



CITY OF KIRKLAND
Planning and Building Department
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MEMORANDUM

To: Design Review Board
From: Aoife Blake, Associate Planner
Date: November 24, 2020
File No.: DRV20-00187
Subject: **108TH OFFICE PROJECT
DESIGN RESPONSE CONFERENCE**

I. MEETING GOALS

At the December 7 Design Review Board (DRB) meeting, the DRB should continue the 108th Office Project Design Response Conference from November 2, 2020 and determine if the project is consistent with the design guidelines contained in Design Guidelines for Pedestrian Oriented Business Districts, as adopted in Kirkland Municipal Code (KMC) Section 3.30.040.

During the Design Response Conference, the DRB should provide feedback on the items that were brought up by the DRB at the November 7, 2020 meeting.

II. PROPOSAL

The subject property is located at 6700 108th Avenue NE (see Attachment 1). Dustin Thorlakson with Freiheit Architecture has applied for a Design Response Conference for a new office development on the subject property (see Attachment 2). The project consists of a 3-story office building, totaling 8,688 square feet, with two stories of office space above a level of structured parking with 28 parking stalls and lobby access. Vehicular access is proposed from 108th Avenue NE.

III. DESIGN RESPONSE CONFERENCE

The Design Review Board reviews projects for consistency with design guidelines for pedestrian-oriented business districts, as adopted in Kirkland Municipal Code Chapter 3.30.

In response to the DRB comments made at the Design Response Conference meeting on November 2, 2020, the applicant has submitted a revised design package dated November 18, 2020 (see Attachment 2). The list below summarizes the key points that the DRB discussed at the previous meeting.

A. Pedestrian-Oriented Elements

- Blank Wall Treatment:

The DRB requested the applicant to utilize treatments along the south façade of the building to minimize the blank walls.

Staff Analysis: Pages 25, 26, & 29 of the plan set submitted by the applicant (see Attachment 2) illustrate how the applicant has treated the blank wall along the south façade. The plans show the slate colored 2" flex metal panel on the west façade return and continue approximately 12.5 feet along the south façade, breaking up appearance of the south wall of the entry tower.

- Entrance Canopy: The Board requested that the entryway canopy extend in line with the zoning code requirements to provide a pedestrian friendly experience
Staff Analysis: The revised plans show a canopy over the main entry point extending 5 feet in depth and running approximately 24.5 feet in length, the full extent of the entryway tower.
- Lighting: The Board requested an exterior lighting plan and fixture locations.
Staff Analysis: The applicant has provided this on page 21 of the plan set. The proposed lighting fixture is shown on page 20.

B. Building Materials, Color and Details

- Front Façade: The Board requested that the material and finishes of the following items be revised to provide a more cohesive look and feel to the front façade:
 - Fin wall separating the compact stall from the garage
 - Trash doors
 - Exterior lobby wall that returns into the garage

Staff Analysis: The revised plans show the fin wall and the exterior lobby wall to be treated with stone siding, the same siding that is proposed on the entry tower. The trash doors are proposed to be painted with a color that will match the stone siding (see pages 18-19, 22, 26-27, & 29-30 of Attachment 2).

- Glass Railing: The Board expressed concern regarding potential glare issues from the glass railing along the deck perimeter.
Staff Analysis: The revised plans show the glass railing along the deck perimeter setback from the building edge by approximately 4.5 feet to address the concern of glare (see pages 8, 11, 17, 26-27, & 29-30 of Attachment 2).
- Metal/Hardi Panel Siding: The Board expressed concern regarding the siding material and requested that the applicant provide more detail on how the material will be installed to create a pattern or otherwise.

Staff Analysis: The plans propose two different types of metal panel siding, hardi-panel siding and a stone siding for the project. The metal panel siding is to be installed vertically to create two different vertical patterns along the north and west façades (see page 19 & 22-31 of Attachment 2). Along the east and south facades, a hardi-panel siding is proposed to be installed in a vertical grid pattern. The stone siding is proposed to be installed around the entry tower in a horizontal grid pattern (see page 18-19 & 22-31 of Attachment 2).

- Colors: The Board expressed concern regarding the darkness of the color palette, especially on the north façade with the use of the dark bronze metal panel. The Board suggested brightening up this facade by using lighter colors and/or lighting. *Staff Analysis: The revised plans show the metal panels along the north wall to be a metallic champagne color instead of dark bronze to brighten up this façade (see pages 18, 23-24, & 27-30 of Attachment 2). Samples of these colors have been included in this packet. Also, a number of light fixtures are proposed along the north façade to address this concern (see page 20 of Attachment 2).*

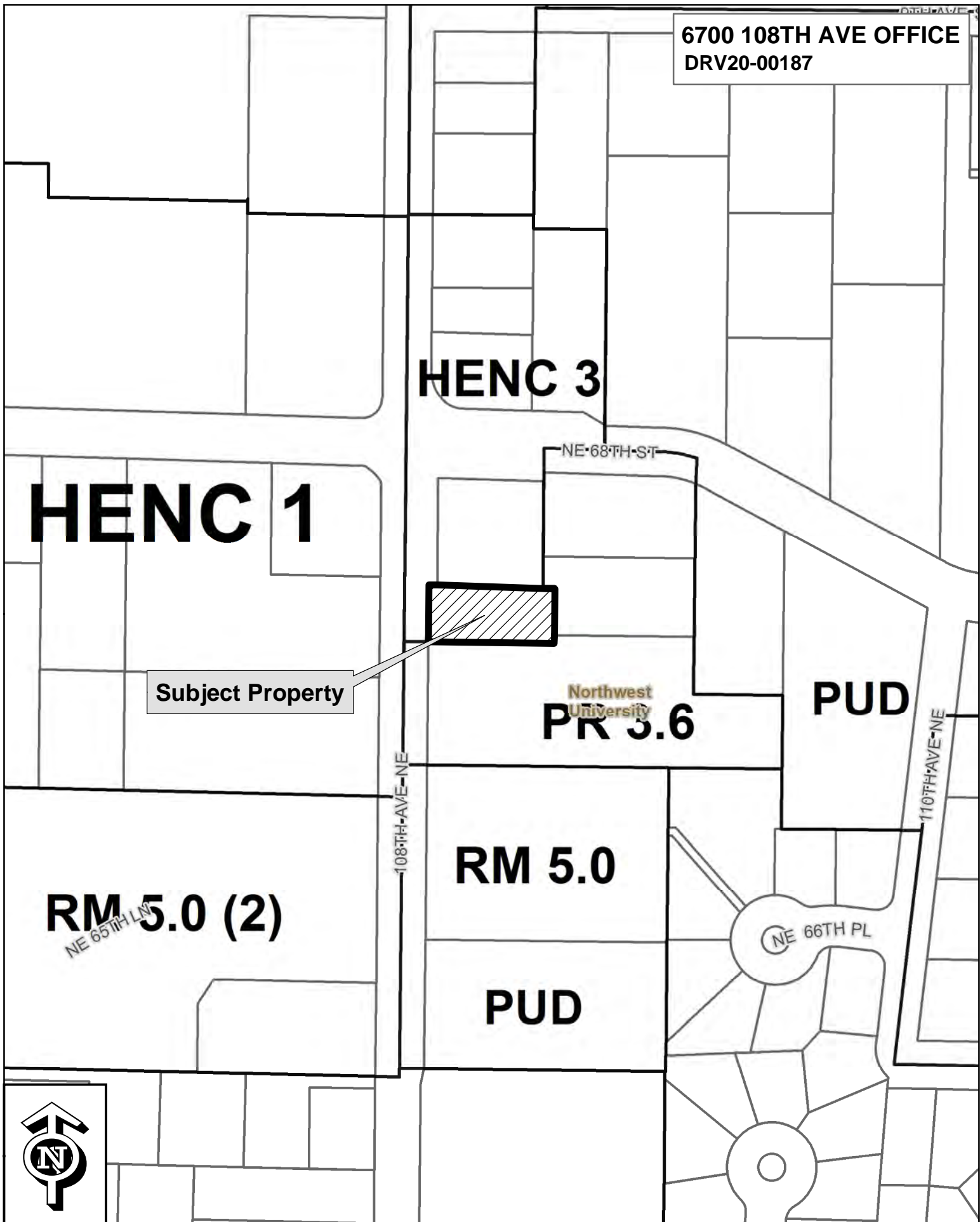
C. Landscaping

DRB Discussion: The DRB was satisfied with the proposed landscaping plan but expressed some concern about the screening of the compact stall in front of the building from the right-of-way and the placement of the landscaping with regards to future corridor improvements along 108th Avenue NE.

Staff Analysis: The landscape plan and species list has been revised to include a Hicks Yew shrub along the west side of the compact parking stall in front of the building (see sheets 13-14 & 19 of Attachment 2). This is intended to screen the compact stall from the right-of-way and is located outside of 12-foot easement for potential corridor improvements along 108th Avenue NE.

IV. ATTACHMENTS

1. Vicinity Map
2. Applicant Proposal dated November 18, 2020





2	PROJECT INFORMATION
3	LOCATION OVERVIEW
4 - 6	SITE CONTEXT & ZONING
7	SURVEY OF SITE
8	SITE PLAN
9	SITE SECTIONS
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11	GROSS FLOOR AREA CALCS
12	LOT COVERAGE DIAGRAM
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21	LIGHTING
22 - 25	ELEVATIONS
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32	PROJECT INFORMATION

PROJECT INFORMATION

BUILDING GROSS AREA

1st Floor:	229 SF
2nd Floor:	4,744 SF
3rd Floor:	3,715 SF
TOTAL:	8,688 SF

PARKING REQUIREMENTS

Gross Area / 300 SF per Stall
8,700 SF / 300 SF per Stall = 29 Stalls
Parking credit due to bicycle parking (-1 Stall)
Required Parking Stalls = 28 Stalls

LOT COVERAGE

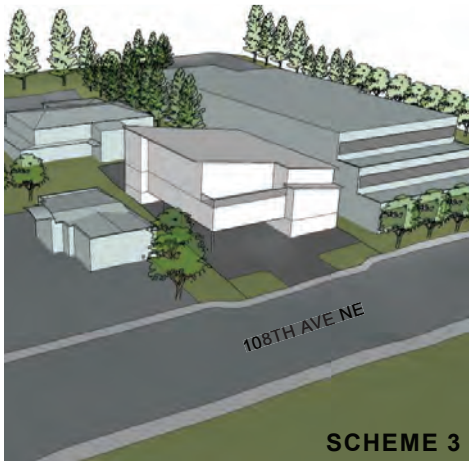
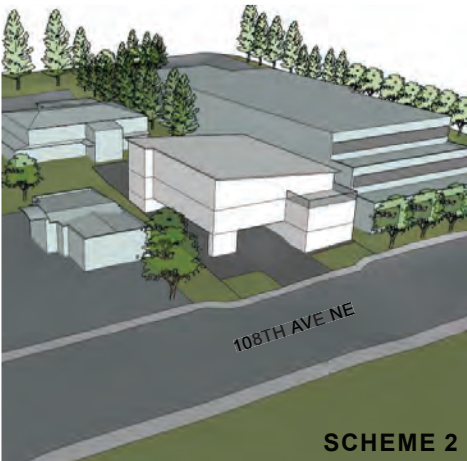
Site Area:	10,632 SF
Lot Coverage:	79.56%

PARKING PROVIDED

Compact:	14 Stalls
Standard:	14 Stalls
TOTAL:	28 Stalls

BUILDING HEIGHT

ABE:	214' 8"
Top of Roof:	244' 8"
Top of Mechanical:	248' 8"



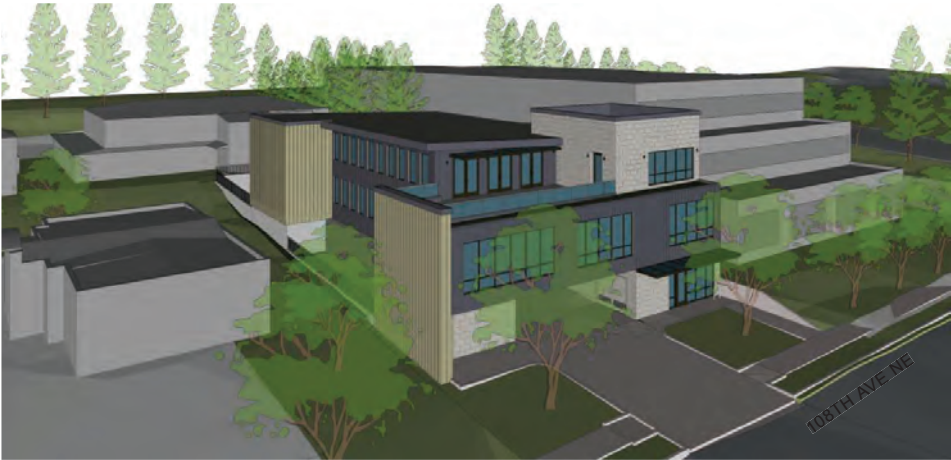
CONCEPTUAL DESIGN CONFERENCE

The proposed design represented here is an evolution of schemes 2 & 3 from the Conceptual Design Conference. The board indicated that either of these conceptual designs could form the basis for the project.

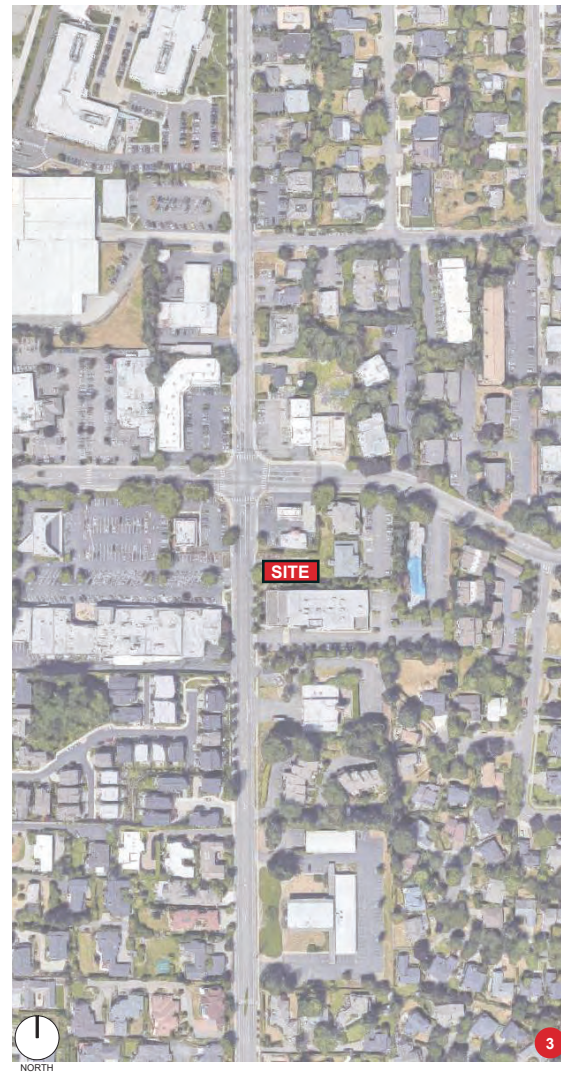
The building has evolved since the previous meeting and now incorporates a main entry element on the south west corner of the property. This mass also serves as the rooftop mechanical screen. Instead of having the entire entry element project beyond the front façade as was previously designed, the second floor façade continues all the way across the front elevation in order to meet the required 5' minimum upper level stepback. The north portion of the façade steps back further in order to meet the required 15' average stepback and provide a rooftop deck for tenant use.

The structural system used is concrete shear walls and steel columns on the ground level, with steel and glu-lam beams on the tenant floors. Exterior materials are a mix of metal panels and stone tile with a low-slope standing seam roof.

Overall, the look and feel of the project fits into the local context of office buildings along 6th street and provides a great building to the neighborhood on a previous under utilized site.

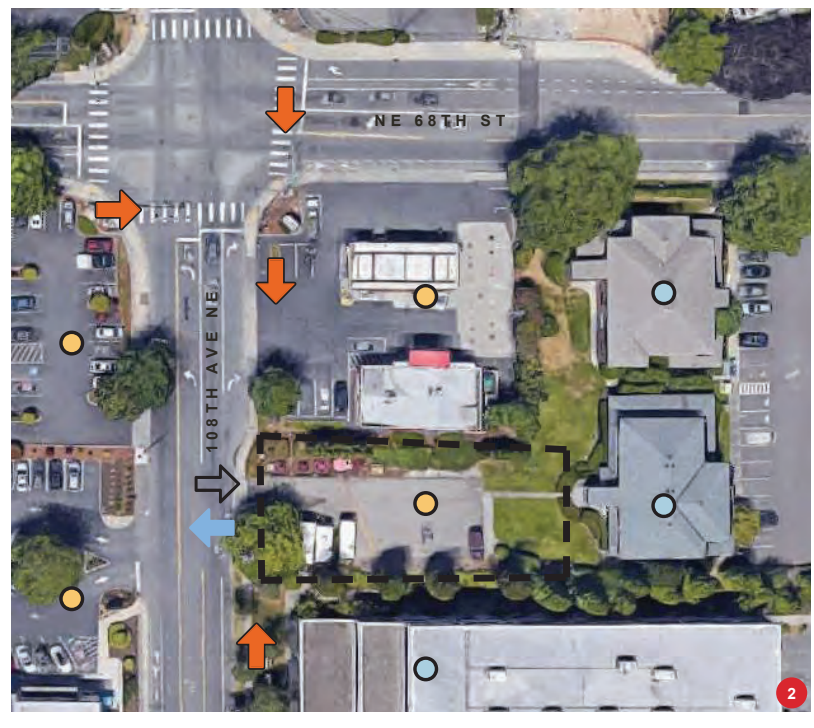


DESIGN RESPONSE CONFERENCE



- 1 Current Site, Looking SE across 108th
- 2 Current Site, Looking N from 108th
- 3 Vicinity Map

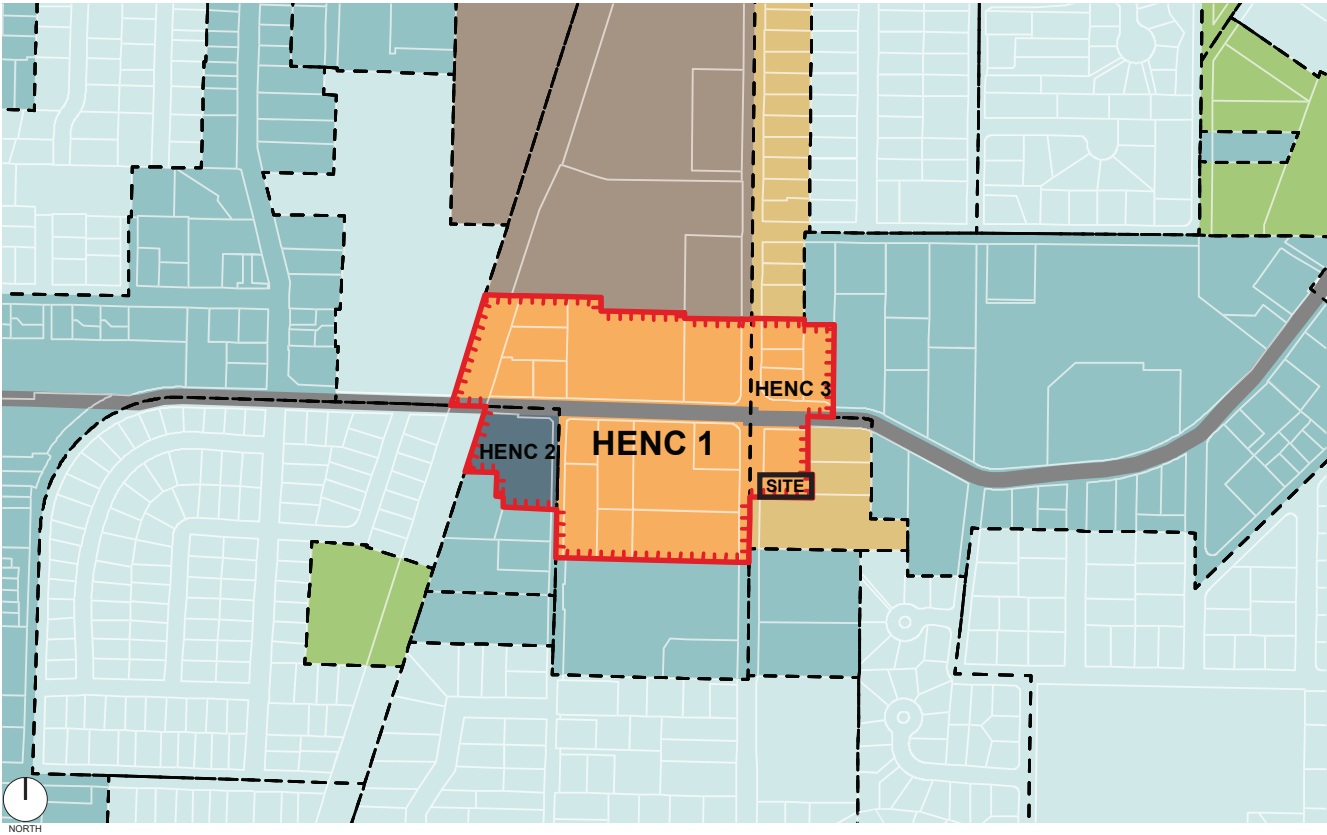
- 1 Site Vicinity Connections
- 2 Site Access & Adjacent Uses



- Site
- Primary Street
- Bus Stop
- Commercial
- Office
- Pedestrian Access
- Existing Vehicle Access
- Views to Lake Washington

A18-158 SITE CONTEXT: ACCESS
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ZONING & SURROUNDING AREAS



ZONING REQUIREMENTS FOR HENC 3

SETBACKS

Front: 10'
Side: 0'
Rear: 0'

*Minimum 14-foot-wide sidewalks are required along 106th Avenue NE, 108th Avenue NE and 6th Street South on the side of the right-of-way that abuts HENC 1; and on both sides of NE 68th Street.

HEIGHT LIMITS

30' above A.B.E.

*Adjacent to NE 68th Street, 106th Avenue NE, 108th Avenue NE, 6th Street South and the Cross Kirkland Corridor (CKC), any portion of a structure greater than two stories in height must be stepped back from the facade below by an average of 15 feet with a minimum step back of five feet.

LOT COVERAGE

80%

PROPOSED USE

Office Use - Allowed with Design Review

PARKING REQUIREMENTS

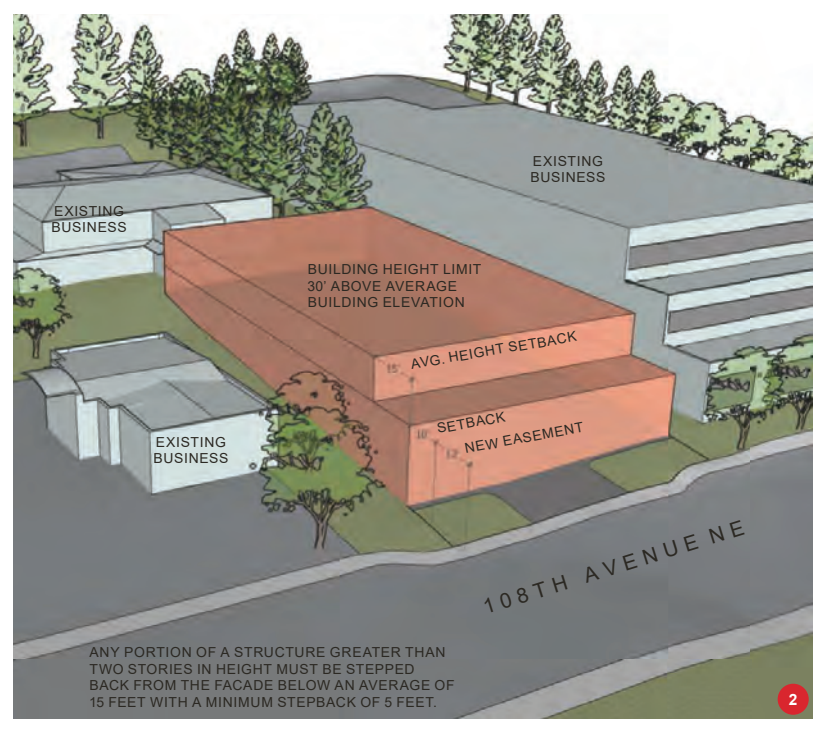
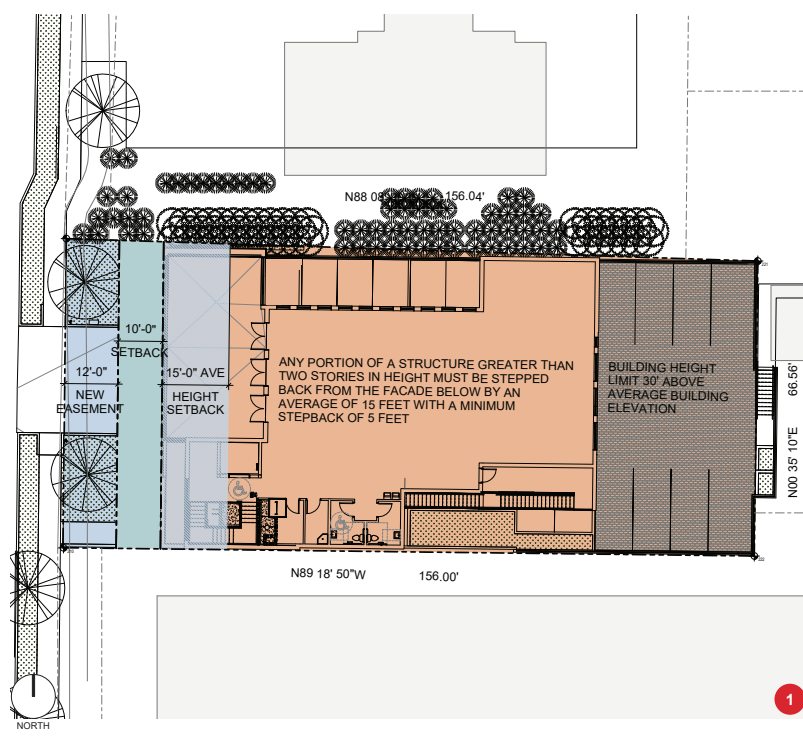
1 space required per 300 sq.ft. of gross floor area.

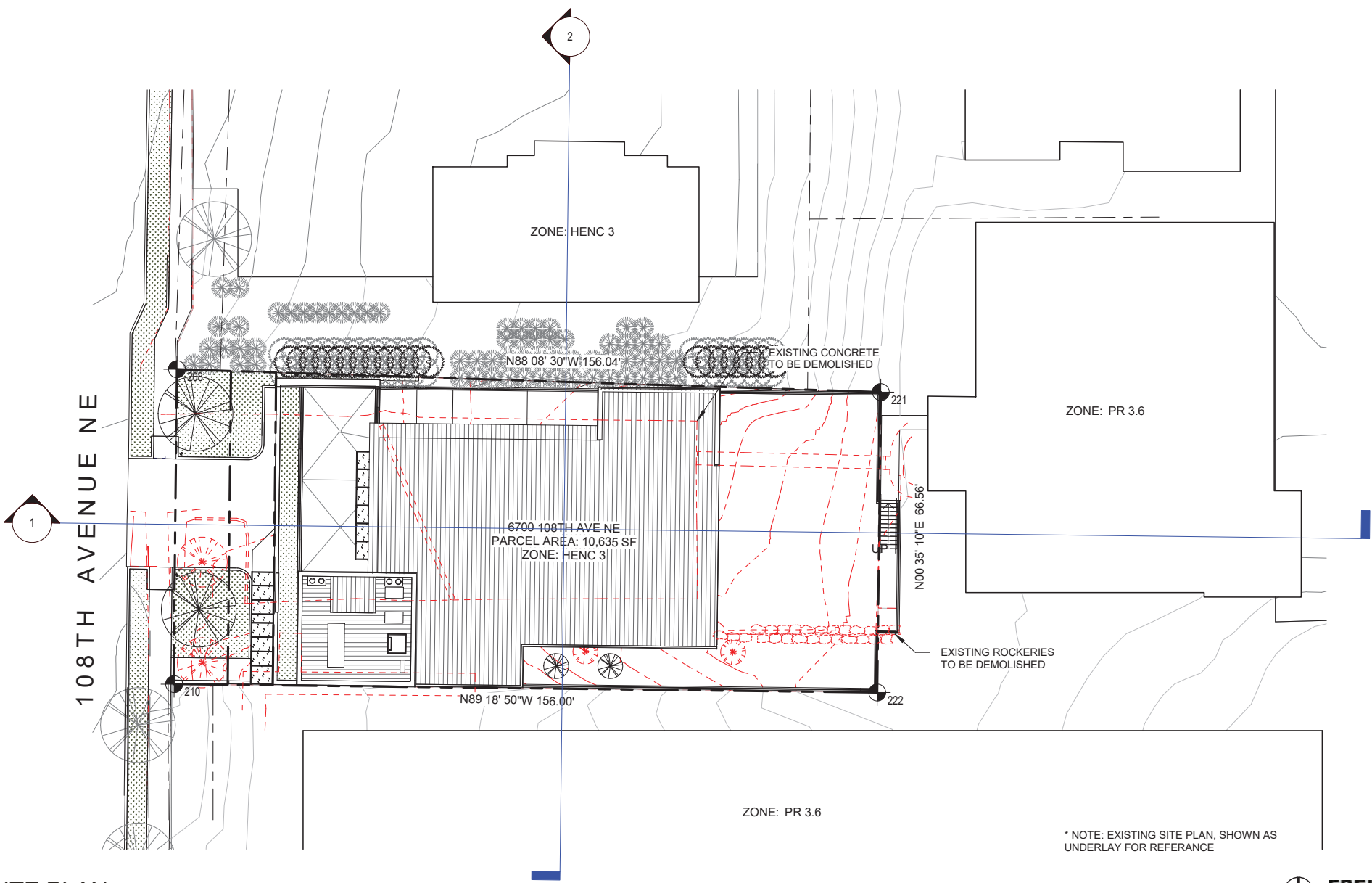
May develop & designate up to 50% compact stalls.

Barrier free parking standards per Washington State regulations for barrier-free.

	Low Density Residential		Parks
	Medium Density Residential		Commercial Mixed Use
	High Density Residential		Office Mixed Use
	Design District		Industrial Mixed Use

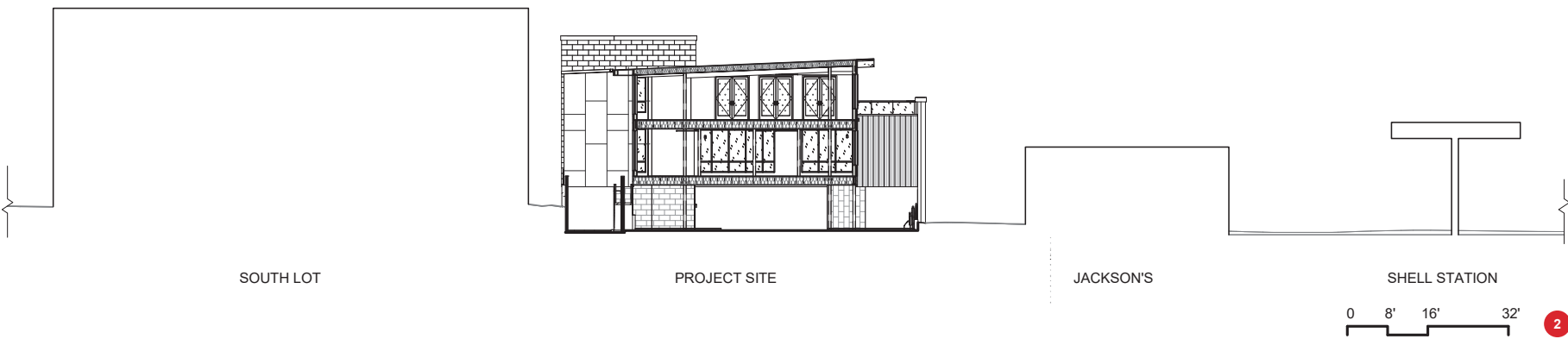
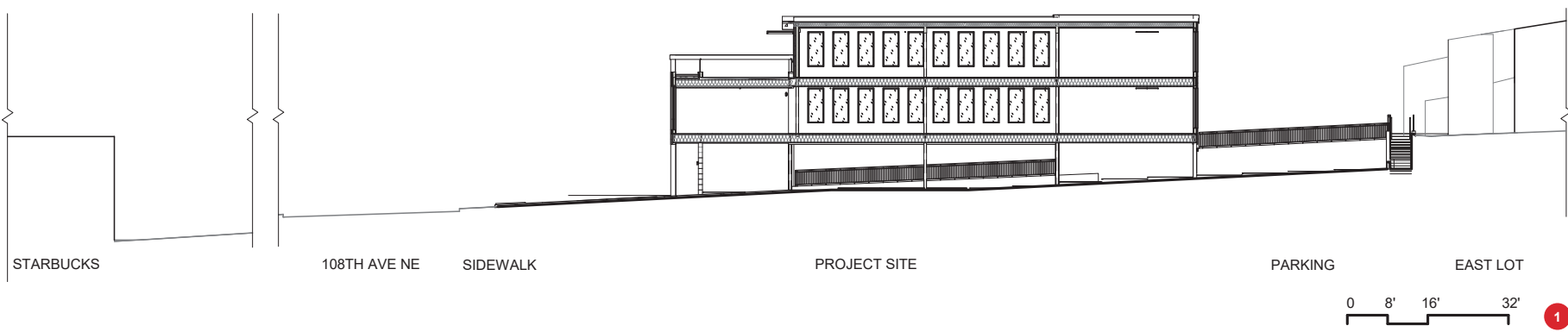
- 1 Zoning Envelope Plan Diagram
- 2 Zoning Envelope Aerial Diagram

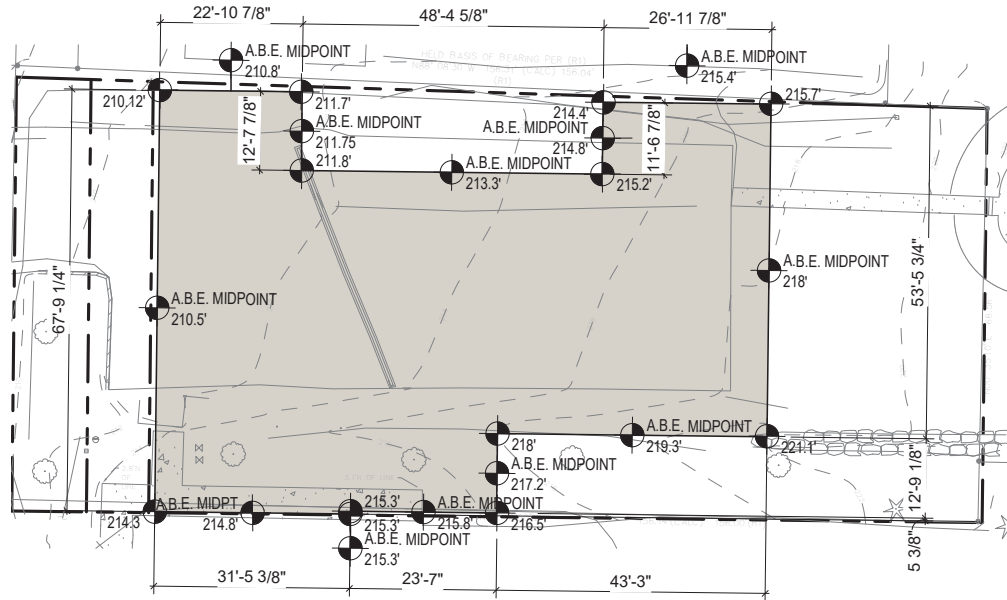




A19-158 SITE PLAN
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- 1 East-West Site Section
- 2 North-South Site Section





AVERAGE BUILDING ELEVATION (A.B.E.) CALCULATIONS

+210.8	x	22.9	4,827.32
+211.75	x	12.7	2,689.23
+213.3	x	48.4	10,323.72
+214.8	x	11.6	2,491.68
+215.4	x	27.0	5,815.80
+218	x	53.5	11,663.00
+219.3	x	43.25	9,484.73
+217.2	x	12.8	2,780.16
+215.8	x	23.6	5,092.88
+215.3	x	0.4	86.12
+214.8	x	31.4	6,744.72
+210.5	x	67.8	14,271.90
TOTAL			76,271.26

TOTAL / PERIMETER = 76,271.26 / 355.35' = 214.637' = 214'-7.64" A.B.E.

MAX BUILDING HEIGHT ALLOWABLE

PER KZC 35.30 DENSITY/DIMENSIONS TABLE - COMMERCIAL ZONES (INCLUDES HENC-3)
OFFICE USE MAXIMUM HEIGHT OF STRUCTURES: 30'-0" ABOVE A.B.E.

	<u>ALLOWED MAXIMUM</u>	<u>PROPOSED</u>
BUILDING HEIGHT:	244'-7 16/25"	244'-7 19/32"
MECH SCREENING HEIGHT:	248'-7 16/25"	248'-7 19/32"

AVERAGE GRADE PLANE CALCULATIONS

CALCULATIONS COMPLETED PER IBC 2012 CODE COMMENTARY FIGURE 202(24)

NORTH ELEVATION		WEST ELEVATION	
$((210.12 + 211.7)/2) \times 22.9 =$	4,829.84	$((214.3 + 210.12)/2) \times 67.8 =$	14,387.84
$((211.7 + 211.8)/2) \times 12.7 =$	2,689.23		
$((211.8 + 215.2)/2) \times 48.4 =$	10,333.40		14,387.84
$((215.2 + 214.4)/2) \times 11.6 =$	2,491.68		
$((214.4 + 215.7)/2) \times 27 =$	5,806.35		
<hr/>		<hr/>	
	26,150.50		
<hr/>		<hr/>	
EAST ELEVATION		SOUTH ELEVATION	
$((215.7 + 221.1)/2) \times 53.5 =$	11,684.40	$((216.5 + 215.3)/2) \times 23.6 =$	5,095.24
$((221.1 + 218)/2) \times 43.25 =$	9,495.54	$((215.3 + 215.3)/2) \times 0.4 =$	86.12
$((218 + 216.5)/2) \times 12.8 =$	2,780.80	$((215.3 + 214.3)/2) \times 31.4 =$	6,744.72
<hr/>		<hr/>	
	23,960.74		11,926.08

26,150.50 + 23,960.74 + 14,387.84 + 11,926.08 = TOTAL = 76,425.16'
PERIMETER OF BUILDING = 355.35'

AVERAGE GRADE PLANE = TOTAL/PERIMETER = 76,425.16'/355.35' = 215.07' = 215'-0.8"

FIRST FLOOR ELEVATION IS 211' - 0"
FIRST FLOOR IS 4'-0.8" BELOW AVERAGE GRADE PLANE



KZC TABLE 40.40.160 DEVELOPMENT STANDARDS

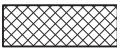


1 VEHICLE STALL REQUIRED PER 300 GROSS FLOOR AREA

GROSS FLOOR AREA: 229 + 4,744 + 3,715 = 8,688 GSF

BUILDING GROSS FLOOR AREA / 300 = MINIMUM REQUIRED VEHICLE STALLS
8,688 GSF / 300 = 28.96 = 29 VEHICLE STALL MINIMUM

(BASE BLDG CALC)	<u>REGULAR</u>	<u>COMPACT</u>	<u>ACCESSIBLE</u>	<u>BICYCLE CREDIT</u>
VEHICLE STALLS:	12	14	2	1
TOTAL PARKING STALLS:	<u>REQUIRED</u>	<u>PROPOSED</u>		
	28	28		

LEGEND - LOT COVERAGE

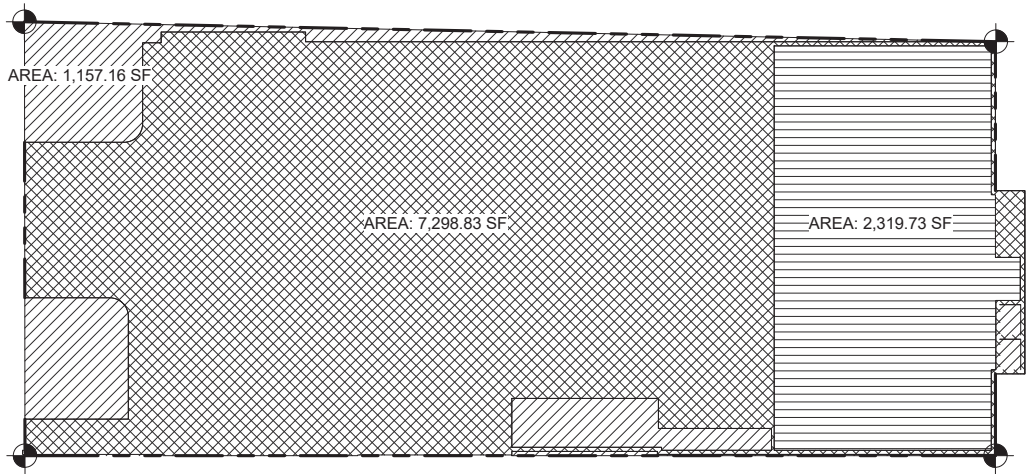
	IMPERVIOUS AREA EX: ASPHALT, CONCRETE, ETC
	50% PERMEABLE EX: 10"x10" PAVERS, ETC
	PERMEABLE SURFACE EX: LANDSCAPING, PLANTING, GRASS, ETC

LOT COVERAGE CALCULATIONS

PER KZC TABLE 35.30 DENSITY/DIMENSIONS – COMMERCIAL ZONES (INCLUDING HENC-3)

TOTAL AREA:	10,632.00 SF
COVERAGE ALLOWED:	80.00%
TOTAL LOT COVERAGE ALLOWED:	8,505.60 SF
IMPERVIOUS AREA:	7,220.44 SF
SEMI-PERMEABLE*:	1,144.75 SF
TOTAL AREA PROPOSED:	8,365.19 SF
COVERAGE PROPOSED:	78.68%

* Permeable surfaces counted at 50% coverage, per Kirkland Municipal Code 115.90.3, up to a maximum site reduction of 10%





- 1 Entry Drive
- 2 Planting Area
- 3 Permeable Paving
- 4 Pedestrian Access
- 5 Specimen Tree



Hypericum frondosum 'Sunburst'
Sunburst Hypericum



Deschampsia cespitosa
Tufted Hair Grass



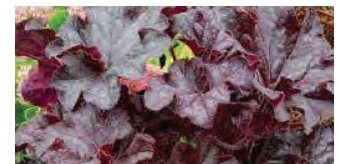
Polystichum munitum
Western Sword Fern



Spiraea japonica 'Neon Flash'
Neon Flash Spirea



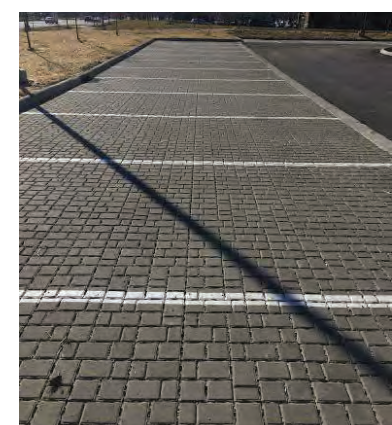
Salvia x sylvestris 'May Night'
May Night Sage



Heuchera villosa 'Tneugh'
Grande Black Coral Bells



Stewartia Pseudocamellia
Japanese Stewartia



Permeable Paving

CONCEPTUAL SITE PLAN AND PRECEDENT IMAGERY

6700 108TH AVENUE, NE | KIRKLAND, WASHINGTON | 11/18/2020

Brumbaugh & Associates
ARCHITECTS















FREIHEIT
ARCHITECTURE

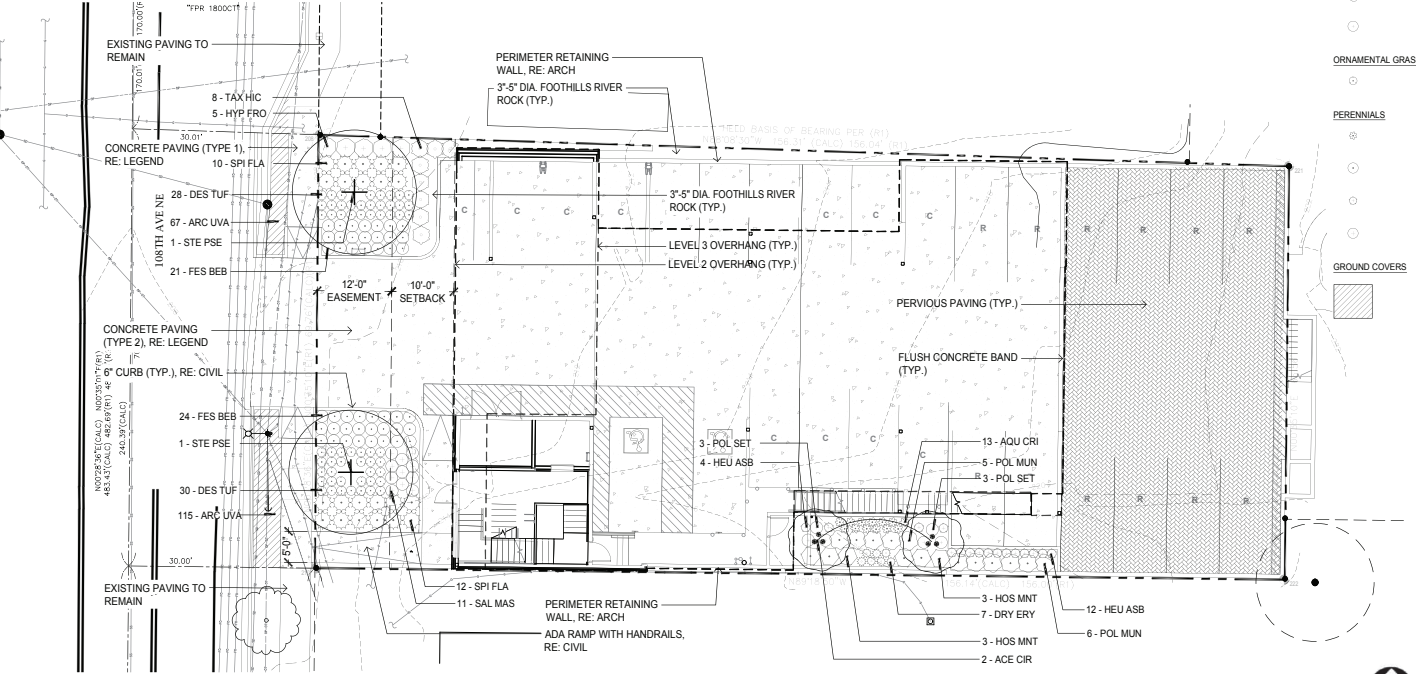
PAVING / MATERIALS LEGEND - SITE	
SYMBOL	DESCRIPTION
	CONCRETE PAVING (TYPE 1) - C.I.P CONCRETE, SCORE PATTERN PER PLANS, LIGHT BROOM FINISH, NATURAL COLOR
	CONCRETE PAVING (TYPE 2) - VEHICULAR C.I.P CONCRETE, SCORE PATTERN PER PLANS, LIGHT BROOM FINISH, NATURAL COLOR
	GRASSPAVE2 POROUS GRASS PAVER BY INVISIBLE STRUCTURES, INC.
	ECO-LINE PERMEABLE PAVERS BY UNILOCK
	3"-5" DIA. MEXICAN BEACH PEBBLES, AS SUPPLIED BY MARENAKOS ROCK CENTER

LANDSCAPE NOTES:

- GROUND COVER SHALL EXTEND UNDER ALL TREE AND SHRUB CANOPIES AT THE SPECIFIED SPACING TO PROVIDE COMPLETE COVERAGE IN ALL PLANTING BEDS DESIGNATED TO RECEIVE GROUND COVER.
- ALL NEW LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND SYSTEM.
- IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT OF ANY FIELD CHANGES TO THE SITE PLANS WHICH MAY REQUIRE ADJUSTMENT OF DESIGN.
- REFER TO CIVIL ENGINEERING DRAWINGS FOR GRADING AND DRAINAGE INFORMATION FOR ON GRADE ONLY. IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT OF ANY ADVERSE DRAINAGE CONDITIONS WHICH MAY AFFECT THE HEALTH OF PLANT MATERIAL.
- NO PRE-EMERGENT HERBICIDES SHALL BE USED ON THE PROJECT SITE DURING THE FIRST YEAR WARRANTY PERIOD.
- ALL TREES SHALL MAINTAIN AN 8' SEPARATION FROM STORM, SEWER, WATER LINES, METERS, AND UTILITIES. IF LESS THAN 8' IS PROVIDED, A 4" SEPARATION WITH ROOT BARRIER MUST BE PROVIDED.
- ALL DECIDUOUS TREES SHALL MAINTAIN A 3' CLEARANCE FROM FACE OF CURB. ALL CONIFER TREES SHALL MAINTAIN A 8' CLEARANCE FROM FACE OF CURB.
- SHRUBS SHALL MAINTAIN A 3' CLEARANCE FROM HYDRANTS AND WPIVS.
- TREES WITHIN SIGHT DISTANCE TRIANGLE SHALL BE LIMBED UP TO 8'.

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	
	2	ACER CIRCINATUM	VINE MAPLE	6'-10' HT		
	2	STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	8 & 8		
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
	6	HOSTA X 'MINUTEMAN'	MINUTEMAN PLANTAIN LILY	3 GAL	36" o.c.	
	5	HYPERICUM FRONDOSUM 'SUNBURST'	SUNBURST HYPERICUM	5 GAL	36" o.c.	
	22	SPIRAEA JAPONICA 'NEON FLASH'	NEON FLASH SPIREA	3 GAL	36" o.c.	
	8	TAXUS X MEDIA 'HICKSII'	HICKS YEW	5 GAL	36" o.c.	
FERNS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
	7	DRYOPTERIS ERYTHROSORA	AUTUMN FERN	2 GAL	18" o.c.	
	11	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	5 GAL	36" o.c.	
	7	POLYSTICHUM SETIFERUM	SOFT SHIELD FERN	2 GAL	24" o.c.	
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
	58	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS	1 GAL	18" o.c.	
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
	13	AQUILEGIA X 'CRIMSON STAR'	CRIMSON STAR COLUMBINE	1 GAL	18" o.c.	
	45	FESTUCA GLAUCA 'BEYOND BLUE'	BEYOND BLUE FESCUE	1 GAL	24" o.c.	
	16	HEUCHERA VILLOSA 'TINEUGS'	GRANDE BLACK CORAL BELLS	1 GAL	18" o.c.	
	11	SALVIA X SYLVESTRIS 'MAY NIGHT'	MAY NIGHT SAGE	1 GAL	24" o.c.	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
	182	ARCTOSTAPHYLOS UVA-URSI	KINNIKINICK	1 GAL	12" o.c.	

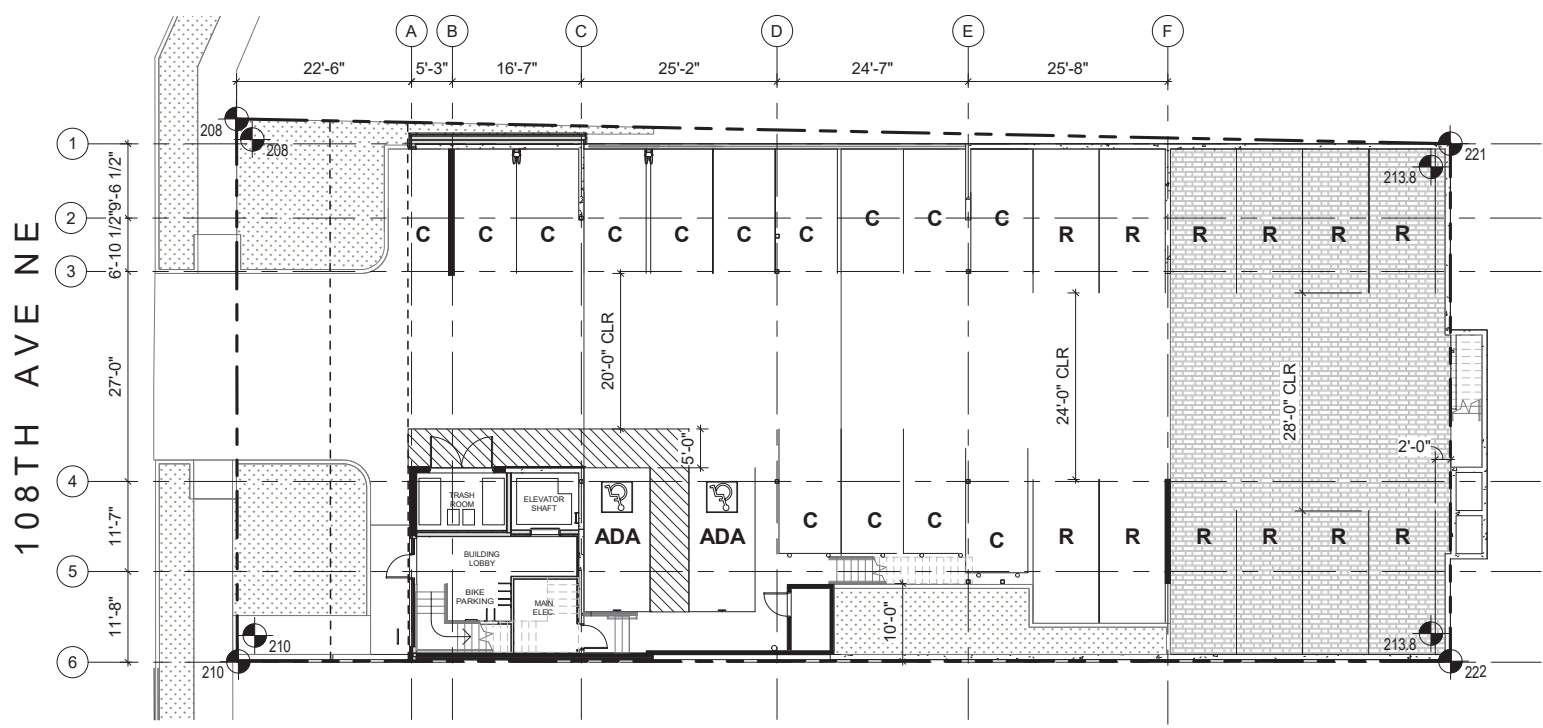


1 LANDSCAPE SITE AND PLANTING PLAN

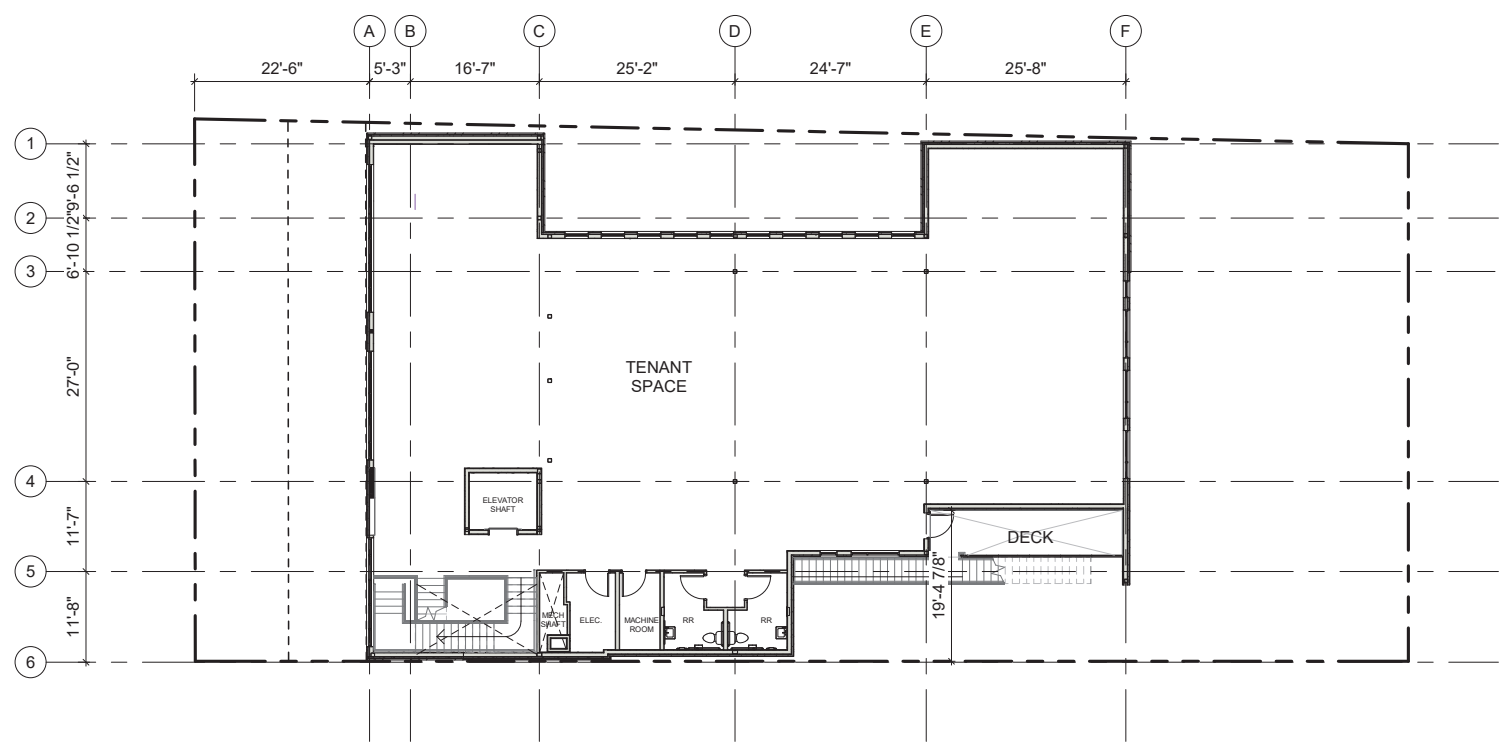
1" = 20'-0"

LANDSCAPE SITE PLAN

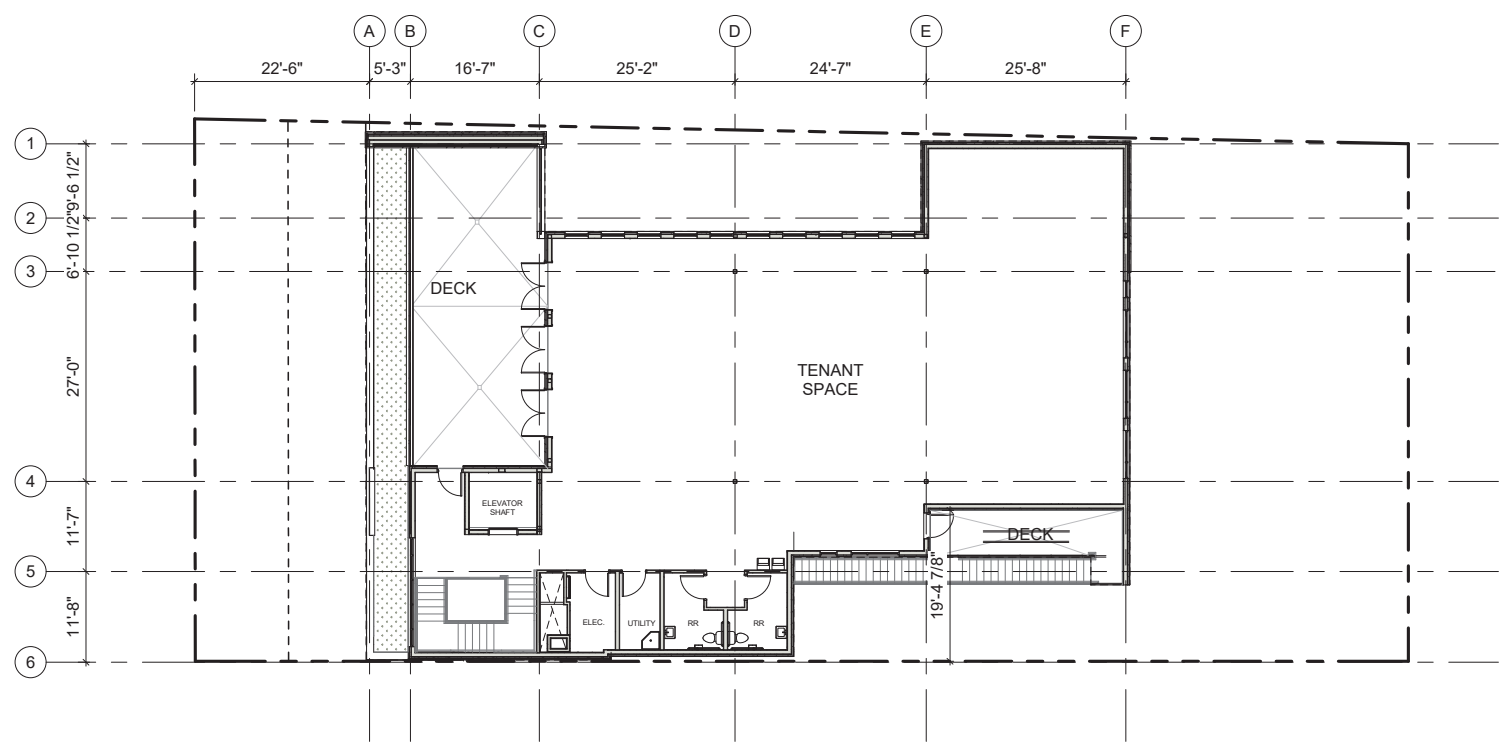
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A19-158 FLOOR PLAN LEVEL 01
6700 108TH AVENUE, NE | KIRKLAND, WASHINGTON | 11/18/2020



A19-158 FLOOR PLAN LEVEL 02
6700 108TH AVENUE, NE, | KIRKLAND, WASHINGTON | 11/18/2020



A19-158 FLOOR PLAN LEVEL 03
6700 108TH AVENUE, NE, | KIRKLAND, WASHINGTON | 11/18/2020



METAL PANEL - METALLIC CHAMPAGNE
@ NORTH WALLS



GLASS
@ WINDOW WALL



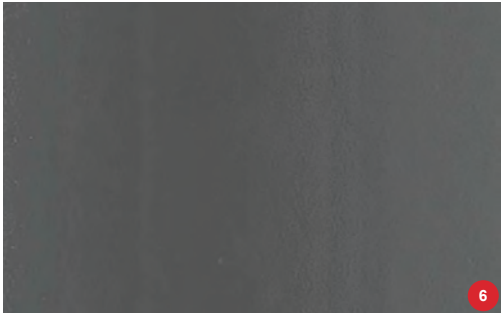
STANDING SEAM ROOF - ZINC GRAY
@ ROOF



STONE - NICKEL & SILENT GRAY
@ ENTRY TOWER



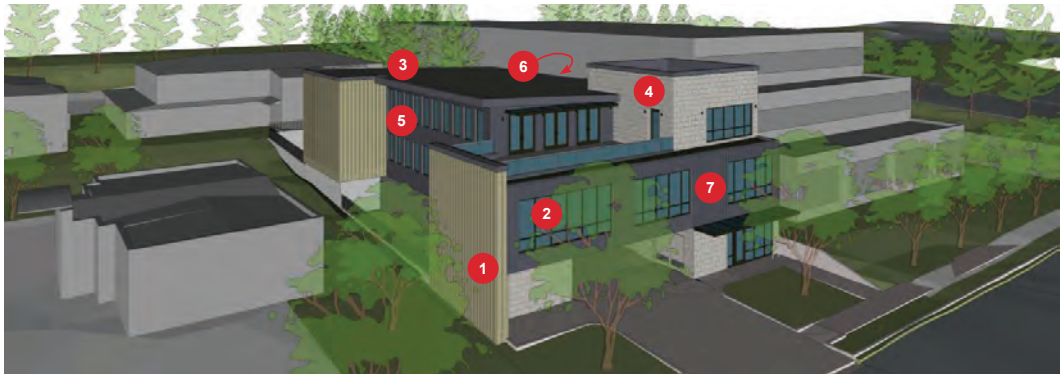
METAL PANEL - SLATE GRAY
@ NORTH & WEST WALLS



HARDI PANEL - NIGHT GRAY
@ EAST & SOUTH WALLS



WINDOW MULLIONS - DARK BRONZE
@ WINDOW WALL



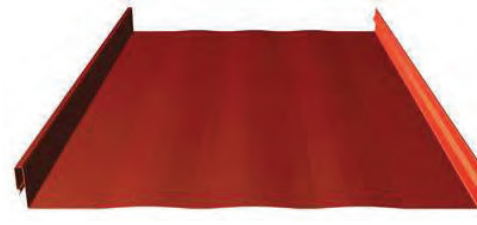
- 1 METAL PANEL - METALLIC CHAMPAGNE
- 2 GLASS
- 3 STANDING SEAM ROOF - ZINC GRAY
- 4 STONE - NICKEL & SILENT GRAY
- 5 METAL PANEL - SLATE GRAY
- 6 HARDI PANEL - NIGHT GRAY
- 7 WINDOW MULLIONS - DARK BRONZE



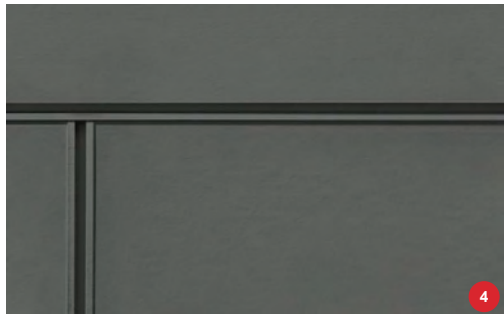
*install vertically
2" REVEAL METAL PANEL - CHAMPAGNE
@ NORTH WALLS



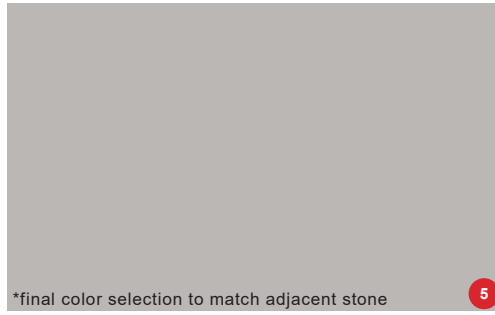
*install vertically
2" FLEX METAL PANEL - SLATE
@ NORTH & WEST WALLS



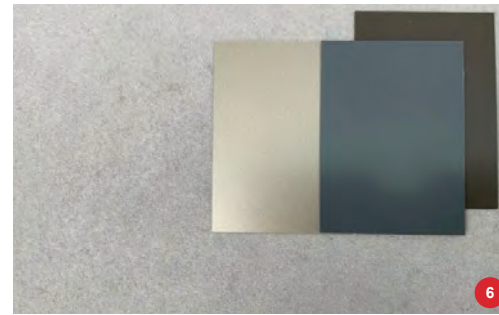
*seam runs N/S
STANDING SEAM ROOF - ZINC GRAY
@ ROOF



HARDI PANEL REVEAL - NIGHT GRAY
@ EAST & SOUTH WALLS



*final color selection to match adjacent stone
TRASH DOOR -SHERWIN WILLIAMS
@ TRASH ROOM



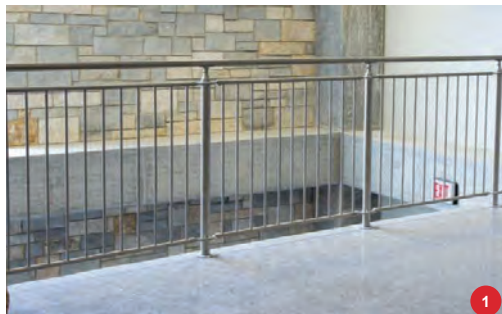
SAMPLE PICTURE



TAXUS X MEDIA 'HICKSII' (HICKS YEW)
@ WEST COMPACT PARKING STALL



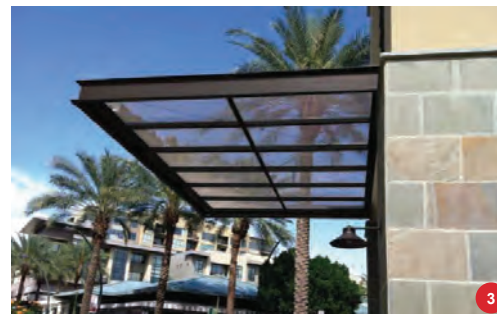
- 1 2" REVEAL METAL PANEL - CHAMPAGNE
- 2 2" FLEX METAL PANEL - SLATE
- 3 STANDING SEAM ROOF - ZINC GRAY
- 4 HARDI PANEL REVEAL - NIGHT GRAY
- 5 TRASH DOOR -SHERWIN WILLIAMS
- 6 SAMPLE PICTURE
- 7 HEDGE ROW



SITE RAILING
@ SITE RETAINING WALL



GLASS RAILING - DARK BRONZE
@ WEST & SOUTH DECKS



CANOPY - DARK BRONZE
@ WEST WALLS ABOVE DOORS



DECK PAVERS - PRECAST CONCRETE
@ WEST & SOUTH DECKS



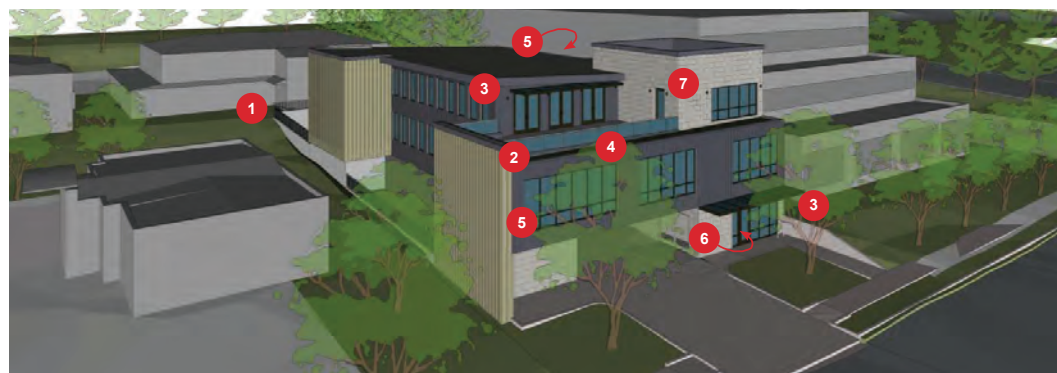
STEEL STAIRS - DARK BRONZE
@ SOUTH DECK



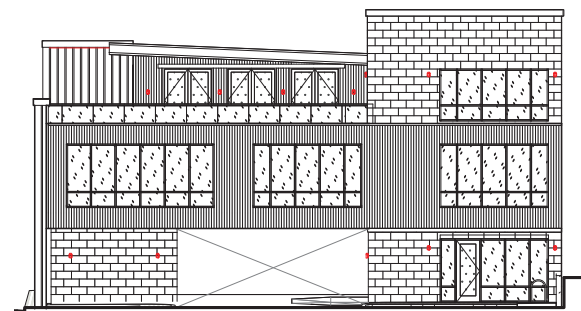
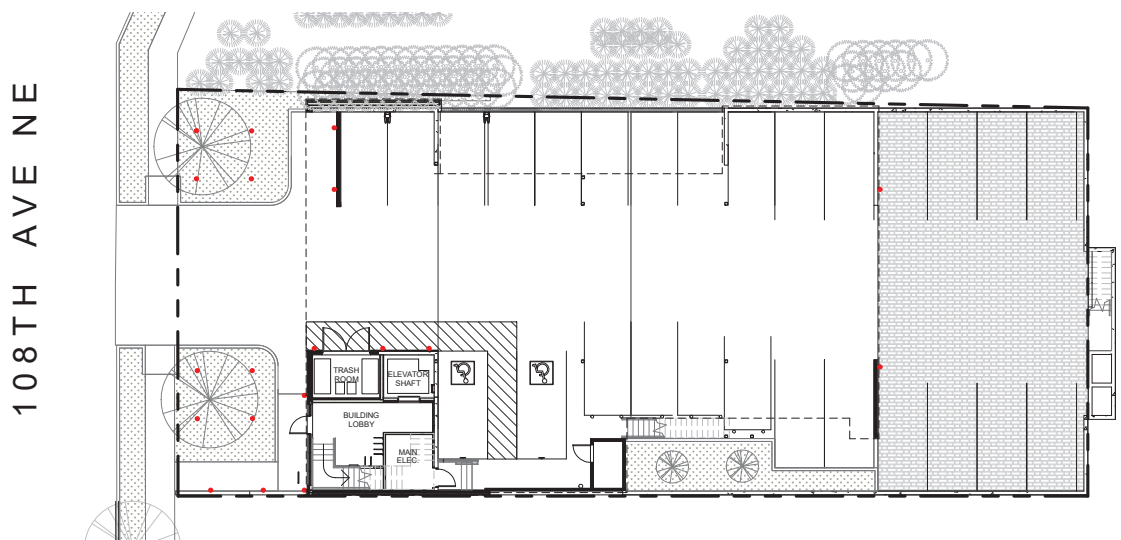
BIKE RACK - DERO
@ TUCK-UNDER PARKING



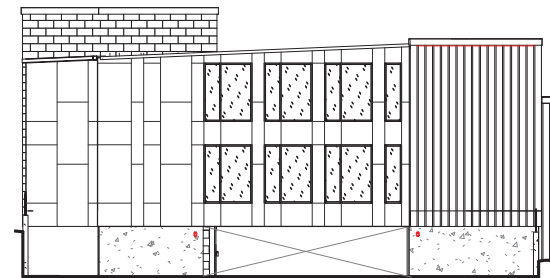
LIGHT FIXTURE - DARK BRONZE
@ EXTERIOR WALLS



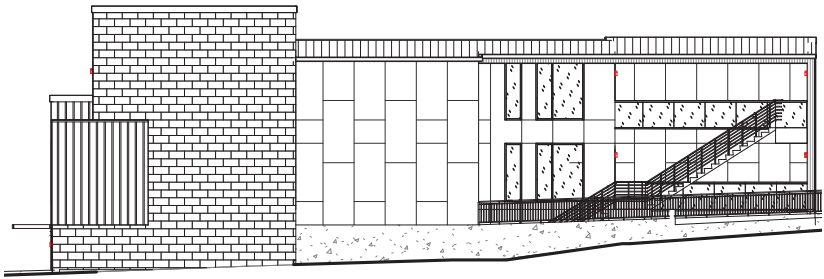
- 1 SITE RAILING
- 2 GLASS RAILING
- 3 CANOPY - DARK BRONZE
- 4 DECK PAVERS - CONCRETE
- 5 STEEL STAIRS - DARK BRONZE
- 6 BIKE RACK - DERO
- 7 LIGHT FIXTURE - DARK BRONZE



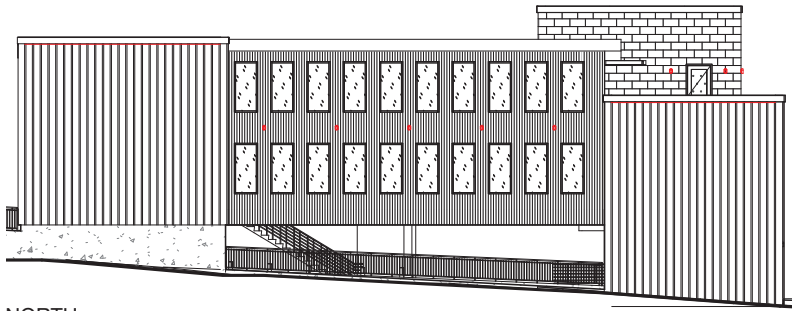
WEST



EAST



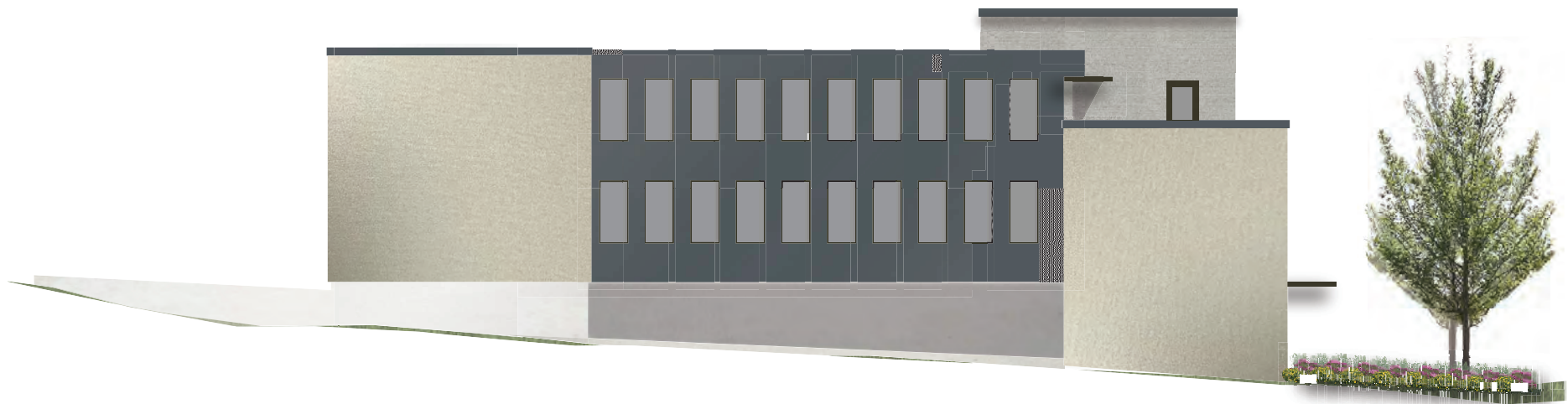
SOUTH



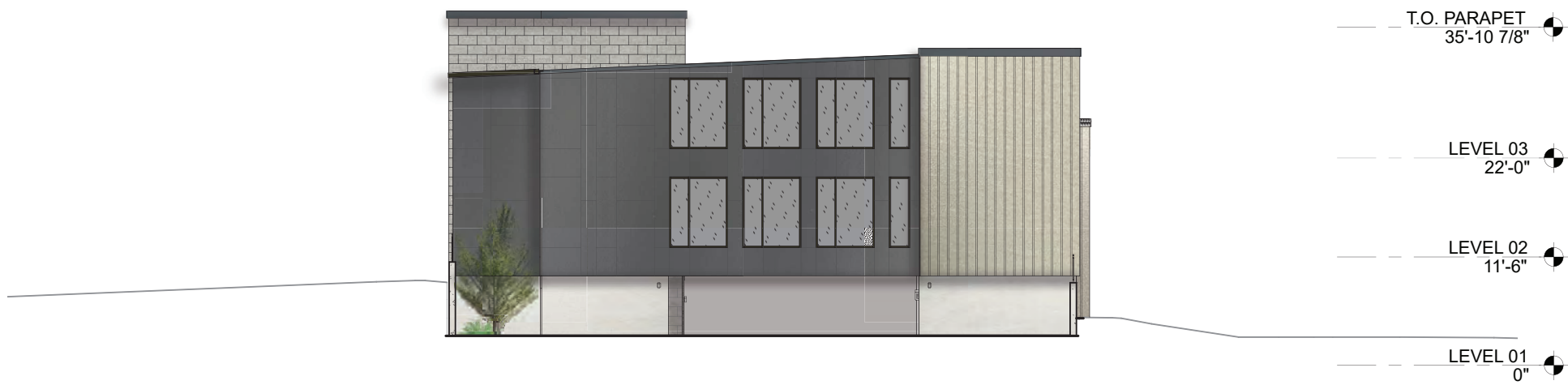
NORTH



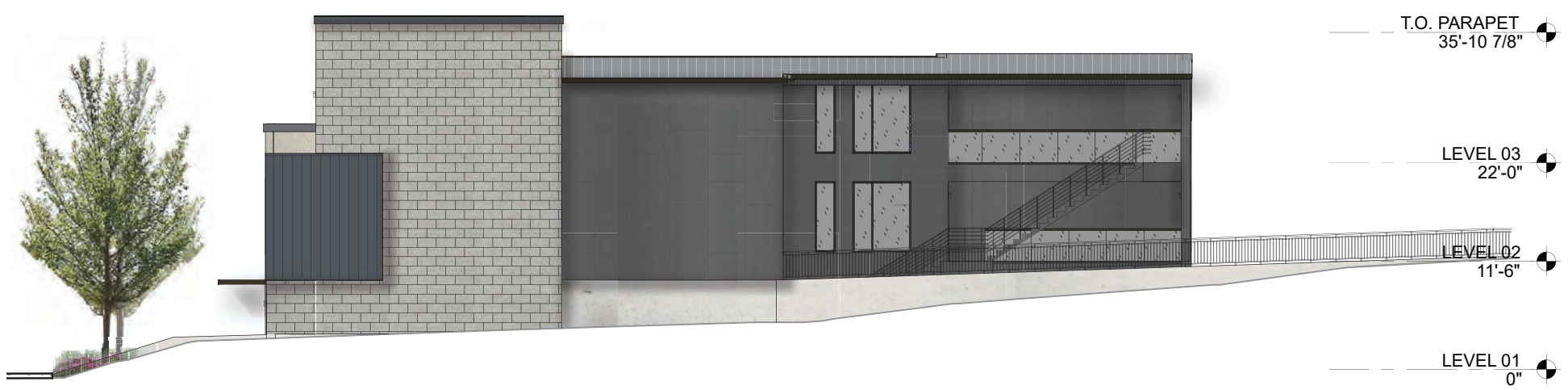
A10-158 WEST ELEVATION
6700 108TH AVENUE, NE | KIRKLAND, WASHINGTON | 11/18/2020



A18-158 NORTH ELEVATION
6700 108TH AVENUE, NE | KIRKLAND, WASHINGTON | 11/18/2020



A18-158 EAST ELEVATION
6700 108TH AVENUE, NE | KIRKLAND, WASHINGTON | 11/18/2020



A18-158
SOUTH ELEVATION
6700 108TH AVENUE, NE | KIRKLAND, WASHINGTON | 11/18/2020



GROUND LEVEL PERSPECTIVE - SW
6700 108TH AVENUE NE | KIRKLAND, WASHINGTON | 11/13/2020





ATIS-168
GROUND LEVEL PERSPECTIVE - NW
6700 108TH AVENUE NE | KIRKLAND, WASHINGTON | 11/13/2020



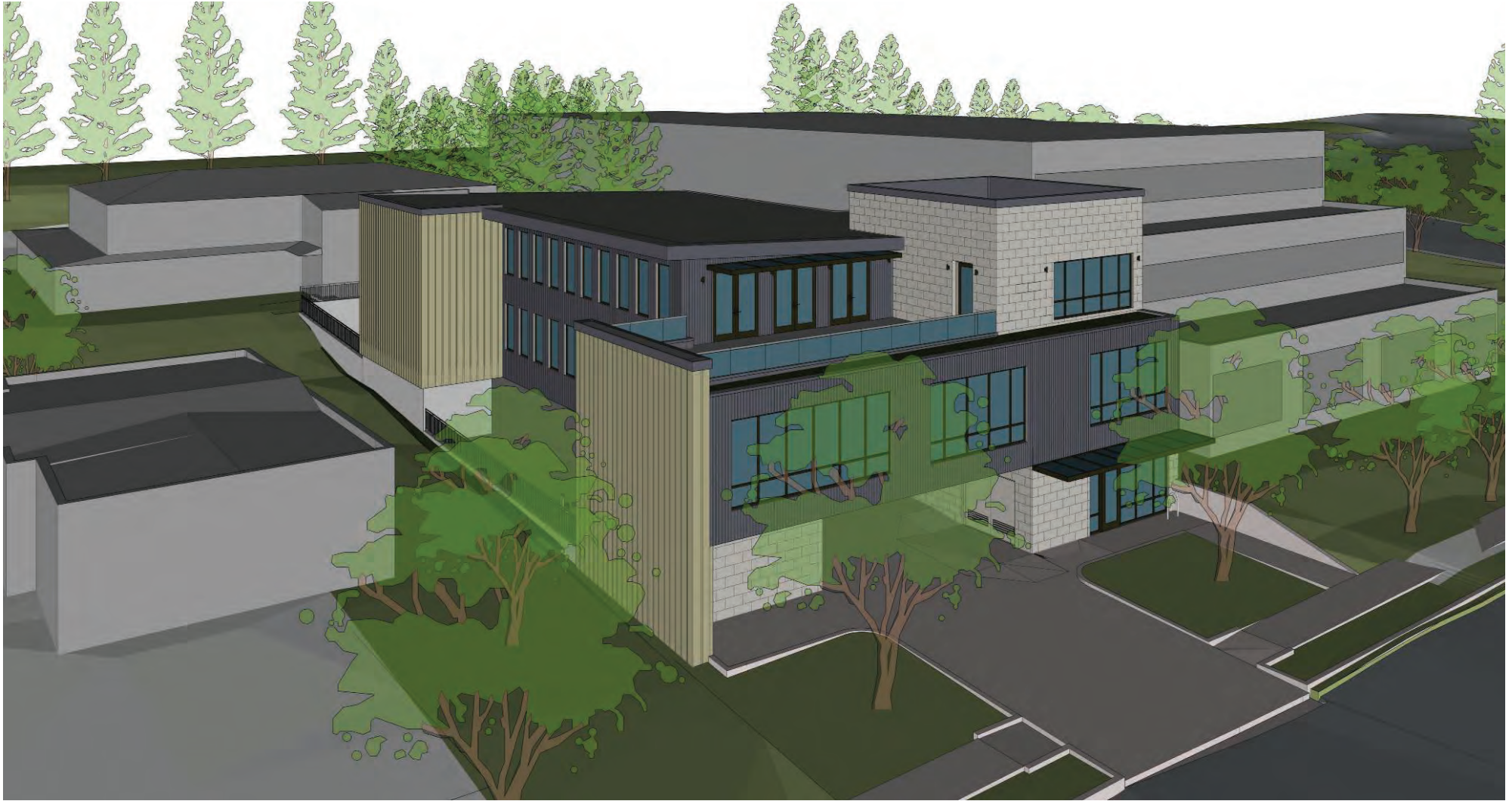


A19-158
GROUND LEVEL PERSPECTIVE - SE
6700 108TH AVENUE NE | KIRKLAND, WASHINGTON | 11/13/2020

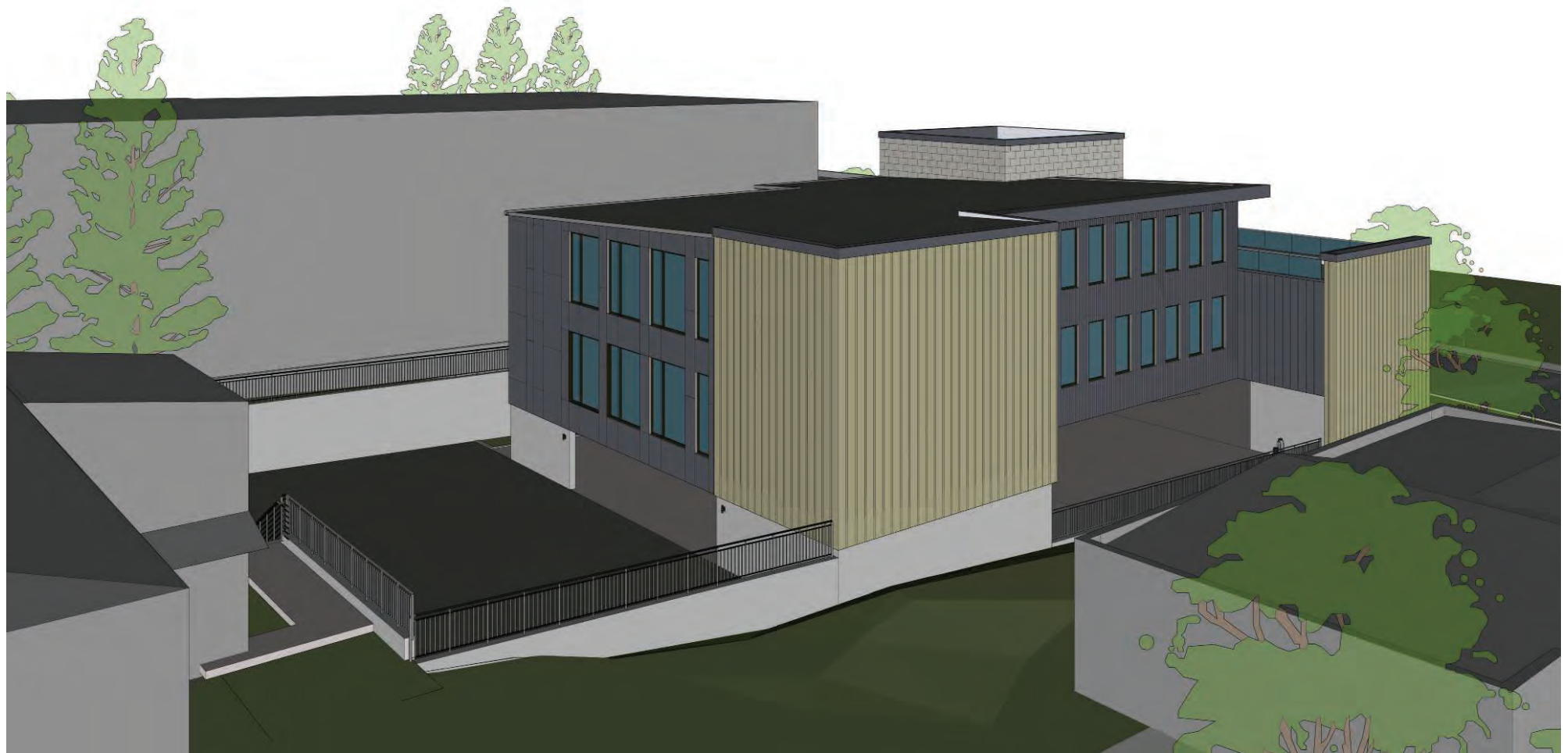




A19-158 SCREENSHOT FROM THE LIVE SKETCHUP MODEL - SW AERIAL
6700 108TH AVENUE, NE | KIRKLAND, WASHINGTON | 11/18/2020



A18-158 SCREENSHOT FROM THE LIVE SKETCHUP MODEL - NW AERIAL
6700 108TH AVENUE, NE | KIRKLAND, WASHINGTON | 11/18/2020



A19-158 SCREENSHOT FROM THE LIVE SKETCHUP MODEL - NE AERIAL
6700 108TH AVENUE, NE | KIRKLAND, WASHINGTON | 11/18/2020

BUILDING GROSS AREA

1st Floor:	229 SF
2nd Floor:	4,744 SF
3rd Floor:	3,715 SF
TOTAL:	8,688 SF

PARKING REQUIREMENTS

Gross Area / 300 SF per Stall
8,700 SF / 300 SF per Stall = 29 Stalls
Parking credit due to bicycle parking (-1 Stall)
Required Parking Stalls = 28 Stalls

LOT COVERAGE

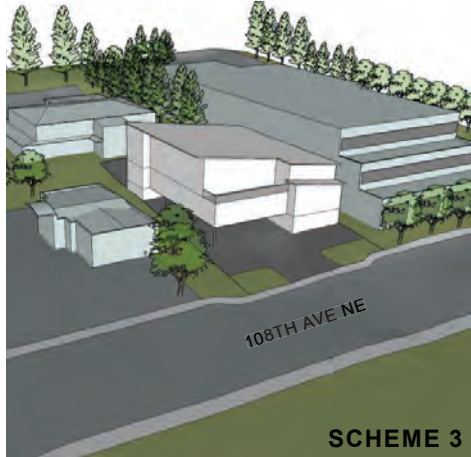
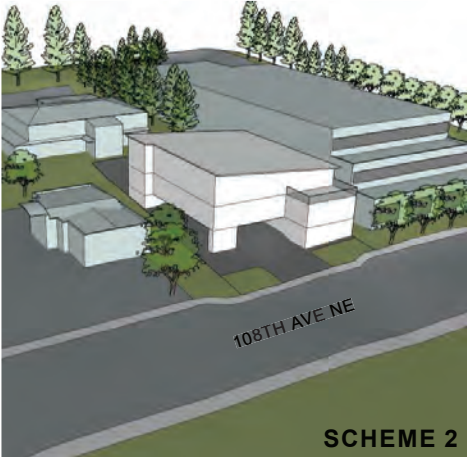
Site Area:	10,632 SF
Lot Coverage:	79.56%

PARKING PROVIDED

Compact:	14 Stalls
Standard:	14 Stalls
TOTAL:	28 Stalls

BUILDING HEIGHT

ABE:	214' 8"
Top of Roof:	244' 8"
Top of Mechanical:	248' 8"



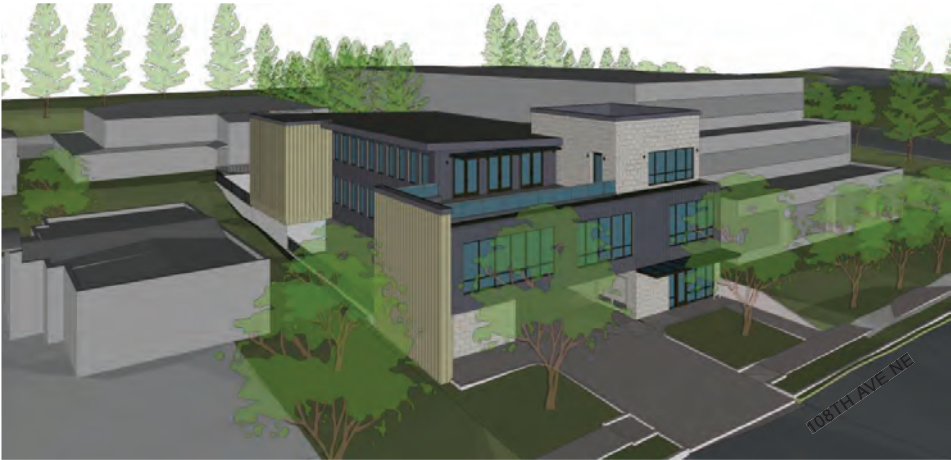
CONCEPTUAL DESIGN CONFERENCE

The proposed design represented here is an evolution of schemes 2 & 3 from the Conceptual Design Conference. The board indicated that either of these conceptual designs could form the basis for the project.

The building has evolved since the previous meeting and now incorporates a main entry element on the south west corner of the property. This mass also serves as the rooftop mechanical screen. Instead of having the entire entry element project beyond the front façade as was previously designed, the second floor façade continues all the way across the front elevation in order to meet the required 5' minimum upper level stepback. The north portion of the façade steps back further in order to meet the required 15' average stepback and provide a rooftop deck for tenant use.

The structural system used is concrete shear walls and steel columns on the ground level, with steel and glu-lam beams on the tenant floors. Exterior materials are a mix of metal panels and stone tile with a low-slope standing seam roof.

Overall, the look and feel of the project fits into the local context of office buildings along 6th street and provides a great building to the neighborhood on a previous under utilized site.



DESIGN RESPONSE CONFERENCE