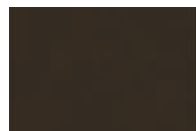


6. ELEVATED WALKWAY | MATERIAL PALETTE

LAKE STREET



G BRONZE WINDOW FRAMES



J CHARCOAL GRAY FCP



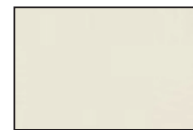
K LIGHT BROWN FCP



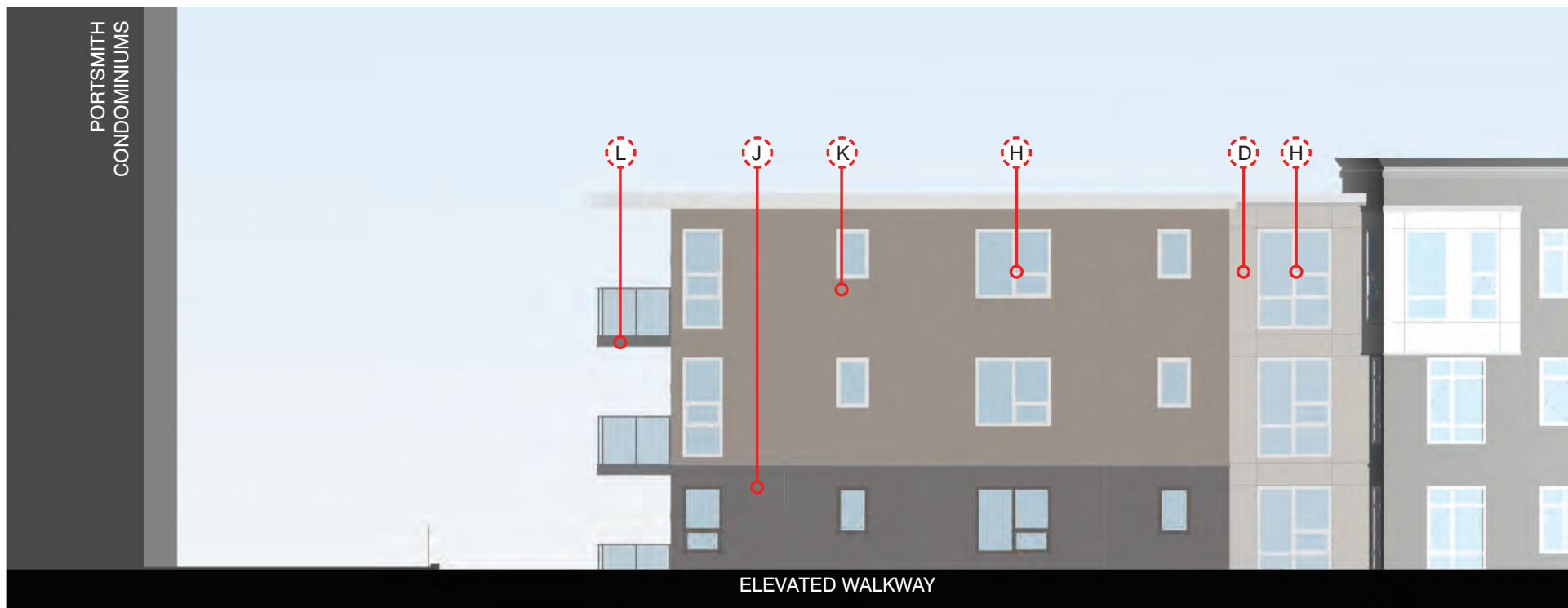
L BALCONIES &
RAILINGS



D LIGHT ADOBE FCP

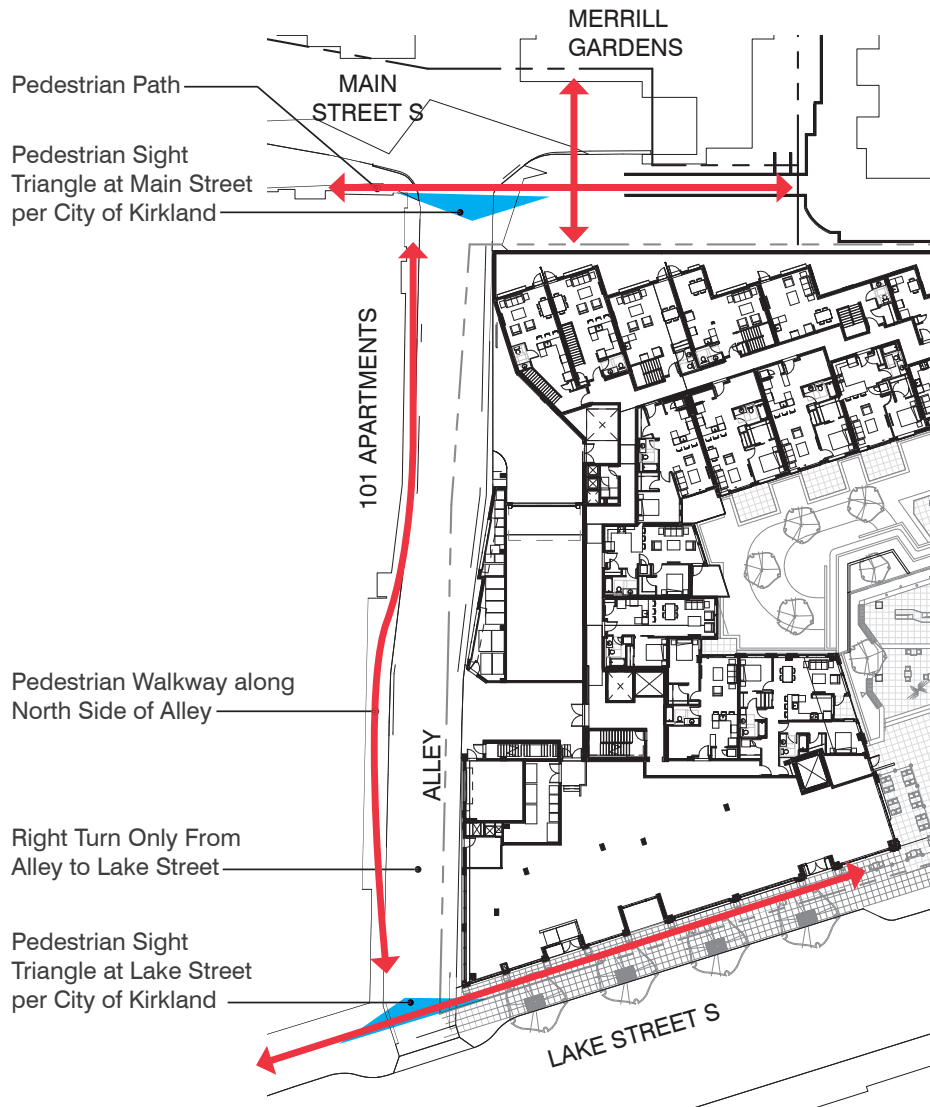


H WHITE WINDOW
FRAMES



^ SECTION THROUGH ELEVATED WALKWAY

PUBLIC COMMENT | ALLEY PEDESTRIAN ROUTE AND SIGHT TRIANGLE DIAGRAM

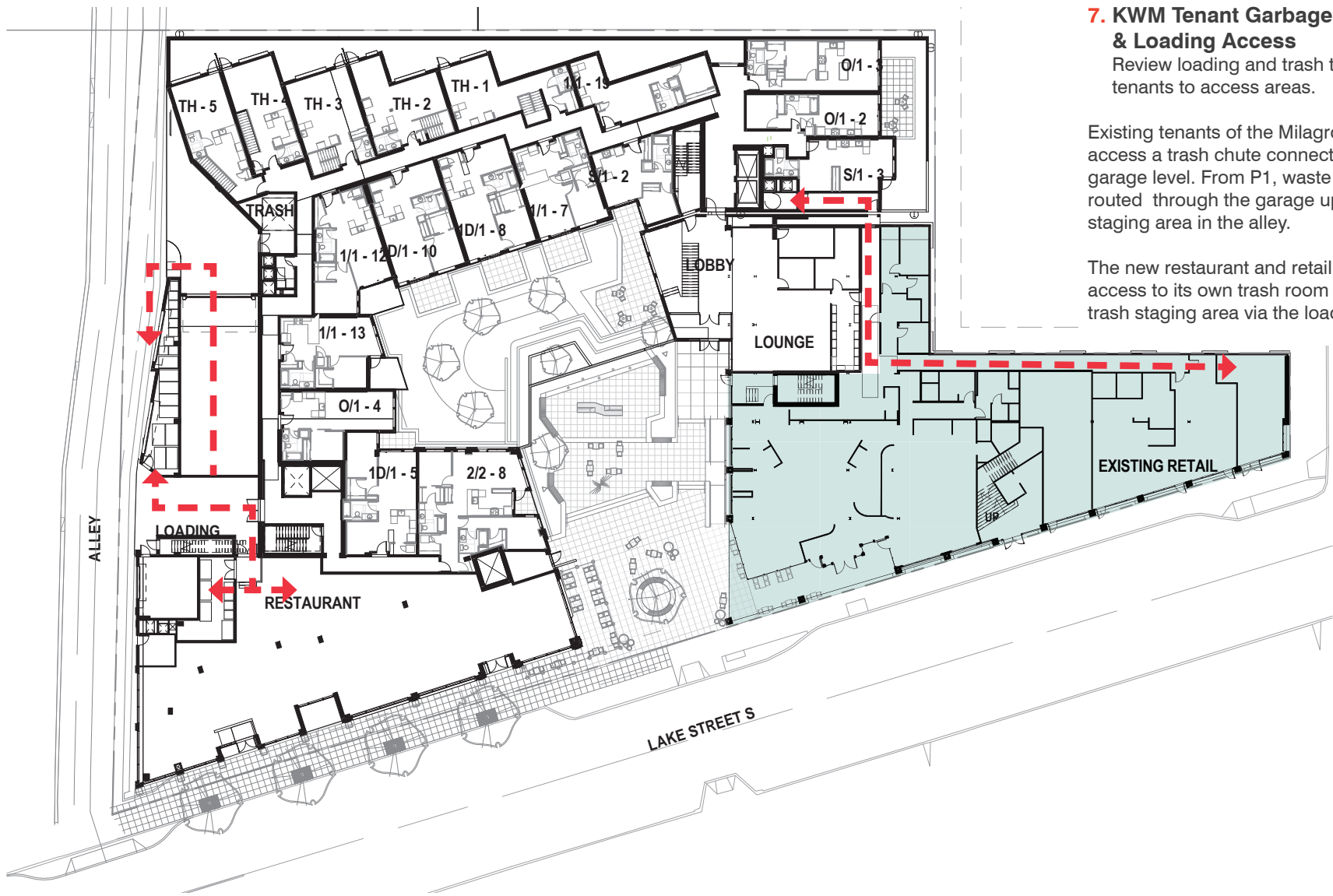


^ VIEW FROM ALLEY / MAIN ST S



^ VIEW FROM ALLEY / LAKE STREET S

7. KWM TENANT GARBAGE PICK-UP & LOADING ACCESS | SITE PLAN



7. KWM Tenant Garbage Pick-up & Loading Access

Review loading and trash to allow south tenants to access areas.

Existing tenants of the Milagro Building will access a trash chute connected with the P1 garage level. From P1, waste will be internally routed through the garage up to the trash staging area in the alley.

The new restaurant and retail space will have access to its own trash room and access the trash staging area via the loading dock.



PUBLIC COMMENT | SITE LIGHTING PLAN



SECURITY LIGHTING



WALL MOUNTED LIGHTING
AT RETAIL / GROUND LEVEL
PATIO



SOFFIT LIGHTING



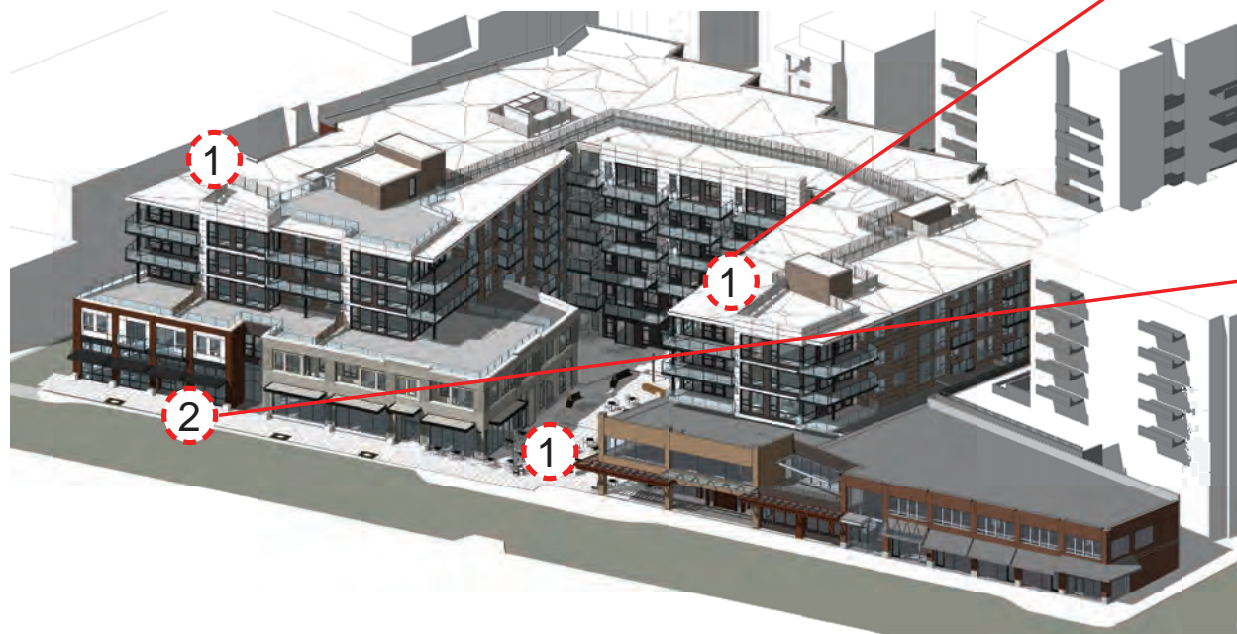
ACCENT LIGHTING AT
COURTYARD PLAZA



COLUMN LIGHTING

DEPARTURES REQUESTED

DEPARTURES REQUESTED

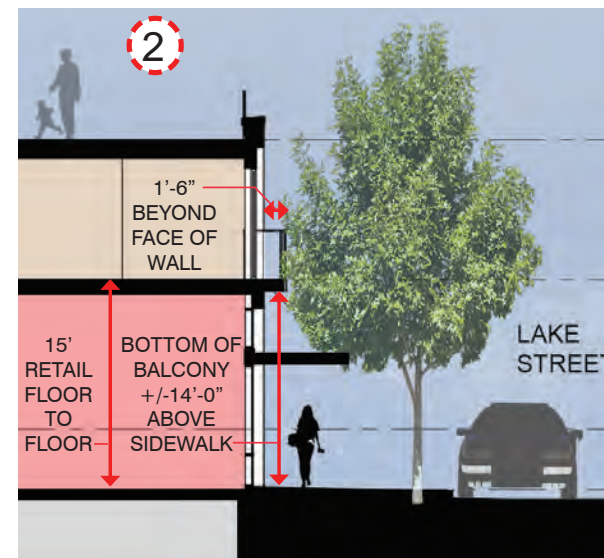
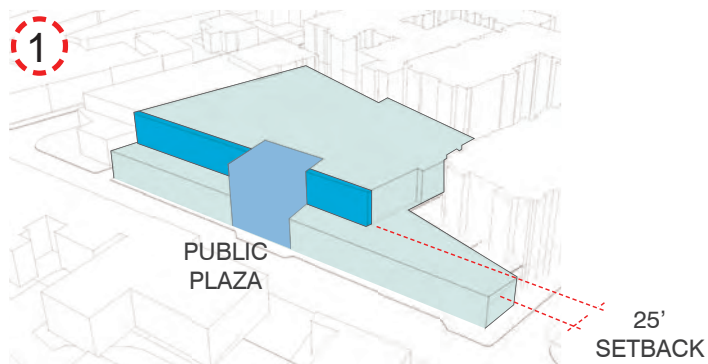


1. Reduction of the Lake Street S Upper Level Setback

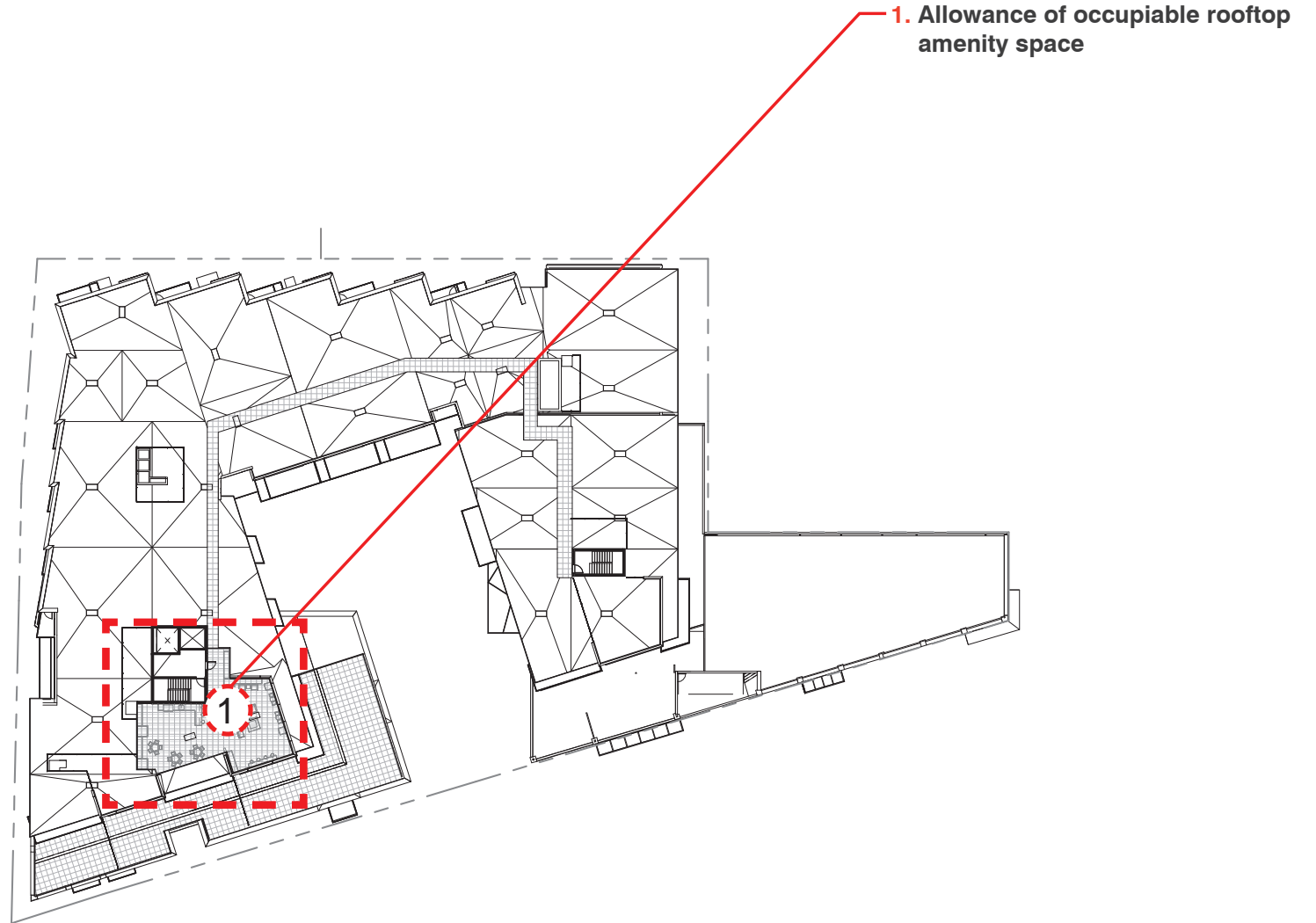
The Design Board is authorized to allow a reduction of the upper level setback by a maximum of 5' by providing an equivalent square footage of public plaza at grade.

Proposed Plaza: +/- 4,224 SF
 Proposed Encroachment: +/- 1,769 SF
 (+/- 590 SF at Level 3, 4, and 5)

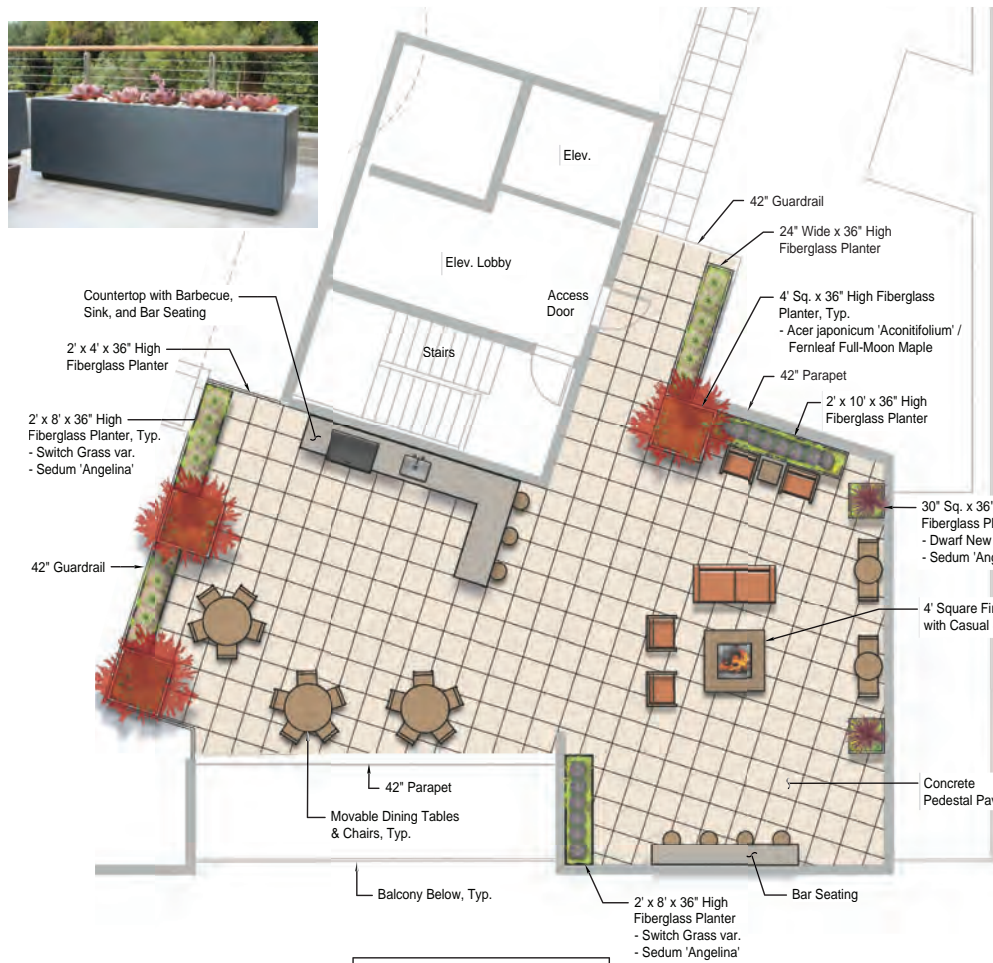
2. Allowance of decks over the sidewalks on Lake Street S (above weather protection).



POSSIBLE CODE REVISION | ROOF AMENITY SPACE



POSSIBLE CODE REVISION | ROOF AMENITY SPACE



Fernleaf Full-Moon Maple



Switch Grass

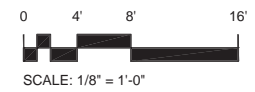


Dwarf New Zealand Flax



Sedum 'Angelina'

Total Usable Area: 1,378 SF
 (Excludes planters and assumes two exits)



112 Lake Street - Kirkland, WA
 Continental Properties



Roof Terrace Concept Plan

DATE: 12-02-2019

KIRKLAND LAND USE CODE SUMMARY

ZONE: CBD-18, COMMERCIAL NEIGHBORHOOD; MOSS BAY SHORELINE DESIGNATION; IN-URBAN MIXED SENSITIVE AREAS MAP; MEDIUM RISK LIQUEFACTION POTENTIAL MODERATE-HIGH RISK LANDSLIDE SUSCEPTIBILITY
TOTAL LOT SIZE: 56,528 SF

LOT ADDRESS	A. MILAGRO BUILDING 176 LAKE ST S 071607000 15,477 SF	B. HECTORS 112 LAKE ST S 017600005 15,823 SF	C. PARKING 15 MAINT ST 017600028 25,228 SF
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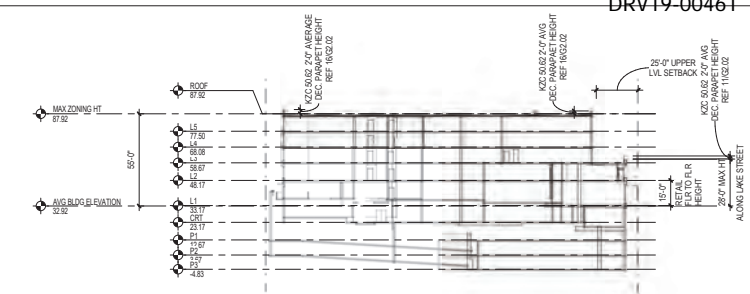
50.12 USE ZONE CHART

SECTION	LOT SIZE	FRONT	SIDE	REAR	LOT COVERAGE	HEIGHT (CBD 18)	LANDSC.	SIGN	REQUIRED PARKING
010 RESTAURANT	NONE	0'	0'	0'	100%	55' ABV MIDPOINT OF LAKE STREET S	D	E	1 PER EACH 125 SF OF GFA
020 RETAIL	NONE	0'	0'	0'	100%	55'	D	E	1 PER EACH 350 SF OF GFA
070 OFFICE USE OR ATTACHED DWELLING UNITS	NONE	0'	0'	0'	100%	55'	D	D	1 PER EACH 350 SF OF GFA

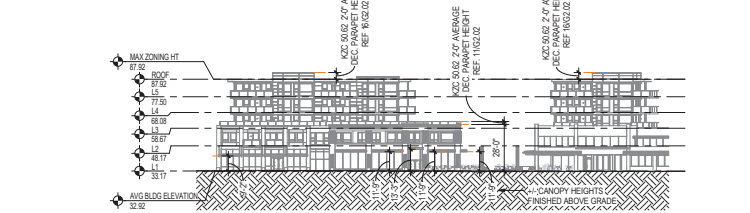
- REFERENCE SHEET:**
- 5.8 10/02.01 6/02.02 3. STREET LEVEL FLOOR OF ALL BUILDINGS SHALL BE LIMITED TO RETAIL, RESTAURANT OR TAVERN... THE REQUIRED USES SHALL HAVE A MIN. DEPTH OF 20 FEET AND AN AVERAGE DEPTH OF AT LEAST 30 FEET AS MEASURED FROM THE FACE OF THE BUILDING ON THE ABUTTING RIGHT OF WAY.
 - 6/02.02 4. SIDEWALKS SHALL BE A MINIMUM WIDTH OF 12' AVERAGE WIDTH OF SIDEWALK ALONG THE ENTIRE FRONTAGE OF THE SUBJECT PROPERTY ABUTTING EACH PEDESTRIAN-ORIENTED STREET SHALL BE 12'.
 - 9/02.02 5. UPPER STORY SETBACK REQUIREMENTS, MEASURED FROM THE PROPERTY LINE AND ANY EXTERIOR WALL OF THE BUILDING, THE MEASUREMENTS SHALL BE TAKEN FROM THE PROPERTY LINE ABUTTING THE STREET PRIOR TO ANY POTENTIAL RIGHT OF WAY DEDICATION.
 - 5/02.01 2.1 A LAKE STREET: NO PORTION OF THE BUILDING WITHIN 30' OF LAKE STREET MAY EXCEED A HEIGHT OF 20' ABOVE LAKE STREET.
 - 19/02.02 C. MAIN STREET: ALL STORES ABOVE THE SECOND STORY SHALL MAINTAIN AN AVERAGE SETBACK OF AT LEAST 10' FROM THE FRONT PROPERTY LINE.
 - 6.8 9/02.01 F. DESIGN REVIEW BOARD IS AUTHORIZED TO ALLOW A REDUCTION OF THE UPPER STORY SETBACK BY NO MORE THAN FIVE FEET SUBJECT TO THE FOLLOWING:
1. EACH SQUARE FOOT OF ADDITIONAL BUILDING AREA PROPOSED WITHIN THE SETBACK IS OFFSET WITH AN ADDITIONAL SQUARE FOOT OF PUBLIC OPEN SPACE, EXCLUDING AREA REQUIRED FOR SIDEWALK DEDICATION AT THE STREET LEVEL.
2. THE PUBLIC OPEN SPACE IS LOCATED ALONG THE SIDEWALK FRONTAGE AND IS NOT COVERED BY BUILDINGS.

- 50.19 GENERAL REGULATIONS**
- 110.25 REQUIRED PUBLIC IMPROVEMENTS
HALF STREET IMPROVEMENTS REQUIRED IN RIGHTS OF WAY ABUTTING THE SUBJECT PROPERTY
- LAKE STREET SOUTH (PRINCIPAL ARTERIAL)
- PUBLIC ALLEYWAY
 - 115.120 ROOFTOP APPURTENANCES
3. REQUIRED SCREENING
A. NEW CONSTRUCTION SHALL VISUALLY SCREEN ROOFTOP APPURTENANCES BY INCORPORATING THEM INTO THE ROOF FORM. IF USING ARCHITECTURAL DESIGNS SUCH AS CLERESTORIES OR ROOF WELLS, THEY MAY EXTEND FIVE (5) FEET ABOVE THE HEIGHT LIMIT.
B. WHERE COMPLIANCE WITH SUBSECTION D(3) OF THIS SECTION IS NOT FEASIBLE, A SOLID SCREENING ENCLOSURE EQUAL IN HEIGHT TO THE APPURTENANCES BEING SCREENED.
C. EXEMPTIONS
2. A ROOFTOP APPURTENANCE SCREENED BY ALTERNATIVE MEASURES, INCLUDING BUT NOT LIMITED TO LANDSCAPING MAINTAINED AT A HEIGHT EQUAL TO THE HEIGHT OF THE APPURTENANCE, PAINTING TO MATCH THE BUILDING ROOF, OR THE USE OF PRE-MANUFACTURED SELF-SCREENING APPURTENANCES, IS EXEMPT FROM THE REQUIREMENTS OF SUBSECTIONS D(3) AND (B) OF THIS SECTION IF DETERMINED AS EFFECTIVE IN MINIMIZING ROOFTOP CLUTTER AS A SOLID SCREENING ENCLOSURE.
 - 4. ALLOWABLE HEIGHT AND SIZE
A. ROOFTOP APPURTENANCES MAY EXCEED THE APPLICABLE HEIGHT LIMITATION BY A MAXIMUM OF FOUR (4) FEET IF THE AREA OF ALL APPURTENANCES AND SCREENING DOES NOT EXCEED 10% PERCENT OF THE TOTAL AREA OF THE BUILDING FOOTPRINT (SEE PLATE 31).
Z. THE PUBLIC OPEN SPACE IS LOCATED ALONG THE SIDEWALK FRONTAGE AND IS NOT COVERED BY BUILDINGS.

- REFERENCE SHEET:**
- 50.60 SPECIAL PARKING PROVISIONS IN CBD 18
2. NUMBER OF SPACES
A. RESIDENTIAL (PARKING SPACES PER UNIT):
STUDIO: 1.2
(1) BR UNIT: 1.3
(2) BR UNIT: 1.6
(3) BR UNIT: 1.8
B. RESTAURANTS AND TAVERNS: (1) PARKING SPACE FOR EACH 125 SF OF GROSS FLOOR AREA
C. ALL OTHER USES: (1) PARKING SPACE FOR EACH 350 SF OF GROSS FLOOR AREA
 - A2.02 105.32 BICYCLE PARKING
(1) BICYCLE SPACE FOR EACH 12 REQUIRED MOTOR VEHICLE PARKING SPACES.
LOCATE WITHIN 50 FEET OF EXTERIOR ENTRANCE OF ALL USES, AND WITHIN 50 FEET OF RETAIL USE ENTRANCE.
FOR BUILDINGS WITH MULTIPLE USES, BICYCLE SPACES MAY BE CLUSTERED BETWEEN BUSINESSES TO SERVE UP TO SIX BUSINESSES.
 - 105.34 COVERED BICYCLE STORAGE
IF COVERED AND SECURED BICYCLE STORAGE PROVIDED ON SITE, A CREDIT TOWARDS PARKING REQUIREMENTS AT A RATIO OF (1) LESS PARKING: STALL PER (B) BICYCLE SPACES WILL BE GRANTED. A MAXIMUM REDUCTION OF (5) PERCENT OF REQUIRED PARKING SPACES MAY BE GRANTED.
 - G3.01 105.65 COMPACT CAR SPACES
UP TO 50% OF THE PARKING SPACES MAY BE DESIGNATED FOR COMPACT CARS
 - 105.60 PARKING AREA DESIGN - GENERAL
1. COLUMNS MAY ENDOACH (6) INCHES INTO THE SPECIFIED MINIMUM DIMENSIONS FOR PARKING STALL WIDTH
A. COLUMNS ARE SET BACK AT LEAST (2) FEET FROM REQUIRED DRIVE AISLE
B. COLUMNS ARE NOT WITHIN THE CENTER (B) FEET OF THE SPECIFIED MINIMUM DIMENSIONS FOR PARKING STALL LENGTH
 - 105.62 TURNAROUND LOCATION
ALL PARKING STALLS LOCATED AT THE END OF A DEAD END PARKING AISLE MUST BE PROVIDED WITH ADEQUATE BACKING AND TURNAROUND SPACE.
WIDTH OF DRIVING AISLE: 24' OR LESS
DEPTH OF TURNAROUND SPACE: 6 FEET
 - 105.65 STANDARD AND COMPACT CAR SPACES
STANDARD SIZE STALL: 8.5' X 18.5' (90 DEGREE PARKING);
ONE-WAY TRAFFIC SINGLE & DOUBLE LOADED DRIVE AISLE WIDTH: 22'0"
TWO-WAY TRAFFIC SINGLE & DOUBLE LOADED DRIVE AISLE WIDTH: 24'0"
COMPACT SIZE STALL: 8' X 16' (90 DEGREE PARKING);
ONE-WAY TRAFFIC SINGLE & DOUBLE LOADED DRIVE AISLE WIDTH: 18'0"
TWO-WAY TRAFFIC SINGLE & DOUBLE LOADED DRIVE AISLE WIDTH: 20'0"
 - 105.12 MAXIMUM ALLOWABLE GRADE - DEPARTURE REQUESTED
DRIVEWAYS SHALL NOT EXCEED SIX (6) PERCENT FOR THE FIRST 20 FEET FROM THE FACE OF THE ABUTTING RIGHT OF WAY CURB; THEREAFTER, THE SLOPE SHALL NOT EXCEED 15 PERCENT. THE DEPARTMENT OF PUBLIC WORKS AND FIRE ARE AUTHORIZED TO MODIFY THE STANDARDS FOR MAXIMUM ALLOWABLE GRADE ON A CASE-BY-CASE BASIS.



5 ZONING CODE SECTION
1" = 30'-0"



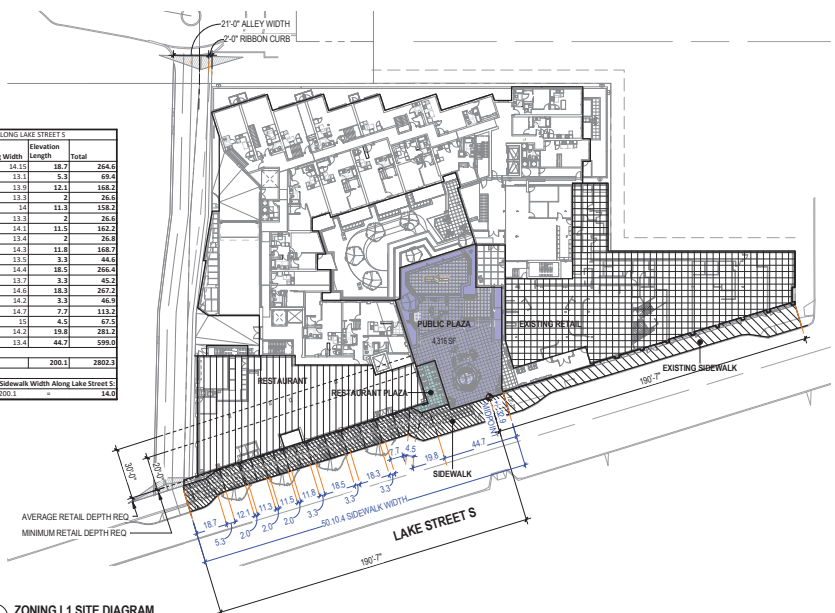
10 ZONING WEST ELEVATION (LAKE STREET S)
1" = 30'-0"

AN "X" IN THE "REF UNIT" COLUMN INDICATES THE UNIT SERVING AS THE REFERENCE UNIT FOR EACH UNIT TYPE. SEE ENLARGED PLAN ON A2.31 - A2.75 FOR TYPICAL NOTES, DIMENSIONS, AND TAGS INDICATED ON THE REFERENCE UNIT, APPLICABLE FOR ALL UNITS OF THAT TYPE UNLESS NOTED OTHERWISE.

UNITS BY TYPE				UNITS BY TYPE				UNITS BY TYPE				UNITS BY TYPE				UNITS BY TYPE			
UNIT DESIGNATION	NAME	TYPE	REF UNIT	UNIT DESIGNATION	NAME	TYPE	REF UNIT	UNIT DESIGNATION	NAME	TYPE	REF UNIT	UNIT DESIGNATION	NAME	TYPE	REF UNIT	UNIT DESIGNATION	NAME	TYPE	REF UNIT
B1	1	210	X	B1	1	481	X	B1	12	817	X	B1	12	817	X	B1	12	817	X
B1	2	158	X	B1	14	581	X	B1	12	917	X	B1	12	917	X	B1	12	917	X
B1	3	196	X	B1	15	398	X	B1	12	917	X	B1	12	917	X	B1	12	917	X
B1	4	223	X	B1	16	489	X	B1	12	417	X	B1	12	417	X	B1	12	417	X
B1	5	198	X	B1	17	398	X	B1	12	917	X	B1	12	917	X	B1	12	917	X
B1	6	229	X	B1	18	410	X	B1	13	601	X	B1	13	601	X	B1	13	601	X
B1	7	267	X	B1	19	559	X	B1	13	121	X	B1	13	121	X	B1	13	121	X
B1	8	287	X	B1	20	398	X	B1	13	221	X	B1	13	221	X	B1	13	221	X
B1	9	327	X	B1	21	398	X	B1	13	221	X	B1	13	221	X	B1	13	221	X
B1	10	353	X	B1	22	411	X	B1	13	221	X	B1	13	221	X	B1	13	221	X
B1	11	392	X	B1	23	551	X	B1	14	520	X	B1	14	520	X	B1	14	520	X
B1	12	423	X	B1	24	398	X	B1	16	222	X	B1	16	222	X	B1	16	222	X
B1	13	462	X	B1	25	489	X	B1	16	224	X	B1	16	224	X	B1	16	224	X
B1	14	482	X	B1	26	589	X	B1	16	522	X	B1	16	522	X	B1	16	522	X
B1	15	523	X	B1	27	398	X	B1	16	324	X	B1	16	324	X	B1	16	324	X
B1	16	554	X	B1	28	489	X	B1	16	422	X	B1	16	422	X	B1	16	422	X
B1	17	593	X	B1	29	589	X	B1	16	522	X	B1	16	522	X	B1	16	522	X
B1	18	624	X	B1	30	398	X	B1	17	325	X	B1	17	325	X	B1	17	325	X
B1	19	654	X	B1	31	489	X	B1	17	425	X	B1	17	425	X	B1	17	425	X
B1	20	684	X	B1	32	589	X	B1	17	525	X	B1	17	525	X	B1	17	525	X
B1	21	714	X	B1	33	398	X	B1	18	326	X	B1	18	326	X	B1	18	326	X
B1	22	744	X	B1	34	489	X	B1	18	426	X	B1	18	426	X	B1	18	426	X
B1	23	774	X	B1	35	589	X	B1	18	526	X	B1	18	526	X	B1	18	526	X
B1	24	804	X	B1	36	398	X	B1	19	327	X	B1	19	327	X	B1	19	327	X
B1	25	834	X	B1	37	489	X	B1	19	427	X	B1	19	427	X	B1	19	427	X
B1	26	864	X	B1	38	589	X	B1	19	527	X	B1	19	527	X	B1	19	527	X
B1	27	894	X	B1	39	398	X	B1	19	627	X	B1	19	627	X	B1	19	627	X
B1	28	924	X	B1	40	489	X	B1	20	328	X	B1	20	328	X	B1	20	328	X
B1	29	954	X	B1	41	589	X	B1	20	428	X	B1	20	428	X	B1	20	428	X
B1	30	984	X	B1	42	398	X	B1	20	528	X	B1	20	528	X	B1	20	528	X
B1	31	1014	X	B1	43	489	X	B1	20	628	X	B1	20	628	X	B1	20	628	X
B1	32	1044	X	B1	44	589	X	B1	21	329	X	B1	21	329	X	B1	21	329	X
B1	33	1074	X	B1	45	398	X	B1	21	429	X	B1	21	429	X	B1	21	429	X
B1	34	1104	X	B1	46	489	X	B1	21	529	X	B1	21	529	X	B1	21	529	X
B1	35	1134	X	B1	47	589	X	B1	21	629	X	B1	21	629	X	B1	21	629	X
B1	36	1164	X	B1	48	398	X	B1	22	330	X	B1	22	330	X	B1	22	330	X
B1	37	1194	X	B1	49	489	X	B1	22	430	X	B1	22	430	X	B1	22	430	X
B1	38	1224	X	B1	50	589	X	B1	22	530	X	B1	22	530	X	B1	22	530	X
B1	39	1254	X	B1	51	398	X	B1	22	630	X	B1	22	630	X	B1	22	630	X
B1	40	1284	X	B1	52	489	X	B1	23	331	X	B1	23	331	X	B1	23	331	X
B1	41	1314	X	B1	53	589	X	B1	23	431	X	B1	23	431	X	B1	23	431	X
B1	42	1344	X	B1	54	398	X	B1	23	531	X	B1	23	531	X	B1	23	531	X
B1	43	1374	X	B1	55	489	X	B1	23	631	X	B1	23	631	X	B1	23	631	X
B1	44	1404	X	B1	56	589	X	B1	24	332	X	B1	24	332	X	B1	24	332	X
B1	45	1434	X	B1	57	398	X	B1	24	432	X	B1	24	432	X	B1	24	432	X
B1	46	1464	X	B1	58	489	X	B1	24	532	X	B1	24	532	X	B1	24	532	X
B1	47	1494	X	B1	59	589	X	B1	24	632	X	B1	24	632	X	B1	24	632	X
B1	48	1524	X	B1	60	398	X	B1	25	333	X	B1	25	333	X	B1	25	333	X
B1	49	1554	X	B1	61	489	X	B1	25	433	X	B1	25	433	X	B1	25	433	X
B1	50	1584	X	B1	62	589	X	B1	25	533	X	B1	25	533	X	B1	25	533	X
B1	51	1614	X	B1	63	398	X	B1	25	633	X	B1	25	633	X	B1	25	633	X
B1	52	1644	X	B1	64	489	X	B1	26	334	X	B1	26	334	X	B1	26	334	X
B1	53	1674	X	B1	65	589	X	B1	26	434	X	B1	26	434	X	B1	26	434	X
B1	54	1704	X	B1	66	398	X	B1	26	534	X	B1	26	534	X	B1	26	534	X
B1	55	1734	X	B1	67	489	X	B1	26	634	X	B1	26	634	X	B1	26	634	X
B1	56	1764	X	B1	68	589	X	B1	27	335	X	B1	27	335	X	B1			

AVG SIDEWALK WIDTH ALONG LAKE STREET S					
Width 1	Width 2	Avg Width	Elevation Length	Total	
A	18	12.3	14.15	18.7	264.6
B	12.7	13.9	13.1	12.1	69.4
C	13.9	13.9	13.9	12.1	168.2
D	13.3	13.3	13.3	2	26.6
E	14	14	14	1.4	19.6
F	13.3	13.3	13.3	1.7	22.6
G	14.1	14.1	14.1	11.5	162.2
H	13.4	13.4	13.4	3	36.6
I	14.3	14.3	14.3	11.8	168.7
J	13.5	13.5	13.5	3.3	44.6
K	14.4	14.4	14.4	18.5	266.4
L	13.7	13.7	13.7	3.3	45.2
M	14.6	14.6	14.6	18.3	267.2
N	13.8	14.6	14.2	3.3	46.5
O	14.8	14.8	14.7	7.7	113.2
P	14.8	15.2	15	4.5	67.5
Q	15.2	15.2	14.7	8.9	131.2
R	13.2	13.6	13.4	44.7	599.0
Totals			300.1	2802.3	

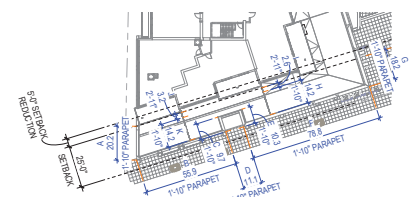
AVG Sidewalk Width Along Lake Street S
2802.345 / 300.1 = 9.34



8 ZONING L1 SITE DIAGRAM
1" = 30'-0"

AVG PARAPET HEIGHT - LAKE STREET				
Parapet Height	Elevation Length	Total	AVG Parapet Height	
A	1.8	20.2	36.4	
B	1.8	55.9	100.6	
C	1.8	9.7	17.5	
D	1.8	11.1	20.0	
E	1.8	10.3	18.5	
F	1.8	1.8	3.2	
G	1.8	18.2	32.8	
Totals		304.3	367.6	

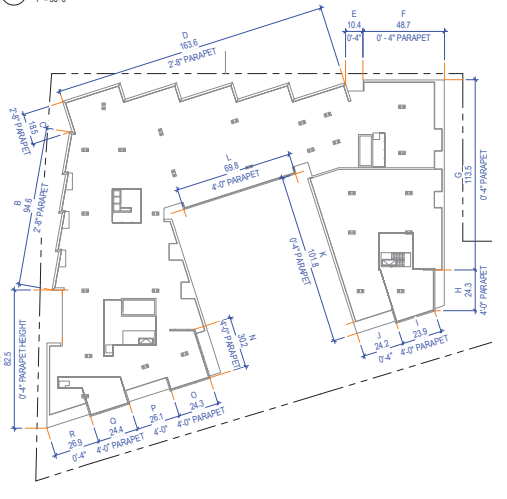
AVG Parapet Height
367.6 / 304.3 = 1.2



11 LAKE STREET AVERAGE PARAPET HEIGHT
1" = 30'-0"

AVG PARAPET HEIGHT - LAKE STREET WITH PRIVACY SCREENS				
Parapet Height	Elevation Length	Total	AVG Parapet Height	
A	1.8	20.2	36.4	
B	1.8	55.9	100.6	
C	1.8	9.7	17.5	
D	1.8	11.1	20.0	
E	1.8	10.3	18.5	
F	1.8	1.8	3.2	
G	1.8	18.2	32.8	
H	1.8	14.2	25.6	
I	2.0	2.6	7.5	
J	2.0	3.2	9.3	
K	1.8	14.2	25.6	
Totals		238.4	435.5	

AVG Parapet Height
435.5 / 238.4 = 1.8



16 ROOF AVERAGE PARAPET HEIGHT
1" = 30'-0"

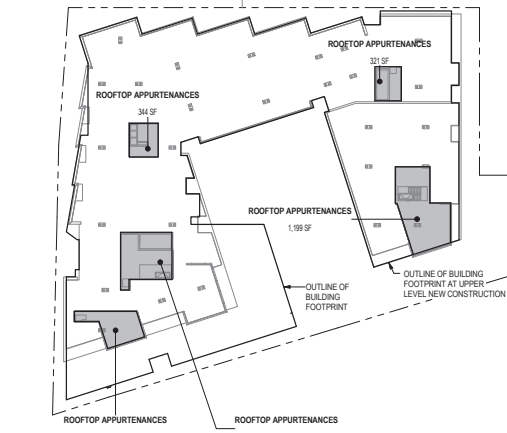
AVG PARAPET HEIGHT - UPPER ROOF				
Parapet Height	Elevation Length	Total	AVG Parapet Height	
A	0.3	82.5	24.8	
B	2.7	94.6	255.4	
C	2.7	18.5	50.6	
D	2.7	163.6	441.7	
E	0.3	10.4	3.1	
F	0.3	14.3	4.3	
G	0.3	113.5	34.1	
H	2.0	24.2	25.6	
I	4	24.3	97.2	
J	4	24.3	97.2	
K	0.3	24.2	7.3	
L	0.3	101.8	30.5	
M	4	69.1	279.3	
N	0.3	20.1	21.0	
O	4	30.2	120.8	
P	4	24.3	97.2	
Q	4	25.3	104.4	
R	0.3	26.5	8.1	
Totals		977.8	1783.5	

AVG Parapet Height
1783.52 / 977.8 = 1.8

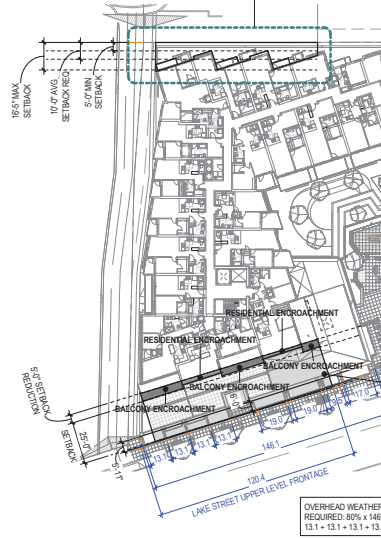
ROOFTOP APPURTENANCES TO BE: 10% MAX OF OVERALL BUILDING'S FOOTPRINT:
32,951 SF X 10% = 3,295 SF MAXIMUM
PER 11/18/19 CORRESPONDENCE WITH SCOTT GUYER, BUILDING'S FOOTPRINT TO BE CALCULATED BASED ON THE LEVEL 1 FOOTPRINT, MODIFIED AT THE SOUTH WING BY THE EXTENTS OF THE NEW CONSTRUCTION AT THE UPPER LEVELS.

BUILDING FOOTPRINT TOTAL AREA	
Level	Area
ROOF	32951 SF

ROOFTOP APPURTENANCES	
Level	Area
ROOFTOP APPURTENANCES	3288 SF



17 ROOFTOP APPURTENANCES
1" = 30'-0"



9 ZONING UPPER LEVEL SETBACK
1" = 30'-0"

OVERHEAD WEATHER PROTECTION ALONG LAKE STREET S FRONTAGE:
REQUIRED 80% X 146.1' = 116.9' LINEAR FEET
13.1' + 13.1' + 13.1' + 19.0' + 19.0' + 9.5' + 17.0' = 116.9'

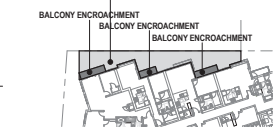
AVG UPPER STORY SETBACK ON LAKE ST	
FRONTAGE OF PROPERTY LINE:	120.4' + 59.5' = 179.9 LF
REQUIRED SETBACK:	30' RED SETBACK
# OF STORES PROPOSED:	3 STORES
MIN. REQUIRED SETBACK:	16,191 SF
5'-0" MAXIMUM REDUCTION OF UPPER LEVEL SETBACK IS ALLOWED PROVIDED THAT EACH SQUARE FOOT OF ADDITIONAL BUILDING AREA PROPOSED WITHIN THE SETBACK IS OFFSET WITH AN ADDITIONAL SQUARE FOOT OF PUBLIC OPEN SPACE (EXCLUDING AREA REQUIRED FOR SIDEWALK DEDICATION) AT THE STREET LEVEL.	
MIN. REQUIRED SETBACK:	16,191 SF
MODIFIED BY THE STREET-LEVEL PLAZA FOOTPRINT:	-4,316 SF
MODIFIED MINIMUM REQUIRED SETBACK:	11,875 SF
PROPOSED SETBACK:	13,494 SF

LAKE ST UPPER LVL SETBACK		
Level	Name	Area
L1	PROPOSED SETBACK	1488 SF
L2	PROPOSED SETBACK	1488 SF
L3	PROPOSED SETBACK	1488 SF
Totals		4464 SF

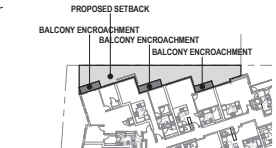
STREET LEVEL PLAZA		
Level	Name	Area
L1	PUBLIC PLAZA	4316 SF
Totals		4316 SF

LAKE ST UPPER LVL SF IN SETBACK		
Level	Name	Area
L1	BALCONY ENCROACHMENT	133 SF
L2	BALCONY ENCROACHMENT	133 SF
L3	RESIDENTIAL ENCROACHMENT	133 SF
L4	RESIDENTIAL ENCROACHMENT	133 SF
L5	BALCONY ENCROACHMENT	133 SF
L6	RESIDENTIAL ENCROACHMENT	133 SF
Totals		798 SF

19A MAIN ST SETBACK L3
1" = 30'-0"



19B MAIN ST SETBACK L4
1" = 30'-0"

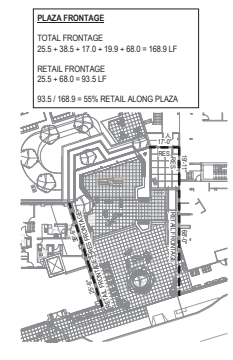


19C MAIN ST SETBACK L5
1" = 30'-0"

AVG UPPER STORY SETBACK ON MAIN ST	
FRONTAGE OF PROPERTY LINE:	96.5 LINEAR FEET
REQUIRED AVG SETBACK:	10' RED AVG SETBACK
# OF STORES PROPOSED:	3 STORES
MIN REQUIRED:	2,895 SQUARE FEET

MAIN ST UPPER LVL SF IN SETBACK W/ BALCONIES		
Level	Name	Area
L1	BALCONY ENCROACHMENT	143 SF
L2	PROPOSED SETBACK	162 SF
L3	BALCONY ENCROACHMENT	137 SF
L4	PROPOSED SETBACK	166 SF
L5	BALCONY ENCROACHMENT	148 SF
L6	PROPOSED SETBACK	181 SF
PROPOSED:		2326 SF

MAIN ST UPPER LVL SF IN SETBACK W/O BALCONIES		
Level	Name	Area
L1	PROPOSED SETBACK	162 SF
L2	PROPOSED SETBACK	166 SF
L3	PROPOSED SETBACK	181 SF
PROPOSED:		2014 SF



20 PLAZA FRONTAGE DIAGRAM
1" = 30'-0"

11/20/2019 4:43:58 PM

ORIGINAL SHEET SIZE 30" X 42"



CITY OF KIRKLAND
Planning and Building Department
123 5th Avenue, Kirkland, WA 98033
425.587.3600 ~ www.kirklandwa.gov

DEVELOPMENT STANDARDS LIST
112 Lake Street South Mixed-Use Project
File No: DRV19-00461

As part of the application for a Land Surface Modification Permit, the applicant shall submit:

1. As part of the application for a building permit, the applicant shall verify that the proposed deck and canopy encroachments meet building code
2. As part of the application for a building permit, the applicant shall comply with all applicable standards. The listing below outlines those standards in a typical development sequence. KMC refers to Kirkland Municipal Code, KZC refers to Kirkland Zoning Code.

ZONING CODE STANDARDS

85.25.1 Geotechnical Report Recommendations. Implementation of the geotechnical recommendations to mitigate identified impacts and geologic hazards, including the retention of trees, shrubs, and groundcover, and if applicable, the immediate implementation of a revegetation plan.

85.25.3 Geotechnical Professional On-Site. A qualified geotechnical professional shall be present on site during land surface modification and foundation installation activities.

92.35 Prohibited Materials In Design Districts. If in a design district the following building materials are prohibited or limited in use: mirrored glass or reflective materials, corrugated fiberglass, chain link fencing, metal siding, concrete block, backlit awnings. Water spigots are required along building facades along sidewalks for cleaning and plant watering. Commercial buildings with more than one tenant shall install a cornerstone or plaque.

95.51.2.a Required Landscaping. All required landscaping shall be maintained throughout the life of the development. The applicant shall submit an agreement to the city to be recorded with King County which will perpetually maintain required landscaping. Prior to issuance of a certificate of occupancy, the proponent shall provide a final as-built landscape plan and an agreement to maintain and replace all landscaping that is required by the City.

95.50 Tree Installation Standards. All supplemental trees to be planted shall conform to the Kirkland Plant List. All installation standards shall conform to Kirkland Zoning Code Section 95.45.

95.52 Prohibited Vegetation. Plants listed as prohibited in the Kirkland Plant List shall not be planted in the City.

100.25 Sign Permits. Separate sign permit(s) are required. In JBD and CBD cabinet signs are prohibited.

105.18 Pedestrian Walkways. All uses, except single family dwelling units and duplex structures, must provide pedestrian walkways designed to minimize walking distances from the building entrance to the right of way and adjacent transit facilities, pedestrian connections to adjacent properties, between primary entrances of all uses on the subject property, through parking lots and parking garages to building entrances. Easements may be required. In design districts through block pathways or other pedestrian improvements may be required. See also Plates 34 in Chapter 180.

105.32 Bicycle Parking. All uses, except single family dwelling units and duplex structures with 6 or more vehicle parking spaces must provide covered bicycle parking within 50 feet of an entrance to the building at a ratio of one bicycle space for each twelve motor vehicle parking spaces. Check with Planner to determine the number of bike racks required and location.

105.18 Entrance Walkways. All uses, except single family dwellings and duplex structures, must provide pedestrian walkways between the principal entrances to all businesses, uses, and/or buildings on the subject property.

105.18 Overhead Weather Protection. All uses, except single family dwellings, multifamily, and industrial uses, must provide overhead weather protection along any portion of the building, which is adjacent to a pedestrian walkway.

105.18.2 Walkway Standards. Pedestrian walkways must be at least 5' wide; must be distinguishable from traffic lanes by pavement texture or elevation; must have adequate lighting for security and safety. Lights must be non-glare and mounted no more than 20' above the ground.

105.18.2 Overhead Weather Protection Standards. Overhead weather protection must be provided along any portion of the building adjacent to a pedestrian walkway or sidewalk; over the primary exterior entrance to all buildings. May be composed of awnings, marquees, canopies or building overhangs; must cover at least 5' of the width of the adjacent walkway; and must be at least 8 feet above the ground immediately below it. In design districts, translucent awnings may not be backlit; see section for the percent of property frontage or building facade.

105.19 Public Pedestrian Walkways. The height of solid (blocking visibility) fences along pedestrian pathways that are not directly adjacent a public or private street right-of-way shall be limited to 42 inches unless otherwise approved by the Planning or Public Works Directors. All new building structures shall be setback a minimum of five feet from any pedestrian access right-of-way, tract, or easement that is not directly adjacent a public or private street right-of-way. If in a design district, see section and Plate 34 for through block pathways standards.

105.20 Required Parking. The applicant will provide the require parking spaces for the uses.

105.58 Parking Lot Locations in Design Districts. See section for standards unique to each district.

105.65 Compact Parking Stalls. Up to 50% of the number of parking spaces may be designated for compact cars.

105.60.2 Parking Area Driveways. Driveways which are not driving aisles within a parking area shall be a minimum width of 20 feet.

105.60.3 Wheelstops. Parking areas must be constructed so that car wheels are kept at least 2' from pedestrian and landscape areas.

105.60.4 Parking Lot Walkways. All parking lots which contain more than 25 stalls must include pedestrian walkways through the parking lot to the main building entrance or a central location. Lots with more than 25,000 sq. ft. of paved area must provide pedestrian routes for every 3 aisles to the main entrance.

105.77 Parking Area Curbing. All parking areas and driveways, for uses other than detached dwelling units must be surrounded by a 6" high vertical concrete curb.

110.52 Sidewalks and Public Improvements in Design Districts. See section, Plate 34 and public works approved plans manual for sidewalk standards and decorative lighting design applicable to design districts.

110.60.5 Street Trees. All trees planted in the right-of-way must be approved as to species by the City. All trees must be two inches in diameter at the time of planting as measured using the standards of the American Association of Nurserymen with a canopy that starts at least six feet above finished grade and does not obstruct any adjoining sidewalks or driving lanes.

115.25 Work Hours. It is a violation of this Code to engage in any development activity or to operate any heavy equipment before 7:00 am. or after 8:00 pm Monday through Friday, or before 9:00 am or after 6:00 pm Saturday. No development activity or use of heavy equipment may

occur on Sundays or on the following holidays: New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving, and Christmas Day. The applicant will be required to comply with these regulations and any violation of this section will result in enforcement action, unless written permission is obtained from the Planning official.

115.45 Garbage and Recycling Placement and Screening. For uses other than detached dwelling units, duplexes, moorage facilities, parks, and construction sites, all garbage receptacles and dumpsters must be setback from property lines, located outside landscape buffers, and screened from view from the street, adjacent properties and pedestrian walkways or parks by a solid sight-obscuring enclosure.

115.47 Service Bay Locations. All uses, except single family dwellings and multifamily structures, must locate service bays away from pedestrian areas. If not feasible must screen from view.

115.95 Noise Standards. The City of Kirkland adopts by reference the Maximum Environmental Noise Levels established pursuant to the Noise Control Act of 1974, RCW 70.107. See Chapter 173-60 WAC. Any noise, which injures, endangers the comfort, repose, health or safety of persons, or in any way renders persons insecure in life, or in the use of property is a violation of this Code.

115.115.d Driveway Setbacks. Parking areas and driveways for uses other than detached dwelling units, attached and stacked dwelling units in residential zones, or schools and day-cares with more than 12 students, may be located within required setback yards, but, except for the portion of any driveway which connects with an adjacent street, not closer than 5 feet to any property line.

115.120 Rooftop Appurtenance Screening. New or replacement appurtenances on existing buildings shall be surrounded by a solid screening enclosure equal in height to the appurtenance. New construction shall screen rooftop appurtenances by incorporating them in to the roof form.

115.135 Sight Distance at Intersection. Areas around all intersections, including the entrance of driveways onto streets, must be kept clear of sight obstruction as described in this section.

145.22.2 Public Notice Signs. Within seven (7) calendar days after the end of the 21-day period following the City's final decision on the permit, the applicant shall remove all public notice signs.

Prior to recording:

110.60.6 Mailboxes. Mailboxes shall be installed in the development in a location approved by the Postal Service and the Planning Official. The applicant shall, to the maximum extent possible, group mailboxes for units or uses in the development.

Prior to issuance of a grading or building permit:

85.25.1 Geotechnical Report Recommendations. A written acknowledgment must be added to the face of the plans signed by the architect, engineer, and/or designer that he/she has reviewed the geotechnical recommendations and incorporated these recommendations into the plans.

85.45 Liability. The applicant shall enter into an agreement with the City, which runs with the property, in a form acceptable to the City Attorney, indemnifying the City for any damage resulting from development activity on the subject property which is related to the physical condition of the property.

95.30(4) Tree Protection Techniques. A description and location of tree protection measures during construction for trees to be retained must be shown on demolition and grading plans.

95.34 Tree Protection. Prior to development activity or initiating tree removal on the site, vegetated areas and individual trees to be preserved shall be protected from potentially damaging

activities. Protection measures for trees to be retained shall include (1) placing no construction material or equipment within the protected area of any tree to be retained; (2) providing a visible temporary protective chain link fence at least 6 feet in height around the protected area of retained trees or groups of trees until the Planning Official authorizes their removal; (3) installing visible signs spaced no further apart than 15 feet along the protective fence stating "Tree Protection Area, Entrance Prohibited" with the City code enforcement phone number; (4) prohibiting excavation or compaction of earth or other damaging activities within the barriers unless approved by the Planning Official and supervised by a qualified professional; and (5) ensuring that approved landscaping in a protected zone shall be done with light machinery or by hand.

27.06.030 Park Impact Fees. New residential units are required to pay park impact fees prior to issuance of a building permit. Please see KMC 27.06 for the current rate. Exemptions and/or credits may apply pursuant to KMC 27.06.050 and KMC 27.06.060. If a property contains an existing unit to be removed, a "credit" for that unit shall apply to the first building permit of the subdivision.

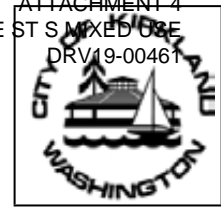
Prior to occupancy:

85.25.3 Geotechnical Professional On-Site. The geotechnical engineer shall submit a final report certifying substantial compliance with the geotechnical recommendations and geotechnical related permit requirements.

95.51.2.a Required Landscaping. All required landscaping shall be maintained throughout the life of the development. The applicant shall submit an agreement to the city to be recorded with King County which will perpetually maintain required landscaping. Prior to issuance of a certificate of occupancy, the proponent shall provide a final as-built landscape plan and an agreement to maintain and replace all landscaping that is required by the City.

110.60.6 Mailboxes. Mailboxes shall be installed in the development in a location approved by the Postal Service and the Planning Official. The applicant shall, to the maximum extent possible, group mailboxes for units or uses in the development.

110.75 Bonds. The City may require or permit a bond to ensure compliance with any of the requirements of the Required Public Improvements chapter.



PUBLIC WORKS CONDITIONS

Permit #: DRV19-00461

Project Name: 112 Lake Street Mix-Use

Project Address: 112 Lake St S.

Date: December 17, 2019

Public Works Staff Contacts

Tuan Phan, Development Engineering Supervisor

Phone: 425-587-3843 / E-mail: tphan@kirklandwa.gov

Thang Nguyen, Transportation Engineer

Phone: 425-587-3869 / E-mail: tnguyen@kirklandwa.gov

Jamie Ward, Development Engineer

Phone: 425-587-3809 / E-mail: jward@kirklandwa.gov

General Conditions:

1. All public improvements associated with this project including street and utility improvements, must meet the [City of Kirkland Public Works Pre-Approved Plans and Policies Manual](#). A Public Works Pre-Approved Plans and Policies manual can be purchased from the Public Works Department, or it may be retrieved from the Public Works Department's page at the City of Kirkland's web site.
2. This project will be subject to [Public Works Permit and Connection Fees](#). It is the applicant's responsibility to contact the Public Works Department by phone or in person to determine the fees. The applicant should anticipate the following fees:
 - Water, Sewer, and Surface Water Connection Fees *
 - Side Sewer Inspection Fee *
 - Water Meter Fee *
 - Right-of-way Fee
 - Review and Inspection Fee
 - Building Permits associated with this proposed project will be subject to the traffic, park, and school impact fees per Chapter 27 of the Kirkland Municipal Code. The impact fees shall be paid prior to issuance of the Building Permit(s). Any existing buildings within this project which are demolished will receive a Traffic Impact Fee credit, Park Impact Fee Credit and School Impact Fee Credit. This credit will be applied to the first Building Permits that are applied for within the project. The credit amount for each demolished building will be equal to the most currently adopted Fee schedule.

** Fee to be paid with the issuance of a Building Permit.*

3. All street and utility improvements shall be permitted by obtaining a [Land Surface Modification \(LSM\) Permit](#), including the required [LSM Checklist](#).
4. Performance and Maintenance Securities:
 - A right-of-way Restoration Security is required prior to issuance of the Building Permit. The security will range from \$20,000.00 to 50,000.00 (value determined based on amount of ROW disruption). This security will be held until the project has been completed.
 - A two-year Maintenance Security is required for all public improvements constructed by the project, prior to Final Inspection and permit close out.
5. Prior to submittal of a Building or Zoning Permit, the applicant must apply for a Concurrency Test Notice. Contact Thang Nguyen, Transportation Engineer, at 425-587-3869 for more information. A separate Concurrency Permit will be created.
Refer to the Transportation Conditions at the end of this document for details.
6. After concurrency has passed, the project will receive a concurrency test notice that allows the applicant to proceed with all development permits. A "Certificate of Concurrency" is established with a development or building permit. It will read as follows: CERTIFICATE OF CONCURRENCY: This project has been reviewed and approved for water, sewer, and traffic concurrency. Any water and sewer mitigating conditions are listed within the conditions below. Any traffic mitigating conditions will be found in an attached memorandum from the Public Works Traffic Engineering Analyst to the Planning Department Project Planner. Upon issuance of this permit, this project shall have a valid Certificate of Concurrency and concurrency vesting until the permit expires. This condition shall constitute issuance of a Certificate of Concurrency pursuant to chapter 25.12 of the Kirkland Municipal Code.
7. All civil engineering plans which are submitted in conjunction with a building, grading, or right-of-way permit must conform to the [Public Works Policy G-7, Engineering Plan Requirements](#). This policy is contained in the Public Works Pre-Approved Plans and Policies manual.
8. All street improvements and underground utility improvements (storm, sewer, and water) must be designed by a Washington State Licensed Engineer; all drawings shall bear the engineers stamp.
9. All plans submitted in conjunction with a building, grading or right-of-way permit must have elevations which are based on the King County datum only (NAVD 88).
10. A completeness check meeting is required prior to submittal of any Building Permit applications.

11. Prior to issuance of any commercial or multifamily Building Permit, the applicant shall provide a plan for garbage, recycling and composting storage and pickup. The plan shall conform to [Policy G-9](#) in the Public Works Pre-approved Plans and be approved by Waste Management and the City. Important feature is to provide enough storage area for recycling and composting; and being able to pick up containers without storing in the ROW overnight. Submit the plan with a cover letter to explain how Policy G-9 requirements will be met. Please contact John MacGillivray, 425.587.3804, if you have questions.
12. The required tree plan shall include any significant trees in the public right-of-way along the property frontage.

Sanitary Sewer Conditions:

1. The existing sanitary sewer main in the right-of-way is adequate to serve the project.
2. Provide a side sewer stub to serve the Project. Side sewers serving the property shall be PVC gravity sewer pipe per Public Works Pre-Approved Criteria and sized per the Uniform Plumbing Code. 8-inch stub will need to be connected to a manhole.
3. Any businesses serving food or drink are required to have grease interceptor on the waste line prior to discharge to the City sewer system. The interceptor shall be sized per the Uniform Plumbing Code (minimum). Please make provisions for this if there is a possibility of a restaurant/coffee shop in the future retail space.

Water System Conditions:

1. The existing water main in the right-of-way is adequate to serve the project.
2. In mixed-use projects, each use shall have a separate water service and meter; i.e., the retail use shall have a separate water service, independent from the residential service. A third meter shall be required for irrigation if desired; City of Kirkland will set the water meters (3" and up shall be provided by the Project). The water meter size is determined/verified when the Building Permit is submitted and shall be sized per the Uniform Plumbing Code.
3. The existing water service shall be abandoned at the main, unless approved otherwise by Public Works. Note: The existing water service may be used provided that it is in the right location, is not galvanized or blue poly, and is sized adequately to serve the building (per the Plumbing Code).
4. See Fire Department conditions for fire flow requirements.

Surface Water Conditions:

1. Provide temporary and permanent storm water control in accordance with the [2016 King County Surface Water Design Manual \(KCSWDM\)](#) and the City of Kirkland Addendum (Policy [D-10](#)). Full Drainage Review: Any non-single-family residential project that creates more than 2,000 sf of new and/or replaced impervious surface, or greater than 7,000 sf of land disturbing activity will trigger a Full Drainage Review.
2. **Attention to Civil Plan Designers: Kirkland Zoning Code Update and Surface Water Design Policy Update** -- Public Works Policy D-10 (City's Addendum to the 2016 KCSWDM) was updated in July 2019. Follow the new guidelines in D-10 regarding flow control analysis. Effective on July 12, 2019, the City updated KZC Chapter 115.90 – Calculating Lot Coverage. Background: The regulation update allowed conventional (sand set) pavers to be counted as a "Partially Exempt Material", allowed to received 50 percent exemption for the area they cover, and up to 10 percent of the total lot size. Conventional pavers do not have to meet surface water mitigation specifications (e.g. not designed as LID BMP pervious pavers per Public Works Pre-Approved Plan CK-L-09). As a result, lots are allowed 10 percent more runoff generating surface area, and thus have to provide flow control accordingly.

Impervious coverage for proposed commercial development must be estimated for each specific proposal. Impervious coverage for frontage layouts – streets, sidewalks, trails, etc – shall be taken from the layouts of the proposal. Impervious coverage shall either:

- Assume the maximum impervious coverage permitted by the KZC plus an additional 10%, OR
 - Estimate impervious coverage from layouts of the proposal. If estimated from the layouts of the proposal, the impervious coverage shall include calculations of all impervious surfaces, including eaves. This option may require a Reduced Impervious Surface Limit to be recorded on the property.
3. A drainage report (Technical Information Report) must be submitted with the building permit application.
 4. This project is in a Level 1 Flow Control Area (Potential Direct Discharge), and is required to comply with core drainage requirements in the KCSWDM.
 - a) To qualify for direct discharge, the applicant must demonstrate (at a minimum):
 - The conveyance system between the project site and Lake Washington will be comprised of manmade conveyance elements and will be within public right-of-way or a public or private drainage easement, AND
 - The conveyance system will have adequate capacity per Core Requirement #4, Conveyance System, for the entire contributing drainage area, assuming build-

out conditions to current zoning for the equivalent area portion and existing conditions for the remaining area;

- b) If a stormwater detention system is required, this project may be designed to Level 1 flow control standards. Existing conditions may be used as the pre-developed condition. Calculations of the existing impervious surface area for modeling shall be in accordance with the formula described in the KCSWDM.
5. Under Level 1 flow control standards, the project may qualify for an exception to detention if the target surfaces will generate no more than a 0.15 cfs increase in the existing site conditions 100-year peak flow. The 15-minute time step must be used to perform the flow control analysis. Do not use the 1-hour time step. Approved hydrologic modeling programs are MGS Flood and WWHM 2012.
6. Evaluate the feasibility and applicability of dispersion, infiltration, and other stormwater Low Impact Development (LID) Best Management Practices (BMPs) per the KCSWDM. If feasible, stormwater LID BMPs are required to the maximum extent feasible. If LID BMPs are infeasible, pervious pavement cannot be used to reduce overall impervious lot coverage. The Private Maintenance Agreement will be recorded on all projects that construct a stormwater LID BMP or facility, per Policy [D-7](#).
7. Soil information may be necessary for designing LID BMPs per the KCSWDM, and there are other reasons a soil report is necessary for a project (e.g., steep slopes, sensitive areas, etc.). Refer to Policy [D-8](#) for details.
8. Special inspections may be required for LID BMPs on this project. Provide documentation of inspections by a licensed geotechnical professional that the BMP will function as designed.
9. If the project will create or replace more than 5,000 square feet of pollution generating impervious surface (PGIS), provide water quality treatment in accordance with the KCSWDM. The enhanced treatment level is required for multi-family residential, commercial, industrial projects, and single family residential projects with eight or more dwelling units per acre density.
10. Soil Amendment per Pre-Approved Plan E.12 is required for all landscaped areas.
11. Provide collection and conveyance of right-of-way storm drainage.
12. Construction Stormwater Pollution Prevention Plan (CSWPPP):
 - All proposed projects that will conduct construction activities onsite, or offsite must provide stormwater pollution prevention and spill controls to prevent, reduce, or eliminate the discharge of pollutants (including sediment) to onsite or adjacent stormwater systems or watercourses.

- Refer to Core Requirement No. 5 in the KCSWDM and Policy [D-12](#).
- Provide an erosion control report and plan with the Building or Land Surface Modification Permit application. The plan shall be in accordance with the KCSWDM.
- Construction drainage control shall be maintained by the developer and will be subject to periodic inspections. During the period from May 1 and September 30, all denuded soils must be covered within 7 days; between October 1 and April 30, all denuded soils must be covered within 12 hours. Additional erosion control measures may be required based on site and weather conditions. Exposed soils shall be stabilized at the end of the workday prior to a weekend, holiday, or predicted rain event.

Street and Pedestrian Improvement Conditions:

1. The subject property abuts LAKE STREET SOUTH (Principal Arterial) to west and a public alleyway to the north. Zoning Code sections 110.10 and 110.25 require the applicant to make half-street improvements in rights-of-way abutting the subject property. Section 110.30-110.50 establishes that this street must be improved with the following:

Lake Street S Improvements:

- A. Remove and replace curb gutter and sidewalk. Set new curb 22' from centerline of roadway (44' street width curb to curb) allowing for 8' wide parking and 14' shared vehicular and bike travel lane.
- B. Provide 10' wide sidewalk behind the 6-inch wide curb. Minimum of 5' of width must be in dedicated right-of-way and the remainder in a public pedestrian easement.
- C. Install street trees 30' on-center in 4'x6' tree wells.
- D. Install public pedestrian lighting 60' on center. Light poles and fixtures shall be in accordance with the Central Business District Street Light Standards (CK-R.47 /A, B, C, & D).
- E. Provide a bump out between the alley exit/entrance and the parking on Lake Street to keep parking clear of the alley.

Alley Improvements:

- A. Provide a 20' wide alley section (21' as measured from the back of the rolled curb on the north side). Install a speed hump in the alley east of the garage driveway.
- B. Provide a 2' wide ribbon curb along the south edge.
- C. Sidewalk at Lake Street S to meet ADA standards.
- D. Alley improvements not in the current right-of-way may be encompassed in a public right-of-way easement per Alley Easement and Maintenance Agreement (RN 20100510001627).

2. Meet the requirements of the Kirkland [Driveway Policy R-4](#).

3. Meet the requirements of the Kirkland [Intersection Sight Distance Policy R.13](#). All street and driveway intersections shall not have any visual obstructions within the sight distance triangle.
4. When three or more utility trench crossings occur within 150 lineal ft. of street length or where utility trenches parallel the street centerline, the street shall be overlaid with new asphalt or the existing asphalt shall be removed and replaced per the City of Kirkland [Street Asphalt Overlay Policy R-7](#).
 - Existing streets with 4-inches or more of existing asphalt shall receive a 2-inch (minimum thickness) asphalt overlay. Grinding of the existing asphalt to blend in the overlay will be required along all match lines.
 - Existing streets with 3-inches or less of existing asphalt shall have the existing asphalt removed and replaced with an asphalt thickness equal or greater than the existing asphalt provided however that no asphalt shall be less than 2-inches thick and the subgrade shall be compacted to 95% density.
5. It shall be the responsibility of the applicant to relocate any above-ground or below-ground utilities which conflict with the project, associated street, or utility improvements.
6. Underground all new and existing on-site utility lines and overhead transmission lines. Underground any new off-site transmission lines.
7. A striping plan for the street must be submitted with the building or grading permit.
- 8. Transportation Conditions:**
 - A. Traffic concurrency will be required. The review time for concurrency is 2-weeks if the trip generation is approved by the City Transportation Engineer. The City will provide the applicant with a transportation concurrency test notice of approval once the project passes concurrency.
 - B. A new transportation impact analysis (TIA) will be required. A TIA report must be submitted within 90 days of the Transportation concurrency test notice of approval.
 - C. No left-turn out of the alley onto Lake Street.
 - D. Install a speed hump in the alley east of the project garage driveway.
 - E. Install a vehicle warning system at the garage driveway.
 - F. No load/unloading in the alley.
 - G. Provide a loading dock within the site.
 - H. Provide an auto-turn diagram to illustrate that vehicle can maneuver within the parking garage.
 - I. Reconstruct the curb on Lake Street to add on-street parking 10 feet north of the existing crosswalk.

- J. If a garage gate is proposed it must be located a minimum of 50 feet from the alley or at a location that doesn't create a queue that backs into the alley, whichever is greater.
- K. Identify the commercial, residential and residential parking on the parking plans.
- L. Any public parking spaces displaced by the development must be provided within the parking garage and made available at all times.
- M. The northwest corner of the building must be tapered to provide adequate sight distance for vehicle exiting the alley.
- N. Minimize truck access to the site from Main Street.
- O. Commercial parking shall not be gated during business hours.
- P. Visitor parking for the residents shall be available from 6AM to 11PM.



DEVELOPMENT STANDARDS

DRV19-00461

FIRE DEPARTMENT

FIRE DEPARTMENT COMMENTS

Contact: Grace Steuart at 425-587-3660; or gsteuart@kirklandwa.gov

HYDRANTS

1 new hydrant is required to be installed in front of the building. It shall be equipped with a 5" Storz fitting.

FIRE FLOW

Fire flow in the area is approximately 4000 gpm, which is adequate for development.

FIRE SPRINKLERS

A sprinkler system is required to be installed throughout the building. A separate permit is required from the Fire Department prior to installation. The permit may be applied for electronically at MyBuildingPermit.com. All plans shall be designed and stamped by a person holding a State of Washington Certificate of Competency Level III certification. The system shall be installed by a state licensed sprinkler contractor. REF RCW 18.60 State of Washington.

A dedicated sprinkler riser room is required and it shall be placed on an exterior wall. The underground line shall run from the outside directly up into the riser room ((meaning, it shall not run under the slab for any distance nor through unheated space which would require the use of heat tape or insulation). If the riser room has direct access from the outside, a PIV is not required. The sprinkler riser room may be used for other mechanical equipment, but not for the main electrical room nor shall it be used for storage; it may be used to house the fire alarm panel.

The preferred location of the fire sprinkler room is either on the front of the building or one of the corner on Lake Street South. Then the FDC can be placed on the front of the building or one of the corners.

Another thing to consider when locating the FDC is distance from a hydrant, the preferred distance is 30-50 feet.

NOTE: TWO PERMITS are required from the Fire Department for installation of the fire sprinkler system, one for the underground and one for the sprinkler system itself. No work shall be performed on the sprinkler system without a Fire Department permit.

Civil drawings may be used for reference but do not constitute approval to install any fire sprinkler equipment. A separate fire sprinkler permit is required for all fire sprinkler work, including the underground. Final approval of locations of sprinkler equipment such as FDC will be made at the fire sprinkler permit stage.

STANDPIPES

A standpipe is required. Submit three sets of plans for approval; or electronically. The plans shall include isometric elevation drawing of the entire standpipe system including location of any isolation valves.

Note: Per the IFC 3313, standpipes shall be operational when the progress of construction is not more than 40 feet in height above the lowest level of fire department access. The standpipe shall be extended as construction

progresses to within one floor of the highest point of construction having secured decking or flooring.

Standpipe systems shall be installed throughout buildings where the floor level of the highest story is located more than 30 feet above the lowest level of the fire department vehicle access, or where the floor level of the lowest story is located more than 30 feet below the highest level of fire department vehicle access.

FIRE ALARM

A fire alarm system is required to be installed throughout the building. A separate permit is required from the Fire Department prior to installation. The permit may be applied for electronically at MyBuildingPermit.com. The system shall comply with Washington State Barrier Free requirements regarding installation of visual devices and pull stations. The specific requirements for the system can be found in Kirkland Operating Policy 10.

FIRE EXTINGUISHERS

Portable fire extinguishers are required per Section 906 of the IFC. Minimum rating is 2A10BC. Extinguishers shall be mounted or in cabinets so that the top of the extinguisher is no more than 5 feet above the finished floor. Travel distance to a fire extinguisher shall not exceed 75 feet as measured along the route of travel.

KEY BOX

A Key box is required (Knox Box). It shall be installed in an approved accessible location no higher than six feet above grade. In most cases it will be located at the front entrance to the building. The box may be purchased on-line at www.knoxbox.com; or by filling out an order form which is available from the Fire Department office. Contact the Fire Prevention Bureau at 425-587-3661 for more information.

EMERGENCY RADIO COVERAGE (Effective 7-1-16)

This is not a requirement for a radio system per se, only providing you with information regarding the City's radio requirement for new buildings. The building "may" need a radio system because it is not exempted outright from the requirement (via any of the below thresholds)

510.1 Emergency Responder Radio Coverage. All new buildings shall have approved radio coverage for emergency responders within any building meeting any of the following conditions.

1. There are more than five stories above grade plane (as defined by the International Building Code, Section 202);
 2. The total building area is 50,000 square feet or more;
 3. The total basement area is 10,000 square feet or more;
- Or
4. There are floors used for human occupancy more than 30 feet below the finish floor of the lowest level of exit discharge.

Exception:

1. Buildings and area of buildings that have minimum radio coverage signal strength levels of the King County Regional 800 MHz Radio System within the building in accordance with Section 510.4.1. (This may be determined through analysis during the construction phase.)

If it is determined that a radio system is required, a fire department construction permit is required for installation.

FIRE SAFETY DURING CONSTRUCTION

In addition to the general fire safety requirements in IFC 3308, the Kirkland Fire Department has several requirements for high rise and/or wood-frame buildings more than 50,000 square feet in area:

3308.8.1 Job Site Security. After above grade combustible construction has begun, the job site shall be secured with controlled access. In addition, off hours guard service and/or motion controlled surveillance may be required at the discretion of the fire code official.

3308.8.2 Job shacks and other temporary structures. Job shacks and other temporary structures located within or less than 20' from the permanent building shall be:

- Constructed of non-combustible materials or 1 hour fire-resistive construction.
- Shall not be equipped with fuel fired heaters
- Shall be equipped with monitored fire alarm system when located below grade
- Shall not function as offices unless protected with automatic sprinkler systems



DEVELOPMENT STANDARDS

DRV19-00461

BUILDING DEPARTMENT

Contact: Tom Jensen – tjensen@kirklandwa.gov

1. A geotechnical report is required to address development activity. The report must be prepared by a Washington State licensed Professional Engineer. The recommendations contained within the report shall be incorporated into the design of the subsequent structures.
2. This parcel is comprised of multiple lots and must be consolidated prior to permit issuance. A Lot Consolidation by Restrictive Covenant document will be created by the City for signature by the property owners and sent to King County for recording at the time of permit issuance.
3. Prior to issuance of Building, Demolition or Land Surface Modification permit applicant must submit a proposed rat baiting program for review and approval. Kirkland Municipal Ordinance 21.41.302.
4. A separate demolition permit is required for removal of the existing structures.
5. Plumbing meter and service line shall be sized in accordance with the current UPC.
6. Any vault, grease interceptor or retaining walls to be constructed with the LSM will require separate building permits.
7. Complete permit applications received before November 1st, 2020 shall comply with the 2015 editions of the International Building, Residential and Mechanical Codes and the Uniform Plumbing Code as adopted and amended by the State of Washington and the City of Kirkland. Complete permit applications received beginning November 1st, 2020 shall comply with the 2018 editions. Submitting permit applications complying with the 2018 codes prior to November 1st may be requested by completing an Alternate Materials, Methods or Modifications Request form stating an understand that revisions to the plans may be required based on any amendments adopted by the State of Washington and the City of Kirkland that impact their design.
8. Complete permit applications received before November 1st, 2020 shall comply with the 2015 edition of the International Energy Conservation Code as adopted and amended by the State of Washington. Complete permit applications received beginning November 1st, 2020 shall comply with the 2018 edition. Submitting permit applications complying with the 2018 codes prior to November 1st may be requested by completing an Alternate Materials, Methods or Modifications Request form stating an understand that revisions to the plans may be required based on any amendments adopted by the State of Washington and the City of Kirkland that impact their design.
9. The City of Kirkland reviews, issues and inspects all electrical permits in the city. Complete electrical permit applications received before July 1st, 2020 shall comply with the 2017 Washington Cities Electrical Code chapters 1 and 3 as published by WABO. Complete electrical permit applications received beginning July 1st, 2020 shall comply with the 2020 edition. An Emergency Rule may extend compliance with the 2015 codes until November 1st.
10. Structures must be designed for seismic design category D, wind speed of 110 miles per hour and exposure C.