



**MEMORANDUM**

**To:** Design Review Board  
**From:** Tony Leavitt, Senior Planner  
**Date:** October 8, 2018  
**File No.:** DRV16-01412  
**Subject:** **VAREZE RESIDENTIAL PROJECT  
MINOR MODIFICATIONS TO APPROVED PLANS**

**I. MEETING GOALS**

Review minor modifications to approved Design Response plans for the Vareze residential project and advise staff prior to our decision on the modification.

**II. PROPOSAL**

With their building permit applications for the project, the applicant has proposed modifications to the rooftop decks on Building A, G, J and P (see Attachment 1). In the request letter, the applicant states that proposed rooftop decks would have been considered a 4<sup>th</sup> story pursuant to the 2015 International Residential Code (IRC) and that the IRC limits townhomes to 3 stories. As a result, the rooftop decks on these buildings have been eliminated and replaced with enclosed space with transom windows.

**III. BACKGROUND**

The Zoning Code states that modifications to the approval may be requested and reviewed pursuant to the following:

**142.50 Modifications**

1. The Planning Official may approve a modification to the D.R. approval for the proposed development if:
  - a. The need for the modification was not known and could not reasonably have been known before the D.R. approval was granted;
  - b. The modification is minor and will not, in any substantial way, change the proposed development or violate any requirement imposed by the Design Review Board. The Planning Official may consult with the Design Review Board in his/her decision; and
  - c. The development that will result from the modification will be consistent with the design regulations, design guidelines, and Comprehensive Plan

Staff is asking for Design Review Board advice before making a final decision on the proposed changes.



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**TO:** Tony Leavitt, Senior Planner  
City of Kirkland Planning Department

**FROM:** Lauren Jessup-Mosu  
Associate/Sr. Project Manager  
lauren.jessup@dahlingroup.com

**CC:** Richard Ferry, Director of Architecture  
Quadrant Homes

**RE:** **Vareze Residential Project by Quadrant Homes**

Dear Tony,

In response to the Kirkland Zoning Code Section 142.50 requirement for requesting Minor Modifications, please review the following for considering an approval of the proposed changes.

1. *The need for the modification was not known and could not reasonably have been known before the Design Review Board approval was granted.*

The original Design Review Board documents for the Vareze project proposed end unit roof top decks at Buildings A, G, J and P. When the project proceeded into the Construction Document phase, further code analysis was done to ensure all building components, design and layout were compliant with the 2015 International Residential Code (IRC). Because of this research, it was concluded that the roof top deck would have constituted a fourth floor based upon the IRC's definition of a Story which defines it as "that portion of a building included between the upper surface of a floor and the upper surface of the floor or roof next above." Furthermore, the IRC also states that townhomes are not allowed to be more than 3 stories in height above grade plan (R102.2). The original design proposed an upper story deck with a roof above that would have covered the entire length and width of the area, thus making it a fourth story. With the desire to maintain these buildings under the IRC, the decision was made to remove the roof top decks and redesign the end units.

2. *The modification is minor and will not, in any substantial way, change the proposed development or violate any requirement imposed by the Design Review Board.*

Unit plans 1 and 2 are the only two units impacted by this change. And, as mentioned, these roof decks were only to be included on 4 of the 16 buildings on the site. The redesign of these units in no way impacts the overall character of the project. And special care was taken to maintain as much as possible the same form, shapes and massing from the original design. In addition, there were no requirements or revisions placed on the architectural design from the Design Response Conference Memo, thus these changes are not circumventing or ignoring any compulsory requirements.

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3. *The development that will result from the modification will be consistent with the design regulations, design guidelines and Comprehensive Plan.*

All design remains consistent to the original nature, character, color, material choice, layout, regulations, guidelines and Comprehensive Plan without exception.



Location of buildings impacted by this change.



**FRONT** Plan 8A Plan 4A Plan 3A Plan 8E Plan 1A  
 (Design Review Board proposed elevation)

**Front Elevation Revisions:**

Unit 8A: One transom window at the third floor has been removed.

Unit 4A: The size of the windows that flank the sliding glass door on the second floor has been adjusted.

Unit 8E: Two transom windows at the third floor have been removed. Windows at the second floor balcony have been removed.

Unit 1A: The rooftop deck has been removed. The inverted "L" shape remains but it now covers transom windows at the third floor.

All units: The size of the sidelight windows next to all the front entry doors has been updated.



PLAN 8A PLAN 4A PLAN 3A PLAN 8E PLAN 1A

BUILDING A FRONT ELEVATION  
 (Permit Set final elevation)



**RIGHT** Plan 1A Plan 2A  
 (Design Review Board proposed elevation)

**Right Elevation Revisions:**

Unit 1A: The roof deck has been removed. Transom windows have been added to the third floor.

Unit 2A: The roof deck has been removed. Transom windows have been added to the third floor. Also, the exterior material next to the entry door has been changed to smooth panel with battens.



PLAN 1A PLAN 2A  
 BUILDING A RIGHT ELEVATION  
 (Permit Set final elevation)



**REAR**

(Design Review Board proposed elevation)

Plan 2A

Plan 8E

Plan 3A

Plan 4A

Plan 8A

**Rear Elevation Revisions:**

Unit 2A: The roof deck has been removed. The inverted "L" shape remains but it now covers transom windows at the third floor.

Unit 8E: The rectangular "box" element has been removed.

Unit 3A: There's been a modification to the size of the windows at the third floor. The exterior material surrounding the second floor deck is now lap siding rather than panel siding. The vertical "fin" has been removed.

Unit 4A: The vertical "fin" has been removed.

Unit 8A: No changes.

All units: The thin brick veneer at the first floor has been removed and replaced with smooth panel siding with battens.



BUILDING A REAR ELEVATION  
(Permit Set final elevation)

PLAN 2A

PLAN 8E

PLAN 3A

PLAN 4A

PLAN 8A



**LEFT** Plan 8A  
 (Design Review Board proposed elevation)

**Left Elevation Revisions:**

Unit 8A: A transom window has been removed from the third floor. The exterior elevation material on the first floor (left side) is now smooth panel with battens.



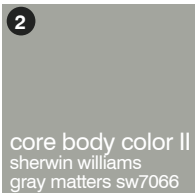
PLAN 8A

BUILDING A LEFT ELEVATION  
 (Permit Set final elevation)





Materials:  
smooth panel fiber cement board with aluminum reveals; fiber cement board lap siding with various exposures;  
brick; vinyl windows; painted downspouts



colors & materials

VAREZE



REAR



RIGHT



LEFT



FRONT

**BUILDING A ELEVATIONS**