (b) The modification will produce a site design superior to that which would result from adherence to the adopted standard.
- 3) Exception: KZC 105.10(2)(g) relating to screening for access easements or tracts will use the modification criteria for buffering in subsection (3)(g) of this section.

Public Works has approved of the parking modification and driveway variance applied under TRANS20-00557 and TRANS21-00018 respectively.

Review KZC 105.103 for full details about Modifications and details about granting authority consistent with the approval processes for short plats and subdivisions.

4. Meet the requirements of the Kirkland [Driveway Policy R-4](#).
5. Meet the requirements of the Kirkland [Intersection Sight Distance Policy R.13](#). All street and driveway intersections shall not have any visual obstructions within the sight distance triangle.
6. When three or more utility trench crossings occur within 150 lineal ft. of street length or where utility trenches parallel the street centerline, the street shall be overlaid with new asphalt or the existing asphalt shall be removed and replaced per the City of Kirkland [Street Asphalt Overlay Policy R-7](#).
 - Existing streets with 4-inches or more of existing asphalt shall receive a 2-inch (minimum thickness) asphalt overlay. Grinding of the existing asphalt to blend in the overlay will be required along all match lines.



- Existing streets with 3-inches or less of existing asphalt shall have the existing asphalt removed and replaced with an asphalt thickness equal or greater than the existing asphalt provided however that no asphalt shall be less than 2-inches thick and the subgrade shall be compacted to 95% density.
7. It shall be the responsibility of the applicant to relocate any above-ground or below-ground utilities which conflict with the project, associated street, or utility improvements.
 8. Underground all new and existing on-site utility lines and overhead transmission lines. Underground any new off-site transmission lines.
 9. Zoning Code Section 110.60.7.b establishes the requirement that existing utility and transmission (power, telephone, etc.) lines on-site and in rights-of-way adjacent to the site must be underground. The Public Works Director may determine if undergrounding transmission lines in the adjacent right-of-way is not feasible and defer the undergrounding by signing an agreement to participate in an undergrounding project, if one is ever proposed. In this case, the Public Works Director has determined that undergrounding of existing overhead utility on 5th Ave W is not feasible at this time and the undergrounding of off-site/frontage transmission lines should be deferred with a Local Improvement District (LID) No Protest Agreement.
 10. New LED street lights may be required per Puget Sound Energy (PSE) design and Public Works approval. Contact PSE to perform lighting analysis. If new lighting or upgrades are necessary, design plans must be submitted for review prior to issuance of an LSM or building permit. Contact:

Kayla Neckorcuk – Territory Engineer for King County, Intolight, PUGET SOUND ENERGY
Tel 425-577-2392 | Fax 425-462-3149
Email Kayla.Neckorcuk@pse.com | Website: www.intolight.com
 11. A striping plan for the street must be submitted with the building or grading permit.

Related City Website Links

- [City of Kirkland Pre-Approved Plans and Policies](#)
- [Public Works Development Fees](#)
- [Stormwater FAQs](#)
- Application Forms ([Electronic](#), [Paper](#))
- [KZC105 – Private Drive, Private and Pedestrian Walkway Requirements](#)
- [KZC110 - Public Right-of-way Improvement Requirements](#)



DEVELOPMENT STANDARDS

DRV22-00693

FIRE DEPARTMENT

FIRE DEPARTMENT COMMENTS

Contact: Captain Chappell at 425-587-3655; or jchappell@kirklandwa.gov

ACCESS

The building fronts on two rights of way. The fire department access is met.

FIRE FLOW

Fire flow requirement is based on total square footage of the building and type of construction. With allowed IFC reduction, required fire flow for this building appears to be 1500 gpm.

Fire flow on Market St is approximately 2400 gpm. Fire flow appears to be adequate. Confirmation may be required.

HYDRANTS

Fire hydrants will need to be placed so that there is a hydrant within 150 feet of every part of the building accessible by fire department vehicles. Existing hydrants and location appear to be adequate. No additional hydrants needed.

FIRE SPRINKLERS

A sprinkler system is required to be installed throughout the building. Submit plans, specifications and calculations electronically for approval at www.MyBuildingPermit.com. All plans shall be designed and stamped by a person holding a State of Washington Certificate of Competency Level III certification. The system shall be installed by a state licensed sprinkler contractor. REF RCW 18.60 State of Washington.

A dedicated sprinkler riser room is required, and it shall be placed on an exterior wall. The underground line shall run from the outside directly up into the riser room (meaning, it shall not run under the slab for any distance). If the riser room has direct access from the outside, a PIV is not required. The sprinkler riser room may be used for other mechanical equipment, but not for the main electrical room nor shall it be used for storage; it may be used to house the fire alarm panel.

NOTE: TWO PERMITS are required from the Fire Department for installation of the fire sprinkler system, one for the underground and one for the sprinkler system itself. No work shall be performed on the sprinkler system without a Fire Department permit.

The civil drawings may be used as reference but do not constitute permission to install the fire sprinkler underground. The underground permit is NOT over-the-counter, so should be applied for well in advance of the anticipated date of start of construction.

STANDPIPES

Standpipes are not required for this project.

FIRE ALARM

A fire alarm system is required to be installed throughout the building to monitor the automatic sprinkler system. A separate permit is required from the Fire Department prior to installation. Submit plans and specifications for approval electronically at MyBuildingPermit.com. The system shall comply with Washington State Barrier Free requirements regarding installation of visual devices and pull stations. The low-frequency requirement is also required for this project. The specific requirements for the system can be found in Kirkland Operating Policy 10.

FIRE EXTINGUISHERS

Portable fire extinguishers are required per Section 906 of the IFC. Minimum rating is 2A10BC. Extinguishers shall be mounted or in cabinets so that the top of the extinguisher is no more than 5 feet above the finished floor. Travel distance to a fire extinguisher shall not exceed 75 feet as measured along the route of travel.

KEY BOX

A Key box is required (Knox Box 4400, recessed, and tampered). It shall be installed in an approved accessible location no higher than six feet above grade. In most cases it will be located at the front entrance to the building. The box may be purchased on-line at www.knoxbox.com; or by filling out an order form which is available from the Fire Department office. Contact the Fire Prevention Bureau at 425-587-3661 for more information.

601 Market Street



SHEET INDEX:

- 0 - COVER SHEET
- 1 - VICINITY MAP
- 2 - PROJECT DATA
- 3 - SITE CONTEXT
- 4 - DESIGN INFLUENCES
- 5 - LANDSCAPE PLAN
- 6 - PLANTING PLAN
- 7 - SITE PLAN
- 8 - LOT COVERAGE CALCULATION
- 9 - AVERAGE BUILDING DEPTH
- 10 - LANDSCAPE MODIFICATION
- 11 - LANDSCAPE SCREEN WALL DETAILS
- 12 - FIRST FLOOR PLAN
- 13 - SECOND FLOOR PLAN
- 14 - ROOF PLAN
- 15 - ELEVATIONS
- 16 - ELEVATIONS
- 17 - ELEVATION RENDERS
- 18 - SECTIONS
- 19 - SECTIONS
- 20 - SECTIONS RENDERS
- 21 - PERSPECTIVES
- 22 - PEDESTRIAN EXPERIENCE
- 23 - LIGHTING
- 24 - SIGNAGE
- 25 - ARTWORK
- 26 - MATERIALS
- 27 - DESIGN RESPONSE
- 28 - DESIGN RESPONSE CONTINUED

OBJECTIVE: The objective of the 601 Market project is to create an exceptional urban housing unit and a viable commercial space in an elegant mixed-use building that integrates superbly into the neighborhood fabric and is considerate of its location and neighborhood, the Market Street Historical District.

OPPORTUNITIES: The site is situated within the Market Street Corridor, a neighborhood containing a variety of interesting structures, streets, and activities. The neighborhood has a distinct character, but does not necessarily have a unified image. The diversity of spaces and edifices offer the designer many contextual elements in which to respond.

CHALLENGES: The fact that the Market Street Historical District and the 601 Market Street project share the same neighborhood presents many challenges to the proposed project including a building code required building depth minimum of 20 feet and a historical district nearby with a distinct historic character that cannot be overlooked. Another challenge is the irregular site itself, bordering two roads and has residential adjacencies.

COVER SHEET

DESIGN REVIEW RESPONSE

PROJECT ADDRESS: 601 MARKET STREET KIRKLAND, WA
ID: DRV22-00693 DATE: DECEMBER 16, 2022 PAGE: 0

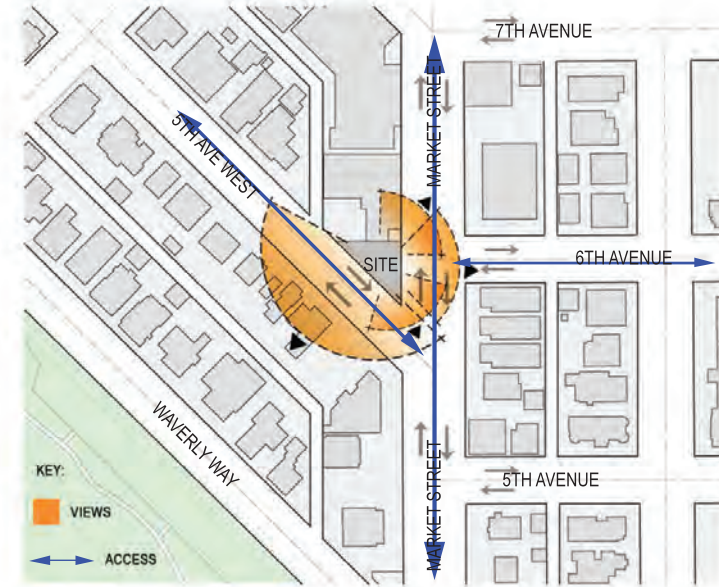
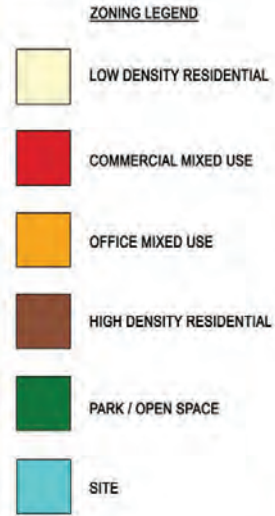
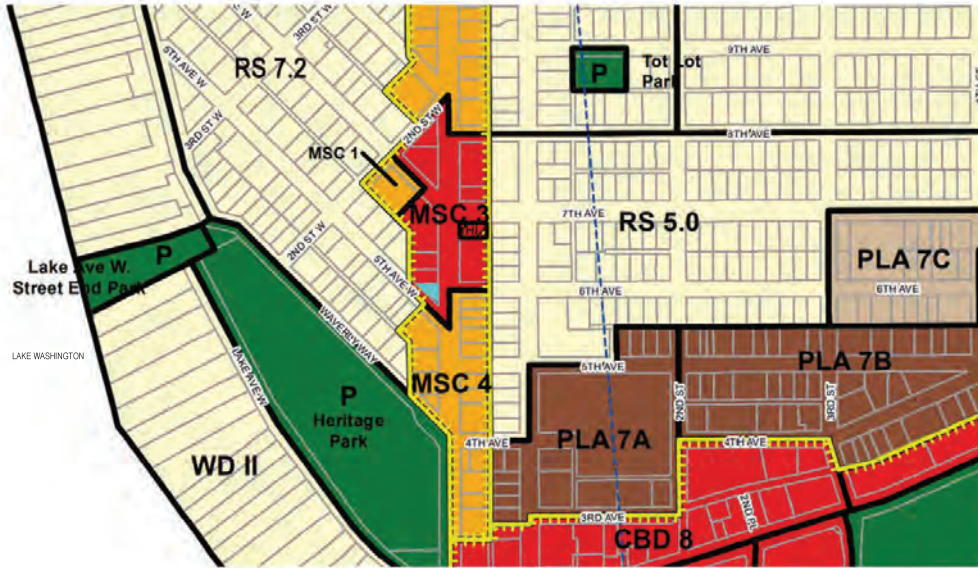


- WALKABILITY KEY:**
- 1 - HERITAGE HALL/ PARK
 - 2 - MARINA PARK
 - 3 - DOWNTOWN KIRKLAND
 - 4 - ANTHONY'S HOMEPORT
 - 5 - PETER KIRK PARK
 - - MARKET STREET CORRIDOR

VICINITY MAP

DESIGN REVIEW RESPONSE

PROJECT ADDRESS: 601 MARKET STREET KIRKLAND, WA
ID: DRV21-00721 DATE: SEPTEMBER 16, 2022 PAGE: 1



SITE LOCATION: 601 Market Street (Kirkland)

SITE AREA: 82.1' x 82.1' x 116.1' = 3,370 square feet (0.08 Acres)

SITE ZONING: MSC 3
[KZC 51.30]

NEIGHBORHOOD: Market Street Corridor and Market Street Historical District

NEIGHBORHOOD GUIDELINES: Market Street Corridor / Market Street Historical District

PEDESTRIAN ORIENTED: Yes

MAXIMUM LOT COVERAGE: 80% of Lot Area

BUILDING HEIGHT: 30 feet above average building elevation.
[KZC 51.30.030 - Gen. Reg. 4.b]
The commercial floor shall be a minimum of 13 feet in height. The height of the structure may exceed the maximum height of structure by three feet for a three-story building with the required 13-foot commercial floor.

LOT SIZE: None
[KZC 51.30]

SETBACKS: [KCZ - CH 115]

PERMITTED USES: [KZC 51.30]

COMMERCIAL FRONTAGE REQ's:

PRINCIPAL ARTERIAL:

PARKING: [KZC 51.30.030 - Ch. 105]

LANDSCAPING CATEGORY: [KZC 51.30 - Ch. 95]

Front: 0'-0"
Rear: 0'-0"
Side: 0'-0"

Retail establishments, Offices, Hotels/Motels, Private Club or Lodge, Stacked Dwelling Units, Day Cares, Nursing Home or Assisted Living Facility, Restaurant or Tavern.

The street level floor shall be limited to one or more of the following uses: Retail, Restaurant or Tavern, Hotel or Motel, Entertainment, Cultural and/or Recreational Facility, or Office. These uses shall be oriented toward Market Street and have a minimum depth of 20 feet and an average depth of at least 30 feet (as measured from the face of the building along the street).

Market Street

1 space per each 200 sq. ft. of gross floor area (medical)
Surface parking areas shall not be located between the street and building unless no feasible alternative exists. Parking areas location to the side of the building are allowed provided that the parking area and vehicular access occupies less than 30 percent of the property frontage and design techniques adequately minimize the visibility of the parking.



VICINITY MAP

PROJECT DATA

DESIGN REVIEW RESPONSE

PROJECT ADDRESS: 601 MARKET STREET KIRKLAND, WA
ID: DRV21-00721 DATE: SEPTEMBER 16, 2022 PAGE: 2

C



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4



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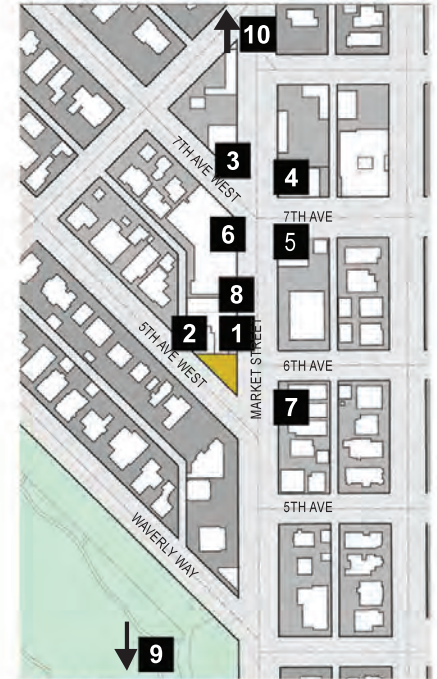


9



10

SITE KEY



KEY INDEX:

- 1 - ADJACENT PROPERTY - MARKET ST VIEW (FRONT)
- 2 - ADJACENT PROPERTY - 5TH AVE VIEW (REAR)
- 3 - HISTORICAL - SEARS BUILDING
- 4 - HISTORICAL - MIXED USE
- 5 - HISTORICAL - KIRKLAND ART CENTER
- 6 - NEW - COMMERCIAL
- 7 - NEW - RESIDENTIAL (ACROSS STREET FROM SITE)
- 8 - HISTORICAL - BROOKS BUILDING
- 9 - HISTORICAL - HERITAGE HALL
- 10 - NEW - COMMERCIAL (DIBBLE ENGINEERS)

SITE CONTEXT
DESIGN REVIEW RESPONSE

PROJECT ADDRESS: 601 MARKET STREET KIRKLAND, WA
ID: DRV21-00721 DATE: SEPTEMBER 16, 2022 PAGE: 3

GATEWAY



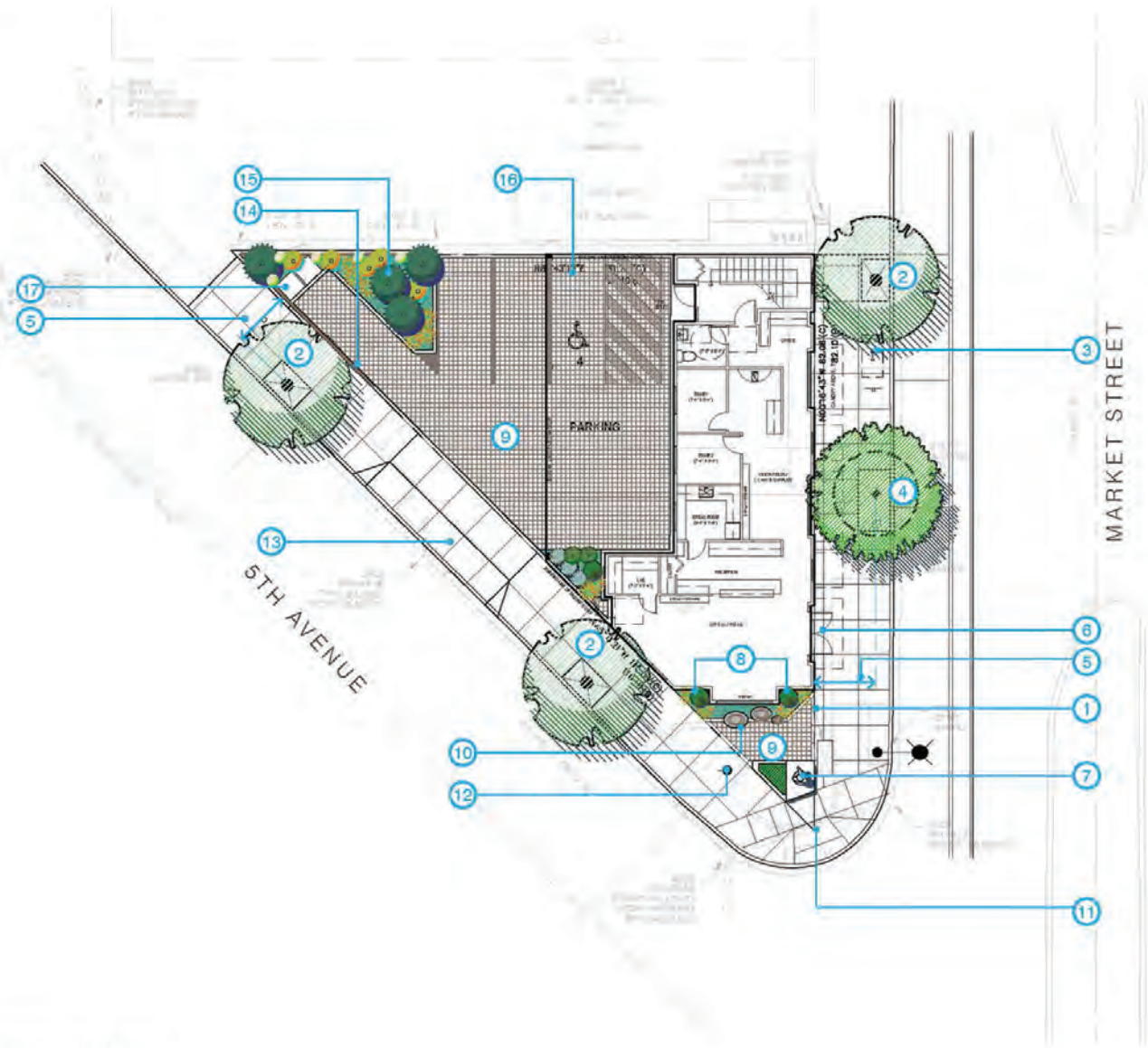
- ADJACENT INFLUENCES:
- 1 - RESIDENTIAL SETBACK, WINDOW LITES, LAP SIDING
 - 2 - 3-12 ROOF w/ WOOD EAVE, LARGE BAY WINDOWS
 - 3 - BELLYBAND/TRIM LINES
 - 4 - HISTORICAL FULL BLOCK
 - 5 - LARGE STOREFRONTS

HISTORY-COMMUNITY-CONNECTION

IDENTITY
DESIGN REVIEW RESPONSE

601 Market Street - LANDSCAPE PLAN

601 Market Street



NUMBERED NOTES

- ① Property Line
- ② New Street tree in 4x6 grate (Allee Elm)
- ③ Bike Rack
- ④ Existing Birch Tree to remain
- ⑤ 8' Sidewalk, Min.
- ⑥ Retail Entrance
- ⑦ Sculpture
- ⑧ Vertical Accent Planting
- ⑨ Permeable Pavers
- ⑩ Sculptural 'Perch' Seating
- ⑪ Improved curb cut with 4' landing
- ⑫ Existing Hydrant
- ⑬ Vehicular Entrance
- ⑭ Screenwall with climbing vines
- ⑮ Buffer planting
- ⑯ Accessible Parking (Under Bldg Overhang)
- ⑰ Garbage + Recycling



communita atelier

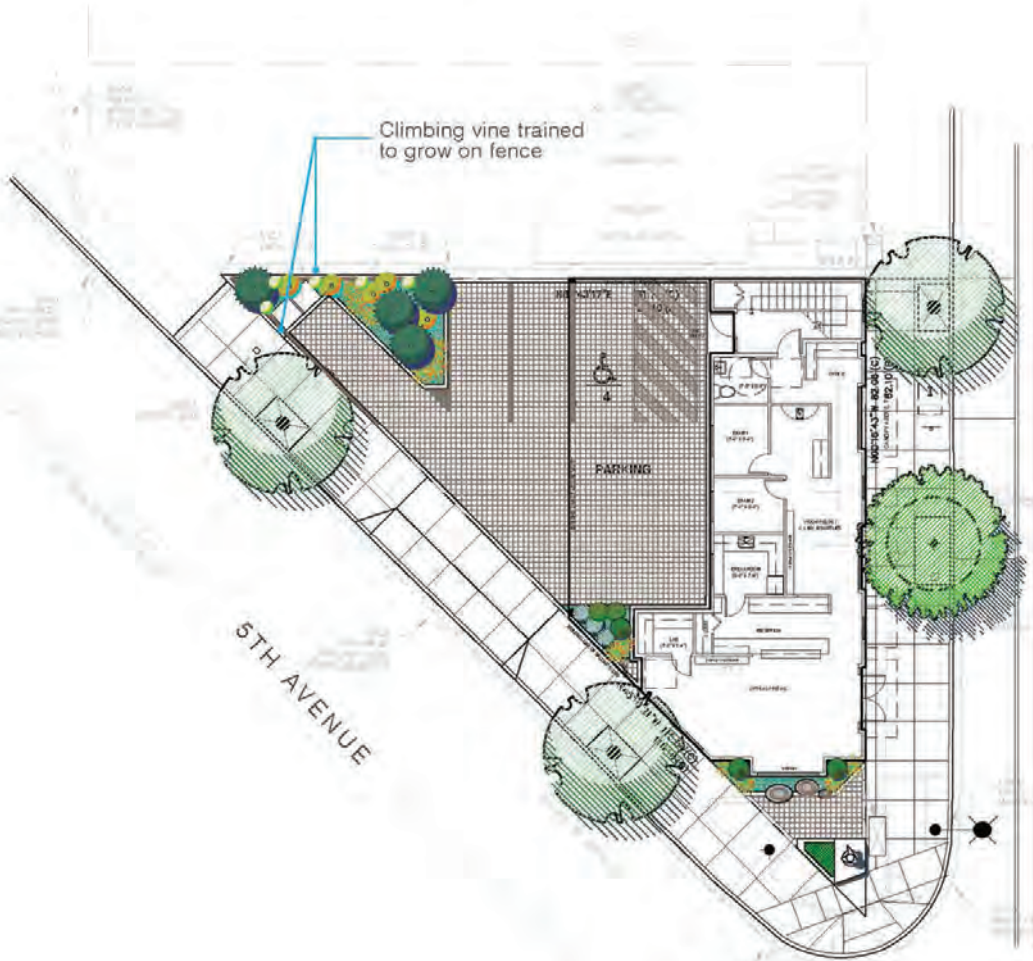
LANDSCAPE PLAN

DESIGN REVIEW RESPONSE

PROJECT ADDRESS: 601 MARKET STREET KIRKLAND, WA
ID: DRV22-00693 DATE: DECEMBER 16, 2022 PAGE: 5

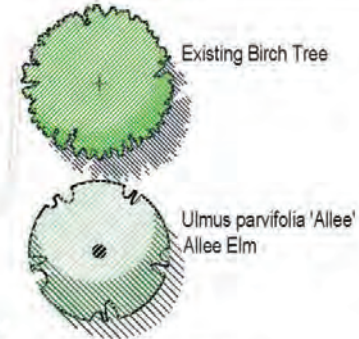
601 Market Street - PLANTING PLAN

601 Market Street



PLANT SCHEDULE

STREET TREES:



ON-SITE PLANTING:

-  Cupressus sempervirens 'Compacta'
Dwarf Italian Cypress
-  Myrica californica
Pacific Wax Myrtle
-  Hydrangea quercifolia
Oakleaf Hydrangea
-  Anamanthe lessoniana
Pheasant Tail Grass
-  Pittosporum tobira 'Wheeler's Dwarf'
Wheeler's Dwarf Japanese Pittosporum
-  Hebe pinguifolia 'Sutherlandii'
Sutherland Hebe
-  Fragaria chiloensis
Sand Strawberry
-  Planting Mix:
- Euphorbia amygdaloides var. 'Robbiae'
Robb's Euphorbia
- Geranium 'Ann Folkard'
Ann Folkard Trailing Geranium
-  Vine:
Lonicera japonica 'Halliana'
Hall's Japanese Honeysuckle



PLANTING PLAN

DESIGN REVIEW RESPONSE

PROJECT ADDRESS: 601 MARKET STREET KIRKLAND, WA
 ID: DRV22-00693 DATE: DECEMBER 16, 2022 PAGE: 6



USE: Mixed-Use

COMMERCIAL (1st Floor):

1137: sq.ft. (excludes stairs)
Square Footage: 1,137 SF
Ceiling Height: 13'

RESIDENTIAL (2nd Floor)

Number of Floors: 1 + Roof Deck
Dwelling Units: (1) 2-Bedroom unit
Square Footage: 1,578 SF
+143 SF (Stairs)
+495 SF (Patio Decks)
+450 SF (Roof Deck)
Ceiling Height: 10'
Residential Entry: Off Parking

PARKING:

1st Floor (Commercial) - Excludes stairs
1137 sq.ft. / 200 (medical) = 5.6 stalls (1 ADA stall included)
[per 51.30.030]

2nd Floor (Residential) - Includes stairs
1578 sq.ft. - 2 bdrm unit = 2 stalls (owner occupied/shared)
[per 51.30.070]

Number of stalls provided: 4 on-site (owner-shared)
+3 off-site (available off Market Street)

*Approved Parking Modification TRAN20-00557

HEIGHT:

Building Height: 28'-9" ABE (30' Max. ABE allowed)
Total Floors: 2 + Roof Deck

KEY NOTES:

- 1. PARKING
- 2. MINI PLAZA (PUBLIC EASEMENT)
w/ SCULPTURAL SEATING
- 3. SCULPTURE/ART
- 4. LANDSCAPE SCREEN FENCE

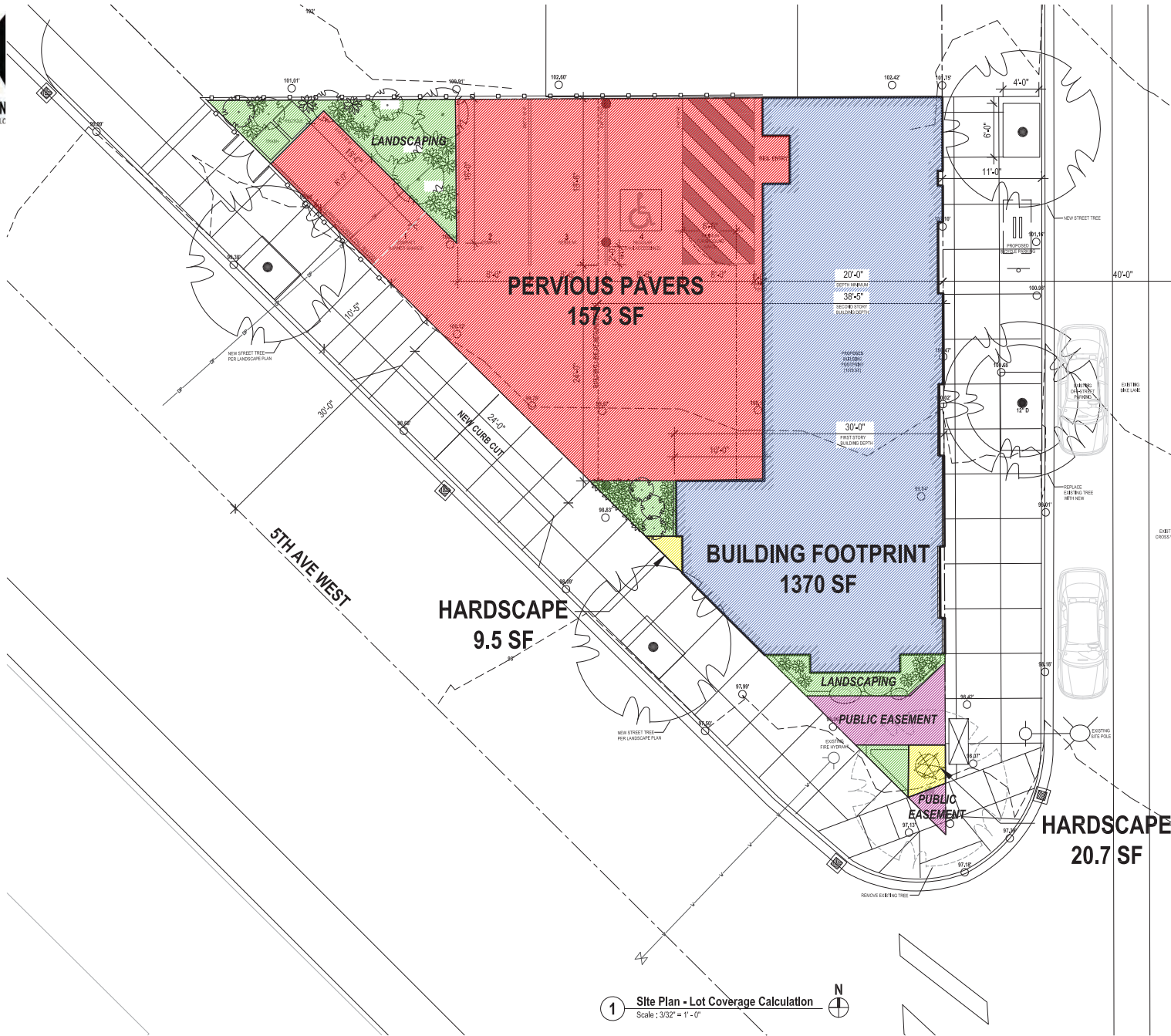
KEY:

- LANDSCAPING [EXEMPT]
- PERVIOUS PAVERS
- HARDSCAPE (CONCRETE)
- BUILDING FOOTPRINT
- PUBLIC EASEMENT [EXEMPT]



**SITE PLAN
DESIGN REVIEW RESPONSE**

PROJECT ADDRESS: 601 MARKET STREET, KIRKLAND, WA
ID: DRV22-00693 DATE: DECEMBER 16, 2022 PAGE: 7



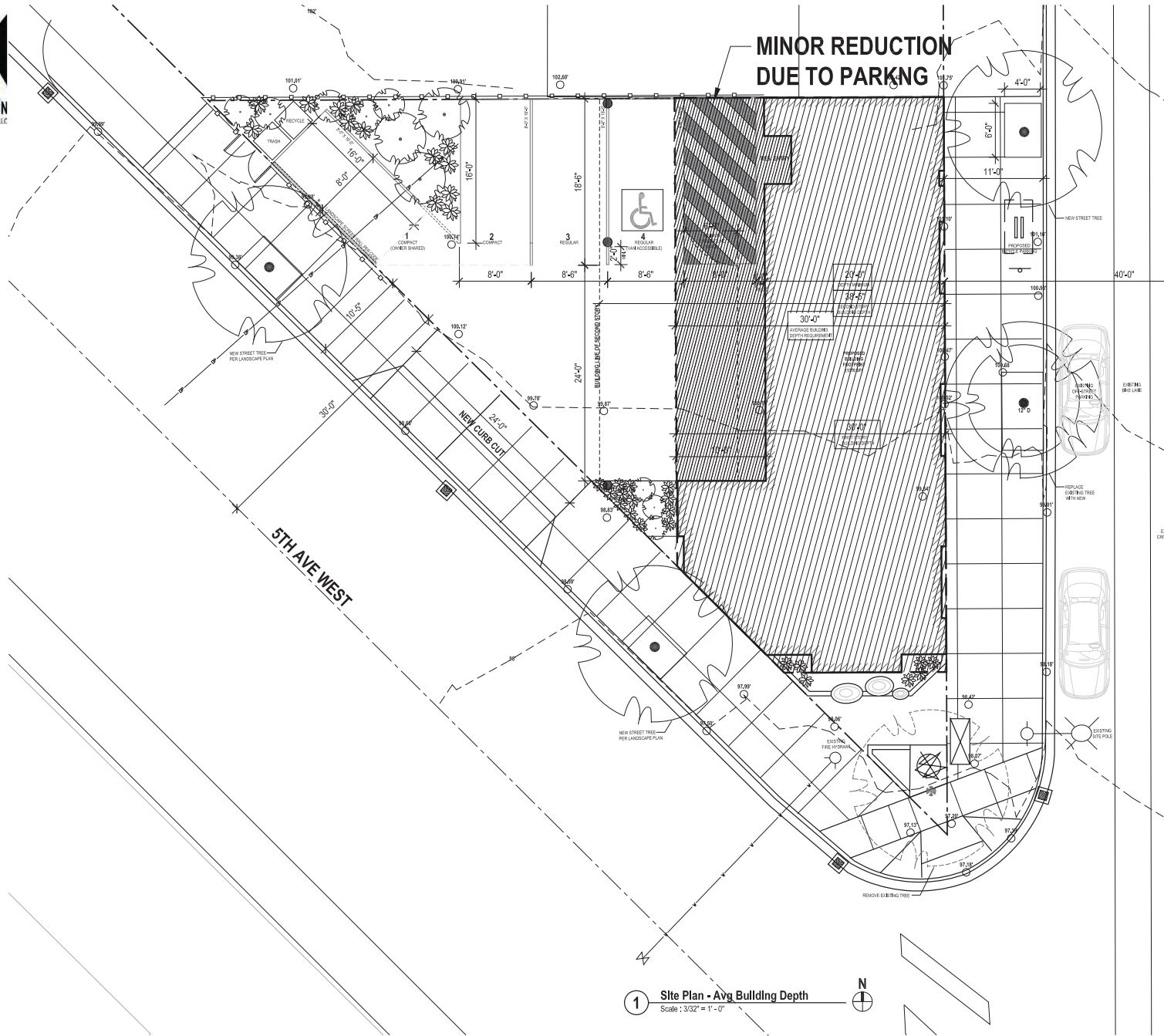
LOT COVERAGE CALCULATION:

TOTAL LOT AREA:	3370 SF
PERVIOUS PAVERS (KZC 115.90.3) 10% Total Lot=	1573 SF - 337 SF (Max. Exemption) 1237 SF
BUILDING FOOT PRINT	+1370 SF
HARDSCAPE (CONCRETE)	+30.2 SF
TOTAL:	2636.2 SF / 3370 SF =78.2% < 80% (Max.)

- KEY:**
- LANDSCAPING [EXEMPT]
 - PERVIOUS PAVERS
 - HARDSCAPE (CONCRETE)
 - BUILDING FOOTPRINT
 - PUBLIC EASEMENT [EXEMPT]

1 Site Plan - Lot Coverage Calculation
 Scale: 1/32" = 1'-0"

**LOT COVERAGE
 CALCULATION
 DESIGN REVIEW RESPONSE**



BUILDING DEPTH MINOR REDUCTION
 [KZC 51.28.4.a]

We are requesting the approval for a minor reduction of the required 30ft average building depth. The minimum requirements of 20ft building depth is achieved throughout the first floor. At the South elevation at the corner of 5th and Market, a building depth of 30'-0" is achieved as much as possible until parking standards are required. The second story above has a building depth of 38'-5". The challenging triangular site and left over building footprint from the approved parking modification TRAN20-00557, demonstrate we achieved as much as feasibly possible. The proposal not only improves the the commercial frontage for that property tremendously, but also provides a gateway for visual interest into the historical market street corridor it provides safer pedestrian walkways, circulation, and seating, and safer car access to parking along 5th avenue rather than the existing drive-thru parking from Market street to 5th avenue.

AVERAGE BUILDING DEPTH DESIGN REVIEW RESPONSE

PROJECT ADDRESS: 601 MARKET STREET, KIRKLAND, WA
 ID: DRV22-00693 DATE: DECEMBER 16, 2022 PAGE: 9

1 Site Plan - Avg Building Depth
 Scale : 3/32" = 1' - 0"

EXISTING SITE CONDITIONS
 + VIEWS FROM NEIGHBORING
 RESIDENTIAL PROPERTY

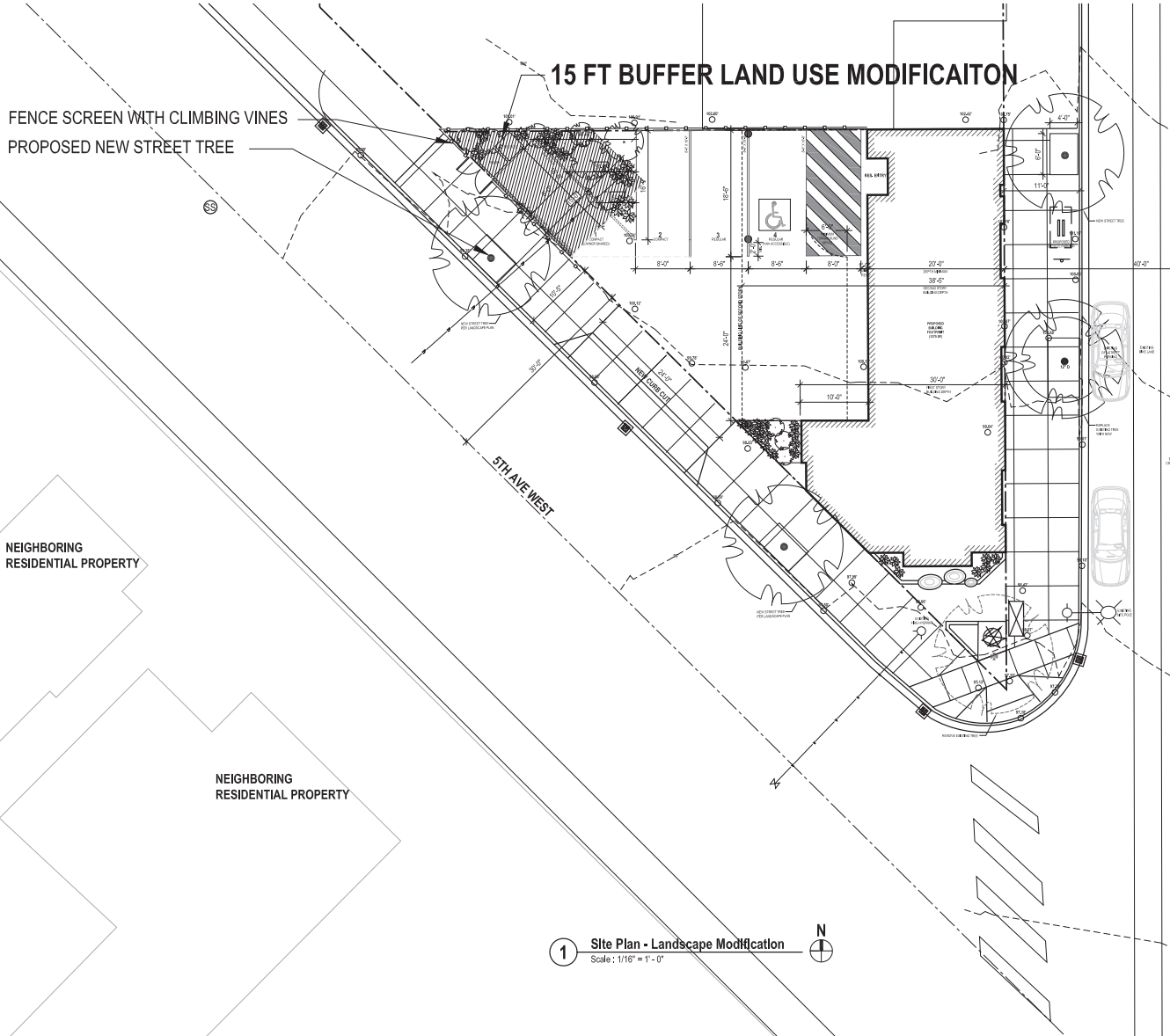


FENCE SCREEN WITH CLIMBING VINES
 PROPOSED NEW STREET TREE

NEIGHBORING
 RESIDENTIAL PROPERTY

NEIGHBORING
 RESIDENTIAL PROPERTY

15 FT BUFFER LAND USE MODIFICATION



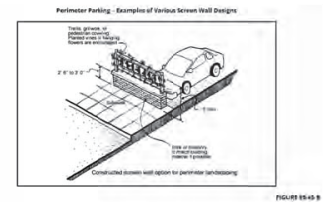
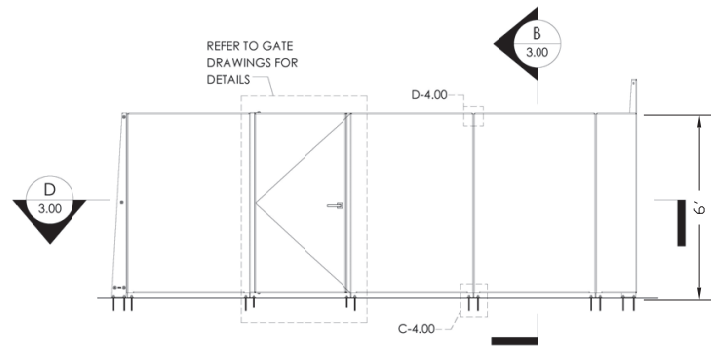
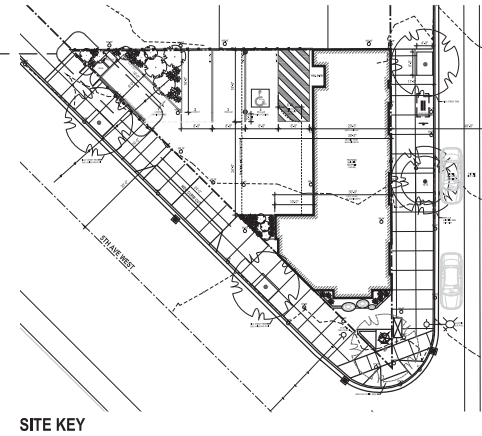
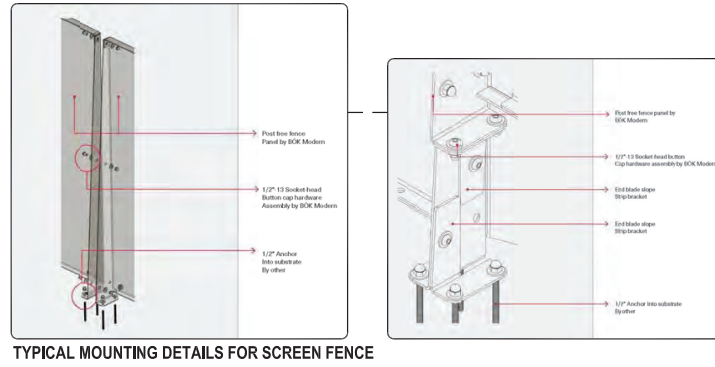
1 Site Plan - Landscape Modification
 Scale: 1/16" = 1'-0"

LAND USE MODIFICATION NARRATIVE:
 [KZC 95.42.2]

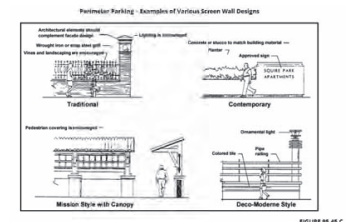
We are requesting a land use modification 95.46.(b) for the required 15 ft buffer at the parking off 5th Avenue. KZC 95.46.(b) states due to the existing topography, other characteristics of the subject property, and the distance of development from the neighboring property, we feel it decreases or eliminates the need for buffering. Due to the challenging characteristics of the triangular site, we first obtained a parking modification **TRAN20-0057**. With the approved parking, we were able to derive our building footprint while meeting minimum requirements in the Kirkland Zoning Code. The 15ft buffer would make parking infeasible due to the triangular site and required parking turn around radius, shown from the approved parking modification (**TRAN20-0057**), to buffer the neighboring residential homes across the street. The 15ft buffer would also make it infeasible to create a useable office space on the ground floor, as well as achieve the 20-30ft required building depth. We have provided a 6ft fence with climbing vines and new street tree, and feel it will be sufficient to provide the visual buffer screen for those units. We have also provided an average of 9ft (or 5ft - 14.5ft) landscaping between the angled stall and the other stalls to provide as much landscape buffering as feasibly possible.

LANDSCAPE
 MODIFICATION
 DESIGN REVIEW RESPONSE

PROJECT ADDRESS: 601 MARKET STREET, KIRKLAND, WA
 ID: DRV22-00693 DATE: DECEMBER 16, 2022 PAGE: 10



TYPICAL ELEVATION FOR SCREEN FENCE



PATTERN SELECTED FOR SCREEN FENCE

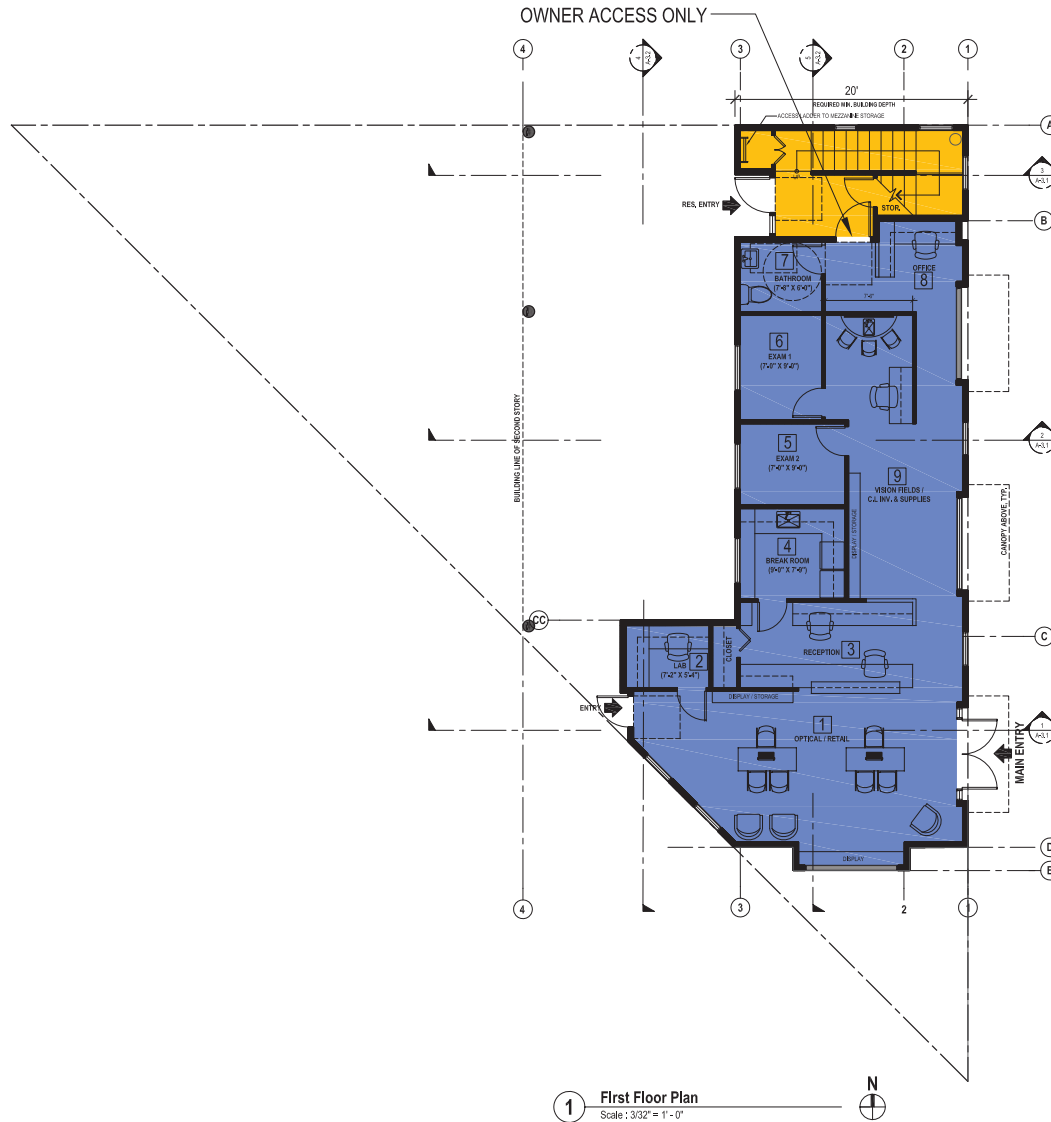


EXAMPLES OF SCREEN FENCE

LANDSCAPE SCREEN WALL DETAILS

DESIGN REVIEW RESPONSE

PROJECT ADDRESS: 601 MARKET STREET, KIRKLAND, WA
ID: DRV22-00693 DATE: DECEMBER 16, 2022 PAGE: 11



1 First Floor Plan
 Scale: 3/32" = 1' - 0"

USE: Mixed-Use

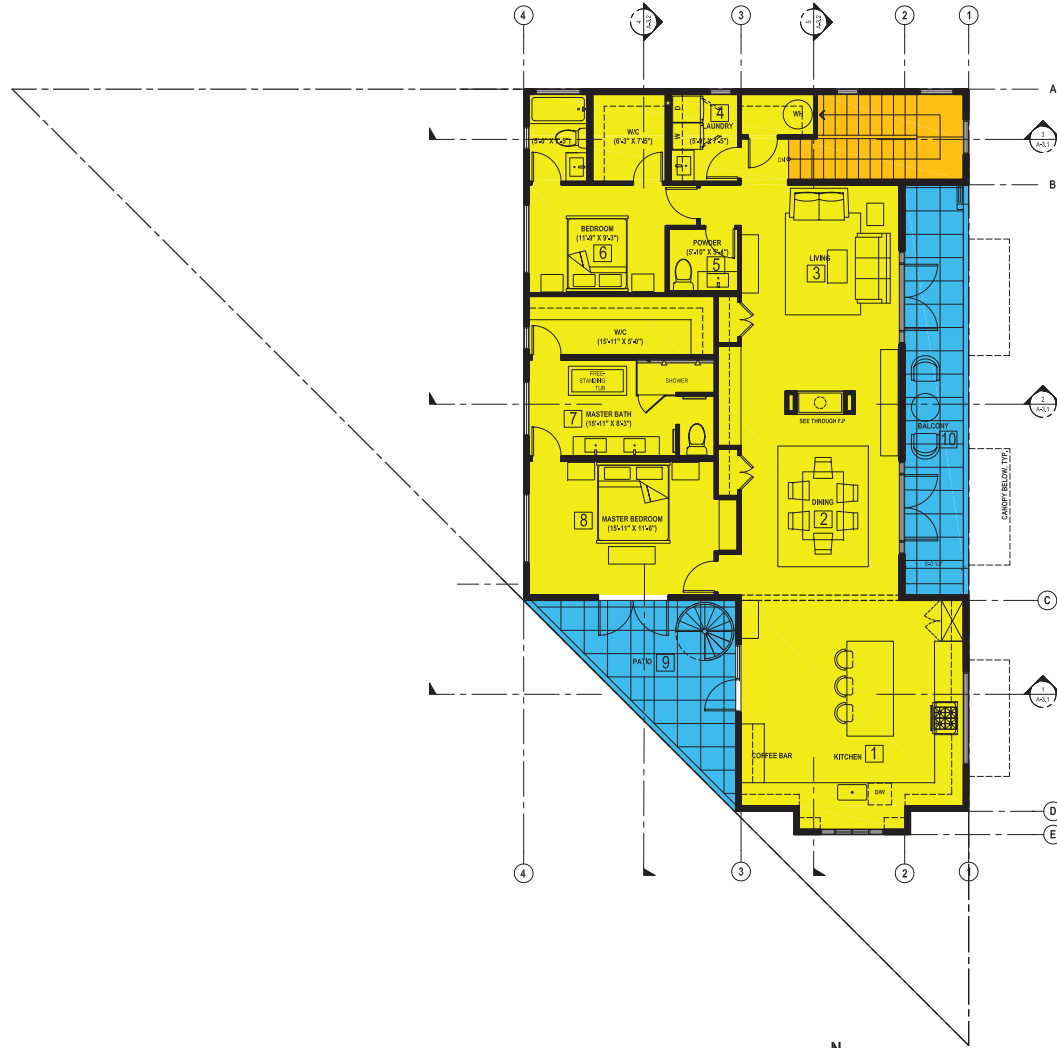
COMMERCIAL (1st Floor):
 Number of Floors: 1
 Square Footage: 1,137 SF (excludes stairs)
 Ceiling Height: 13'

RESIDENTIAL (2nd Floor)
 Number of Floors: 1 + Roof Deck
 Dwelling Units: (1) 2-Bedroom unit
 Square Footage: 1,578 SF
 +143 SF (Stairs)
 +495 SF (Patio Decks)
 +450 SF (Roof Deck)
 Ceiling Height: 10'
 Residential Entry: Off Parking

- KEY NOTES:**
- 1 OPTICAL / RETAIL
 - 2 LAB
 - 3 RECEPTION
 - 4 BREAK ROOM
 - 5 EXAM 2
 - 6 EXAM 1
 - 7 BATHROOM
 - 8 OFFICE
 - 9 VISION FIELDS / C.L. INV. & SUPPLIES

- KEY:**
- COMMERCIAL
 - STAIR

FIRST FLOOR DESIGN REVIEW RESPONSE



1 Second Floor Plan
 Scale: 3/32" = 1'-0"

USE: Mixed-Use

COMMERCIAL (1st Floor):

Number of Floors: 1
 Square Footage: 1,137 SF (excludes stairs)
 Ceiling Height: 13'

RESIDENTIAL (2nd Floor)

Number of Floors: 1 + Roof Deck
 Dwelling Units: (1) 2-Bedroom unit
 Square Footage: 1,578 SF
 +143 SF (Stairs)
 +495 SF (Patio Decks)
 +450 SF (Roof Deck)
 Ceiling Height: 10'
 Residential Entry: Off Parking

KEY NOTES:

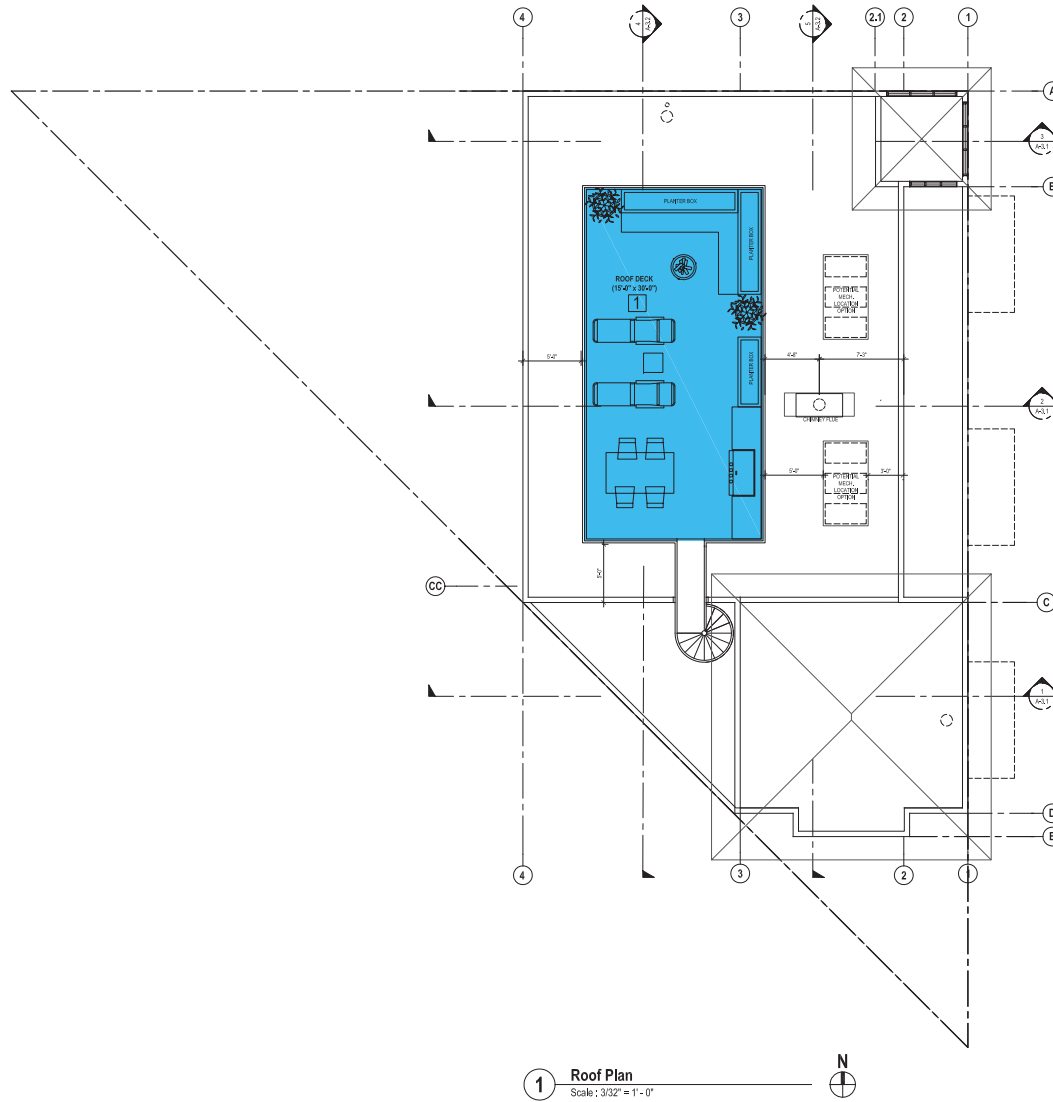
- 1. KITCHEN
- 2. DINING
- 3. LIVING
- 4. LAUNDRY
- 5. POWDER
- 6. BEDROOM
- 7. MASTER BATHROOM
- 8. MASTER BEDROOM
- 9. PATIO
- 10. BALCONY

KEY:

- RESIDENTIAL
- STAIRS
- DECK/BALCONY

SECOND FLOOR
 DESIGN REVIEW RESPONSE

PROJECT ADDRESS: 601 MARKET STREET, KIRKLAND, WA
 ID: DRV22-00693 DATE: DECEMBER 16, 2022 PAGE: 13



KEY NOTES:
1. ROOF DECK - 450 SF

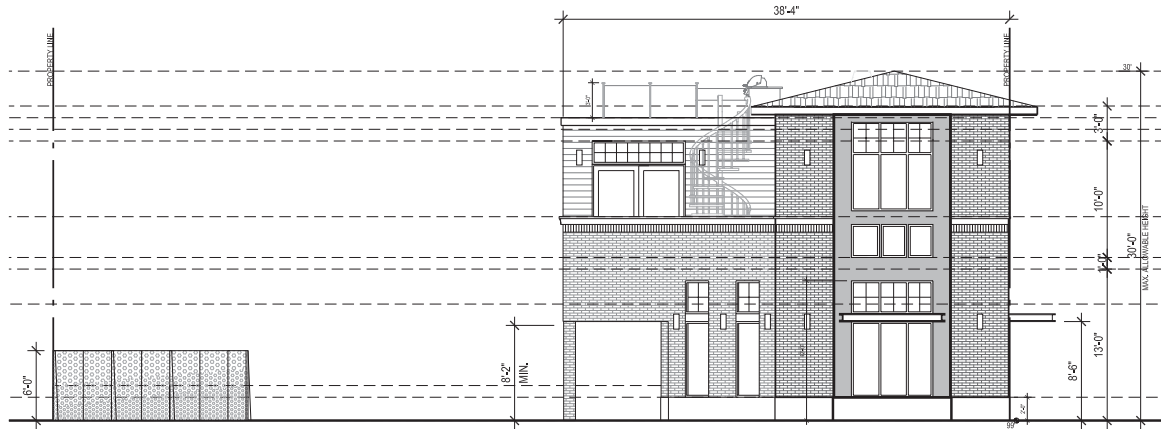
KEY:
[Blue Box] ROOF DECK

1 Roof Plan
Scale: 3/32" = 1' - 0"

ROOF PLAN

DESIGN REVIEW RESPONSE

PROJECT ADDRESS: 601 MARKET STREET, KIRKLAND, WA
ID: DRV22-00693 DATE: DECEMBER 16, 2022 PAGE: 14

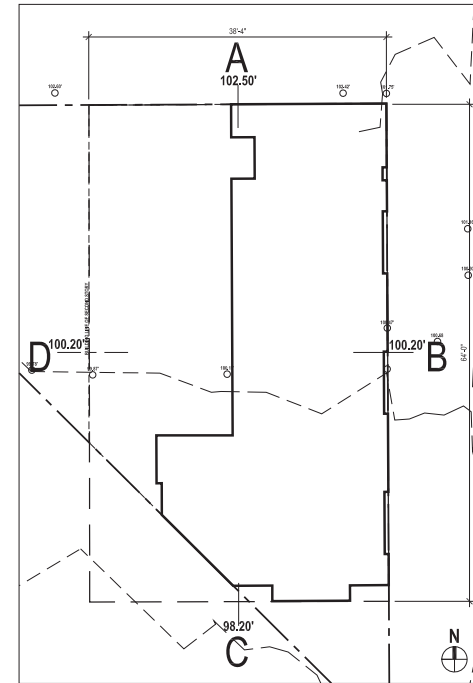


1 South Elevation (corner of Market St and 5th Ave)
Scale: 3/32" = 1'-0"



2 East Elevation (Market Street)
Scale: 3/32" = 1'-0"

SITE KEY: (scale: 1/16" = 1'-0")



AVERAGE BUILDING ELEVATION:
[Per Plate 17A]

A = 102.5° a = 38.33'
B = 100.20° b = 64'
C = 98.20° c = 38.33'
D = 100.20° d = 64'

$$\frac{3928.83 + 6412.8 + 3764 + 6412.8}{38.33+64+38.33+64}$$

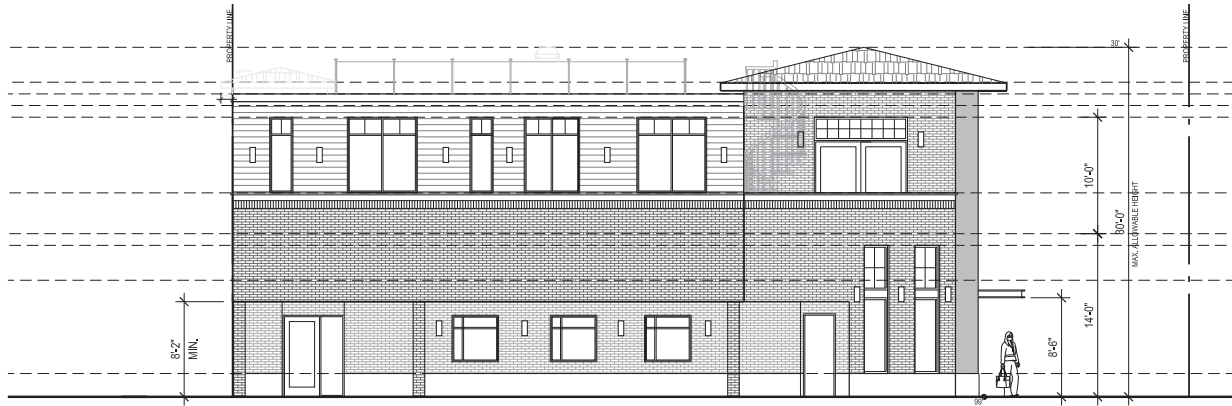
$$= 20,518.43$$

$$204.66$$

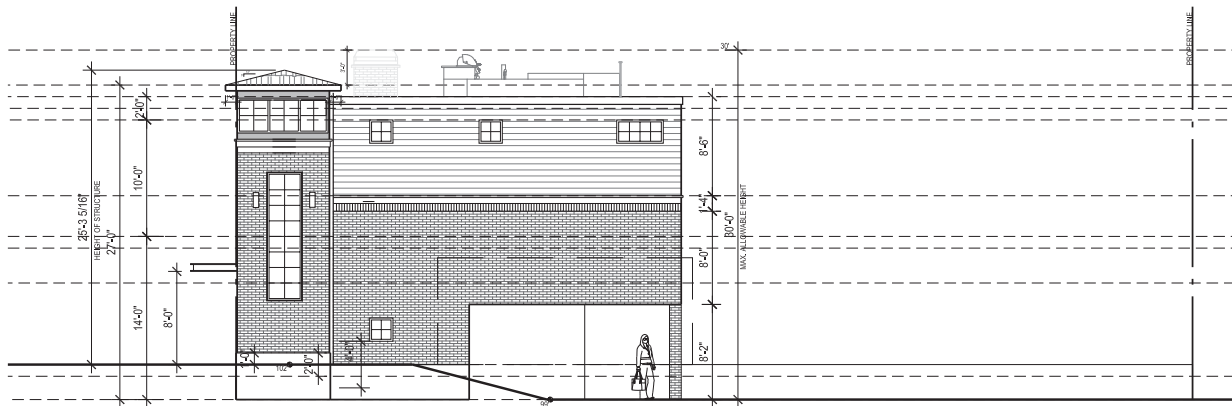
100.26 ABE

ELEVATIONS DESIGN REVIEW RESPONSE

PROJECT ADDRESS: 601 MARKET STREET, KIRKLAND, WA
ID: DRV22-00693 DATE: DECEMBER 16, 2022 PAGE: 15



1 West Elevation (5th Ave)
Scale: 3/32" = 1' - 0"



2 North Elevation
Scale: 3/32" = 1' - 0"

ELEVATIONS DESIGN REVIEW RESPONSE

PROJECT ADDRESS: 601 MARKET STREET, KIRKLAND, WA
ID: DRV22-00693 DATE: DECEMBER 16, 2022 PAGE: 16



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

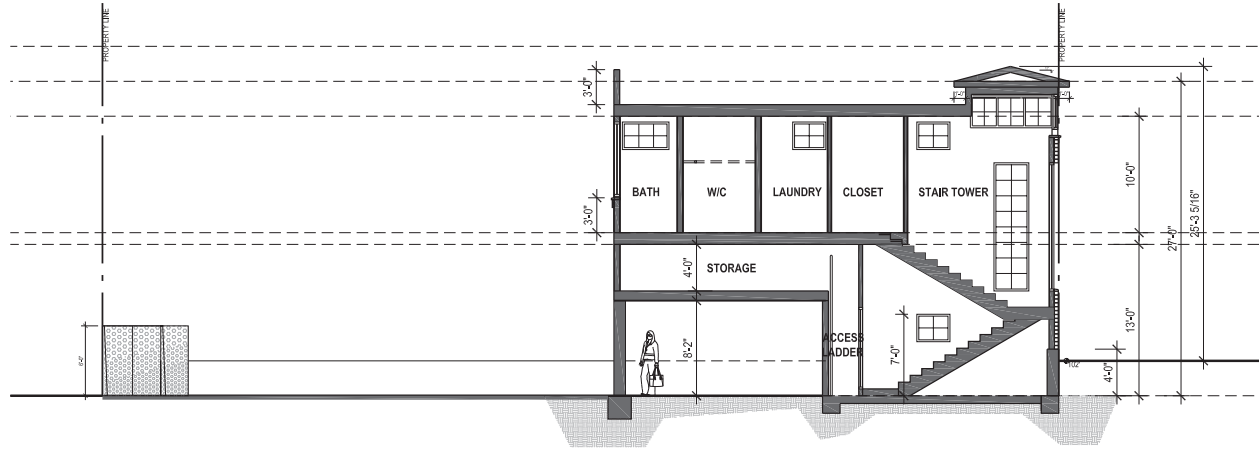


WEST ELEVATION

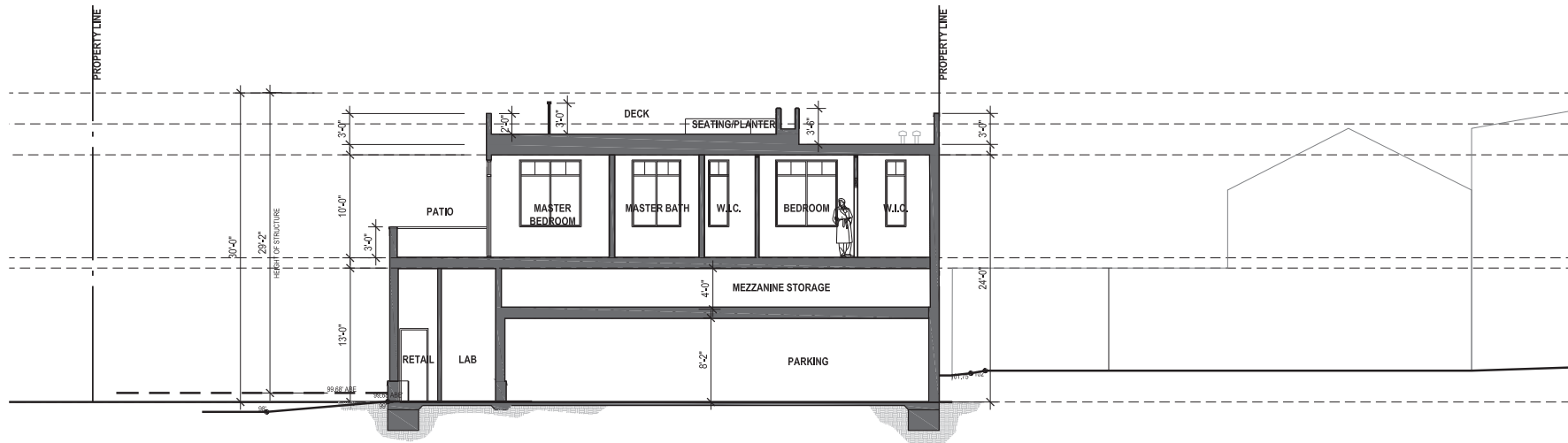
ELEVATIONS

DESIGN REVIEW RESPONSE

PROJECT ADDRESS: 601 MARKET STREET KIRKLAND, WA
ID: DRV22-00693 DATE: DECEMBER 16, 2022 PAGE: 10



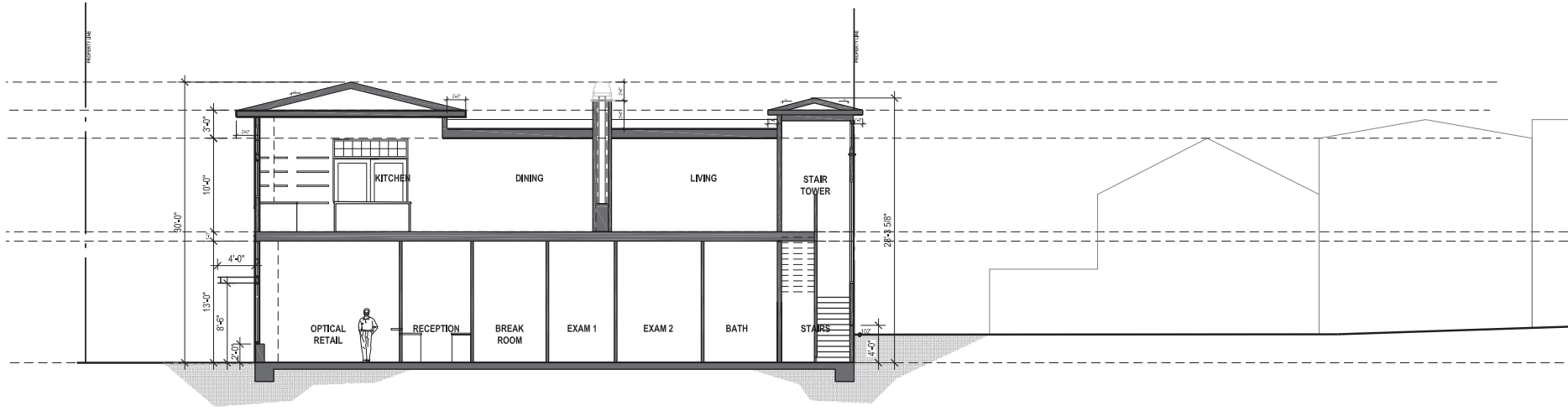
1 Section 3
 Scale: 3/32" = 1' - 0"



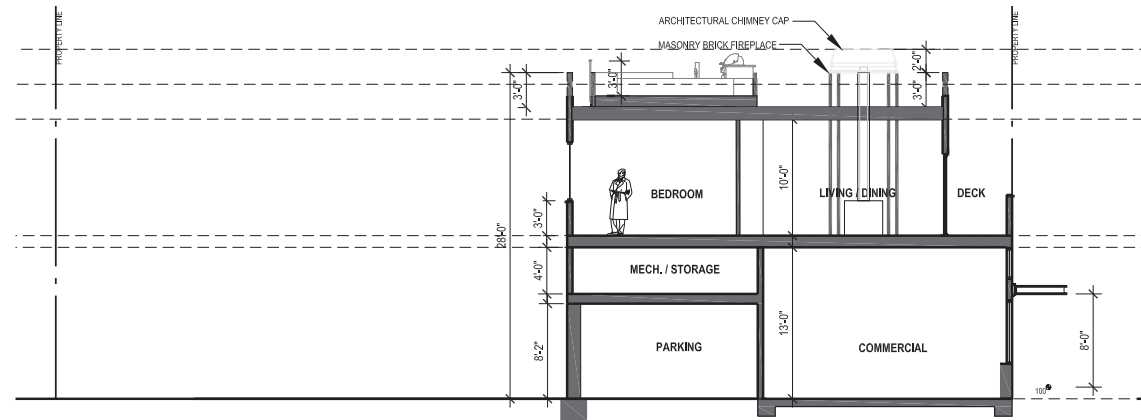
2 Section 4
 Scale: 3/32" = 1' - 0"

SECTIONS
DESIGN REVIEW RESPONSE

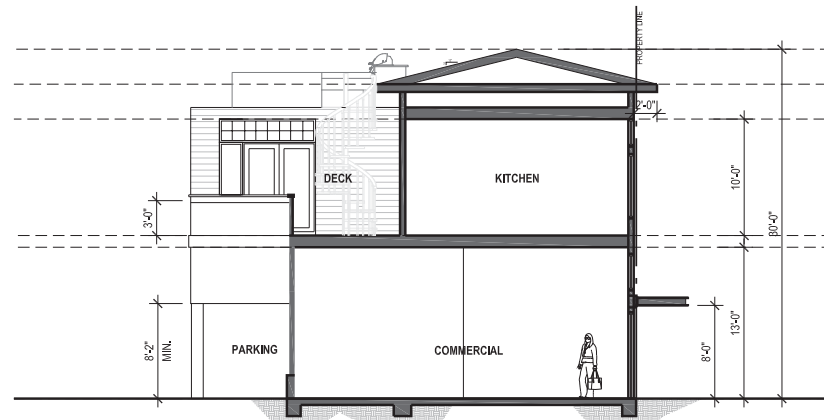
PROJECT ADDRESS: 601 MARKET STREET, KIRKLAND, WA
 ID: DRV22-00693 DATE: DECEMBER 16, 2022 PAGE: 18



1 Section 5
 Scale: 3/32" = 1' - 0"



2 Section 1
 Scale: 3/32" = 1' - 0"



3 Section 2
 Scale: 3/32" = 1' - 0"

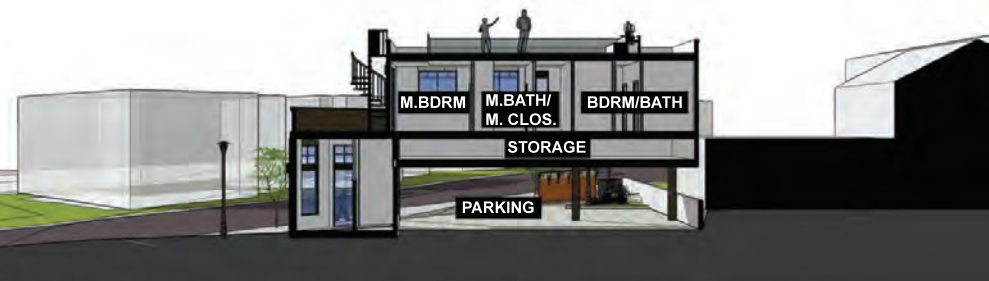
SECTIONS

DESIGN REVIEW RESPONSE

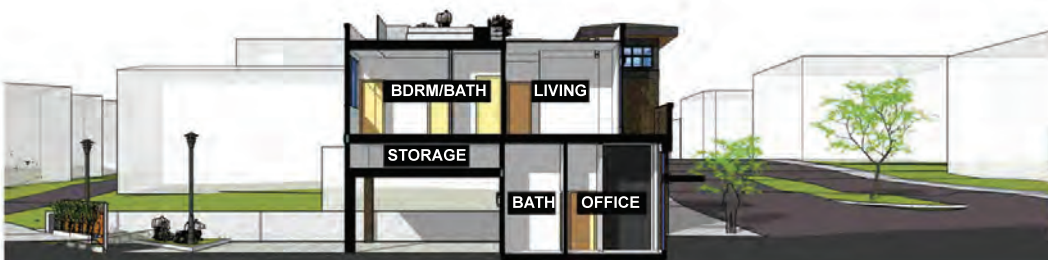
PROJECT ADDRESS: 601 MARKET STREET, KIRKLAND, WA
 ID: DRV22-00693 DATE: DECEMBER 16, 2022 PAGE: 19



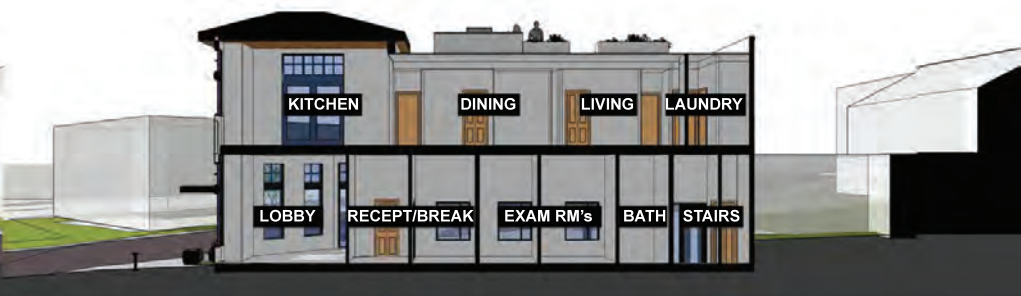
SECTION - A



SECTION - C



SECTION - B



SECTION - D

SECTIONS

DESIGN REVIEW RESPONSE

PROJECT ADDRESS: 601 MARKET STREET KIRKLAND, WA
ID: DRV22-00693 DATE: SEPTEMBER 16, 2022 PAGE: 20



NORTH-EAST PERSPECTIVE - CORNER OF MARKET STREET & 5TH AVE W.



SOUTH-EAST PERSPECTIVE - MARKET STREET



NORTH-WEST PERSPECTIVE - 5TH AVE W.



SOUTH-WEST PERSPECTIVE - 5TH AVE W.

PERSPECTIVES

DESIGN REVIEW RESPONSE

PROJECT ADDRESS: 601 MARKET STREET KIRKLAND, WA
ID: DRV22-00693 DATE: DECEMBER 16, 2022 PAGE: 21



1



2



3



4

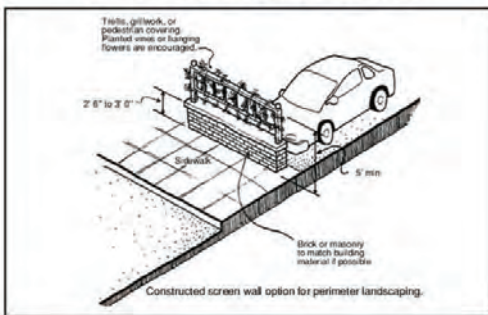


5



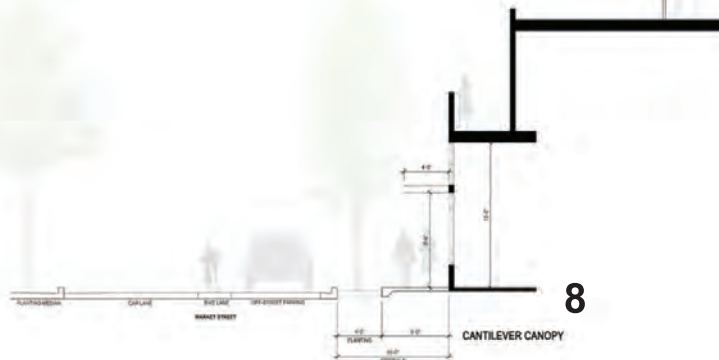
6

Perimeter Parking - Examples of Various Screen Wall Designs



7

FIGURE 95.45.B



8

SHEET INDEX:

- 1 - CORNER POCKET PLAZA
- 2 - APPROACH FROM CORNER OF MARKET ST
- 3 - APPROACH FROM ACROSS MARKET STREET
- 4 - COMMERCIAL ENTRANCE FROM 5TH AVE W
- 5 - APPROACH FROM NORTH OF MARKET STREET
- 6 - VIEW FROM ROOFTOP TERRACE
- 7 - PARKING SCREEN WALL
- 8 - CANOPY SECTION

PEDESTRIAN EXPERIENCE

DESIGN REVIEW RESPONSE

PROJECT ADDRESS: 601 MARKET STREET KIRKLAND, WA
ID: DRV22-00693 DATE: DECEMBER 16, 2022 PAGE: 22



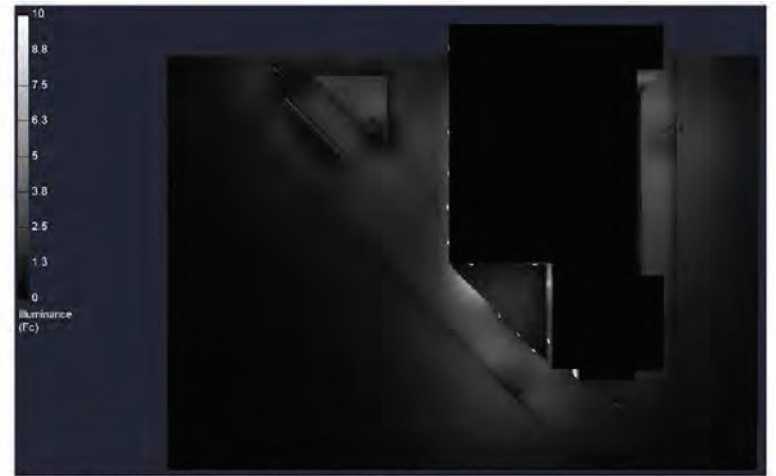
RENDERING - LOOKING NW - GREY SCALE
PHOTOMETRICS - PERSPECTIVE



SITE LIGHTING - TRADITIONAL-MODERN

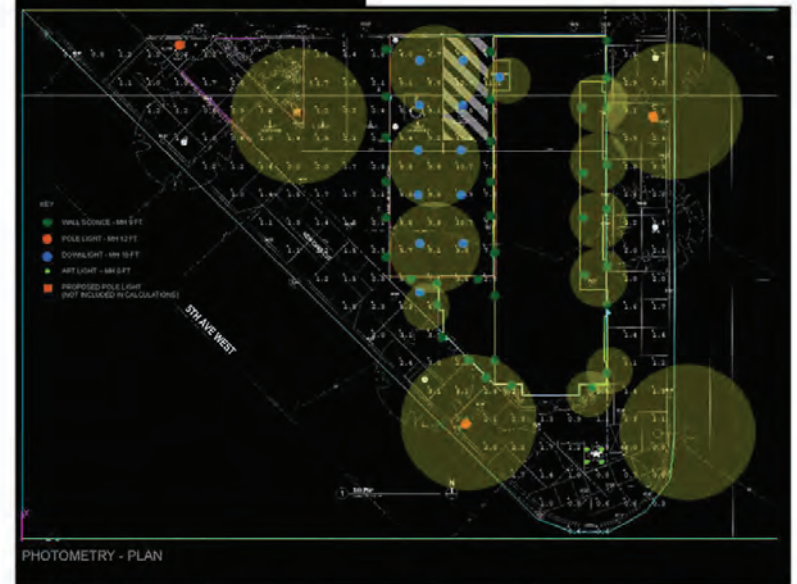


WALL MOUNTED SCONCE - TRADITIONAL-MODERN



RENDERING - PLAN VIEW - GREY SCALE
PHOTOMETRICS - SITE PLAN

PHOTOMETRIC CALCULATIONS
REFLECTANCE (F/W/C) 0.5
CALCULATIONS TAKEN AT GROUND LEVEL (0'-0")

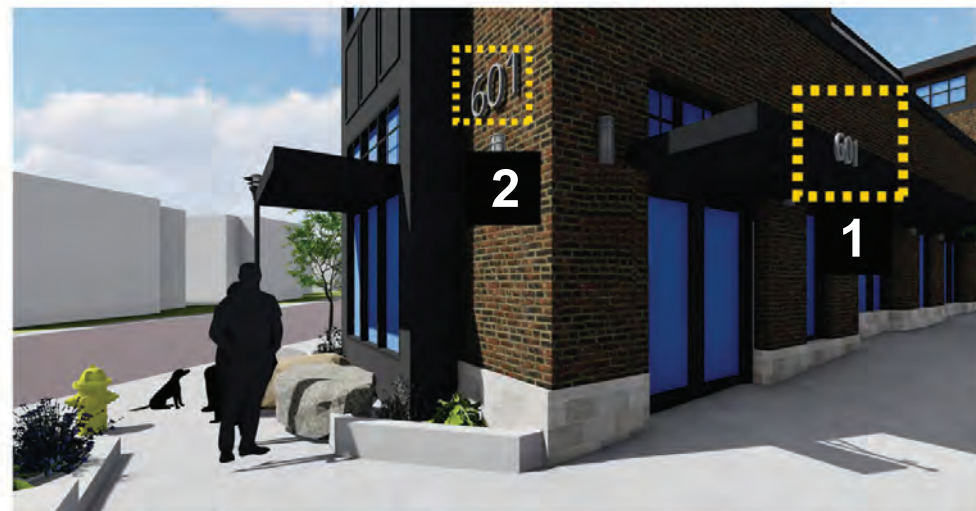
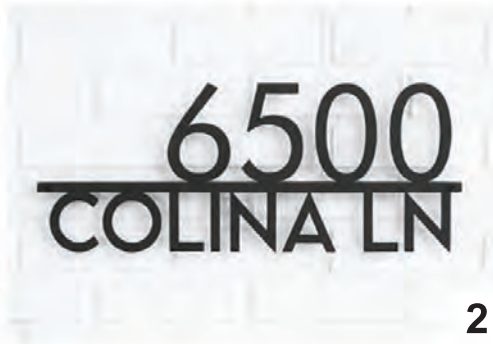


PHOTOMETRICS - SITE PLAN

LIGHTING

DESIGN REVIEW RESPONSE

PROJECT ADDRESS: 601 MARKET STREET KIRKLAND, WA
ID: DRV22-0693 DATE: DECEMBER 16, 2022 PAGE: 23

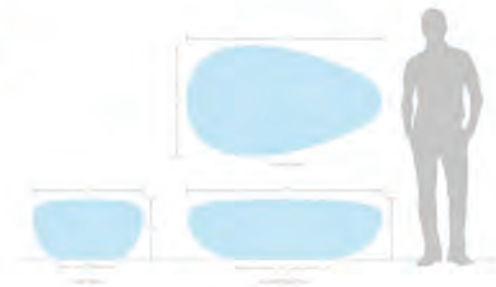


PROPOSED SIGNAGE LOCATIONS:
1 - BUSINESS SIGN - AWNING
2 - ADDRESS SIGN

SIGNAGE

DESIGN REVIEW RESPONSE

PROJECT ADDRESS: 601 MARKET STREET KIRKLAND, WA
ID: DRV22-00693 DATE: DECEMBER 16, 2022 PAGE: 24



Q2-KERNELL

SEATING - QCP "STONE EGG"



SCULPTURE - TROY PILLOWS STUDIO (SEATTLE / LOCAL ARTIST)

(EXACT SCULPTURE TO BE DETERMINED)



KEY

ARTWORK

DESIGN REVIEW RESPONSE

ARCHITECTURAL CONCRETE



1



4

BRICK COLOR (or SIMILAR)



LAP SIDING

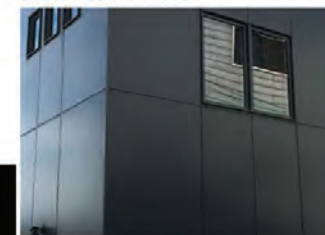


2



5

FIBER CEMENT PANEL



STOREFRONT



3



6

WINDOW LITES



MATERIALS

DESIGN REVIEW RESPONSE

PROJECT ADDRESS: 601 MARKET STREET KIRKLAND, WA
ID: DRV22-00693 DATE: SEPTEMBER 16, 2022 PAGE: 26

A. SCALE

MASSING:

1. Explore massing options with a combination of options 1 + 3.
2. Masonry patterning and material transition between office and residential uses.
3. Detailed massing at stairwell.
4. Properly show how grading of Market Street will impact building's elevations.
5. Discuss compliance with the rooftop appurtenances requirements (KZC 115.120) and provide details on screening, height, and aesthetics.
6. Encourage creating a massing that ties into the historic nature and existing buildings along the Market Street Corridor.
7. Varied window treatments encouraged. Large showcase windows for storefront displays to increase pedestrian interest.
8. Vertical building modulation to add variety.
9. Horizontal building modulation. Strong pedestrian-oriented elements at ground level and distinctive roof treatments.
10. Market Street Corridor: Window treatment in the historical district should reflect the existing historic building in the district.

RESPONSE:

Massing options to combine 1 & 2 were explored. The proposed massing reflects the scale and massing of option 1, which was a full block historical mass, along with preferred option 3, which was a modern historical mass that set back the residential space from the commercial.

The proposed massing emphasized a prominent corner not only as a gateway to the Market Street corridor when entering Market Street from the South, but also to mimic the full block historical architectural features similar to the existing buildings in the historical district. The South corner tower and the height of the North stair tower along Market Street enables the commercial level to reflect the historical architectural brick, while still achieving the setback of the residential and providing as much terrace space without compromising the Owner approved floor plans. The towers also mimic the residential units adjacent to the property both next to and across the street from the site. The materials and architectural elements will blend well and integrate into the neighborhood fabric seamlessly, and if not also, providing a gateway to the corridor and district, marrying both modern and historical aspects Kirkland.

B. PARKING LOT LOCATION & DESIGN

PARKING & LANDSCAPE SCREENING:

Due to the property size and shape, the project will need a modification from the Design Review Board to the street level building depth as permitted through KZC 51.28.4.a. The DRB questioned the ability for the proposed lab area be expanded to increase the overall ground floor depth. Explore any abilities to expand the ground floor as much as possible while maintaining compliance with the approved parking modification (TRAN20-00557) and minimum dimensional standards for parking stalls and vehicle turn around space.

The property is also subject to vegetative buffer standards per KZC 95. The Board discussed these regulations and identified a need for detailed and effective screening to comply with KZC 95 and the Design Guidelines for the Market Street Corridor.

RESPONSE:

The challenging triangular building site and existing dangerous conditions of the drive-through parking lot provided opportunity to provide a viable solution, while also maintaining zoning and minimum building depths required of the city of Kirkland.

The parking was established with parking modification TRAN20-0057. This approved parking modification was also derived and influenced by the required minimum building depth of 20ft along Market Street. The minimum lengths, number of stalls, and compact to standard ratio were all achieved and approved in the approved modification. The second level cantilevers over the parking to provide as much building depth as possible to achieve more than the minimum 20ft building depth required in KZC 51.28.4.a.

The vegetative buffer complies with KZC 95 as a 5ft landscaping screen wall along the parking is provided, similar to what is shown in fig. 95.45.B.

C. BUILDING MATERIAL, COLOR, AND DETAIL

MATERIALS:

1. Incorporate the project into the fabric of the historic corridor along Market Street. Provide options and material details
2. Ornament and applied art should be integrated with the structures and the site environment. Emphasis on highlighting building features such as doors, windows, eaves, and on materials such as wood siding and ornamental masonry. Ornament may take the form of traditional or contemporary elements. Original artwork or hand-crafted details should be considered in special areas.
3. Color schemes should adhere to the guidelines. Where appropriate, use the natural colors of materials such as brick, stone, tile, and stained wood (painted wood is acceptable). Use only high-quality coatings for concrete. Consider the color of neighboring buildings when selecting colors for new buildings.
4. Buildings should be designed to architecturally enhance building corners.
5. Special Considerations for the Market Street Corridor: Emphasis on building features such as doors, windows, cornice treatment, bricks, and ornamental masonry should be taken into consideration when designing new or remodeled buildings in the historic district. These features should be in keeping with the building's materials, colors, and details of the existing historic buildings.
6. Special Considerations for the Market Street Corridor: Electrical signs are not allowed along the Market Street Corridor. Signs within the historic district should reflect historic nature of the buildings in the area.

RESPONSE:

The colors, materials, signage, lighting, window lites, and other architectural details and features were chosen to reflect the existing historical buildings as well as connect with the adjacent neighboring residential units.

DESIGN REVIEW RESPONSE TO COMMENTS

DESIGN REVIEW RESPONSE

PROJECT ADDRESS: 601 MARKET STREET KIRKLAND, WA
ID: DRV22-00693 DATE: SEPTEMBER 16, 2022 PAGE: 27

D. PEDESTRIAN ORIENTED ELEMENTS

PEDESTRIAN EXPERIENCE:

1. Maximize the proposed pocket plaza along the south façade of the building, include significant details of the pedestrian space including seating, pavement materials, and landscaping.
2. Suggested installation of French doors from the building out to the pedestrian space and moving the display area onto the Market Street façade for more visibility.
3. Art installation from a local artist.
4. Installation of bike parking on Market Street to best support the existing bike lane.
5. All building entries should be well lit. Building facades in pedestrian areas should provide lighting to walkways and sidewalks through building-mounted lights, canopy, or awning-mounted lights, and display window lights. Encourage variety in the use of light fixtures to give visual variety from one building façade to the next. Backlit or internally lit translucent awnings should be prohibited.
6. Successful pedestrian-oriented plazas are generally located in sunny areas along a well-traveled pedestrian route. Plazas must provide plenty of sitting areas and amenities and give people a sense of enclosure and safety.
7. Blank walls should be avoided near sidewalks, parks, the Cross Kirkland Corridor and Eastside Rail Corridor, and pedestrian areas. Where unavoidable, blank walls should be treated with landscaping, art, or other architectural treatments.
8. Kirkland should continue its tradition of encouraging public art pieces.

RESPONSE:

To keep the pocket plaza more open and uninterrupted from business circulation, the entrance was kept on Market Street, which allowed for more open space in the corner plaza for public use. The display case was then kept so it can be viewed or enjoyed while seated.

The pocket plaza emphasizes sculptural "egg" stone seating for public use. The pedestal incorporated in the landscaping plan is intended for a sculptural art piece. A local sculptural artist from Seattle is depicted in the proposal. Bike parking was always included along Market Street and is shown in the pedestrian experience renders, as well as the landscape and site plans. Lighting photometrics are presented to show optimal site lighting in the parking, 5th Ave. W., and Market Street, as well as, along the building facade and upper terraces.

E. ITEMS REQUIRED FOR DESIGN RESPONSE CONFERENCE

DESIGN REVIEW ITEMS:

1. Exhibit detailing the ground floor dimensions and narrative addressing the ground floor depth modification request.
2. Exhibit detailing the required parking stall dimensions, drive aisle dimensions, turning radius dimensions, and how these requirements may or may not impact the ability to expand the ground floor space.
3. Security and safety for the residential space – Describe safety and security measures for the residential space and highlight occupancy restrictions.
4. Detailed elevations that properly show the grade of Market Street and highlighting façade treatments, masonry patterning, colors, and material transitions from the office to the residential uses.
5. Provide a materials board with sample colors and material treatments. Since the Board is continuing to hold virtual meetings, this should be dropped off at City Hall in advance of the Design Response Conference so that the Board members have an opportunity to stop by City Hall prior to the meeting.
6. Include building sections showing not only the proposed structure, but also neighboring buildings.
7. Finalize the landscape plan making sure to focus on the parking screening required landscape buffers, and the pedestrian space.
8. Details of any display areas along Market Street and/or adjacent to the pedestrian space.
9. 3-D model of the project with adjacent buildings and landscaping

RESPONSE:

1. The site plan and building depth exhibit depicts all dimensions that comply with the approved parking modification, parking code minimums, and minimum depth requirements.
3. The residential space is owner occupied. The residential and commercial spaces have separate entrances for privacy and security.
4. All elevations, especially the East elevation along Market Street is depicted in the proposal with accurate grade and dimensions along with how the masonry base would transition as the grade increases to the North.
5. Material selections are provided in the proposal and samples will be sent to the Design Review Board for review.
6. Building sections have been included in the proposal and show the neighboring buildings.
7. The landscape buffer exhibit, landscape screen wall fence detail sheet, and the landscape plan are included in the proposal. Parking screening to comply with Fig. 95.45.B, with 5ft high landscaped fencing and climbing vines.
8. Pedestrian experience sheet provides renders of the proposal which show pedestrian approaches to the proposed building.
9. All renders show adjacent buildings, landscaping, and grade.

DESIGN REVIEW RESPONSE TO COMMENTS CONTINUED

DESIGN REVIEW RESPONSE