



CITY OF KIRKLAND
Planning and Building Department
123 5th Avenue, Kirkland, WA 98033
425.587.3600 - www.kirklandwa.gov

ADVISORY REPORT
FINDINGS, CONCLUSIONS, AND RECOMMENDATIONS

To: Kirkland Hearing Examiner

From:  Tony Leavitt, Project Planner

 Adam Weinstein, AICP, Planning and Building Director

Date: March 23, 2020

File: Rose Hill Elementary Master Plan Amendment, ZON19-00742

Hearing Date and Place: April 6, 2020; 7:00 p.m.
 Public Teleconference

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INTRODUCTION

A. APPLICATION

1. Applicant: Karen Wood of Mahlum Architects, Lake Washington School District
2. Site Location: Rose Hill Elementary School at 8110 128th Avenue NE (see Attachment 1)
3. Request: Application for approval of an amendment of an existing Master Plan for the Rose Hill Elementary School. The proposal includes the following improvements (see Attachments 2):
 - a. Phase I: Approximately 22,720 square foot, two-story, 12-classroom addition to the south end of the existing building.
 - b. Phase II: Approximately 7,600 square foot dining commons addition and approximately 3,200 square feet of covered play area to the northwest corner of the buildings.
4. Review Process: Process IIB, Hearing Examiner conducts public hearing and makes recommendation; City Council makes final decision.
5. Summary of Key Issues and Conclusions:
 - Compliance with Zoning Permit Approval Criteria (see Section II.F.1)

B. RECOMMENDATIONS

Based on Statements of Fact and Conclusions (Section II), and Attachments in this report, we recommend approval of this application subject to the following conditions:

1. This application is subject to the applicable requirements contained in the Kirkland Municipal Code, Zoning Code, and Building and Fire Code. It is the responsibility of the applicant to ensure compliance with the various provisions contained in these ordinances. Attachment 4, Development Standards, is provided in this report to familiarize the applicant with some of the additional development regulations. This attachment does not include all of the additional regulations. When a condition of approval conflicts with a development regulation in Attachment 3, the condition of approval shall be followed.
2. As part of the building permit application, the applicant shall:
 - a. Submit plans to install 2 onsite parking stalls (see Conclusion II.G.3).
 - b. Provide a lighting plan showing the location, height, fixture type and wattage of all proposed exterior lights. The lighting plan shall be consistent with the requirements in KZC Section 115.85 (see Conclusion II.G.4).

II. FINDINGS OF FACT AND CONCLUSIONS

A. SITE DESCRIPTION

1. Site Development and Zoning:
 - a. Facts:
 - (1) Size: 9.35 Acres
 - (2) Land Use: The subject property contains the existing Rose Hill Elementary School.
 - (3) Zoning: The subject property is zoned RSX 7.2 (Residential Single-family). A 'School Use' is an allowed use, subject to approval of a Master Plan, within this zone.

- (4) Terrain: The site is relatively flat with a slight upward grade change near the south edge of the property near NE 80th Street.
- (5) Vegetation: The subject property contains numerous significant trees along the perimeter of the site. The applicant's arborist and the City's Urban Forester identified no impacts to or removal of significant trees on the site as part of the project.

b. Conclusions:

- (1) Size and land use are not relevant factors in the review of this application.
- (2) The topography of the property is not a relevant factor in the review of this application.
- (3) Zoning is a relevant factor in the review of this application, since a 'School Use' occupying a property of more than 5 acres must be approved through a Master Plan process (see Section II.F.1).
- (4) Tree protection and retention on the subject property are not factors in the review of the proposed development.

2. Neighboring Development and Zoning:

- a. Facts: All of the neighboring properties are zoned RSX 7.2 and developed with single-family residences.
- b. Conclusion: The neighboring zoning and development and are factors in the review of the proposed Master Plan application.

B. HISTORY

1. Facts:

- (1) In 2004, the City approved a Master Plan for the existing school. The Master Plan approval was required to permit the complete redevelopment of the school and associated sitework.
- (2) In 2005, the Lake Washington School District submitted a Minor Modification request for the Master Plan to allow a structured play facility (baseball/ softball backstops) and removal of significant trees. The request was approved.

2. Conclusion: The history of the site is a relevant factor in the review of the proposed Master Plan application.

C. PUBLIC COMMENT

The initial public comment period for the project ran from February 6, 2020 to February 25, 2020. Pursuant to KZC 150.35, a Process IIA Staff Report must include all comments received by the City prior to distribution of the staff report. The Planning Department received one comment on the project, included as Attachment 4.

The comment letter expressed concerns about pedestrian access during construction of the addition and an existing situation involving vehicles dropping off students along NE 80th Street. Staff confirmed that the sidewalk will be required to remain open during construction of the school. Staff will ask the City's Neighborhood Traffic Coordinator to investigate this existing student drop off issue and determine if any actions are needed to address the issue.

D. STATE ENVIRONMENTAL POLICY ACT (SEPA)

1. Facts: Pursuant to WAC 197-11-924, the Lake Washington School District assumed Lead Agency status for the project. A Determination of Non-significance (DNS) was issued by the Lake Washington School District on February 28, 2020. The Environmental Determination and Checklist are included as Attachment 5.
2. Conclusion: The Lake Washington School District has satisfied the requirements of SEPA.

E. CONCURRENCY

1. Facts: The Public Works Department has reviewed the application for concurrency. A concurrency test was passed for traffic on October 28, 2019 (see Attachment 6).
2. Conclusion: The applicant and City have satisfied Concurrency requirements.

F. APPROVAL CRITERIA

1. Master Plan
 - a. Facts:
 - (1) Kirkland Zoning Code (KZC) Section 15.20.130, Permitted Use Special Regulation 2, requires that a 'School Use' with a property size of five acres or more receive Master Plan approval through a Process IIB review. The Master Plan must show building placement, building dimensions, roadways, utility locations, land uses within the Master Plan area, parking locations, buffering, and landscaping.
 - (2) The applicant has submitted development plans and a narrative proposal that show building locations and dimensions, roadways, utility locations, land uses within the Master Plan area, parking locations, buffering, and landscaping (see Attachments 2).
 - (3) Zoning Code section 152.70.3 states that a Process IIB application may be approved if:
 - (a) It is consistent with all applicable development regulations and, to the extent there is no applicable development regulation, the Comprehensive Plan; and
 - (b) It is consistent with the public health, safety, and welfare.
 - b. Conclusions:
 - (1) The application complies with the Master Plan requirements outlined in KZC Section 15.20.130 Permitted Use Special Regulation 2 (see Section II.G.1).
 - (2) The proposal complies with the criteria in KZC Section 152.70.3. It is consistent with all applicable development regulations (see Section II.G) and the Comprehensive Plan (see Section II.H). The proposal is consistent with the public health, safety, and welfare requirements. The project will provide the community with additional classroom and amenity space for the education of the community, while minimizing impacts on the surrounding neighborhood.

G. DEVELOPMENT REGULATIONS

1. School Location Criteria

a. Facts:

- (1) KZC Section 15.20.130 Permitted Use Special Regulation 4, states that a 'School Use' may be located in a RSX zone only if:
 - (a) It will not be materially detrimental to the character of the neighborhood in which it is located.
 - (b) Site and building design minimize adverse impacts on surrounding residential neighborhoods.
 - (c) The property is served by a collector or arterial street (does not apply to existing school sites).
- (2) The site contains an existing school that includes recreational, parking, and other facilities normally associated with a school use.
- (3) The classroom addition is located on the south side of the existing building. An existing one story portion of the building will be demolished to accommodate a portion of the building. The structure will be located 50 feet from the east and south property lines and 55 feet from the west property line. The applicant is proposing extensive landscaping along the southern edge of the building.
- (4) The commons and covered play area additions will be attached to the northwest corner of the existing building. The structure will be located over 250 feet from the west and north property lines and 190 feet from the east property line. Existing landscaping and school structure will help to screen the new structures.
- (5) The proposed additions have been designed to use the same materials as the existing building.
- (6) NE 80th Street and 128th Avenue NE are both designated as collector streets.

b. Conclusions: The proposal is consistent with the criteria established in KZC Section 15.20.130 Permitted Use Special Regulation 4 as follows:

- (1) The proposal will not introduce new facilities or activities which would materially impact the character of the neighborhood.
- (2) The site plan and building additions have been designed to minimize impacts on surrounding residential development by incorporating substantial setbacks and supplemental landscaping. Additionally, the proposed additions have been designed to use the same materials as used on the existing building which help to create a consistent building design.
- (3) The property is served by two collector streets.

2. Building Height

a. Facts:

- (1) The RSX 7.2 zone has a maximum height of 30 feet above average building elevation (ABE) for a school use.

- (2) KZC Section 15.03.130, Density Dimensions Special Regulation 31 permits the structure height of schools to be increased to up to 35 feet, if:
 - (a) The school use can accommodate 200 or more students; and
 - (b) The required side and rear yards for the portions of the structure exceeding the basic maximum structure height are increased by 1 foot for each additional 1 of structure height; and
 - (c) The increased height is not specifically inconsistent with the applicable neighborhood plan provisions of the Comprehensive Plan; and
 - (d) The increased height will not result in a structure that is incompatible with surrounding uses or improvements.
 - (3) KZC Section 115.120.3 states that new construction shall, to the extent feasible, visually screen rooftop appurtenances by incorporating them into the roof form, or by using architectural designs such as clerestories having a slope of at least 3 feet vertical to 12 feet horizontal or roof wells. Such roof forms and architectural designs may extend 5 feet above the height limit.
 - (4) The 2004 Master Plan approved an increased height from 30 feet to 35 feet for the center portion of the structure. The setback was increased to 55 feet from the east property line for that portion of the structure. Additionally, rooftop appurtenances were allowed to exceed the height limit by 4 feet pursuant to KZC Section 115.120.4.a.
 - (5) The proposed commons and play area additions will comply with the 30-foot height limit.
 - (6) The classroom addition will also comply with the 30-foot height but will also utilize a roof form to screen rooftop appurtenances. The roof form will be 5 feet above the height limit.
 - b. Conclusion: The proposed additions comply with the height requirements of the Kirkland Zoning Code.
3. Parking
- a. Facts:
 - (1) KZC Section 15.40.130 does not establish a required parking ratio for school uses. Instead, it defers to KZC Section 105.25, which authorizes the Planning Official to establish required parking on a case-by-case basis.
 - (2) The City's Transportation Engineer has concluded that the required parking ratio should be 0.13 parking spaces per student (see Attachment 7). Based on the maximum capacity of 714 students, the required number of parking stalls is 93 stalls.
 - (3) The site currently contains 91 parking stalls.
 - b. Conclusion: As part of the building permit application, the applicant shall submit plans to install 2 onsite parking stalls.

4. Site Lighting

- a. Facts: KZC Section 115.85 requires that the applicant use energy efficient light sources, comply with the Washington Energy Code with respect to the selection and regulation of light sources, and select, place, and direct light sources both directable and nondirectable so that glare produced by any light source, to the maximum extent possible, does not extend to adjacent properties or to the right-of-way. The current submittal does not contain a detailed lighting plan that would show the location, height, fixture type, and wattage of proposed lights.
- b. Conclusion: As part of its building permit application, the applicant shall provide a lighting plan showing the location, height, fixture type and wattage of all proposed exterior lights. The lighting plan shall be consistent with the requirements in KZC Section 115.85.

H. COMPREHENSIVE PLAN

1. Fact: The subject property is located within the South Rose Hill neighborhood. The South Rose Hill Neighborhood Land Use Map designates the subject property as a public facility use (see Attachment 8).
2. Conclusion: The proposal is consistent with the public facility use designation.

I. DEVELOPMENT STANDARDS

1. Fact: Additional comments and requirements placed on the project are found on the Development Standards, Attachment 3.
2. Conclusion: The applicant should follow the requirements set forth in Attachment 3.

III. SUBSEQUENT MODIFICATIONS

Modifications to the approval may be requested and reviewed pursuant to the applicable modification procedures and criteria in effect at the time of the requested modification.

IV. CHALLENGES AND JUDICIAL REVIEW

The following is a summary of the deadlines and procedures for challenges. Any person wishing to file or respond to a challenge should contact the Planning Department for further procedural information.

A. CHALLENGE

Section 152.85 of the Zoning Code allows the Hearing Examiner's recommendation to be challenged by the applicant or any person who submitted written or oral comments or testimony to the Hearing Examiner. A party who signed a petition may not challenge unless such party also submitted independent written comments or information. The challenge must be in writing and must be delivered, along with any fees set by ordinance, to the Planning Department by 5:00 p.m., seven (7) calendar days following distribution of the Hearing Examiner's written recommendation on the application. Within this same time period, the person making the challenge must also mail or personally deliver to the applicant and all other people who submitted comments or testimony to the Hearing Examiner, a copy of the challenge together with notice of the deadline and procedures for responding to the challenge.

Any response to the challenge must be delivered to the Planning Department within seven (7) calendar days after the challenge letter was filed with the Planning Department. Within the same time period, the person making the response must deliver a copy of the response to the applicant and all other people who submitted comments or testimony to the Hearing Examiner.

Proof of such mail or personal delivery must be made by affidavit, available from the Planning Department. The affidavit must be attached to the challenge and response letters and delivered to the Planning Department. The challenge will be considered by the City Council at the time it acts upon the recommendation of the Hearing Examiner.

B. JUDICIAL REVIEW

Section 152.110 of the Zoning Code allows the action of the City in granting or denying this zoning permit to be reviewed in King County Superior Court. The petition for review must be filed within twenty-one (21) calendar days of the issuance of the final land use decision by the City.

V. LAPSE OF APPROVAL

Under KZC 152.115 of the Zoning Code, the applicant must begin construction or submit to the City a complete building permit application for the development activity, use of land or other actions approved under this chapter within five (5) years after the final approval of the City of Kirkland on the matter, or the decision becomes void; provided, however, that in the event judicial review is initiated per KZC, KZC 152.110, the running of the five (5) years is tolled for any period of time during which a court order in said judicial review proceeding prohibits the required development activity, use of land, or other actions.

The applicant must substantially complete construction for the development activity, use of land, or other actions approved under this chapter and complete the applicable conditions listed on the notice of decision within seven (7) years after the final approval on the matter, or the decision becomes void.

VI. APPENDICES

Attachments 1 through 8 are attached.

1. Vicinity Map
2. Proposed Plans
3. Development Standards
4. Public Comment
5. SEPA Determination and Environmental Checklist
6. Concurrency Test Memo
7. Transportation Review Memo
8. South Rose Hill Comprehensive Plan Map

VII. PARTIES OF RECORD

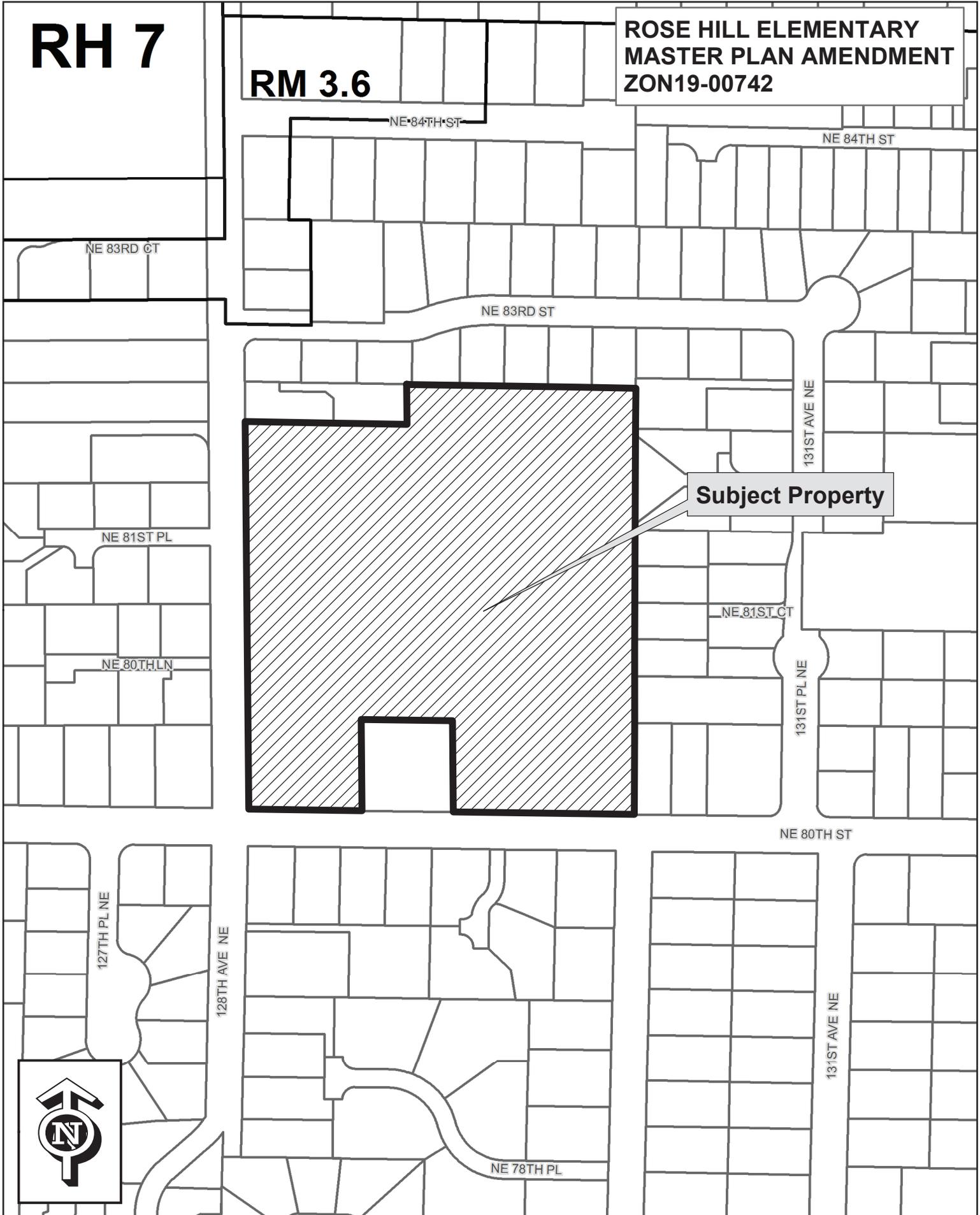
Applicant
Parties of Record
Planning and Building Department
Department of Public Works

A written recommendation will be issued by the Hearing Examiner within eight calendar days of the date of the open record hearing.

RH 7

RM 3.6

ROSE HILL ELEMENTARY MASTER PLAN AMENDMENT ZON19-00742



Subject Property



ROSE HILL ELEMENTARY SCHOOL CLASSROOM ADDITION

MASTER PLAN
20 DECEMBER 2019

Lake Washinton School District
8044 128th AVENUE NE
KIRKLAND WA 98033

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71 COLUMBIA | FLOOR 4
SEATTLE WA 98104
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MAHLUM ARCHITECTS INC.



Lake Washinton School District

ROSE HILL ELEMENTARY
SCHOOL CLASSROOM ADDITION

8044 128th AVENUE NE
KIRKLAND WA 98033

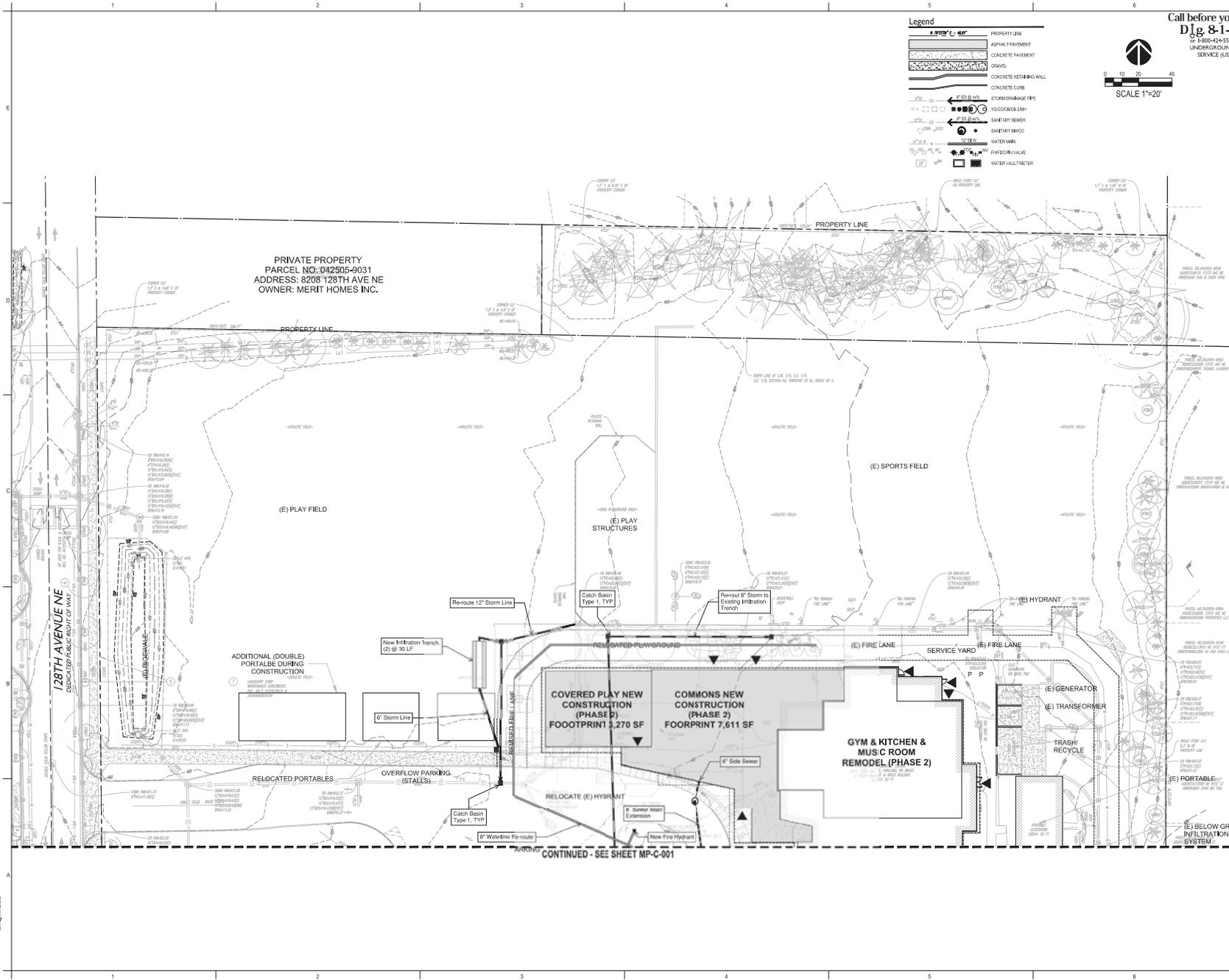


KEY PLAN

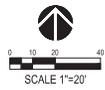
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PROJECT NO.	2019061	
DESIGNED BY:	VV	
CHECKED BY:	KW	
DATE PLOTTED: 12/20/19 10:58 AM		

COVER SHEET

MP-G-001



Call before you Dig 8-1-1
or 1-800-424-5555
UNDERGROUND SERVICE (USA)



Legend

	PROPERTY LINE
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	GRAVEL
	CONCRETE RETAINING WALL
	CONCRETE CURB
	STORM DRAINAGE PIPE
	VSD/CATCH BASIN
	SANITARY SEWER
	SANITARY MH/O
	WATER MAIN
	FIRE HYDRANT VALVE
	WATER VALVE/METER

PRIVATE PROPERTY
PARCEL NO: 042305-4031
ADDRESS: 8208 128TH AVE NE
OWNER: MERIT HOMES INC.

mahlum

711 COLUMBIA | FLOOR 10
SEATTLE WA 98104
(206) 441-4151 | OFFICE
(206) 441-0478 | FAX

1231 NW HOYT | SUITE 102
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(503) 224-4032 | OFFICE
(503) 224-0918 | FAX

MAHLUM ARCHITECTS INC.

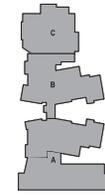


FOR REFERENCE ONLY

Lake Washington School District

ROSE HILL ELEMENTARY
SCHOOL CLASSROOM ADDITION

8044 128th AVENUE NE
KIRKLAND WA 98033



COUGHLIN PORTER LUNDEN
ARCHITECTS PLLC

MARK	DATE	DESCRIPTION
ISSUE DATE:	20 DECEMBER 2019	MASTER PLAN
PROJECT NO.:	C1909242	
DRAWN BY:	JAS	
CHECKED BY:	KMK	

CIVIL SITE PLAN

MP-C-002

LYON Lyon Landscape Architects
1015 Pacific Avenue, Suite 203
Tacoma, WA 98402
253-678-4173
Eric@LyonLA.com

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FOR REFERENCE ONLY

Lake Washington School District

ROSE HILL ELEMENTARY
SCHOOL CLASSROOM ADDITION
AND CORE EXPANSION

804 128th AVENUE NE
KIRKLAND WA 98033



KEY PLAN

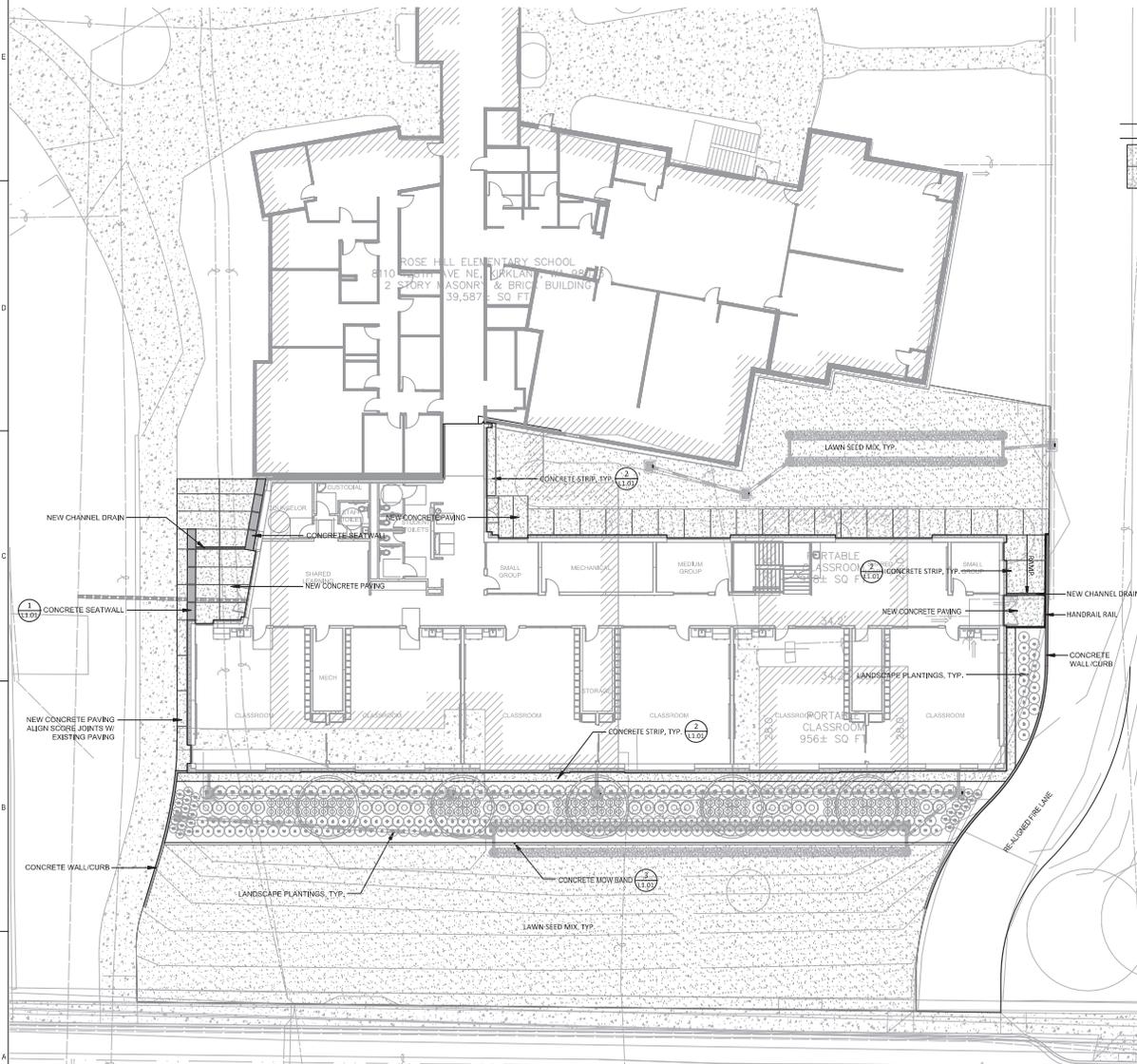
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CHECKED BY:	ML	

LANDSCAPE SITE PLAN - PH I

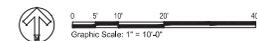
MP-L1.00

SITE PLAN LEGEND

SYMBOL	ITEM	NOTES AND DESCRIPTION
	CONCRETE PAVING	SEE CIVIL SPECIFICATIONS
	SCORE JOINT	
	CONCRETE STRIP, TYP. (2) 11.00'	
	CONCRETE WALL/CURB	
	CONCRETE SEATWALL (1) 12.00'	
	HANDRAIL RAIL	
	CHANNEL DRAIN	
	CONCRETE MOW BAND (3) 11.00'	



1 LANDSCAPE SITE PLAN - PH I
SCALE: 1" = 10'-0"

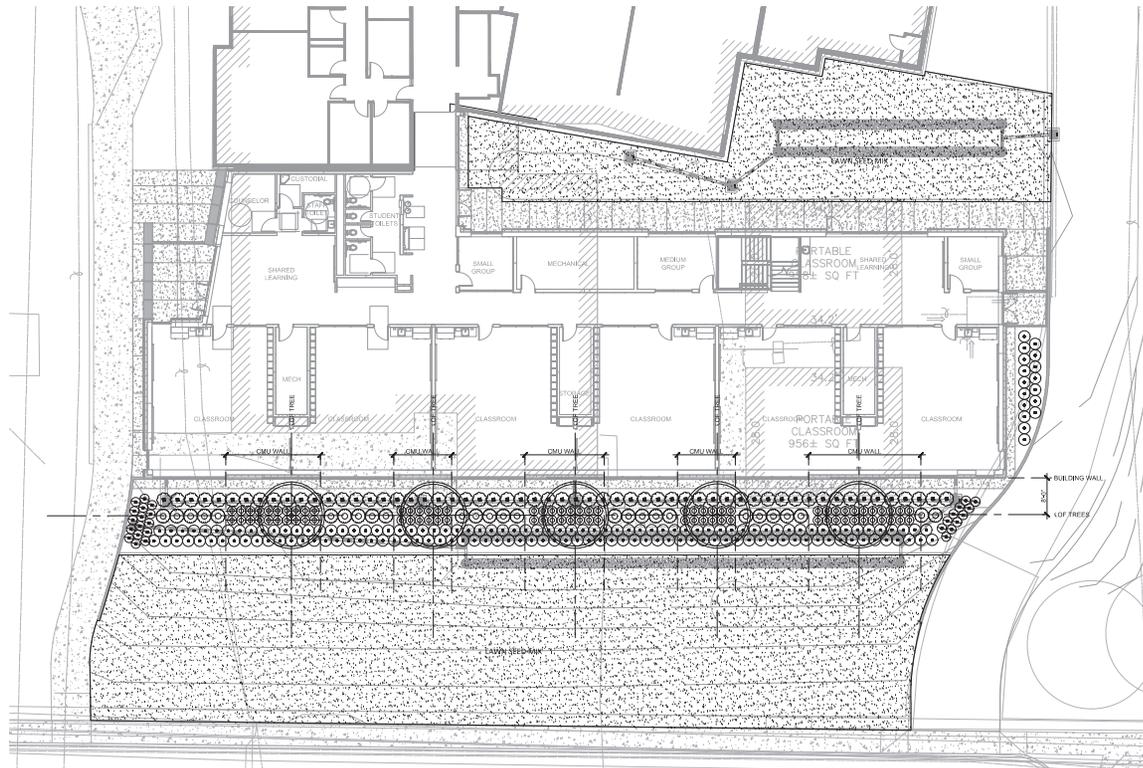


LYON Lyon Landscape Architects
1015 Pacific Avenue, Suite 203
Tacoma, WA 98402
253-678-4173
Eric@LyonLA.com

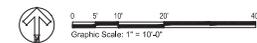
PLANT LEGEND

QTY	BOTANICAL NAME	COMMON NAME	SIZE & SPACING
TREES			
5	ACER GINNALA 'FLAME'	FLAME AMUR MAPLE	2" CAL. MIN. 14'-16' HT. UNIFORM & FULLY BRANCHED ABOVE 6' HT. 8&8
SHRUBS			
27	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	15"-18" HEIGHT AND SPREAD, 36" O.C. SPACING
58	LONICERA PILEATA	PRIVET HONEYSUCKLE	18"-24" HEIGHT AND SPREAD, 36" O.C. SPACING
GROUND COVER			
27	CALLUNA VULGARIS 'FIREFLY'	FIREFLY HEATHER	12"-15" HEIGHT, 24 O.C. SPACING
82	WEIGELA FLORIDA 'ELVERA'	MIDNIGHT WINE WEIGELA	1 GALLON, 24 O.C. SPACING
154	PRUNUS LAUROCERASUS 'MOUNT VERNON'	MOUNT VERNON ENGLISH LAUREL	1 GALLON, 24 O.C. SPACING
SEED MIX			
	LAWN SEED MIX	3/4 BY WEIGHT	MINIMUM RATE OF 2,000 LBS/ACRE
	PERENNIAL RYE GRASS	85%	
	KENTUCKY BLUEGRASS	15%	

PLANT IMAGES



1 LANDSCAPE PLANTING PLAN - PH I
SCALE: 1" = 10'-0"



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FOR REFERENCE ONLY

Lake Washington School District

ROSE HILL ELEMENTARY
SCHOOL CLASSROOM ADDITION
AND CORE EXPANSION

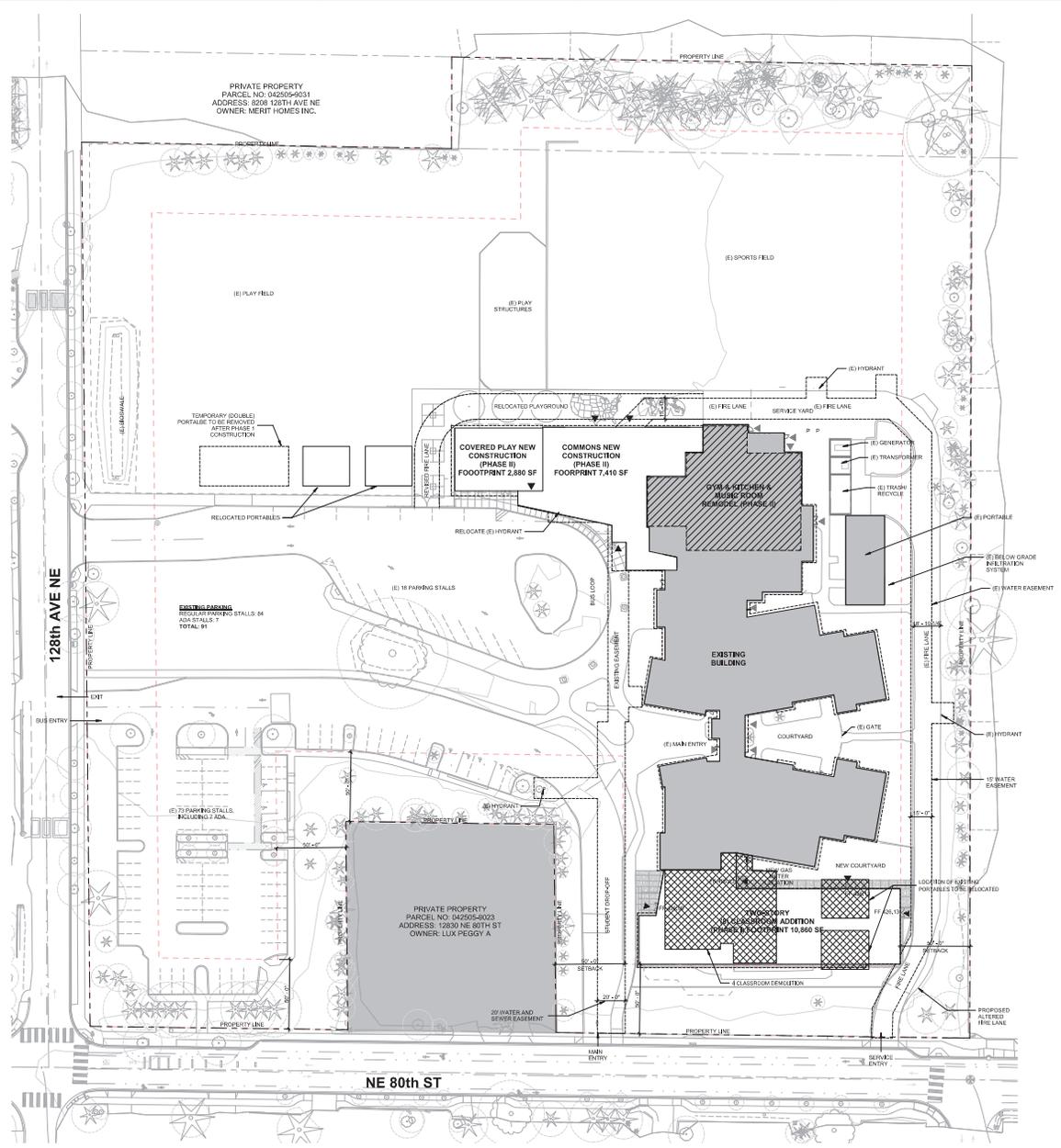
8044 128th AVENUE NE
KIRKLAND WA 98033

KEY PLAN

MARK	DATE	DESCRIPTION
	20 DECEMBER 2019	ISSUE DATE
		ISSUE: MASTER PLAN
	11/20/19	PROJECT NO.
	ENV	DESIGNED BY
	ML	CHECKED BY
		DATE

A LANDSCAPE PLANTING PLAN - PH I

MP-L2.00



GENERAL SITE NOTES

1. SITE INFORMATION CONTAINED HEREIN, INCLUDING BUT NOT LIMITED TO DIMENSIONS AND LOCATIONS OF EXISTING UTILITIES, IS BASED ON THE SURVEY BY SURVEYOR COMPANY, DATED MONTH/DAY, 2019 AND IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THE ARCHITECT TAKES NO RESPONSIBILITY FOR ITS ACCURACY.
2. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CARE SHOULD BE TAKEN TO AVOID DAMAGE TO OR OBSTRUCTION OF EXISTING UTILITIES.
3. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
4. FINISH GRADES AROUND BUILDING SHALL BE 6" MINIMUM BELOW FINISH FLOOR LEVEL OR TEN (10) FEET BELOW FINISH FLOOR LEVEL UNLESS OTHERWISE NOTED.
5. UNLESS OTHERWISE NOTED, DIMENSIONS ON THIS PLAN ARE TO FACE OF CURBS, EXTERIOR FACE OF BUILDING FOUNDATIONS AND CURB LINES.

LEGEND



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MAHLUM ARCHITECTS INC.



Lake Washington School District

ROSE HILL ELEMENTARY
SCHOOL CLASSROOM ADDITION

8044 128th AVENUE NE
KIRKLAND WA 98033

MARK	DATE	DESCRIPTION
ISSUE	20 DECEMBER 2019	MASTER PLAN
ISSUE		MASTER PLAN
PROJECT NO.	20190611	
DRAWN BY	WV	
CHECKED BY	GS, JKW	
DATE PLOTTED	12/22/2019 10:48:11 AM	

ARCHITECTURAL SITE PLAN

MP-A-100

A1 ARCHITECTURAL SITE PLAN
T-1-3027

GENERAL NOTES

1. REFER TO SHEET 0-100 FOR GENERAL PROJECT NOTES.
2. REFER TO SHEETS 0-801 AND 0-802 FOR PARTITION TYPES.
3. TYPICAL INTERIOR WALLS SHALL BE WALL TYPE B11 UNLESS NOTED OTHERWISE.

FLOOR PLAN LEGEND

WALL RATING PLAN SYMBOLS
(SEE FIRE LIFE SAFETY PLANS FOR MORE INFORMATION)

	NON-RATED WALL		4-HOUR FIRE BARRIER
	SMOKE PARTITION (SP)		2-HOUR FIRE BARRIER
	SMOKE BARRIER (SB)		3-HOUR FIRE BARRIER
	1.5-HOUR FIRE PARTITION		1-HOUR FIRE PARTITION (FP)
	NOT IN PROJECT SCOPE		

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Lake Washington School District

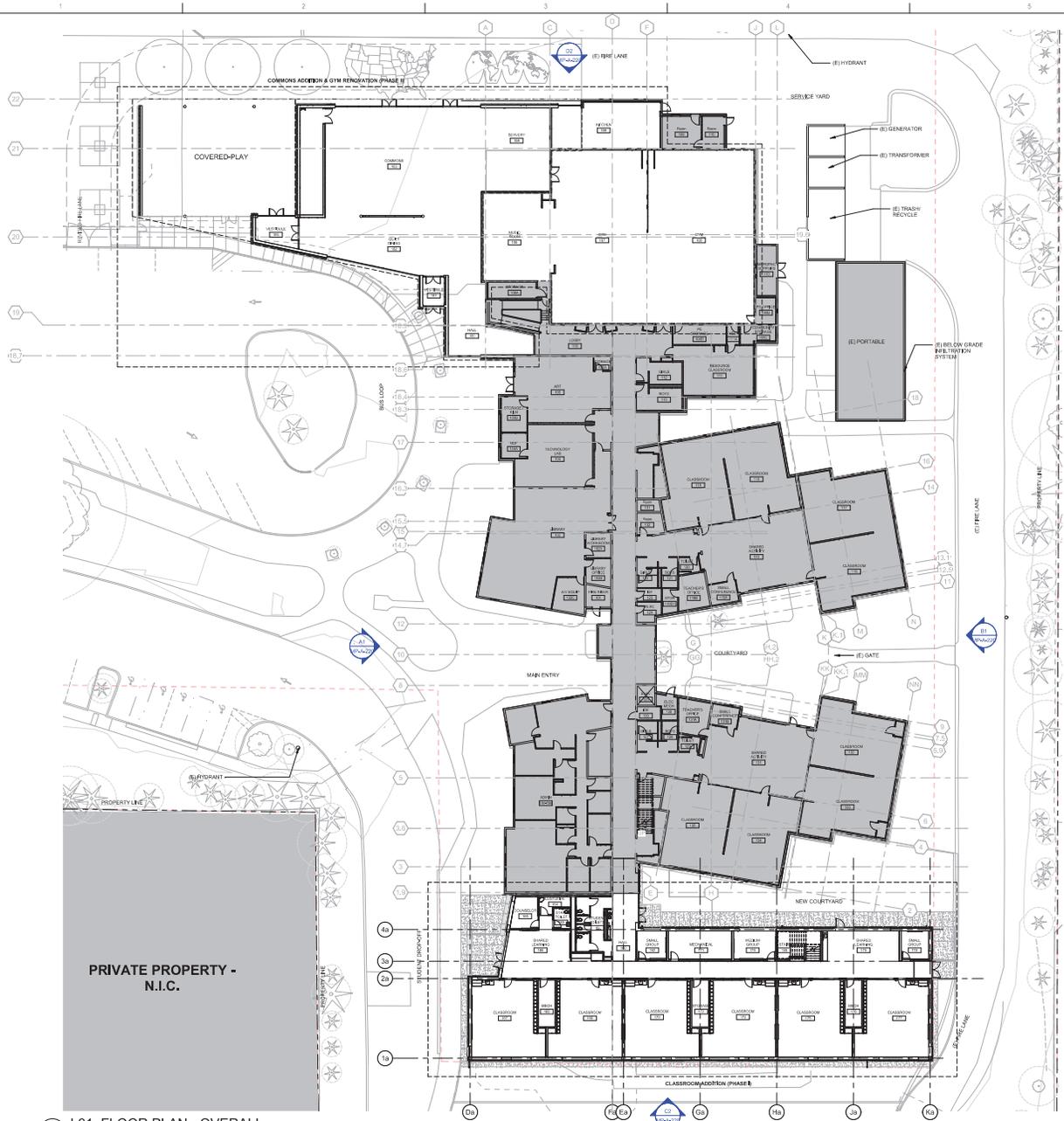
ROSE HILL ELEMENTARY
SCHOOL CLASSROOM ADDITION

8044 128th AVENUE NE
KIRKLAND WA 98033

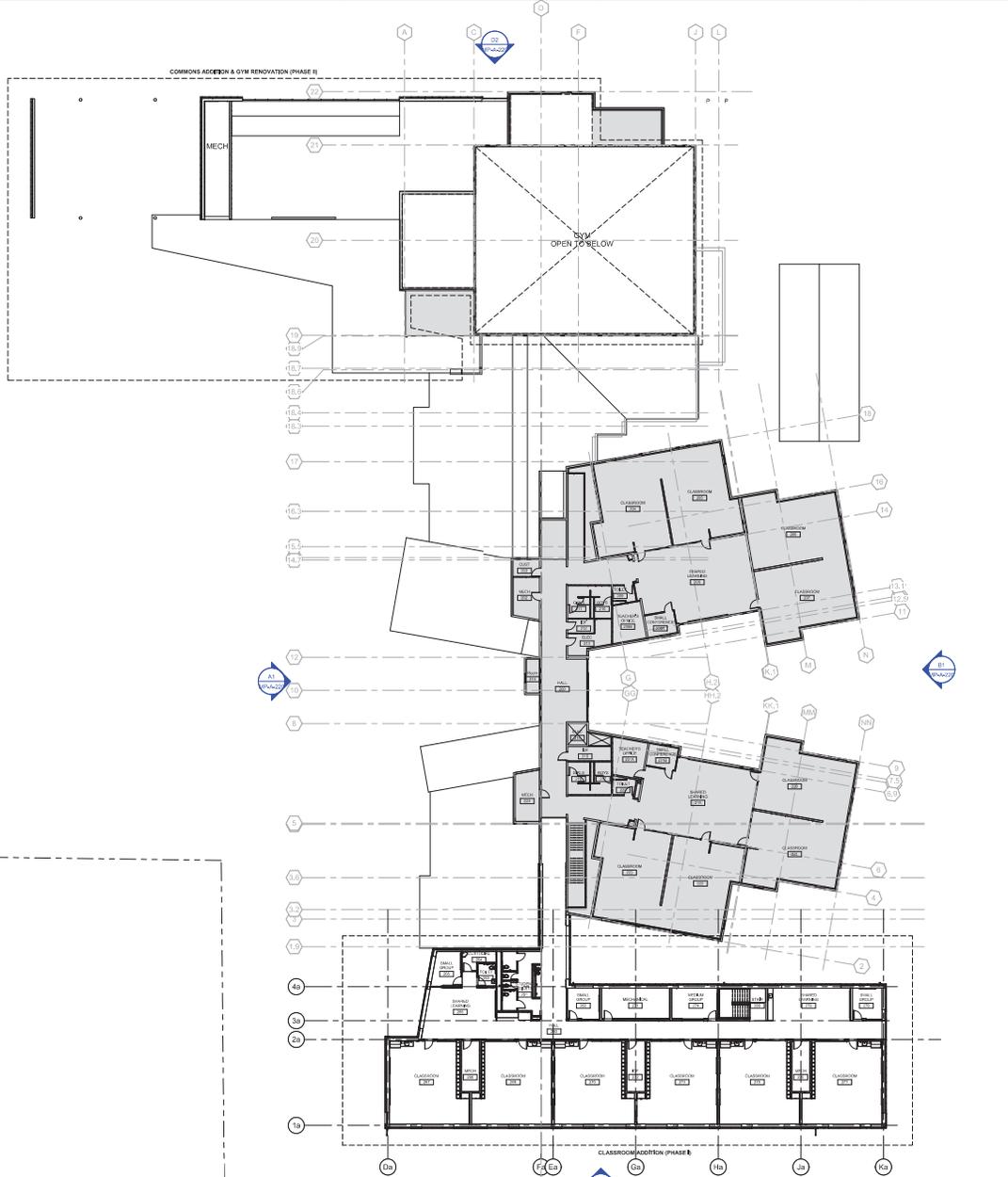
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PROJECT NO.:	20190611	
DRAWN BY:	WV	
CHECKED BY:	RS, JW	
DATE PLOTTED: 12/18/2019 10:58:11 AM		

L01 PLAN - OVERALL

MP-A-101



A1 L01 FLOOR PLAN - OVERALL
12/18/2019



GENERAL NOTES

1. REFER TO SHEET 0402 FOR GENERAL PROJECT NOTES.
2. REFER TO SHEETS 0401 AND 0403 FOR PARTITION TYPES.
3. TYPICAL EXTERIOR WALLS SHALL BE WALL TYPE 001 UNLESS NOTED OTHERWISE.

FLOOR PLAN LEGEND

WALL RATING PLAN SYMBOLS
(SEE FIRE LIFE SAFETY PLANS FOR MORE INFORMATION)

	NON RATED WALL		1/2-HOUR FIRE BARRIER
	SMOKE PARTITION (SP)		1-HOUR FIRE BARRIER
	SMOKE BARRIER (SB)		3-HOUR FIRE BARRIER
	1/2-HOUR FIRE PARTITION		1-HOUR FIRE PARTITION (FP)

NOT IN PROJECT SCOPE

mahlum

71 COLUMBIA | FLOOR 4
SEATTLE WA 98104
(206) 441-4151 OFFICE
(206) 441-0478 FAX

1231 NW HOYT | SUITE 102
PORTLAND OR 97209
(503) 224-4032 OFFICE
(503) 224-0918 FAX

MAHLUM ARCHITECTS INC.



Lake Washington School District

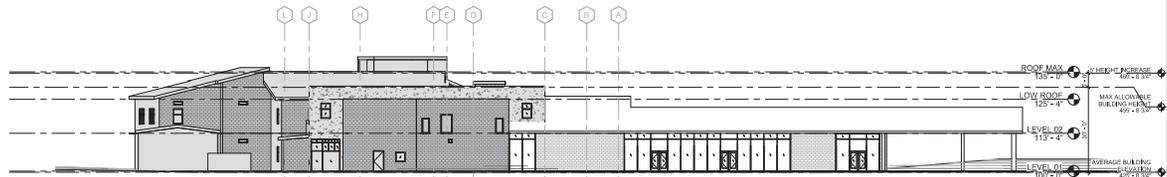
ROSE HILL ELEMENTARY
SCHOOL CLASSROOM ADDITION

8044 128th AVENUE NE
KIRKLAND WA 98033

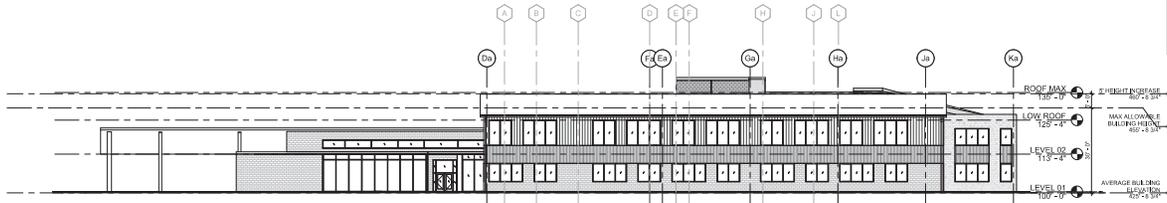
MARK	DATE	DESCRIPTION
ISSUE DATE:	20 DECEMBER 2019	MASTER PLAN
ISSUE:		MASTER PLAN
PROJECT NO.:	2019001	
DRAWN BY:	WV	
CHECKED BY:	RS, JW	
L02 PLAN - OVERALL		

MP-A-102

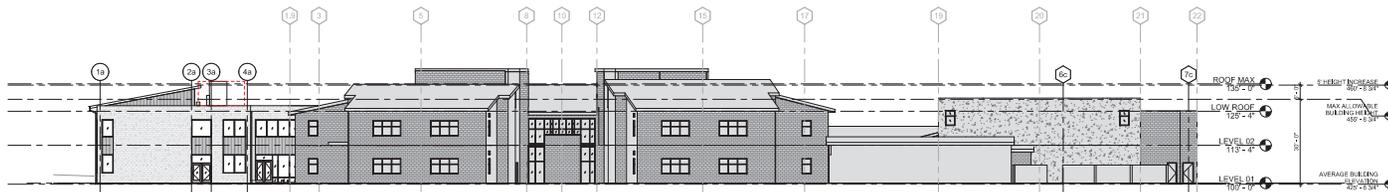
A1 L02 FLOOR PLAN - OVERALL
1107 - 1107



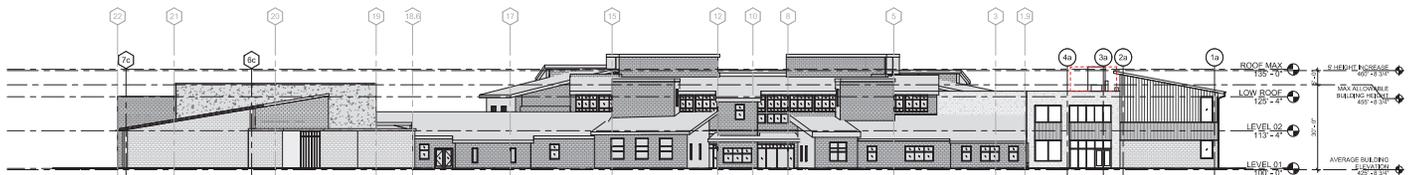
D2 NORTH ELEVATION
1/8" = 1'-0"



C2 SOUTH ELEVATION
1/8" = 1'-0"



B1 EAST ELEVATION
1/8" = 1'-0"



A1 WEST ELEVATION
1/8" = 1'-0"

ELEVATION GENERAL NOTES

1. REFER TO WALL SECTIONS FOR EXTERIOR WALL ASSEMBLY TYPES.
2. REFER TO EXTERIOR WINDOW TYPES SHEETS FOR WINDOW SIZES. ELEVATION ABOVE FLOOR AND GLAZING TYPE FOR EXTERIOR WINDOWS.

ELEVATION MATERIAL LEGEND

(CMC-2) 8" OR 10" CONCRETE MASONRY UNIT (CHARCOAL)	(CMC-3) 8" OR 10" CONCRETE MASONRY UNIT (COURT DRAINAGE)
(MPO) 2" X 4" METAL PANEL (VERTICAL, WIDE)	(MPO) 2" X 4" METAL PANEL (VERTICAL, NARROW)
(CMC-1) EXISTING MATERIAL	(CMC-4) 12" OR 16" CAST-IN-PLACE CONCRETE

ELEVATION SYMBOL LEGEND

(SW) 24" OR 30" STOREFRONT WINDOWS	(SW) 24" OR 30" CURTAIN WALL WINDOWS
(SW) 24" OR 30" STOREFRONT WINDOWS	(SW) 24" OR 30" EXTERIOR LOUVERS
(CJ) CONTROL JOINT	(CA) CONTINUOUS ANGLE, SEE EXTERIOR AND STRUCT DRAWINGS
(L) 24" OR 30" EXTERIOR LIGHTING, REFER TO ELECTRICAL DRAWINGS	

KEYNOTES

mahlum

71 COLUMBIA | FLOOR 4
SEATTLE WA 98104
(206) 461-4151 OFFICE
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MAHLUM ARCHITECTS INC.



Lake Washington School District

ROSE HILL ELEMENTARY
SCHOOL CLASSROOM ADDITION

8144 128th AVENUE NE
KIRKLAND WA 98033

MARK	DATE	DESCRIPTION
ISSUE DATE	20 DECEMBER 2019	MASTER PLAN
ISSUE		MASTER PLAN
PROJECT NO.	2019061	
DRAWN BY	LV	
CHECKED BY	GS, JKW	
BUILDING ELEVATIONS - OVERALL		

MP-A-220



CITY OF KIRKLAND
Planning and Building Department
123 5th Avenue, Kirkland, WA 98033
425.587.3600 ~ www.kirklandwa.gov

DEVELOPMENT STANDARDS LIST
ROSE HILL ELEMENTARY SCHOOL MASTER PLAN
File: ZON19-00742

ZONING CODE STANDARDS

95.51.2.a Required Landscaping. All required landscaping shall be maintained throughout the life of the development. The applicant shall submit an agreement to the city to be recorded with King County which will perpetually maintain required landscaping. Prior to issuance of a certificate of occupancy, the proponent shall provide a final as-built landscape plan and an agreement to maintain and replace all landscaping that is required by the City.

95.44 Parking Area Landscape Islands. Landscape islands must be included in parking areas as provided in this section.

95.45 Parking Area Landscape Buffers. Applicant shall buffer all parking areas and driveways from the right-of-way and from adjacent property with a 5-foot wide strip as provided in this section. If located in a design district a low hedge or masonry or concrete wall may be approved as an alternative through design review.

95.50 Tree Installation Standards. All supplemental trees to be planted shall conform to the Kirkland Plant List. All installation standards shall conform to Kirkland Zoning Code Section 95.45.

95.52 Prohibited Vegetation. Plants listed as prohibited in the Kirkland Plant List shall not be planted in the City.

100.25 Sign Permits. Separate sign permit(s) are required. In JBD and CBD cabinet signs are prohibited.

105.18 Pedestrian Walkways. All uses, except single family dwelling units and duplex structures, must provide pedestrian walkways designed to minimize walking distances from the building entrance to the right of way and adjacent transit facilities, pedestrian connections to adjacent properties, between primary entrances of all uses on the subject property, through parking lots and parking garages to building entrances. Easements may be required. In design districts through block pathways or other pedestrian improvements may be required. See also Plates 34 in Chapter 180.

105.32 Bicycle Parking. All uses, except single family dwelling units and duplex structures with 6 or more vehicle parking spaces must provide covered bicycle parking within 50 feet of an entrance to the building at a ratio of one bicycle space for each twelve motor vehicle parking spaces. Check with Planner to determine the number of bike racks required and location.

105.18 Entrance Walkways. All uses, except single family dwellings and duplex structures, must provide pedestrian walkways between the principal entrances to all businesses, uses, and/or buildings on the subject property.

105.18 Overhead Weather Protection. All uses, except single family dwellings, multifamily, and industrial uses, must provide overhead weather protection along any portion of the building, which is adjacent to a pedestrian walkway.

105.18.2 Walkway Standards. Pedestrian walkways must be at least 5' wide; must be distinguishable from traffic lanes by pavement texture or elevation; must have adequate lighting

for security and safety. Lights must be non-glare and mounted no more than 20' above the ground.

105.18.2 Overhead Weather Protection Standards. Overhead weather protection must be provided along any portion of the building adjacent to a pedestrian walkway or sidewalk; over the primary exterior entrance to all buildings. May be composed of awnings, marquees, canopies or building overhangs; must cover at least 5' of the width of the adjacent walkway; and must be at least 8 feet above the ground immediately below it. In design districts, translucent awnings may not be backlit; see section for the percent of property frontage or building facade.

105.19 Public Pedestrian Walkways. The height of solid (blocking visibility) fences along pedestrian pathways that are not directly adjacent a public or private street right-of-way shall be limited to 42 inches unless otherwise approved by the Planning or Public Works Directors. All new building structures shall be setback a minimum of five feet from any pedestrian access right-of-way, tract, or easement that is not directly adjacent a public or private street right-of-way. If in a design district, see section and Plate 34 for through block pathways standards.

105.65 Compact Parking Stalls. Up to 50% of the number of parking spaces may be designated for compact cars.

105.60.2 Parking Area Driveways. Driveways which are not driving aisles within a parking area shall be a minimum width of 20 feet.

105.60.3 Wheelstops. Parking areas must be constructed so that car wheels are kept at least 2' from pedestrian and landscape areas.

105.60.4 Parking Lot Walkways. All parking lots which contain more than 25 stalls must include pedestrian walkways through the parking lot to the main building entrance or a central location. Lots with more than 25,000 sq. ft. of paved area must provide pedestrian routes for every 3 aisles to the main entrance.

105.77 Parking Area Curbing. All parking areas and driveways, for uses other than detached dwelling units must be surrounded by a 6" high vertical concrete curb.

110.60.5 Street Trees. All trees planted in the right-of-way must be approved as to species by the City. All trees must be two inches in diameter at the time of planting as measured using the standards of the American Association of Nurserymen with a canopy that starts at least six feet above finished grade and does not obstruct any adjoining sidewalks or driving lanes.

115.25 Work Hours. It is a violation of this Code to engage in any development activity or to operate any heavy equipment before 7:00 am. or after 8:00 pm Monday through Friday, or before 9:00 am or after 6:00 pm Saturday. No development activity or use of heavy equipment may occur on Sundays or on the following holidays: New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving, and Christmas Day. The applicant will be required to comply with these regulations and any violation of this section will result in enforcement action, unless written permission is obtained from the Planning official.

115.45 Garbage and Recycling Placement and Screening. For uses other than detached dwelling units, duplexes, moorage facilities, parks, and construction sites, all garbage receptacles and dumpsters must be setback from property lines, located outside landscape buffers, and screened from view from the street, adjacent properties and pedestrian walkways or parks by a solid sight-obscuring enclosure.

115.47 Service Bay Locations. All uses, except single family dwellings and multifamily structures, must locate service bays away from pedestrian areas. If not feasible must screen from view.

115.75.2 Fill Material. All materials used as fill must be non-dissolving and non-decomposing. Fill material must not contain organic or inorganic material that would be detrimental to the water quality, or existing habitat, or create any other significant adverse impacts to the environment.

115.90 Calculating Lot Coverage. The total area of all structures and pavement and any other impervious surface on the subject property is limited to a maximum percentage of total lot area. See the Use Zone charts for maximum lot coverage percentages allowed. Section 115.90

lists exceptions to total lot coverage calculations See Section 115.90 for a more detailed explanation of these exceptions.

115.95 Noise Standards. The City of Kirkland adopts by reference the Maximum Environmental Noise Levels established pursuant to the Noise Control Act of 1974, RCW 70.107. See Chapter 173-60 WAC. Any noise, which injures, endangers the comfort, repose, health or safety of persons, or in any way renders persons insecure in life, or in the use of property is a violation of this Code.

115.115 Required Setback Yards. This section establishes what structures, improvements and activities may be within required setback yards as established for each use in each zone.

115.115.3.p HVAC and Similar Equipment: These may be placed no closer than five feet of a side or rear property line, and shall not be located within a required front yard; provided, that HVAC equipment may be located in a storage shed approved pursuant to subsection (3)(m) of this section or a garage approved pursuant to subsection (3)(o)(2) of this section. All HVAC equipment shall be baffled, shielded, enclosed, or placed on the property in a manner that will ensure compliance with the noise provisions of KZC 115.95.

115.115.5.c Driveway Setbacks. Vehicle parking areas for schools and day-care centers greater than 12 students shall have a minimum 20-foot setback from all property lines.

115.120 Rooftop Appurtenance Screening. New or replacement appurtenances on existing buildings shall be surrounded by a solid screening enclosure equal in height to the appurtenance. New construction shall screen rooftop appurtenances by incorporating them in to the roof form.

115.135 Sight Distance at Intersection. Areas around all intersections, including the entrance of driveways onto streets, must be kept clear of sight obstruction as described in this section.

Prior to issuance of a grading or building permit:

95.30(4) Tree Protection Techniques. A description and location of tree protection measures during construction for trees to be retained must be shown on demolition and grading plans.

95.34 Tree Protection. Prior to development activity or initiating tree removal on the site, vegetated areas and individual trees to be preserved shall be protected from potentially damaging activities. Protection measures for trees to be retained shall include (1) placing no construction material or equipment within the protected area of any tree to be retained; (2) providing a visible temporary protective chain link fence at least 6 feet in height around the protected area of retained trees or groups of trees until the Planning Official authorizes their removal; (3) installing visible signs spaced no further apart than 15 feet along the protective fence stating "Tree Protection Area, Entrance Prohibited" with the City code enforcement phone number; (4) prohibiting excavation or compaction of earth or other damaging activities within the barriers unless approved by the Planning Official and supervised by a qualified professional; and (5) ensuring that approved landscaping in a protected zone shall be done with light machinery or by hand.

Prior to occupancy:

95.51.2.a Required Landscaping. All required landscaping shall be maintained throughout the life of the development. The applicant shall submit an agreement to the city to be recorded with King County which will perpetually maintain required landscaping. Prior to issuance of a certificate of occupancy, the proponent shall provide a final as-built landscape plan and an agreement to maintain and replace all landscaping that is required by the City

110.60.6 Mailboxes. Mailboxes shall be installed in the development in a location approved by the Postal Service and the Planning Official. The applicant shall, to the maximum extent possible, group mailboxes for units or uses in the development.



DEVELOPMENT STANDARDS

ZON19-00742

PUBLIC WORKS DEPARTMENT

PUBLIC WORKS CONDITIONS

Permit #: ZON19-00742
Project Name: Rose Hill Elementary
Project Address: 8110 128th Ave NE
Date: 1/28/2020

Public Works Staff Contacts

Jamie Ward, Development Engineer
Phone: 425-587-3809 / E-mail: jward@kirklandwa.gov

General Conditions:

1. All public improvements associated with this project including street and utility improvements, must meet the City of Kirkland Public Works Pre-Approved Plans and Policies Manual. A Public Works Pre-Approved Plans and Policies manual can be purchased from the Public Works Department, or it may be retrieved from the Public Works Department's page at the City of Kirkland's web site.
 2. This project will be subject to Public Works Permit and Connection Fees. It is the applicant's responsibility to contact the Public Works Department by phone or in person to determine the fees. The applicant should anticipate the following fees:
 - o Water, Sewer, and Surface Water Connection Fees *
 - o Side Sewer Inspection Fee *
 - o Septic Tank Abandonment Inspection Fee
 - o Water Meter Fee *
 - o Right-of-way Fee
 - o Review and Inspection Fee
 - o Building Permits associated with this proposed project will be subject to the traffic, park, and school impact fees per Chapter 27 of the Kirkland Municipal Code. The impact fees shall be paid prior to issuance of the Building Permit(s). Any existing buildings within this project which are demolished will receive a Traffic Impact Fee credit, Park Impact Fee Credit and School Impact Fee Credit. This credit will be applied to the first Building Permits that are applied for within the project. The credit amount for each demolished building will be equal to the most currently adopted Fee schedule.
- * Fee to be paid with the issuance of a Building Permit.
3. All street and utility improvements shall be permitted by obtaining a Land Surface Modification (LSM) Permit, including the required LSM Checklist.
 4. Submittal of Building Permits within a subdivision prior to recording:
 - Submittal and Issuance of a Building Permit with an existing legal building site prior to subdivision recording.
- A. Submittal - A Building Permit can be submitted prior to recording of the subdivision for each existing legal building site in the subject subdivision if one the following is met:

- I. A complete Building Permit shall include all the required utility and street improvement engineering for the legal building site; or,
- II. A separate complete LSM Permit has been applied for prior to or at the same time that Building Permit is applied for that includes all of the required utility and street improvement engineering.
- III. The Building Permit shall comply with applicable codes for that legal building site.

B. Issuance – The Building Permit will be reviewed and approved for issuance (the Building Department determines when the permit can be issued) by the Public Works Department if the following conditions are met:

- I. The utility and street improvement engineering was reviewed with the Building Permit; or,
- II. The LSM is approved before the Building Permit is issued; or,
- III. The Development Engineer determines that the LSM review is substantially complete to allow the Building Permit issuance. In this case the Development Engineer may opt to add special conditions to the new Building Permit related to utility and street improvement engineering that must be completed prior to final inspection of the Building.

5. Prior to submittal of a Building or Zoning Permit, the applicant must apply for a Concurrency Test Notice. Contact Thang Nguyen, Transportation Engineer, at 425-587-3869 for more information. A separate Concurrency Permit will be created.

6. After concurrency has passed, the project will receive a concurrency test notice that allows the applicant to proceed with all development permits. A “Certificate of Concurrency” is established with a development or building permit. It will read as follows: CERTIFICATE OF CONCURRENCY: This project has been reviewed and approved for water, sewer, and traffic concurrency. Any water and sewer mitigating conditions are listed within the conditions below. Any traffic mitigating conditions will be found in an attached memorandum from the Public Works Traffic Engineering Analyst to the Planning Department Project Planner. Upon issuance of this permit, this project shall have a valid Certificate of Concurrency and concurrency vesting until the permit expires. This condition shall constitute issuance of a Certificate of Concurrency pursuant to chapter 25.12 of the Kirkland Municipal Code.

7. All civil engineering plans which are submitted in conjunction with a building, grading, or right-of-way permit must conform to the Public Works Policy G-7, Engineering Plan Requirements. This policy is contained in the Public Works Pre-Approved Plans and Policies manual.

8. All street improvements and underground utility improvements (storm, sewer, and water) must be designed by a Washington State Licensed Engineer; all drawings shall bear the engineers stamp.

9. All plans submitted in conjunction with a building, grading or right-of-way permit must have elevations which are based on the King County datum only (NAVD 88).

10. A completeness check meeting is required prior to submittal of any Building Permit applications.

11. The required tree plan shall include any significant tree in the public right-of-way along the property frontage.

Sanitary Sewer Conditions:

1. The existing sanitary sewer main in the right-of-way is adequate to serve the project.
2. Upgrade services as need to connect the new buildings to the onsite sewer.

Water System Conditions:

1. The existing water main in the right-of-way is adequate to serve the project.
2. Upgrade services as need to connect new buildings to the existing on site water.
3. See Fire Department conditions for fire flow requirements.

Surface Water Conditions:

1. Provide temporary and permanent storm water control in accordance with the 2016 King County Surface Water Design Manual (KCSWDM) and the City of Kirkland Addendum (Policy D-10).
 - SEE POLICY D-10 for updated storm water design requirements.
2. To determine the drainage review level required, the target impervious surface area is the maximum allowable lot coverage area for the project, plus any offsite improved impervious areas. See Policies D-2 and D-3 in the Public Works Pre-Approved Plans for drainage review information, or contact Kirkland Surface Water staff at (425) 587-3800 for assistance. The Kirkland Drainage Review Flow Chart is a helpful tool to determine a project's drainage review level. Drainage review levels are summarized below:
 - Full Drainage Review
 - o Any non-single-family residential project that creates more than 2,000 sf of new and/or replaced impervious surface, or greater than 7,000 sf of land disturbing activity will trigger a Full Drainage Review.
 - o Single family residential projects that propose improvements greater than the Simplified thresholds explained above will be subject to a Full Drainage Review.
3. A preliminary drainage report (Technical Information Report) must be submitted with the subdivision application. This must include a downstream analysis for all projects (except for Basic and Simplified Drainage Review projects). Provide a level one off-site analysis per Core Requirement #2 of the KCSWDM.
 - For Simplified Drainage Review, use the Simplified TIR Submittal Template available on the City of Kirkland website. Navigate to the following webpage:
"City of Kirkland Utilities > Storm & Surface Water > Development & Construction"
4. This project is in a Level 2 Flow Control Area, and is required to comply with core drainage requirements in the KCSWDM. Historic (forested) conditions shall be used as the pre-developed modeling condition for design of the stormwater detention system.
5. The project may qualify for an exception to detention if the target surfaces will generate no more than a 0.15 cfs increase in the historic (forested) conditions [Attention Preparer for Level 1 - existing site conditions] 100-year peak flow. The 15-minute time step must be used to perform the flow control analysis. Do not use the 1-hour time step. Approved hydrologic modeling programs are MGS Flood and WWHM 2012.
6. Evaluate the feasibility and applicability of dispersion, infiltration, and other stormwater Low Impact Development (LID) Best Management Practices (BMPs) per the KCSWDM. If feasible, stormwater LID BMPs are required to the maximum extent feasible. If LID BMPs are infeasible, pervious pavement cannot be used to reduce overall impervious lot coverage. The Private Maintenance Agreement will be recorded on all projects that construct a stormwater LID BMP or facility, per Policy D-7.
7. Soil information may be necessary for designing LID BMPs per the KCSWDM, and there are other reasons a soil report is necessary for a project (e.g., steep slopes, sensitive areas, etc.). Refer to Policy D-8 for details.
8. Special inspections may be required for LID BMPs on this project. Provide documentation of inspections by a licensed geotechnical professional that the BMP will function as designed.
9. If the project will create or replace more than 5,000 square feet of pollution generating impervious surface (PGIS), provide water quality treatment in accordance with the KCSWDM.
10. Soil Amendment per Pre-Approved Plan E.12 is required for all landscaped areas.
11. Provide storm drain connections where needed for new impervious areas and route to existing conveyance. All

roof and drive way drainage must be tight-lined to the storm drain system or utilize low impact development techniques on-site.

12. If working within an existing ditch, the applicant is hereby given notice that the Army Corps of Engineers (COE) has asserted jurisdiction over upland ditches draining to streams. Either an existing Nationwide COE permit or an Individual COE permit may be necessary for work within ditches, depending on the project activities. Applicants should obtain the applicable COE permit; information about COE permits can be found at: U.S. Army Corps of Engineers, Seattle District Regulatory Branch
<http://www.usace.army.mil/Missions/CivilWorks/RegulatoryProgramandPermits.aspx>

Specific questions can be directed to: Seattle District, Corps of Engineers, Regulatory Branch, CENWS-OD-RG, Post Office Box 3755, Seattle, WA 98124-3755, Phone: (206) 764-3495

13. A Hydraulic Project Approval (HPA) from WA State Department of Fish and Wildlife (WDFW) may be required for this project. Contact Stewart Reinbold at WDFW at 425-313-5660 or stewart.reinbold@dfw.wa.gov for determination, obtain an HPA if required, and submit a copy to COK. If an HPA is not required, the applicant will be required to provide written documentation from WDFW as verification. More information on HPAs can be found at the following website: <http://wdfw.wa.gov/licensing/hpa/>

14. Construction Stormwater Pollution Prevention Plan (CSWPPP):

- All proposed projects that will conduct construction activities onsite, or offsite must provide stormwater pollution prevention and spill controls to prevent, reduce, or eliminate the discharge of pollutants (including sediment) to onsite or adjacent stormwater systems or watercourses.
- Refer to Core Requirement No. 5 in the KCSWDM and Policy D-12.
- Provide an erosion control report and plan with the Building or Land Surface Modification Permit application. The plan shall be in accordance with the KCSWDM.
- Construction drainage control shall be maintained by the developer and will be subject to periodic inspections. During the period from May 1 and September 30, all denuded soils must be covered within 7 days; between October 1 and April 30, all denuded soils must be covered within 12 hours. Additional erosion control measures may be required based on site and weather conditions. Exposed soils shall be stabilized at the end of the workday prior to a weekend, holiday, or predicted rain event.

15. If the project site is one acre or greater, the following conditions apply:

- The applicant is responsible to apply for a Construction Stormwater General Permit from Washington State Department of Ecology. Provide the City with a copy of the Notice of Intent for the permit. Permit Information can be found at the following website: <http://www.ecy.wa.gov/programs/wq/stormwater/construction/>
 - o Among other requirements, this permit requires the applicant to prepare a Storm Water Pollution Prevention Plan (SWPPP) and identify a Certified Erosion and Sediment Control Lead (CESCL) prior to the start of construction. The CESCL shall attend the City of Kirkland PW Dept. pre-construction meeting with a completed SWPPP.
- Turbidity monitoring by the developer/contractor is required for any surface water leaving the site.
- A Stormwater Pollution Prevention and Spill (SWPPS) Plan must be kept on site during all phases of construction and shall address construction-related pollution generating activities. Follow the guidelines in the Ecology Pollution Prevention Manual for plan preparation.

16. Since existing buildings are proposed to remain in this development, there are the following options to address the storm drainage from that house/lot:

- a. Evaluate the proposed lot as new/replaced impervious at the required lot coverage as part of the subdivision TIR.
- b. Remove the existing impervious from calculations as non-targeted surfaces. If this method is taken, the existing impervious buildings cannot be redeveloped for 5 years from the final of the approved permit.

Street and Pedestrian Improvement Conditions:

1. The subject property abuts __ 128th Ave NE, NE 95th St, and 130th Ave Ne. These streets are Neighborhood Access and Collector type street. Zoning Code sections 110.10 and 110.25 require the applicant to make half-street improvements in rights-of-way abutting the subject property. Section 110.30-110.50 establishes that this street must

ZON19-00742

Page 5 of 5

be improved with the following:

- A. Remove and replace existing half-street improvements in substandard condition, this includes the replacement of any cracked or broken curb, gutter and sidewalk.
- B. Identify and protect trees with retention value in the right-of-way.
- C. Coordinate improvements with planned Kirkland street projects, if any.

2. Access Requirements (KZC Chapter 105.10):

- A. Existing access locations are adequate.

3. When three or more utility trench crossings occur within 150 lineal ft. of street length or where utility trenches parallel the street centerline, the street shall be overlaid with new asphalt or the existing asphalt shall be removed and replaced per the City of Kirkland Street Asphalt Overlay Policy R-7.

- Existing streets with 4-inches or more of existing asphalt shall receive a 2-inch (minimum thickness) asphalt overlay. Grinding of the existing asphalt to blend in the overlay will be required along all match lines.
- Existing streets with 3-inches or less of existing asphalt shall have the existing asphalt removed and replaced with an asphalt thickness equal or greater than the existing asphalt provided however that no asphalt shall be less than 2-inches thick and the subgrade shall be compacted to 95% density.

4. It shall be the responsibility of the applicant to relocate any above-ground or below-ground utilities which conflict with the project, associated street, or utility improvements.

5. Underground all new and existing on-site utility lines and overhead transmission lines. Underground any new off-site transmission lines.

6. Zoning Code Section 110.60.7.b establishes the requirement that existing utility and transmission (power, telephone, etc.) lines on-site and in rights-of-way adjacent to the site must be underground. The Public Works Director may determine if undergrounding transmission lines in the adjacent right-of-way is not feasible and defer the undergrounding by signing an agreement to participate in an undergrounding project, if one is ever proposed. In this case, the Public Works Director has determined that undergrounding of existing overhead utility on _____ is not feasible at this time and the undergrounding of off-site/frontage transmission lines should be deferred with a Local Improvement District (LID) No Protest Agreement. The final recorded subdivision document shall include the following note:

Local Improvement District (LID) Waiver Agreement. Chapter 110.60.7.b of the Kirkland Zoning Code requires all overhead utility lines along the frontage of the subject property to be converted to underground unless the Public Works Director determines that it is infeasible to do so at the time of the subdivision recording. If it is determined to be infeasible, then the property owner shall consent to the formation of a Local Improvement District, hereafter formed by the City or other property owners. During review of this subdivision it was determined that it was infeasible to convert the overhead utility lines to underground along the frontage of this subdivision on (((street name))). Therefore, in consideration of deferring the requirement to underground the overhead utility lines at the time of the subdivision recording, the property owner and all future property owners of lots within this subdivision hereby consent to the formation of a Local Improvement District hereafter formed by the City or other property owners

7. New LED street lights may be required per Puget Sound Energy design and Public Works approval. Contact the INTO Light Division at PSE for a lighting analysis. If lighting is necessary, design must be submitted prior to issuance of a grading or building permit.

Brynja Almazan - Account Sales Manager, Intolight, PUGET SOUND ENERGY
Tel 253-395-6874 | Cell 206-604-3348 | Fax 425-462-3149
Email brynja.almazan@pse.com | Website: www.intolight.com

8. A striping plan for the street must be submitted with the building or grading permit.

Tony Leavitt

From: Gene Lawson <genelawson566@msn.com>
Sent: Tuesday, February 18, 2020 4:58 PM
To: Tony Leavitt
Subject: Comments Rose Hill Elementary School addition ZON19-00742

Greetings,

I walk a child to/from school.

I have a traffic/parking/sidewalk concern regarding this project. Currently on NE 80th St directly in front of the proposed addition, prior to school start/dismissal, cars park there even though the area is marked NO PARKING. Consequently, car doors opening onto the sidewalk while kids/parents walking by, and, or course, car doors opening into oncoming traffic/bicycles.

During construction, will the sidewalk continue to available for those walking to/from school? Would it be a good idea, given the construction congestion, to strictly enforce the NO PARKING zone?

Can it be mandated that in order for the building permit to be granted, the sidewalk be widened to allow better access/safety for foot traffic ? Maybe eliminate the current pullout area altogether?

Thanks for your attention.

Gene Lawson
7902--133rd Avenue NE
Redmond, WA 98052
genelawson566@msn.com

PROJECT INFORMATION

PROJECT NAME: Lake Washington School District
Elementary School Addition – Rose Hill Elementary School

SEPA FILE NUMBER:

PROJECT DESCRIPTION: This threshold of
determination analyzes the environmental impacts
associated with the following action:

1. Phase I: 2-Story, (8) classroom addition to an existing
2-Story elementary school. Project is repurposing (4)
existing classrooms.
2. Phase II: Approximately 7600SF Dining Commons
addition and approximately 3200SF of covered play,
and interior renovation.

LOCATION OF THE PROPOSAL: LWSD Site 41 Rose
Hill Elementary School.

SITE ADDRESS: 9525 130TH Ave NE, Kirkland, WA
98033

PROPONENT: Lake Washington School District

LEAD AGENCY: Lake Washington School District
The lead agency for this proposal has determined that the
proposal does not have a probable significant adverse
environmental impact on the environment. An environmental
impact statement (EIS) is not required under RCW
43.21C.030(2)(c). This decision was made after a review of
the completed environmental checklist and other information
on file with the lead agency. This information is available to
the public upon request.

DISTRICT CONTACT INFORMATION

NAME: Brian Buck

EMAIL: construction@lwsd.org

IMPORTANT DATES

COMMENT PERIOD

Depending upon the proposal, a comment period may not
be required. An "X" is placed next to the applicable
comment provision.

____ There is no comment period for this DNS. Please see
below for appeal provisions.

X This Determination of Non-Significance (DNS) is
issued under WAC 197-11-340(2). The lead agency will not
act on this proposal for 14 calendar days from the date of
issuance. Comments must be submitted by 4:00 p.m.,
March 13, 2020. The Responsible Official will reconsider
the DNS based on timely comments and may retain, modify,
or, if significant adverse impacts are likely, withdraw the
DNS. If the DNS is retained, it will be final after the
expiration of the comments deadline.

Comments must be submitted by:

4:00 p.m., March 13, 2020

COMMENT PERIOD

You may comment on this determination in writing by 4:00
p.m. on March 13, 2020. Address comments to: Brian
Buck, Director, Support Services, Lake Washington School
District, 15212 NE 95th Street, Redmond WA 98052, or by
email to construction@lwsd.org.

DATE OF DNS ISSUANCE: February 28, 2020

RESPONSIBLE OFFICIAL:

Brian Buck
Director,
Support Services

Signature: _____



SEPA ENVIRONMENTAL CHECKLIST - RHE

Purpose of checklist:

Governmental agencies use this checklist to help determine whether the environmental impacts of your proposal are significant. This information is also helpful to determine if available avoidance, minimization or compensatory mitigation measures will address the probable significant impacts or if an environmental impact statement will be prepared to further analyze the proposal.

Instructions for applicants:

This environmental checklist asks you to describe some basic information about your proposal. Please answer each question accurately and carefully, to the best of your knowledge. You may need to consult with an agency specialist or private consultant for some questions. You may use "not applicable" or "does not apply" only when you can explain why it does not apply and not when the answer is unknown. You may also attach or incorporate by reference additional studies reports. Complete and accurate answers to these questions often avoid delays with the SEPA process as well as later in the decision-making process.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

Instructions for Lead Agencies:

Please adjust the format of this template as needed. Additional information may be necessary to evaluate the existing environment, all interrelated aspects of the proposal and an analysis of adverse impacts. The checklist is considered the first but not necessarily the only source of information needed to make an adequate threshold determination. Once a threshold determination is made, the lead agency is responsible for the completeness and accuracy of the checklist and other supporting documents.

Use of checklist for nonproject proposals:

For nonproject proposals (such as ordinances, regulations, plans and programs), complete the applicable parts of sections A and B plus the [SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS \(part D\)](#). Please completely answer all questions that apply and note that the words "project," "applicant," and "property or site" should be read as "proposal," "proponent," and "affected geographic area," respectively. The lead agency may exclude (for non-projects) questions in Part B - Environmental Elements –that do not contribute meaningfully to the analysis of the proposal.

A. Background [HELP]

1. Name of proposed project, if applicable:

**Lake Washington School District Elementary School Additions – Rose Hill
Elementary School**

2. Name of applicant:

Lake Washington School District

3. Address and phone number of applicant and contact person:

Brian Buck
Director, Support Services
Lake Washington School District
bbuck@lwsd.org | 425.936.1102

4. Date checklist prepared: **November 2019**

5. Agency requesting checklist: **Lake Washington School District**

6. Proposed timing or schedule (including phasing, if applicable):

**Construction on Phase I to begin Summer 2020 and open to students for Fall 2021.
Phase II scopes of work is projected to start construction in Summer 2021 and open
to students for Fall 2022. See #11 for a description of Phase II.**

7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

No.

8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

- **Traffic Impact Analysis by TENW – scheduled to be completed**
- **Site Topographic Survey - Completed**
- **Geotechnical Report – scheduled to be completed**

9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain.

No.

10. List any government approvals or permits that will be needed for your proposal, if known.

- **Master Plan Approval (Process IIB)**
- **DOE Construction Stormwater General Permit (CSWGP)**
- **Washington State National Pollutant Discharge Elimination System (NPDES)**
- **Sanitary and Storm**
- **Demolition**
- **Building/Grading/Mechanical/Plumbing**
- **Fire Protection**
- **Electrical**
- **King County Health Department**

11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.)

**Phase I: 2-Story, (8) classroom addition to an existing 2-Story elementary school.
Project demolition of (4) existing classrooms.**

**Phase II: Approximately 7600SF Dining Commons addition and approximately 3200SF
of covered play, and interior renovation**

12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist.

- **Address: 9525 130TH Ave NE, Kirkland, WA 98033**
- **Parcel Number: 388810-0027**
- **Legal Description: Kirkland Acre TRS LOT 3-4-5-6-7-8 LESS E 130 FT LOTS 3-4-5 LESS N 76.32 FT OF E 130 FT OF SD LOT 6 LESS S 116.32 FT OF E 130 FT OF SD LOT 7 & LESS E 256.07 FT SD LOT 8 & LESS CO RDS -- Plat Lot: 3 TO 8**
- **Existing Use: Elementary School (no change)**
- **Zone: RSX 7.2**

B. Environmental Elements [\[HELP\]](#)

1. **Earth** [\[help\]](#)

a. General description of the site:

(circle one): Flat, rolling, hilly, steep slopes, mountainous, other _____

b. What is the steepest slope on the site (approximate percent slope)?

The project site has a maximum slope of 17%.

c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils.

The geologic map of the project area identifies subsurface strata to consist of primarily of Alderwood gravelly sand loam. A small percentage of the site is also mapped as Indianola loamy sand.

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

There are no categorized steep slopes within the work area. Soil stability will be investigated further through a site specific geotechnical exploration and analysis.

e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill.

Phase 1

Fill material will be directed by the on-site Geotechnical Engineer during site work. It may include the use of native on site material and /or use of imported structural fill material as directed by the Geotechnical Engineer. Import structural fill will be from an approved source. Export material will be hauled off to an approved location.

Excavation and filling will be required for the project.

Excavation = 800 +/- cy

Fill = 500 +/- cy

Phase 2

Fill material will be directed by the on-site Geotechnical Engineer during site work. It may include the use of native on site material and /or use of imported structural

fill material as directed by the Geotechnical Engineer. Import structural fill will be from an approved source. Export material will be hauled off to an approved location.

Excavation and filling will be required for the project.

Excavation = 1000 +/- cy

Fill = 600 +/- cy

- f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

Per the USDA Natural Resources Conservation Service, the project site is rated as having “moderate” erosion hazard potential. Minor erosion is possible in some areas as a result of soil disturbance associated with construction activities. Construction Best Management Practices (BMP’s) will be implemented in accordance with the City of Kirkland permitting requirements.

- g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

Phase 1

50.5%.

Phase 2

51.5%

- h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

During construction, temporary erosion control measures (TESC) or best management practices (BMP) will be implemented as required by the City of Kirkland. These measures include any to all of: stockpile covering, catch basin protection, interceptor swales, silt fences, construction entrance and haul road, and temporary construction stormwater runoff storage facilities

2. *Air* [\[help\]](#)

- a. What types of emissions to the air would result from the proposal during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known.

Project construction activities could generate dust from equipment operations, but these effects are anticipated to be temporary, minor and largely contained at and within a short distance from the proposed project site. Construction equipment and vehicles will generate minor amounts of localized carbon monoxide and particulate emissions typical to gasoline and

diesel combustion engines. These emissions would only impact air quality and on a temporary basis.

b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

No offsite sources of emissions or odor have been identified that would affect the proposed project.

c. Proposed measures to reduce or control emissions or other impacts to air, if any:

Construction industry best management practices (BMPs) will be incorporated into construction plans and contractor specifications. To reduce carbon monoxide and particulate emissions from gasoline and diesel engines, construction equipment will be well maintained and equipment will be turned off when not in use.

3. **Water** [\[help\]](#)

a. Surface Water: [\[help\]](#)

1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

No.

2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans.

No.

3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

N/A

4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

No

5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

No

6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

No

b. Ground Water: [\[help\]](#)

1) Will groundwater be withdrawn from a well for drinking water or other purposes? If so, give a general description of the well, proposed uses and approximate quantities withdrawn from the well. Will water be discharged to groundwater? Give general description, purpose, and approximate quantities if known.

No

2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals. . . ; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

N/A

c. Water runoff (including stormwater):

1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

Phase 1

The Storm water will be collected onsite and routed to infiltration trenches, where it will be infiltrated onsite. Overflow will be discharged into City of Kirkland storm water collection.

Phase 2

The Storm water will be collected onsite and routed to infiltration trenches, where it will be infiltrated onsite. Overflow will be discharged into City of Kirkland storm water collection.

2) Could waste materials enter ground or surface waters? If so, generally describe.

No.

- 3) Does the proposal alter or otherwise affect drainage patterns in the vicinity of the site? If so, describe.

No, the classroom additions are at a lower elevation than the surrounding properties and will not affect offsite drainage

- d. Proposed measures to reduce or control surface, ground, and runoff water, and drainage pattern impacts, if any:

Infiltration trenches will be utilized to control surface runoff from additional impervious areas in accordance with the City of Kirkland stormwater design standards and requirements.

3. *Plants* [help]

- a. Check the types of vegetation found on the site:

- deciduous tree: alder, maple, aspen, other
 evergreen tree: fir, cedar, pine, other
 shrubs
 grass
 pasture
 crop or grain
 Orchards, vineyards or other permanent crops.
 wet soil plants: cattail, buttercup, bullrush, skunk cabbage, other
 water plants: water lily, eelgrass, milfoil, other
 other types of vegetation

- b. What kind and amount of vegetation will be removed or altered?

Lawn will be removed for the proposed site improvements.

- c. List threatened and endangered species known to be on or near the site.

N/A

- d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

Lawn and native shrubs and groundcovers will be added to enhance the vegetation on site.

- e. List all noxious weeds and invasive species known to be on or near the site.

N/A

4. *Animals* [\[help\]](#)

- a. List any birds and other animals which have been observed on or near the site or are known to be on or near the site.

Robin, crow and other native birds to the region are likely present

Examples include:

birds: hawk, heron, eagle, songbirds, other:
mammals: deer, bear, elk, beaver, other:
fish: bass, salmon, trout, herring, shellfish, other _____

- b. List any threatened and endangered species known to be on or near the site.

N/A

- c. Is the site part of a migration route? If so, explain.

Not that we are aware of.

- d. Proposed measures to preserve or enhance wildlife, if any:

Maintaining trees along perimeter edges.

- e. List any invasive animal species known to be on or near the site.

N/A

5. *Energy and Natural Resources* [\[help\]](#)

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc.

Natural gas will be used for heating.

- b. Would your project affect the potential use of solar energy by adjacent properties?
If so, generally describe.

No.

- c. What kinds of energy conservation features are included in the plans of this proposal?
List other proposed measures to reduce or control energy impacts, if any:

Dedicated outside air units with 70% efficient heat recovery wheels will be used for ventilation. Ceiling fans will be used in lieu of mechanical cooling.

7. Environmental Health [\[help\]](#)

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal?
If so, describe.

None that we are aware of.

- 1) Describe any known or possible contamination at the site from present or past uses.

There is no known contamination from present or past uses.

- 2) Describe existing hazardous chemicals/conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity.

No known hazardous chemicals or conditions.

- 3) Describe any toxic or hazardous chemicals that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project.

During demolition, if hazardous materials are found, these will be removed by certified personnel wearing appropriate personal protective equipment (PPE) and all hazardous materials will be disposed of properly, in accordance with applicable Federal, State and local regulations.

- 4) Describe special emergency services that might be required.

There are no known special emergency services that might be required.

- 5) Proposed measures to reduce or control environmental health hazards, if any:

If found, all work involving the removal of asbestos will be done by a certified asbestos contractor utilizing WA State Department of Labor and Industries Division of Occupational Safety and Health (DOSH) certified asbestos supervisors and workers. All materials will be removed according to DOSH and Puget Sound Clean Air Agency (PSCAA) and disposed at an approved landfill.

All work involving the removal of PCB-containing light ballasts, and Hg-containing fluorescent light tubes will be done in accordance with DOSH and WA State Department of Ecology regulations and disposed/recycled at an approved facility.

b. Noise

- 1) What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)?

None.

- 2) What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site.

Vehicle and equipment operation during construction could cause noise impacts to nearby residents. Construction hours and noise levels would comply with the City of Kirkland noise standards.

- 3) Proposed measures to reduce or control noise impacts, if any:

Construction activities would be restricted to hours and levels designated by the City of Kirkland . Sound mitigation, including equipment mufflers will be used when available.

8. Land and Shoreline Use [\[help\]](#)

- a. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe.

The current use is an elementary school serving students from pre-kindergarten through grade 5 and a grass recreation field. Use will remain unchanged. Adjacent properties are single family homes on average size urban lots.

- b. Has the project site been used as working farmlands or working forest lands? If so, describe. How much agricultural or forest land of long-term commercial significance will be converted to other uses as a result of the proposal, if any? If resource lands have not been designated,

how many acres in farmland or forest land tax status will be converted to nonfarm or nonforest use?

No.

1) Will the proposal affect or be affected by surrounding working farm or forest land normal business operations, such as oversize equipment access, the application of pesticides, tilling, and harvesting? If so, how:

No.

c. Describe any structures on the site.

The main structure on the site is the existing Rose Hill Elementary School as well as 4 portable classrooms within the site and playground equipment.

d. Will any structures be demolished? If so, what?

Proposal to demolish 4 existing classrooms and relocate them within the new addition.

e. What is the current zoning classification of the site?

Zone: RSX 7.2– low density residential

f. What is the current comprehensive plan designation of the site?

The current comprehensive plan designation for the site and its surrounding areas is Single Family Residential Area.

g. If applicable, what is the current shoreline master program designation of the site?

The project site is not within a shoreline jurisdiction.

h. Has any part of the site been classified as a critical area by the city or county? If so, specify.

No.

i. Approximately how many people would reside or work in the completed project?

Approximately 72 people would work at the school and 714 students would attend school at the completed project. There would be no one residing in the school or on the property.

j. Approximately how many people would the completed project displace?

None.

k. Proposed measures to avoid or reduce displacement impacts, if any:

N/A

L. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

The project would obtain Master Plan Approval from the City Kirkland Planning Department.

m. Proposed measures to reduce or control impacts to agricultural and forest lands of long-term commercial significance, if any:

N/A

9. Housing [\[help\]](#)

a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

No housing units would be provided as part of the project.

b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

No housing units would be eliminated.

b. Proposed measures to reduce or control housing impacts, if any:

The project would not cause housing impacts; therefore, mitigation measures to control housing impacts are not proposed.

10. Aesthetics [\[help\]](#)

a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?

The new building height will be a maximum of 35 ft from the average building elevation. Exterior materials will consist of masonry, metal panel and aluminum frame storefront.

- b. What views in the immediate vicinity would be altered or obstructed?

After Phase I, views from NE 80th Street will reflect the classroom additions. Views from both NE 80th Street and 128th Ave NE will reflect Phase II work after completion.

- c. Proposed measures to reduce or control aesthetic impacts, if any:

Changes to views from the residences are unavoidable. However, the school facilities will be designed to retain as much open space as possible on the site. Existing landscaping would be maintained to the extent possible and new landscaping would be incorporated to minimize aesthetic impacts.

11. Light and Glare [\[help\]](#)

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

Interior and Exterior lighting for limited times after dark only.

- b. Could light or glare from the finished project be a safety hazard or interfere with views?

The interior and exterior lighting which is most likely to be on after dark is provided to increase safety and security. Illumination is not expected to interfere with views.

- c. What existing off-site sources of light or glare may affect your proposal?

None anticipated.

- d. Proposed measures to reduce or control light and glare impacts, if any:

There will be automatic timeclock control of lights during non-daylight hours and utilization of optically controlled light fixtures to direct the light where needed and incorporation of house side shields, full and semi cutoff optics to minimize light trespass.

12. Recreation [\[help\]](#)

- a. What designated and informal recreational opportunities are in the immediate vicinity?

A grass play field and play equipment are presently located on the site.

- b. Would the proposed project displace any existing recreational uses? If so, describe.

No.

- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:

Existing field to remain untouched. Impact to existing play areas to be minimized to extent possible.

13. Historic and cultural preservation [\[help\]](#)

- a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers ? If so, specifically describe.

Not that we are aware of.

- b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation? This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources.

No evidence has been recorded.

- c. Describe the methods used to assess the potential impacts to cultural and historic resources on or near the project site. Examples include consultation with tribes and the department of archeology and historic preservation, archaeological surveys, historic maps, GIS data, etc.

Washington Information System for Architectural and Archaeological Records Data (WISAARD) website. Historic maps and GIS data for the site will be reviewed.

- d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required.

N/A

14. Transportation [\[help\]](#)

- a. Identify public streets and highways serving the site or affected geographic area and describe proposed access to the existing street system. Show on site plans, if any.

Adjacent public streets are NE 80th Street and 128th Ave NE. Vehicular access to the school is currently provided at four locations; two driveways on NE 80th Street (one that is service access only) and two driveways on 128th Ave NE. Vehicular access will remain the same with the proposed addition project.

- b. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop?

King County Metro Transit provides public transportation services in the project vicinity. Transit stops for route 238 are located at the SW corner of the school site at the intersection of NE 80th Street and 128th Ave NE.

- c. How many additional parking spaces would the completed project or non-project proposal have? How many would the project or proposal eliminate?

No additional parking spaces are proposed as part of the project.

- d. Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private).

No.

- e. Will the project or proposal use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.

No.

- f. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and nonpassenger vehicles). What data or transportation models were used to make these estimates?

Based on a trip generation study conducted at the existing school, the proposed Rose Hill Elementary School Addition (+184 students) is estimated to generate 462 new weekday daily trips (231 entering and 231 exiting). Peak volumes are expected to occur from approximately 8:00 to 9:00 AM and 2:45 to 3:45 PM. Truck trips are expected to account for less than 2 percent of the total daily trips.

- g. Will the proposal interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, generally describe.

No.

- h. Proposed measures to reduce or control transportation impacts, if any:

The applicant will be required to pay transportation impact fees which will fund a portion of the City's planned transportation improvements throughout the City of Kirkland.

15. Public Services [\[help\]](#)

- a. Would the project result in an increased need for public services (for example: fire protection, police protection, public transit, health care, schools, other)? If so, generally describe.

The project would not result in any increased need for public services. The project will utilize the existing fire, medical and police protection currently provided to the existing school and surrounding neighborhood by the City Kirkland Police and Fire Department.

- b. Proposed measures to reduce or control direct impacts on public services, if any.

The school has been designed to meet requirements for vehicular emergency access onto the building site. Monitored fire and security alarms will also be installed in the building.

16. Utilities [\[help\]](#)

- a. Circle utilities currently available at the site:
electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system,
other _____

Electricity, Natural Gas, Water, Refuse Service, Telephone, Sanitary Sewer

- b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

Phase 1

Natural Gas will be re-routed due to the addition, fire loop water line will also be adjusted due to proximity to the addition. All other utilities will be unaffected and reused.

Phase 2

The fire loop water line will be re-routed due to the addition, and an extension to the sanitary sewer main will provided. All other utilities will be unaffected and reused.

C. Signature [\[HELP\]](#)

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature: _____

Name of signee _____

Position and Agency/Organization _____

Date Submitted: _____

D. Supplemental sheet for nonproject actions [\[HELP\]](#)

(IT IS NOT NECESSARY to use this sheet for project actions)

Because these questions are very general, it may be helpful to read them in conjunction with the list of the elements of the environment.

When answering these questions, be aware of the extent the proposal, or the types of activities likely to result from the proposal, would affect the item at a greater intensity or at a faster rate than if the proposal were not implemented. Respond briefly and in general terms.

1. How would the proposal be likely to increase discharge to water; emissions to air; production, storage, or release of toxic or hazardous substances; or production of noise?

Proposed measures to avoid or reduce such increases are:

2. How would the proposal be likely to affect plants, animals, fish, or marine life?

Proposed measures to protect or conserve plants, animals, fish, or marine life are:

3. How would the proposal be likely to deplete energy or natural resources?

Proposed measures to protect or conserve energy and natural resources are:

4. How would the proposal be likely to use or affect environmentally sensitive areas or areas designated (or eligible or under study) for governmental protection; such as parks,

wilderness, wild and scenic rivers, threatened or endangered species habitat, historic or cultural sites, wetlands, floodplains, or prime farmlands?

Proposed measures to protect such resources or to avoid or reduce impacts are:

5. How would the proposal be likely to affect land and shoreline use, including whether it would allow or encourage land or shoreline uses incompatible with existing plans?

Proposed measures to avoid or reduce shoreline and land use impacts are:

6. How would the proposal be likely to increase demands on transportation or public services and utilities?

Proposed measures to reduce or respond to such demand(s) are:

7. Identify, if possible, whether the proposal may conflict with local, state, or federal laws or requirements for the protection of the environment.



CITY OF KIRKLAND
Department of Public Works
 123 Fifth Avenue, Kirkland, WA 98033 425.587.3800
 www.kirklandwa.gov

MEMORANDUM

To: Planning Department
From: Thang Nguyen, Transportation Engineer
Date: October 28, 2019
Subject: Rose Hill Elementary Traffic Concurrency Test Notice, Tran19-00600

The purpose of this memo is to inform you that the proposed expansion of the Rose Hill Elementary School has passed traffic concurrency.

Project Description

The project site is located at 8110 128th Avenue NE. Currently, there are 480 students enrolled at the elementary school. The proposed expansion would increase the student capacity by 184 students for a total of 664 students.

Trip Generation

Based on the ITE Trip Generation Manual 10th Edition, the proposed project will generate a new of 26 PM peak hour person trips. Table 1 summarizes project development.

Table 1. Development Summary

	Student Enrollment	Vehicle Trips			Person Trips
		Daily	AM Peak Hour	PM Peak Hour	PM Peak Hour
Proposed	664	1,255	445	113	120
Existing	480	907	322	82	87
Net New	184	348	123	31	33

This memo will serve as the concurrency test notice for the proposed project. Per *Section 25.10.020 Procedures* of the KMC (Kirkland Municipal Code), this Concurrency Test Notice will expire in one year (October 28, 2020) unless a development permit and certificate of concurrency are issued or an extension is granted.

EXPIRATION

The concurrency test notice shall expire and a new concurrency test application is required unless:

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1. A complete SEPA checklist, traffic impact analysis (TIA) and all required documentation are submitted to the City within 90 calendar days of the concurrency test notice (January 26, 2020).
2. A Certificate of Concurrency is issued or an extension is requested and granted by the Public Works Department within one year of issuance of the concurrency test notice. (A Certificate of Concurrency is issued at the same time a development permit or building permit is issued if the applicant holds a valid concurrency test notice.)
3. A Certificate of Concurrency shall expire six years from the date of issuance of the concurrency test notice unless all building permits are issued for buildings approved under the concurrency test notice.

APPEALS

The concurrency test notice may be appealed by the public or agency with jurisdiction. The concurrency test notice is subject to an appeal until the SEPA review process is complete and the appeal deadline has passed. Concurrency appeals are heard before the Hearing Examiner along with any applicable SEPA appeal. For more information, refer to the Kirkland Municipal Code, Title 25. If you have any questions, please call me at x3869.

cc: Energov Tran19-00600



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MEMORANDUM

To: Tony Leavitt, Senior Planner
From: Thang Nguyen, Transportation Engineer
Date: March 25, 2020
Subject: Rose Hill Elementary School Transportation Review, ZON19-00742

This memorandum summarizes staff's review of the transportation impact of the proposed expansion of Rose Hill Elementary school.

Staff Findings and Recommendations

The proposed project will not create significant transportation impact. The proposed parking supply will be adequate to meet the parking demand. The project will provide 93 parking spaces which is more than the parking demand of 87 spaces. Public Works staff recommends approval of the proposed school expansion with the conditions of approval listed in the SEPA and Public Works Condition sections.

SEPA Conditions

The project's transportation impacts will not trigger significant SEPA impact that would require specific off-site mitigation.

Public Works Conditions

The approval of the proposed expansion is based on the following conditions:

- Pay transportation impact fee
- Provide a minimum of 87 parking spaces

Project Description

The previously approved school expansion provided capacity for 450 students, but the school indicated that the current school can accommodate 530 students. The existing enrollment is 480 students. The applicant proposed to expand the current school to include 8 additional classrooms to accommodate up to 184 new students. The current student enrollment is 480 students; the addition will provide an enrollment capacity for 714 students (264 more students than what was approved previously).

Based on the site plan, the existing school building (excluding the portable) is approximately 43,677 square feet. The existing portables totaled 3,724 square feet.

The school renovation will demolish approximately 7,759 square feet of the existing building and 1,889 square feet of the portable classroom buildings, construct approximately 21,093 square feet to include additional classrooms, common area and

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covered play area for the 2022-2023 school year. Approximately 1,835 square feet of portable classrooms will remain. The total building area will be approximately 62,570 square feet (this includes covered play area).

The proposed development is forecasted to generate a net new of 462 daily trips, 144 net new AM peak hour trip, 22 net new PM peak hour trips and 34 PM net new peak person trips. Table 1 summarizes the trip generation for the project site. The project is anticipated to be completed by 2023.

Table 1. Trip Generation Summary

	Student Enrollment	Vehicle Trips			Person Trips
		Daily	AM Peak Hour	PM Peak Hour	PM Peak Hour
Trip Rates		2.51	0.78	0.12	0.18
Proposed	714	1667	518	80	121
Existing	480	1205	374	58	86
Previously Approved Capacity	450	1130	351	54	81
Net New (Proposed – Existing)	184	462	144	22	34
Net New Capacity (Proposed – Approved Capacity)	264	663	206	32	48

SEPA Impact

Based on the daily, AM and PM peak hour trip generation, the project’s trips would not impact off-site intersection impact significantly to trigger SEPA mitigation. All of the off-site intersections are calculated to be impacted by less than 5% proportional share impact; therefore, the impacts will not trigger level of service mitigation.

Parking

There are 91 parking spaces at the school. The proposed project will provide 93 parking spaces. The current parking utilization rate for the school is 0.13 parking spaces per student. The parking demand calculated in the TIA report is incorrect, it should be based on the net new capacity rather than the net new students based on enrollment during the parking survey. The future capacity of 714 students will require approximately 93 (0.13 spaces per student x 714 students) parking spaces. The proposed project will have adequate parking for the expansion.

Transportation Impact Fee

Per City’s Ordinance 3685, Transportation Impact Fees is required for all developments and are calculated based on the most updated Transportation Impact Fee Schedule, January 1, 2020. Transportation impact fees are used to construct transportation capacity improvements throughout the City to help the City maintain transportation concurrency. The transportation impact fee assessed for the previous approval was based on a capacity of 450 students. The impact fee is based on the net new capacity

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(the future capacity minus the approved capacity). The calculated transportation impact fee for the proposed project is \$88,872.96 (264 students x \$336.64). The final road impact fee will be determined at final building permit issuance.

cc: John Burkhalter, Development Manager

