

KIRKLAND FIRE STATION 27 ROOF REPLACEMENT

LOCATION MAP



PROJECT SITE



SITE PLAN / COVER SHEET

NOT TO SCALE



GENERAL PROJECT DESCRIPTION:

BASE BID - Remove existing roof membrane ("skin off"), associated flashings and accessories (UNO), and install new mechanically fastened coverboard and modified bitumen roof system over the existing insulation on the Main Apparatus Bay, East and West Wing Roofs. At Hose Tower, completely remove existing roof assembly to expose the concrete deck and reroof with a new protected roof membrane assembly, including drain mat and concrete/XPS insulation composite panels. Provide and install new sheet metal, membrane and fluid-applied flashings as shown on drawings.

PHYSICAL ADDRESS

11210 NE 132nd Street
Kirkland, Washington 98034

GENERAL NOTES

1. Contractor to verify all dimensions, appurtenances, and site conditions. Notify concerned parties of any conditions prior to bid which would effect the indicated work. Failure to notify constitutes acceptance of the conditions and indicated scope of work. Existing conditions shall not be the basis for contract increases.
2. Contractor shall not scale drawings, as the drawings are general; and are intended to indicate the location of the proposed work.
3. Details are included in this package. For conditions not detailed refer to the specifications/drawings, NRCA and the manufacturers installation guidelines; whichever is more stringent shall govern.
4. Contractor shall coordinate the location of contractors equipment and vehicles with the Owner. Contractor shall not impede the Owner's use of the premises.
5. All roofing related debris shall be picked up on a daily basis and legally disposed of offsite. This includes asbestos containing material. Refer to Spec. Section 02050.
6. Contractor shall maintain the operational status of all equipment, fans, vents, and HVAC units during the course of the work. Contractor shall verify the status of all equipment prior to startup of the work. Failure to establish the operational status of the HVAC units and equipment shall not relieve the contractor of responsibility for non-operational HVAC equipment or units.
7. Contractor shall be responsible for any damage to the premises as a result of the execution of work.
8. Contractor shall verify the status of all roof drains and downspouts by water testing prior to startup of the work. Owner's representative shall be notified of drain tests prior and be allowed an opportunity to observe said drain tests.
9. The roof shall remain weather-tight during the course of roof work. Contractor shall provide temporary weather protection capable of withstanding extended time periods on a daily basis.
10. A copy of the project plans and specifications shall be kept available on site at all times during the course of construction

DRAWING INDEX

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R6	ROOF DETAILS

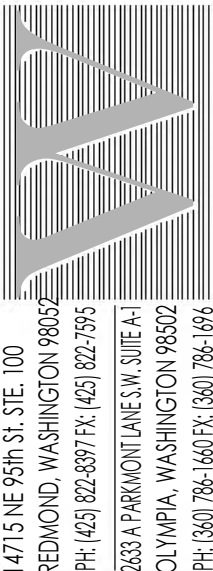
ABBREVIATIONS

SIM.	SIMILAR
TYP.	TYPICAL
UNO	UNLESS NOTED OTHERWISE
O.C.	ON CENTER
MAX.	MAXIMUM
MIN.	MINIMUM
GALV.	GALVANIZED
(N)	NEW
(E)	EXISTING
S.A.	SELF ADHERED

ABBREVIATIONS

N.I.C.	NOT IN CONTRACT
S.S.	STAINLESS STEEL
CONT.	CONTINUOUS
MECH.	MECHANICALLY
W/	WITH
@	AT
RTW	ROOF-TO-WALL
INT.	INTERIOR
PT	PRESSURE TREATED
GA.	GAUGE
H.T.	HIGH TEMPERATURE

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SITE PLAN / COVER SHEET

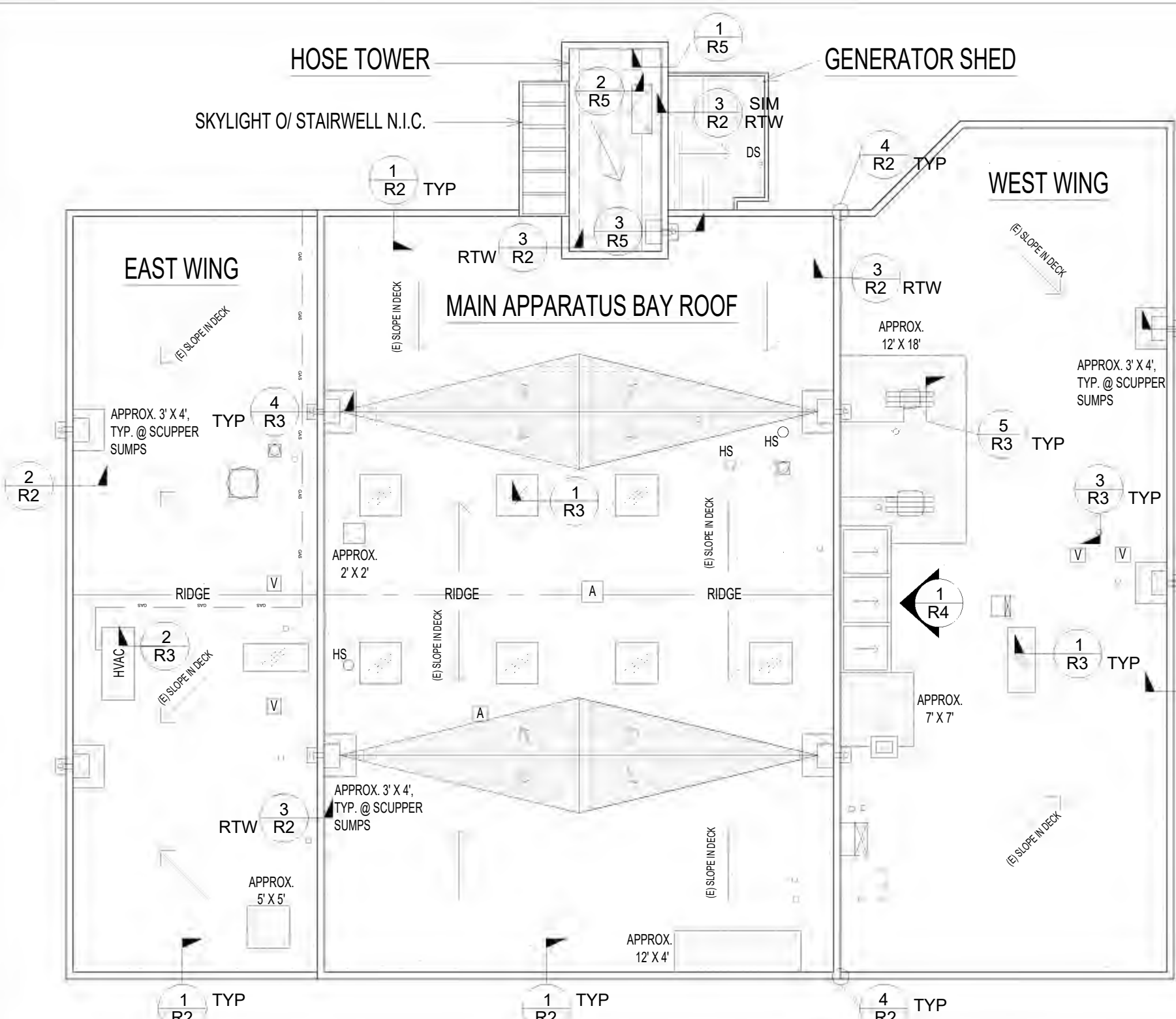
Kirkland Fire Station 27

CLIENT : City of Kirkland
ADDRESS : 11210 NE 132nd Street
Kirkland, Washington
PHONE : 425-587-3931

PRJ# : 2002-25A1
DRW : JJL
CHK : DAD
DATE : 6/09/20

SHEET

R0

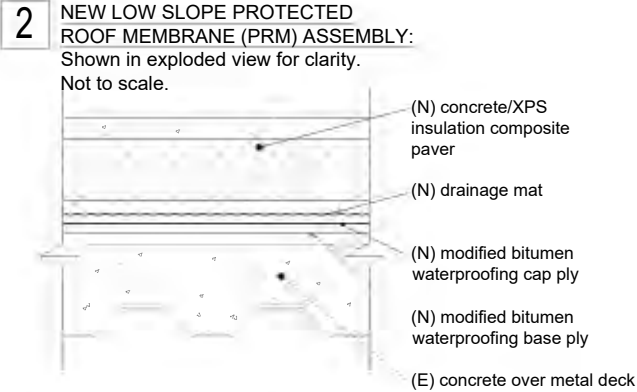
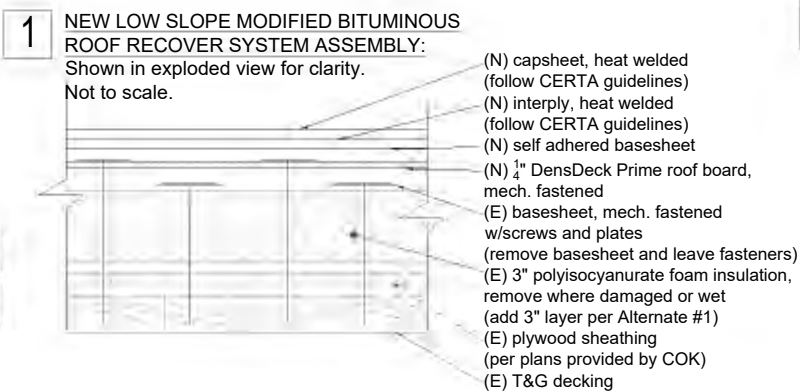


LEGEND

	(E) ROOF HATCH		HVAC	(E) MECH. UNIT
	(E) CONC. SCUPPER W/ 2'X3' SUMPS, MODIFIED AND ADDED W/COLLECTOR BOX AND DOWNSPOUT		(N) SKYLIGHT	
	(E) SLEEPER MOUNTED UNIT		(E) CURB MOUNTED POWER VENT	
	(E) GOOSENECK VENT		(E) GRAVITY HOOD VENT	
	ABANDONED CURB		(E) CURB MOUNTED HEAT STACK	
	(E) VENT		HS	(E) HEAT STACK
			(E) PIPE/CONDUIT PENETRATION	
	REPRESENTS APPROX. ROOF AREAS THAT RETURNED ANOMALOUS RESULTS FROM A MOISTURE SCAN (ASSUMED WET) AND REQUIRE COMPLETE TEAR-OFF OF ENTIRE ROOF ASSEMBLY DOWN TO THE DECK, INFILL WITH NEW INSULATION AND INSTALLATION OF RECOVER ASSEMBLY. EXTENTS OF REMOVAL TO BE DETERMINED IN FIELD ONCE DAMAGED/WET AREAS ARE FULLY EXPOSED.		REPRESENTS NEW 1/2" PER FOOT TAPERED INSULATION CRICKETS INSTALLED UNDER NEW ROOF RECOVER ASSEMBLY.	
	REPRESENTS ROOF AREAS TO BE COMPLETELY REMOVED AND CONCRETE DECK EXPOSED TO RECEIVE NEW PRM ASSEMBLY PER 2/R1 BELOW.		REPRESENTS ROOF AREA TO RECEIVE NEW CAPSHEET MEMBRANE OVER EXISTING SMOOTH SURFACE MEMBRANE, NEW MEMBRANE BASEFLASHINGS AND SHEET METAL COUNTERFLASHINGS	

GENERAL NOTES

- 1 - RAISE ALL PARAPETS, CURBS, PENETRATIONS AND SLEEPERS TO PROVIDE A MINIMUM 8-INCH FLASHING HEIGHT ABOVE THE FINISHED ROOF SURFACE.
- 2 - ALL ACRYLIC DOME SKYLIGHTS ARE TO BE REMOVED AND REPLACED WITH NEW.
- 3 - AT "WET" LOCATIONS IDENTIFIED WHERE INSULATION IS NOTED TO BE REPLACED SHALL HAVE NEW INSULATION PLACED TO INFILL. EXPOSED SHEATHING/DECKING IN THESE AREAS IS TO BE REVIEWED FOR DAMAGE AND REPLACED ON A NEGOTIATED TIME AND MATERIALS BASIS.
- 4 - AREA IN FRONT OF SCUPPERS IS TO BE FORMED WITH APPROX. 2-FOOT BY 3-FOOT SUMPS.
- 5 - ALL CONCRETE SCUPPERS, EXCEPT FOR THE TWO ON THE EAST WING PARAPET, ARE TO HAVE THE EXTENSION CUT TO APPROX. 2-INCHES AWAY FROM THE FACE OF THE WALL PER DETAIL 4/R3..
- 6 - PRIMARY SLOPE IS BUILT-IN TO THE DECK. NEW TAPERED INSULATION CRICKETS ON THE MAIN BAY ROOF SHOULD HAVE A MINIMUM OF 1/2-INCH PER FOOT TAPER TO PROMOTE POSITIVE DRAINAGE TO THE SCUPPER SUMPS.
- 7 - AT EQUIPMENT NOTED AS ABANDONED, VERIFY W/ OWNER BEFORE PROCEEDING WITH DEMO AND ANY NECESSARY ROOF STRUCTURE INFILL.
- 8 - ALL LOUVER OPENINGS IN WALL ARE TO HAVE PERIMETER SEALANT REPLACED WITH NEW TOOLED SEALANT JOINTS.
- 9 - ALL PRACTICES PERTAINING TO NRCA CERTA GUIDELINES SHALL BE FOLLOWED WHEN TORCHING METHODS ARE EMPLOYED. THIS INCLUDES PERFORMING A FIRE WATCH FOLLOWING ANY TORCH APPLICATIONS AND ALWAYS HAVE APPROVED FIRE EXTINGUISHING EQUIPMENT NEARBY.



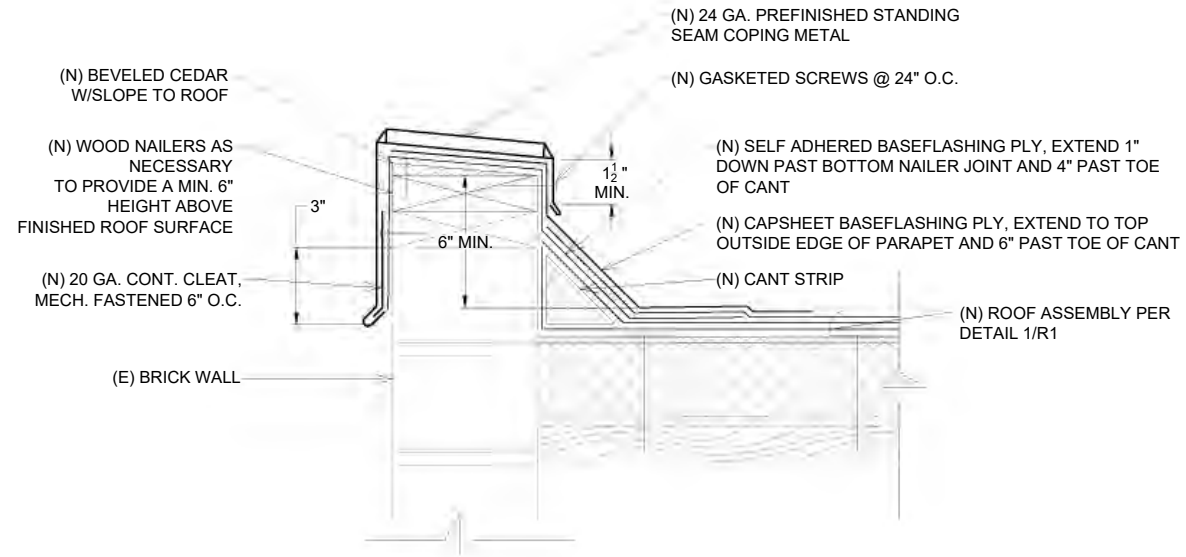
ROOF PLAN
NOT TO SCALE

NORTH

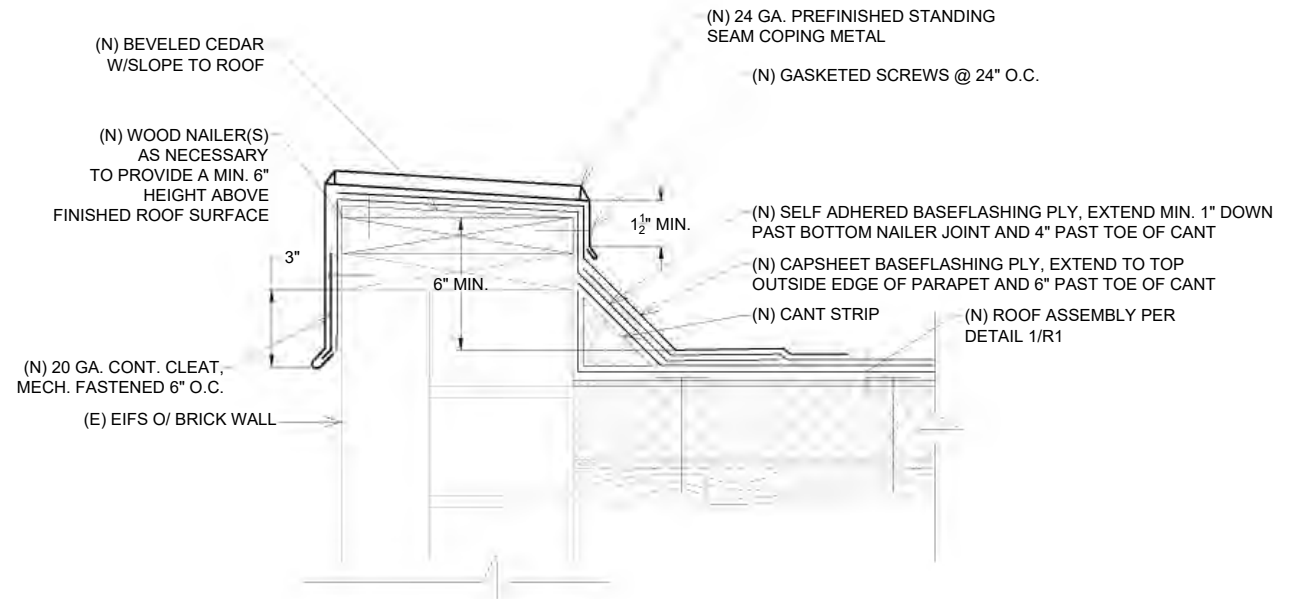
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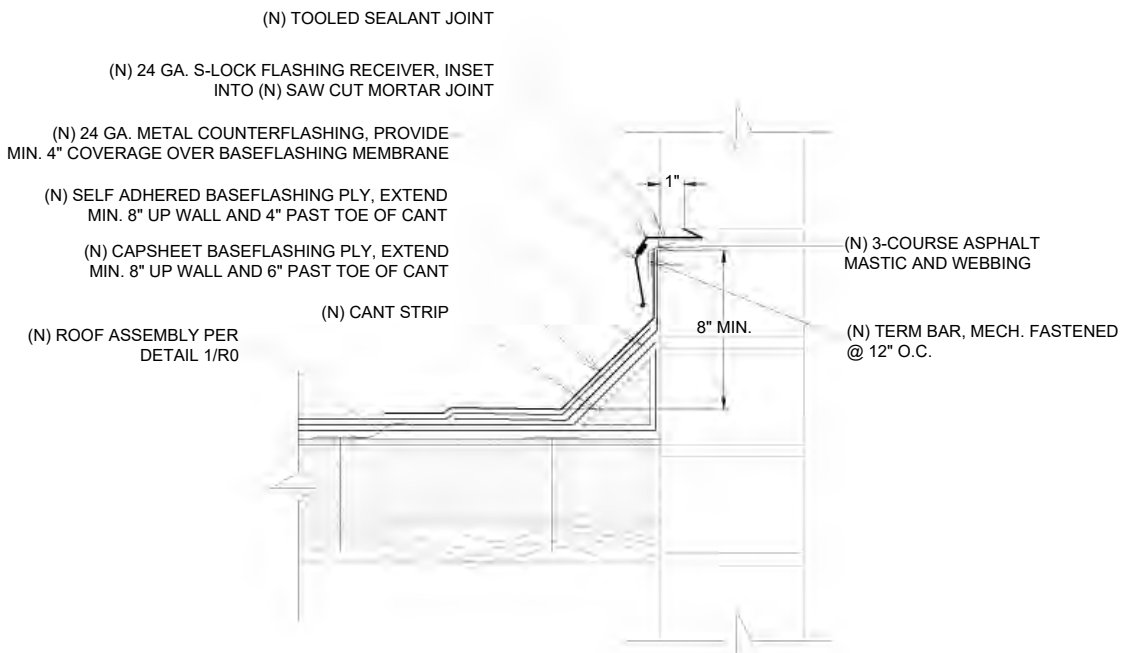
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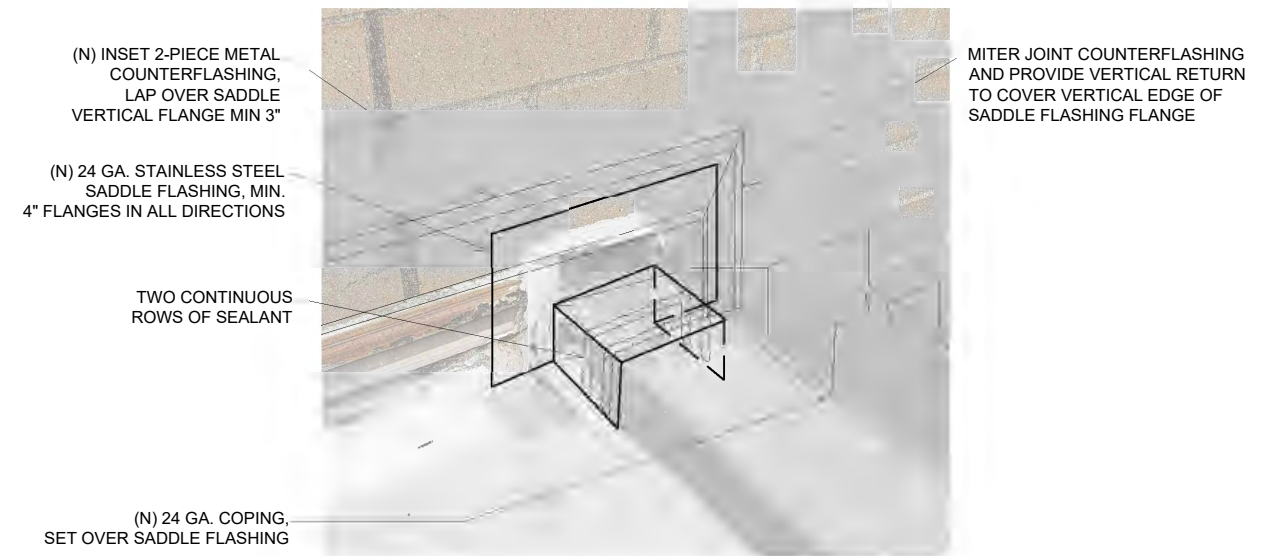
1 SECTION DETAIL
TYP. PARAPET
R2 NOT TO SCALE



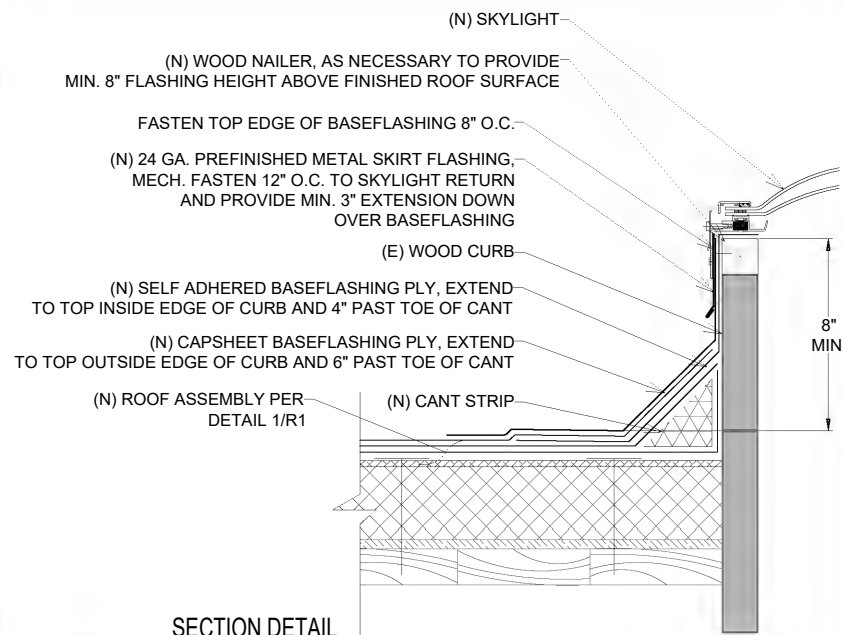
2 SECTION DETAIL
WEST ELEVATION PARAPET
R2 NOT TO SCALE



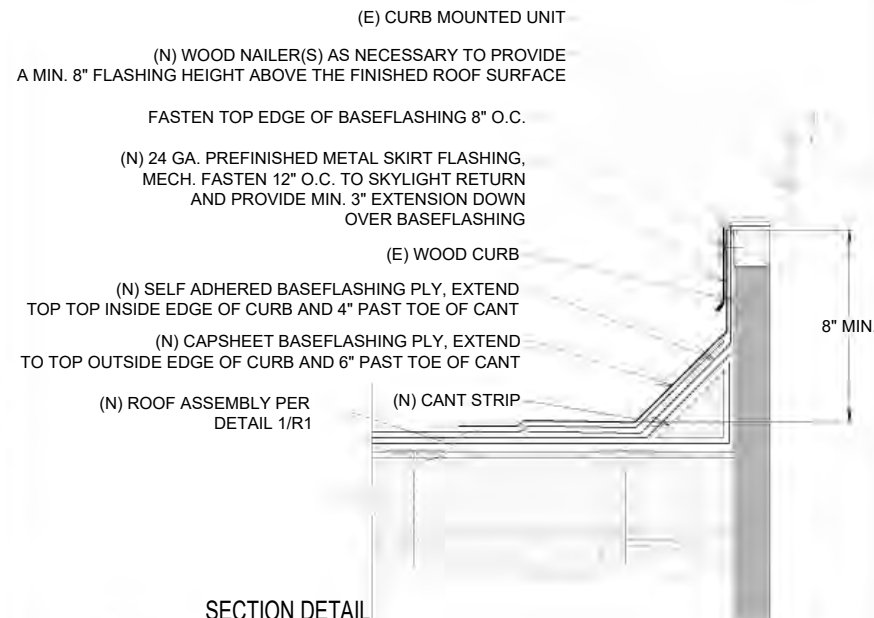
3 SECTION DETAIL
ROOF-TO-WALL FLASHING
R2 NOT TO SCALE



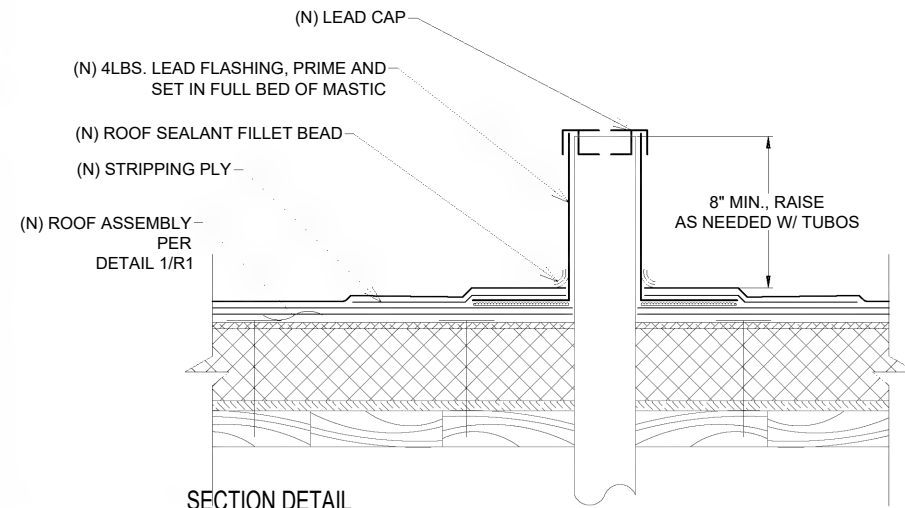
4 PHOTO DETAIL
SOLDERED TRANSITION (SADDLE) FLASHING
R2 NOT TO SCALE



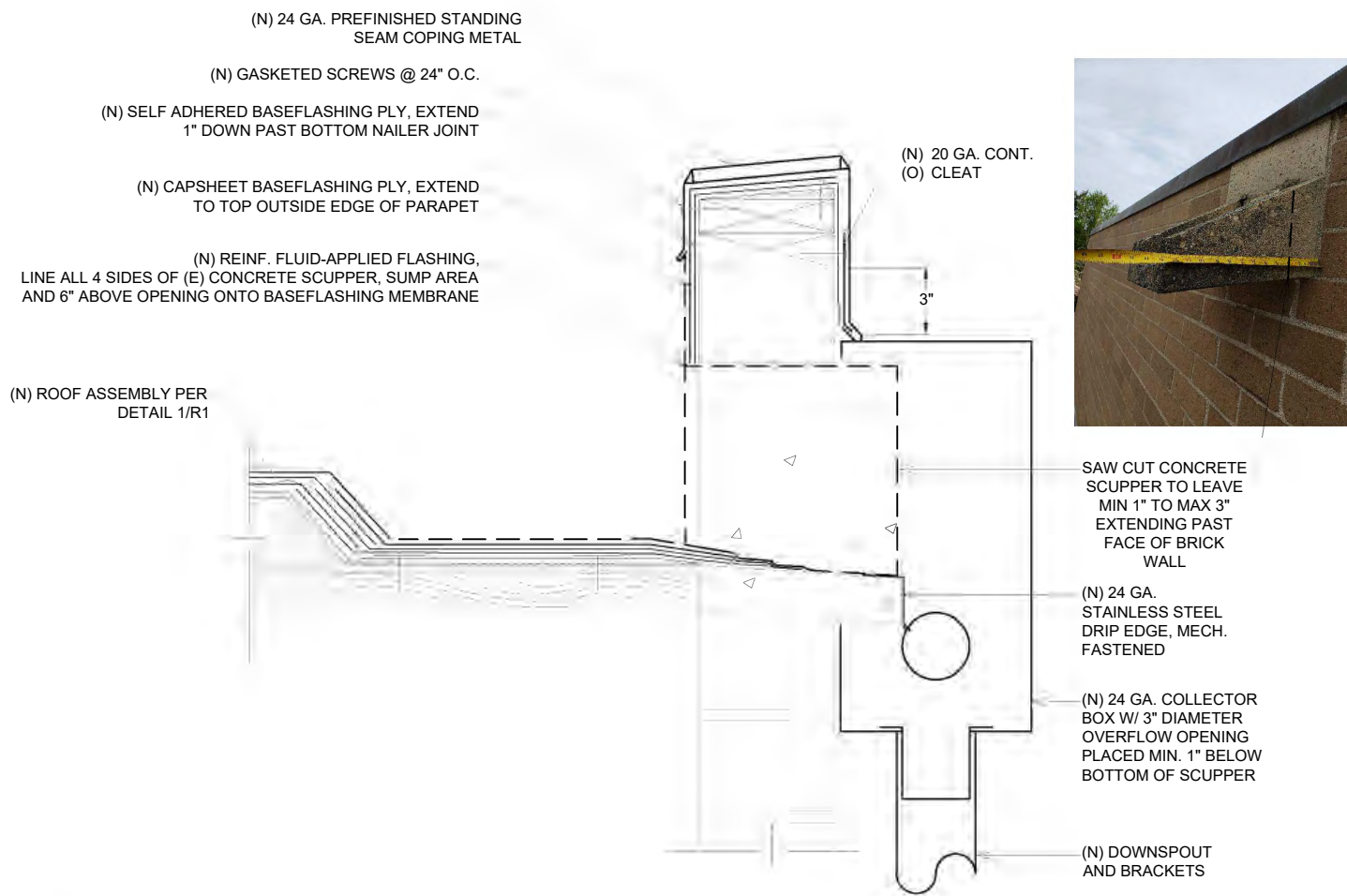
1 SECTION DETAIL SKYLIGHT CURB FLASHING
R3 NOT TO SCALE



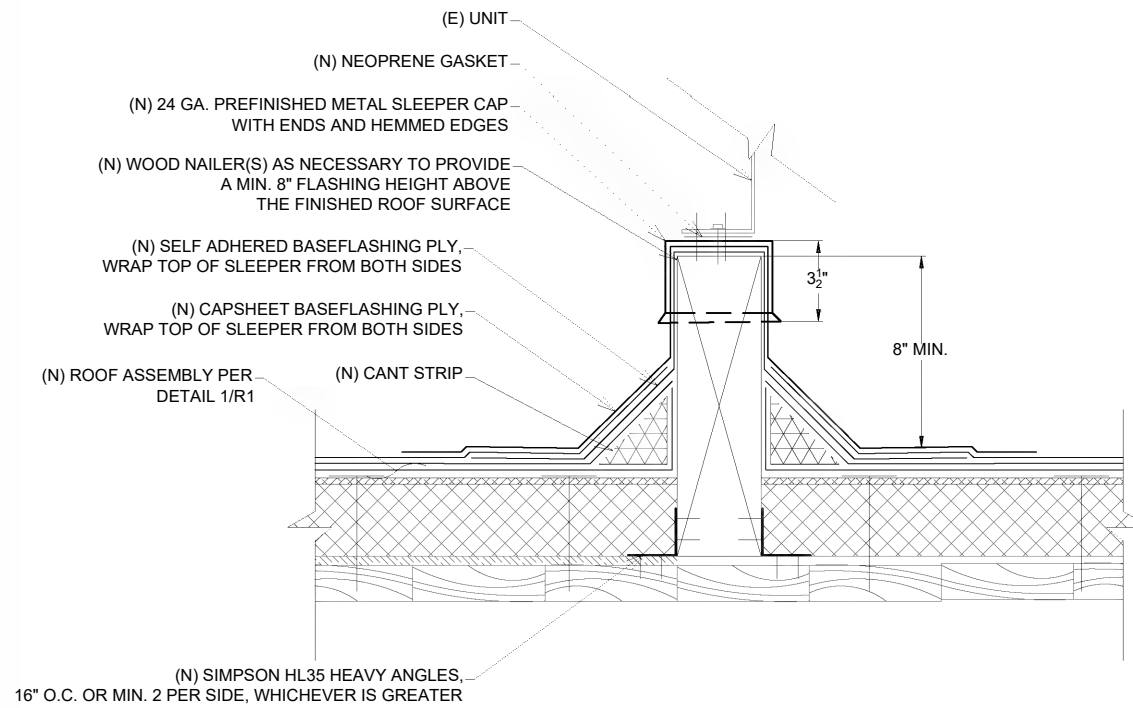
2 SECTION DETAIL UNIT CURB FLASHING
R3 NOT TO SCALE



3 SECTION DETAIL PENETRATION FLASHING
R3 NOT TO SCALE



4 SECTION DETAIL THROUGH-WALL SCUPPER
R3 NOT TO SCALE



5 SECTION DETAIL SLEEPER FLASHING
R3 NOT TO SCALE

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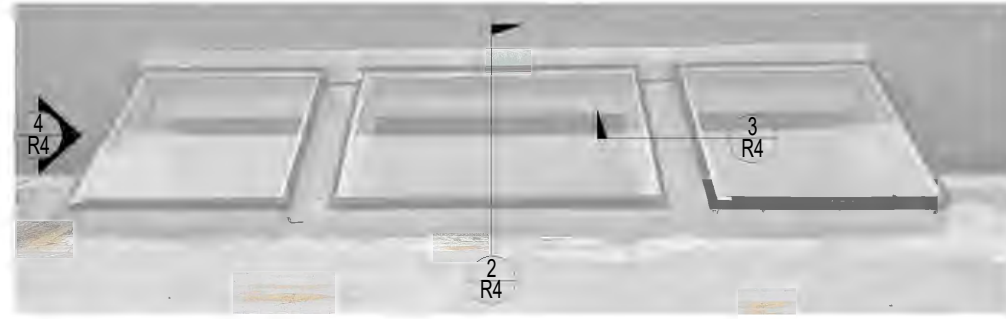
ROOF DETAILS

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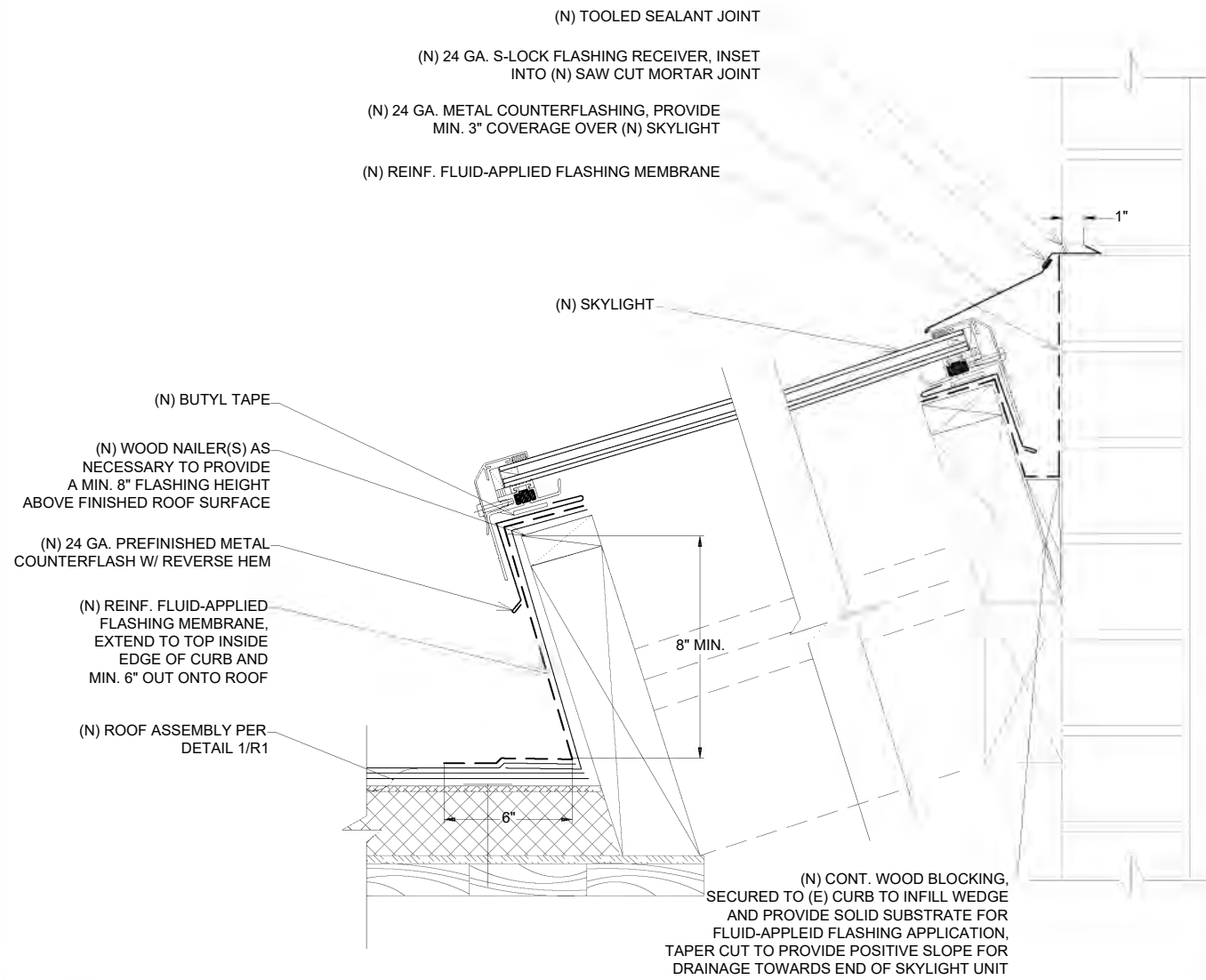
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R3



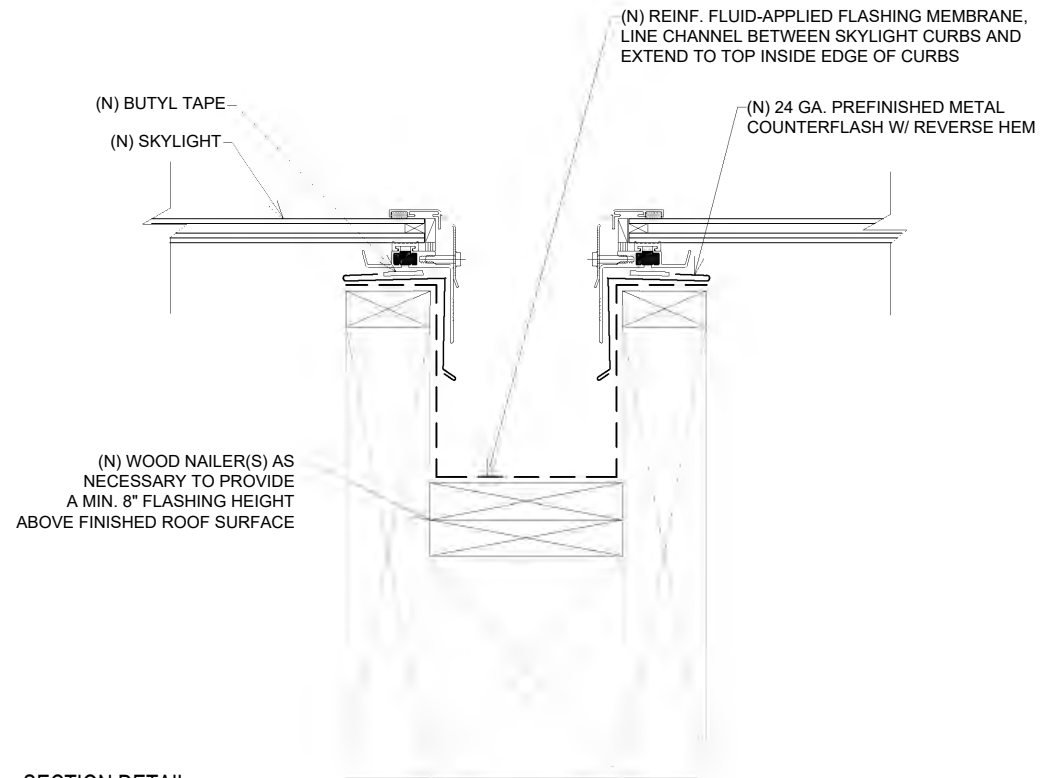
1
R4

CONTEXT PHOTO
EXISTING SLOPED SKYLIGHT
NOT TO SCALE



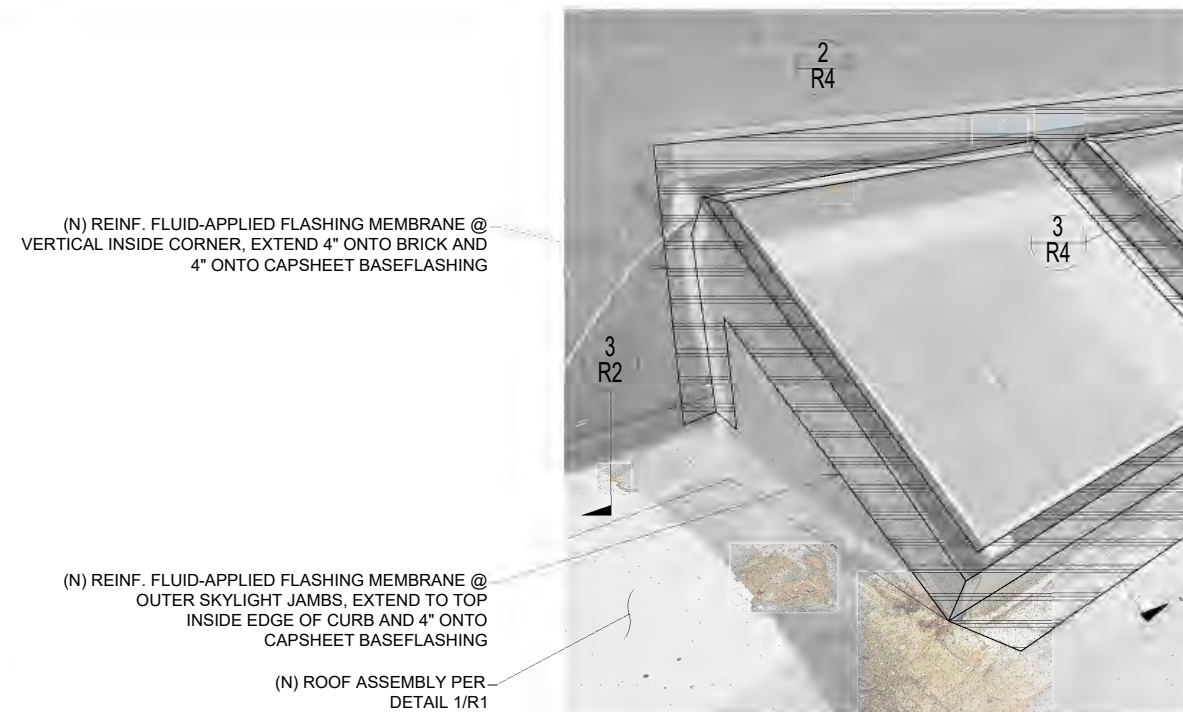
2
R4

SECTION DETAIL
SLOPED SKYLIGHT FLASHING
NOT TO SCALE



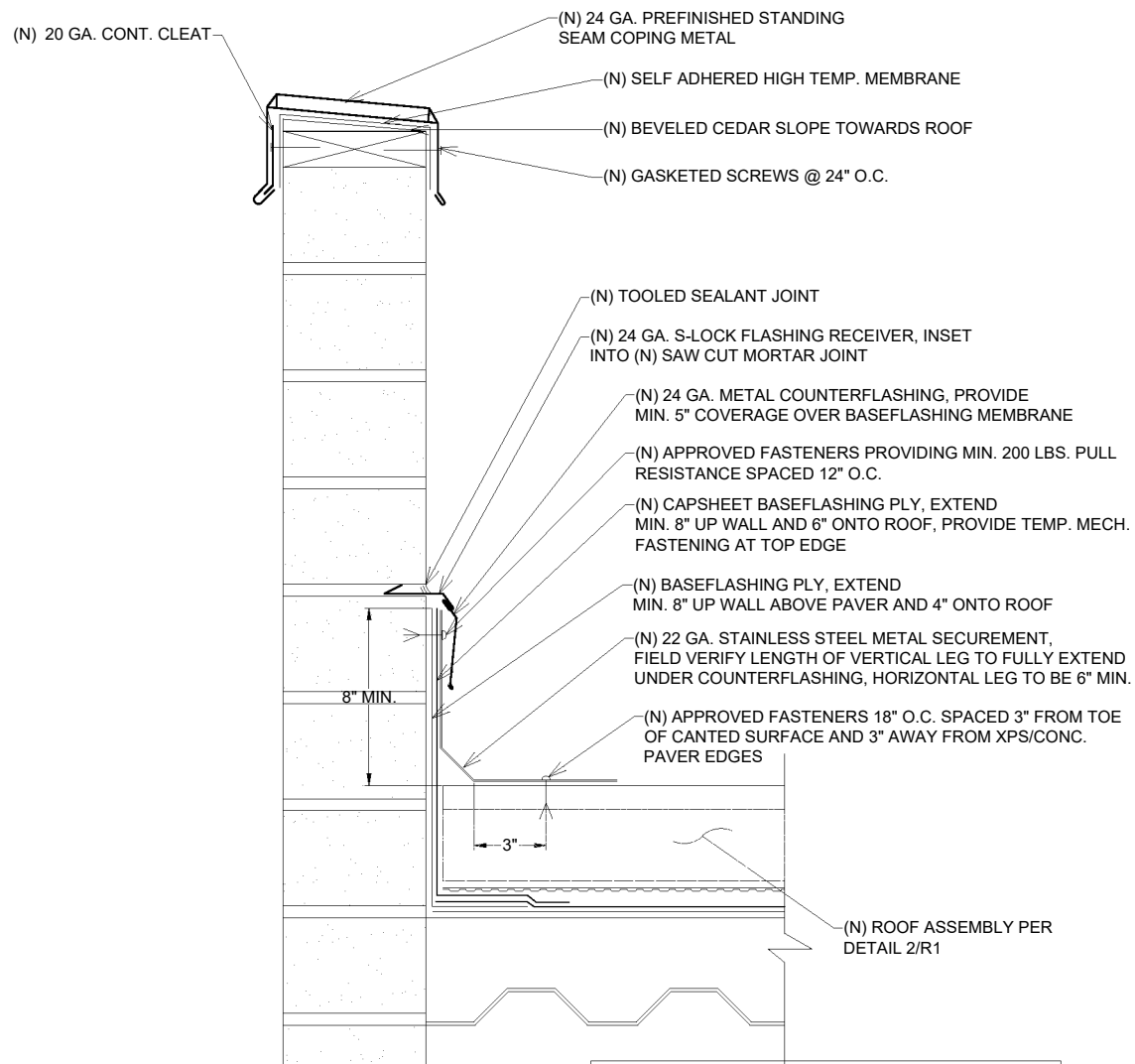
3
R4

SECTION DETAIL
SKYLIGHT TROUGH
NOT TO SCALE



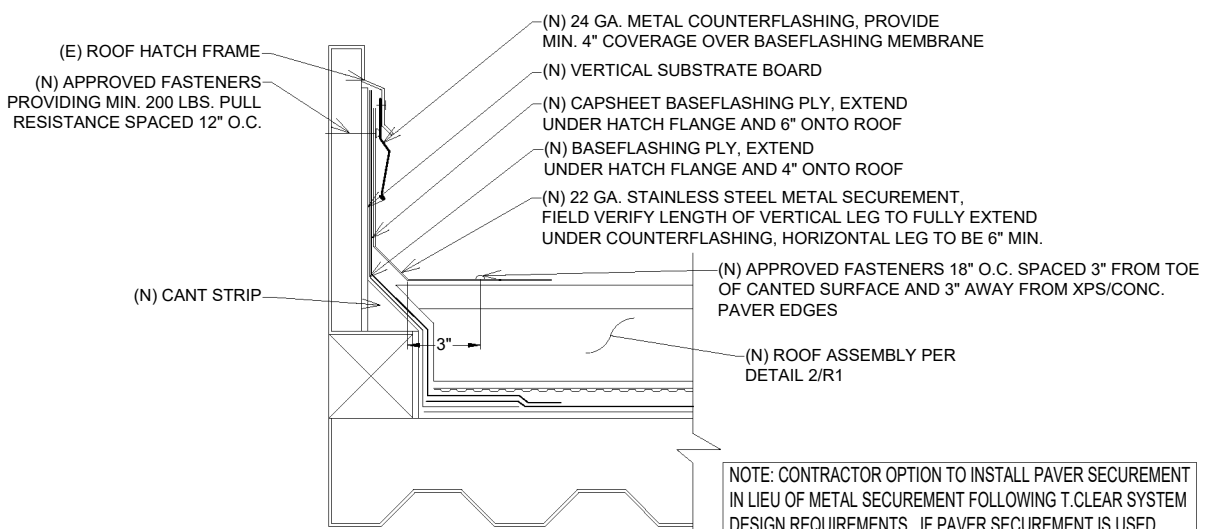
4
R4

PHOTO DETAIL
SKYLIGHT SIDEWALL
NOT TO SCALE



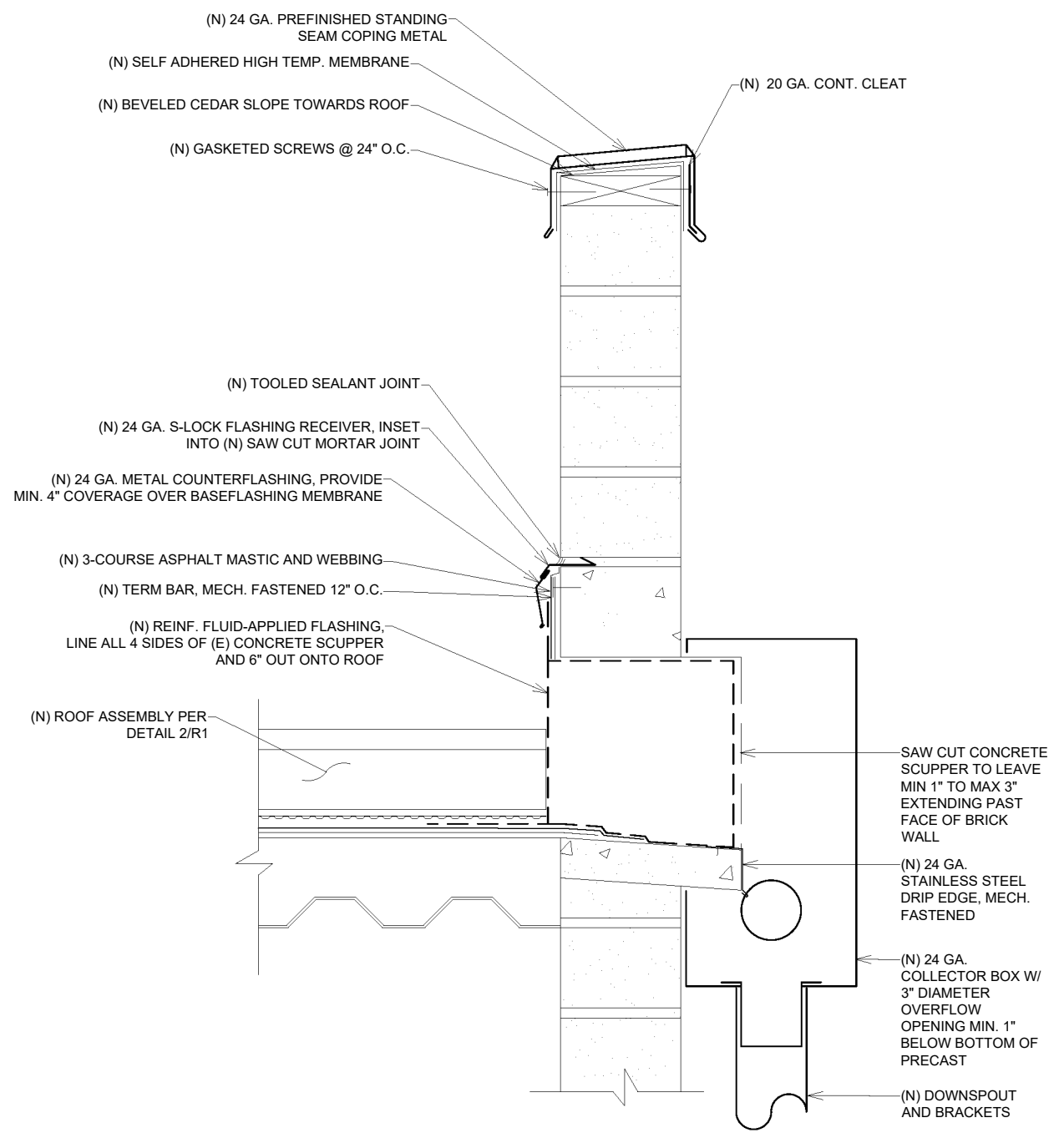
NOTE: CONTRACTOR OPTION TO INSTALL PAVER SECUREMENT IN LIEU OF METAL SECUREMENT FOLLOWING T.CLEAR SYSTEM DESIGN REQUIREMENTS. IF PAVER SECUREMENT IS USED, TERMINATION BAR MECH. FASTENED 8" O.C. AT TOP EDGE OF BASEFLASHING MEMBRANE ASSEMBLY IS REQUIRED.

1 SECTION DETAIL
 R5 ROOF-TO-WALL FLASHING
 NOT TO SCALE

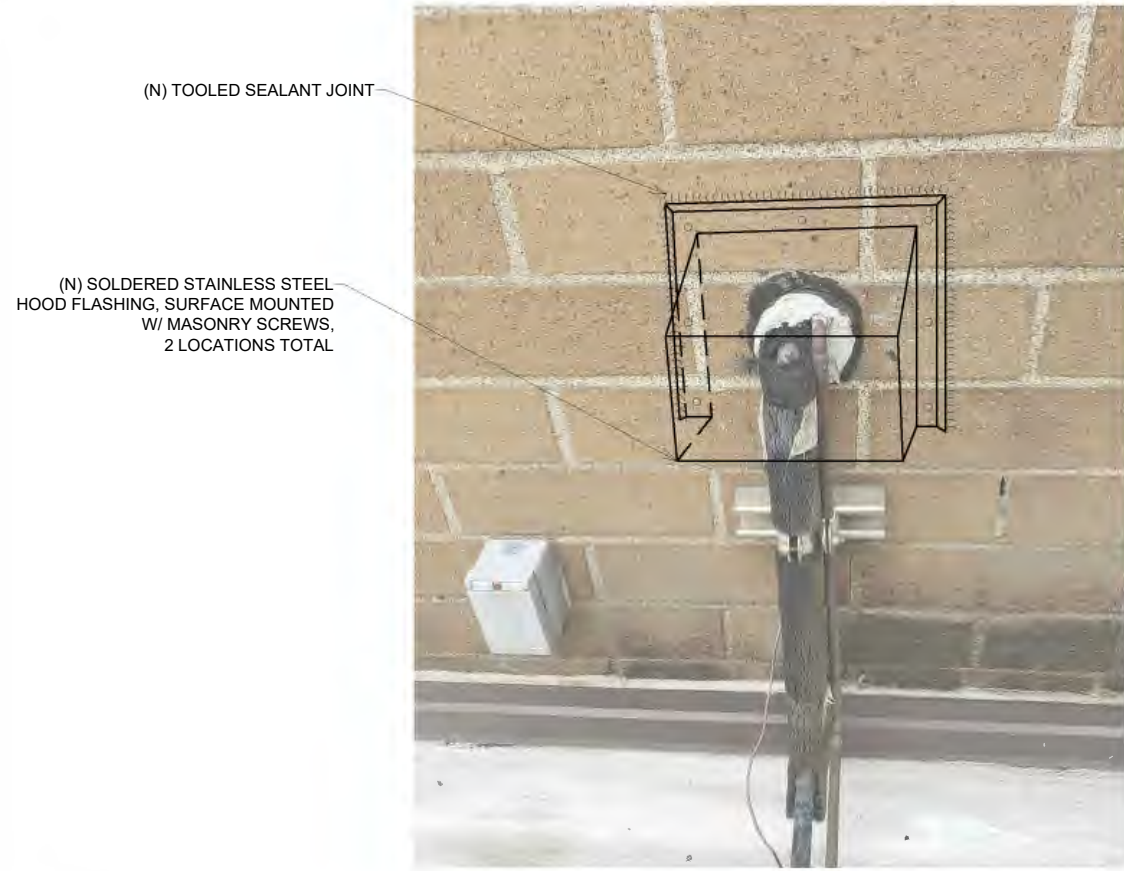


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2 SECTION DETAIL
 R5 ROOF HATCH FLASHING
 NOT TO SCALE



3 SECTION DETAIL
 R5 THROUGH-WALL SCUPPER
 NOT TO SCALE



2
R6

PHOTO DETAIL
WALL PENETRATION HOOD FLASHING
NOT TO SCALE



1
R6

PHOTO DETAIL
LOUVER SILL FLASHING
NOT TO SCALE

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