



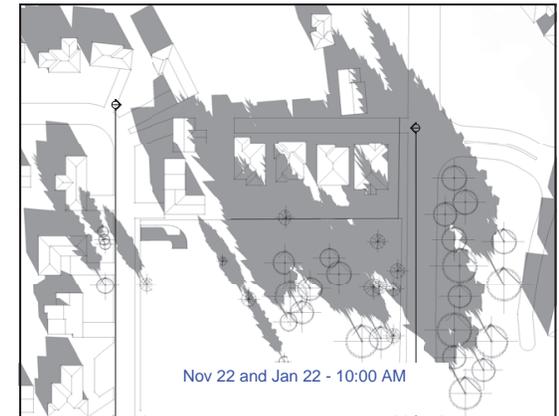


BIRD'S EYE VIEW OF COURTYARD





### Existing Conditions



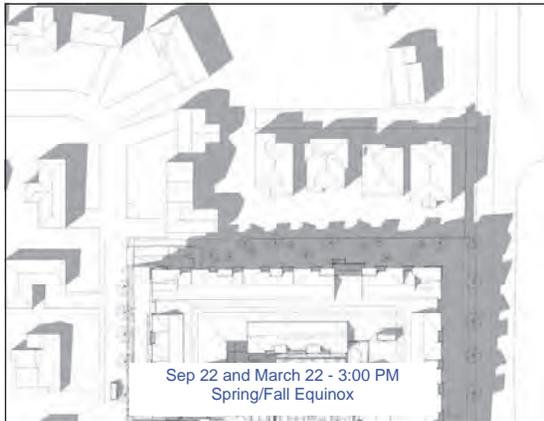
### Proposed Conditions



### Existing Conditions



### Proposed Conditions





## DESIGN RESPONSE CONFERENCE

**8505 132nd Avenue NE  
Kirkland, WA**

November 18, 2019





## TABLE OF CONTENTS



Bird's Eye View from Southwest

<b>PROJECT TEAM</b>	
Team Experience	3
<b>PROJECT VISION</b>	
Housing for a Growing Community	5
Rose Hill Neighborhood Gateway	6
NE 85th St Pedestrian Experience	8
New Public & Private Outdoor Space	12
Transition to Residential Scale	16
Landscaping to Enhance the Site	22
Materials & Elevations	26
<b>PROJECT REVIEW</b>	
CDC Meetings (9/15/17 & 11/22/17)	30
DRC Meeting #1 (7/2/18)	32
DRC Meeting #2 (8/6/18)	34
<b>APPENDIX</b>	
Floor Plans	46
Building Sections	50
Elevations	51
Landscape Plan	52
Tree Plan	53
Survey	54
Site Context	55

## PROJECT TEAM

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# PROJECT TEAM | EXPERIENCE



ENCORE architects

| MERIT HOMES | CONTINENTAL DIVIDE | DRC PRESENTATION | 11.18.2019 3

## PROJECT VISION | SUMMARY

### HOUSING FOR A GROWING CITY

Build 134 new Affordable & Market Rate Apartments to meet the growing demand for housing in the City of Kirkland. Kirkland and the Seattle Metro region are growing rapidly, and there is a shortage of affordable housing throughout the region.

### ROSE HILL NEIGHBORHOOD GATEWAY

Create a gateway marker with art and landscaping to celebrate the Rose Hill Neighborhood and mark the east entrance to the City of Kirkland at the corner of NE 85th St. and 132nd Ave NE.

### NE 85TH ST. PEDESTRIAN EXPERIENCE

Develop a new pedestrian experience for NE 85th St., to make a more walkable neighborhood and set precedence for future projects in the Rose Hill Business District.

### NEW PUBLIC & PRIVATE OUTDOOR SPACE

Make new outdoor spaces for the neighborhood along NE 85th St. and within the site for the tenants and residents of the project.

### TRANSITION TO RESIDENTIAL SCALE

Design the project with architectural transitions in mass and scale from commercial uses to residential uses along 131st Ave. NE and 132nd Ave. NE.

### LANDSCAPING TO ENHANCE THE SITE

Plant extensive landscaping all across the site to protect the privacy of neighbors, enhance the pedestrian experience of public spaces, and provide amenities for the tenants and residents of the project.



Commercial Space on NE 85th St.

## PROJECT DATA

8505 132ND AVE. NE  
KIRKLAND, WA 98033

#### PARCEL NO.:

LOT 3 - 8635700015  
LOT 4 - 8635700020  
LOT 5 - 8635500025  
LOT 6 - 8635500030  
LOT 7 - 8635500035  
LOT 8 - 8635700025  
LOT 9 - 8635700030  
LOT 7 BF - 1241900025

ZONE: RH-8 (ROSE HILL BUSINESS DISTRICT)

<b>LOT AREA:</b>	98,109 SF (2' DEDICATION ON 131ST)
<b>MAX. LOT COVERAGE:</b>	70%
<b>HEIGHT LIMIT:</b>	35' 5' BONUS (PEAKED ROOF)
<b>MIN. FRONT SETBACK:</b>	10' (0') (PED. STORE FRONTS)
<b>MIN. SIDE SETBACK:</b>	20'
<b>MIN REAR SETBACK:</b>	15' (30') (35' HT. BLDG @ RSX ZONE)

<b>ALLOWABLE LOT COVERAGE:</b>	68,676 SF
<b>ACTUAL LOT COVERAGE:</b>	67,907 SF
<b>AVERAGE BLDG. ELEVATION:</b>	400.48'
<b>REQUIRED PARKING:</b>	
COMMERCIAL	25 STALLS
RESIDENTIAL	164 (169 - 5)*
GUEST PARKING	16**
<b>TOTAL REQ'D</b>	189

\* REDUCTION FOR BICYCLE PARKING (KZC 105.34)  
\*\* SHARED FACILITIES (KZC 105.45)

**PARKING PROVIDED:** 200 STALLS

**CONSTRUCTION TYPE:** I-A / V-A  
(GARAGE / BLDG ABOVE)

<b>BUILDING AREA:</b>	
GROUND FLR / P1	54,798
LEVEL 1	46,994
LEVEL 2	39,520
LEVEL 3	41,926
<b>TOTAL</b>	183,239 GSF

**COMMERCIAL AREA:** 7,378 GSF

**RESIDENTIAL UNITS:** 134  
**AFFORDABLE HOUSING:** 13 UNITS

# PROJECT VISION | HOUSING FOR A GROWING COMMUNITY

## CITY OF KIRKLAND GROWTH STATISTICS

As the Seattle Metro area grows so do it's surrounding areas. The City of Kirkland had a 10% population increase from 2010-2017<sup>1</sup>. Throughout the next 20 years, the City's population is expected to increase by 13,000 new residents, increasing the population to over 90,000 residents.<sup>2</sup> With 22% fewer homes on the market than this time last year the need for housing, particularly affordable housing, is on the rise. Kirkland home values have gone up 8.6% last year and with that an increase in median rent, now at \$2,650, higher than the Seattle-Tacoma-Bellevue Metro medium of \$2,395<sup>3</sup>.

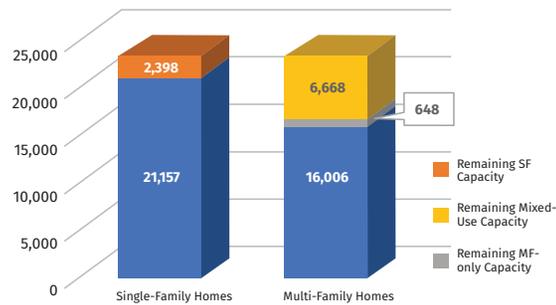
The city has a goal that 24% of housing be affordable to households earning up to \$77,000. Currently only 8.5% of housing in Kirkland is affordable at this level.<sup>4</sup>

75% of remaining capacity for housing in Kirkland is multi-family housing, primarily in the City's mixed use areas (Downtown, Totem Lake, Rose Hill). At build-out, it is expected that the city's housing will be split evenly between single family and multifamily housing.<sup>4</sup>

66% (two thirds) of all households in Kirkland are one or two person households, just over 45% of all housing is either one or two bedrooms making it difficult for smaller households to find housing within their means.<sup>4</sup>

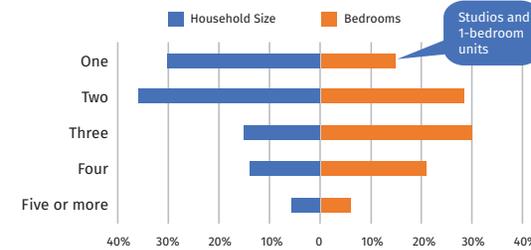
<sup>1</sup>United States Census Bureau population estimates for Kirkland, WA  
<sup>2</sup>City of Kirkland Official Site: Comprehensive Plan Basics, Growth in Kirkland by 2035  
<sup>3</sup>Zillow Home Value Index; Kirkland Home Prices and Values  
<sup>4</sup>Housing Strategy Workshop Presentation; The Future of Housing in Kirkland

### 1.) Current and Future Housing Mix



Housing Strategy Workshop Presentation; The Future of Housing in Kirkland

### 2.) Household size compared to housing size



30% of Kirkland households are made up of one person; 15% of Kirkland housing units have one or fewer bedrooms.

## PROJECT STATISTICS

### PROPOSED HOUSING UNITS:

- 134 Total Residential Units;
- 46% Open 1 Bedrooms
- 16% 1 Bedrooms
- 26% 1 Bedroom + Den
- 12% 2 Bedrooms

### PROPOSED AFFORDABLE HOUSING UNITS:

- 13 of 134 units are Affordable;
- (6) Open 1 Bedroom
- (2) 1 Bedroom
- (3) 1 Bedroom + Den
- (2) 2 Bedroom

### PROPOSED RESIDENT PARKING SPACES:

Surface parking for 25 stalls and structured parking for 175 stalls; 169 of the 200 proposed parking spaces are required for residents

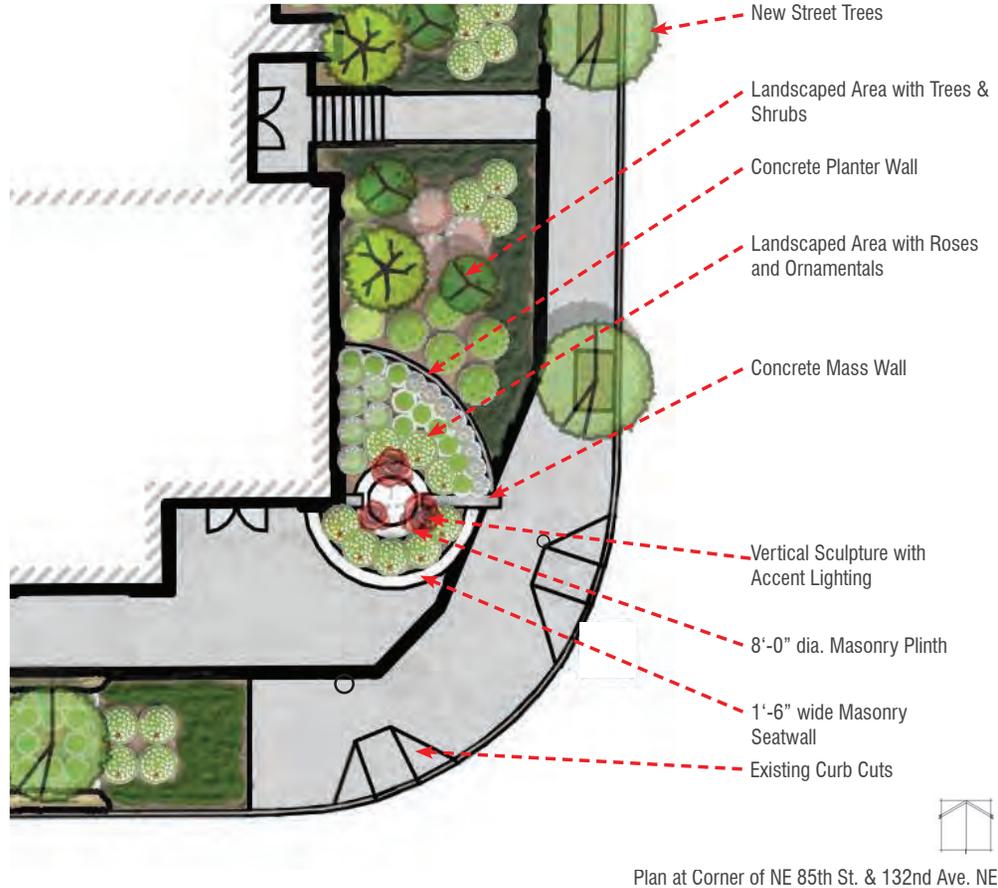
### PROPOSED VISITOR PARKING SPACES:

10% of required spaces, 16 stalls are guest parking spaces

### TYPES OF UNITS:

UNIT TYPE	# OF UNITS	AVERAGE SIZE
Open 1	61	587.73 SF
1 Bedroom	22	772.27 SF
1 Bedroom + Den	35	933.49 SF
2 Bedroom	16	1096.63 SF

## PROJECT VISION | ROSE HILL NEIGHBORHOOD GATEWAY



### GATEWAY FEATURES:

- Landscaping, including ornamental shrubs and rose varieties.
- Vertical sculpture (to be designed / selected with community input).
- Feature lighting to highlight artwork.



View of Corner of NE 85th St. & 132nd Ave. NE



View of Corner of NE 85th St. & 132nd Ave. NE (from distance)

### DESIGN GUIDELINE #1:

Objective: To enhance the character and identity of the Rose Hill Business District.

**Incorporate entry gateway features in new development on NE 85th St. at 120th AND 132nd Avenues.** Gateway features should include the following:

- Distinctive landscaping including an assortment of varieties of roses
- Artwork (e.g. vertical sculpture)
- A gateway sign with the city logo
- Multicolored masonry forming a base for an entry sign
- Decorative lighting elements

## PROJECT VISION | ROSE HILL NEIGHBORHOOD GATEWAY



View of Corner of NE 85th St. & 132nd Ave. NE



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Samples of Artwork Showing Design Intent

### ARTWORK:

- Predominately vertical in nature
- Steel or other durable materials
- Artwork chosen with input from the local community
- Final design of gateway element and sculpture to be completed with cooperation of the planning department

Artwork shown above are for reference and to show design intent.

## PROJECT VISION | NE 85TH ST. PEDESTRIAN EXPERIENCE



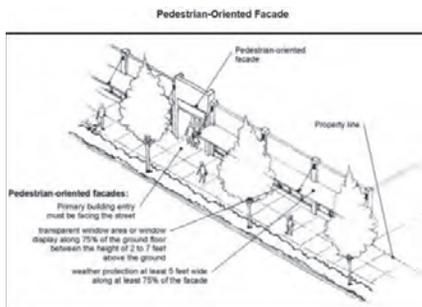
Existing NE 85th St. Streetscape - View Looking West



Existing NE 85th St. Streetscape - View Looking East



NE 85th St. Sidewalk - View Looking East



KZC FIG. 92.10.A

### KZC 92.10.2:

Definition of Pedestrian-Oriented Facade:

- Primary entrance on this facade.
- Transparent windows for 75% of facade between 2' and 7' above sidewalk.
- Weather protection feature(s) at least 5' wide for 75% of facade.

### KZC 92.10.3.a:

Buildings featuring a Pedestrian-Oriented Facade may be located adjacent to the sidewalk in the RHBD zone

### DESIGN GUIDELINE #4:

Objectives:

- To **enhance the pedestrian environment** within the Rose Hill Business District.
- To **create safe and active sidewalks** and pathways.

Incorporate transparent windows and doors and weather protection features adjacent to a sidewalk or internal pathway. Weather protection features could include awnings, canopies, marquees or other permitted treatments.

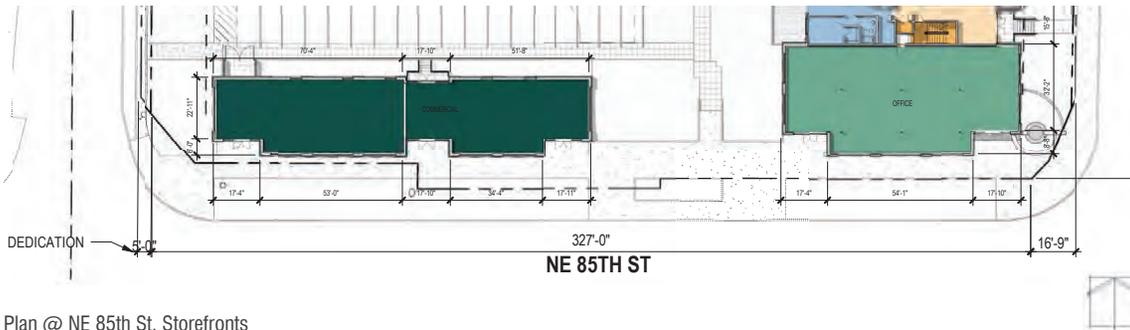
## PROJECT VISION | NE 85TH ST. PEDESTRIAN EXPERIENCE



NE 85th St. Sidewalk - View Looking East



NE 85th St. Sidewalk - View Looking West



Plan @ NE 85th St. Storefronts

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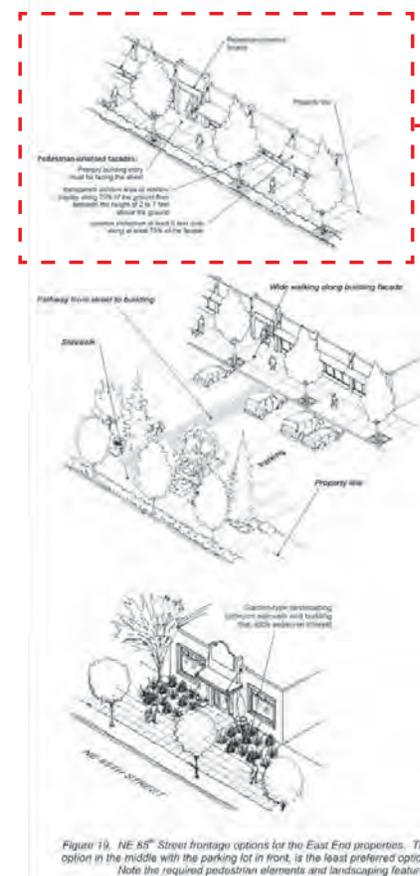


Figure 19. NE 85th Street frontage options for the East End properties. The option in the middle with the parking lot in front, is the least preferred option. Note the required pedestrian elements and landscaping features.

Design Guidelines Fig. 19

Design Guidelines and Zoning Code both indicate that buildings at the sidewalk, with Pedestrian-Oriented Facades, are most preferred location for new buildings on NE 85th St. in the Rose Hill Business District.

### DESIGN GUIDELINE #5:

#### Objectives:

- To enhance the character and identity of the Rose Hill Business District.
- To **upgrade the appearance of streets** with the Rose Hill Business District.
- To **increase pedestrian circulation.**

#### East End NE 8th St. Frontage:

- **Encourage development to locate and orient buildings towards the street**
- Non-residential facades located directly adjacent to the sidewalk.
- Building entries and windows facing the street.

# PROJECT VISION | NE 85TH ST. PEDESTRIAN EXPERIENCE

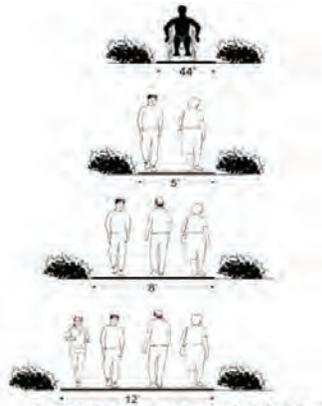


Figure 20. Pathway widths depend on level of activity and location.

Design Guidelines FIG. 20



Figure 21. High-traffic streets without on-street parking warrant wider planting strip buffers

Design Guidelines FIG. 21

## DESIGN GUIDELINE #6:

Objectives: To provide wide sidewalks and pathways that promote an increase in pedestrian activity within the Rose Hill Business District.

- Sidewalks or pathways adjacent to moving vehicular traffic need generous buffers to make them safer...
- Design sidewalks and pathways to support a variety and concentration of activities and provide a separation for the pedestrian from the busy street.



Partial Plan - NE 85th St. Sidewalk



Partial Plan - NE 85th St. Sidewalk

**PROJECT VISION | NE 85TH ST. PEDESTRIAN EXPERIENCE**



Figure 23. Note how these awnings have been integrated into the building's storefront spaces  
Design Guidelines Fig. 23

**DESIGN GUIDELINE #7:**

Objectives:

- To provide shelter for pedestrians.
- To provide spatial enclosure and add design interest to retail or office streetscapes activity.
- Provide weather protection along the primary exterior entrance of all businesses, residential units, and other buildings.
- Design weather protection features to provide adequate width and depth at building entries.
- Pedestrian covering treatments may include: covered porches, overhangs, awnings, canopies, marquees, recessed entries or other similar features. A variety of styles and colors should be considered, where compatible with architectural style of the building and the ground floor use.

## PROJECT VISION | NEW PUBLIC & PRIVATE OUTDOOR SPACE

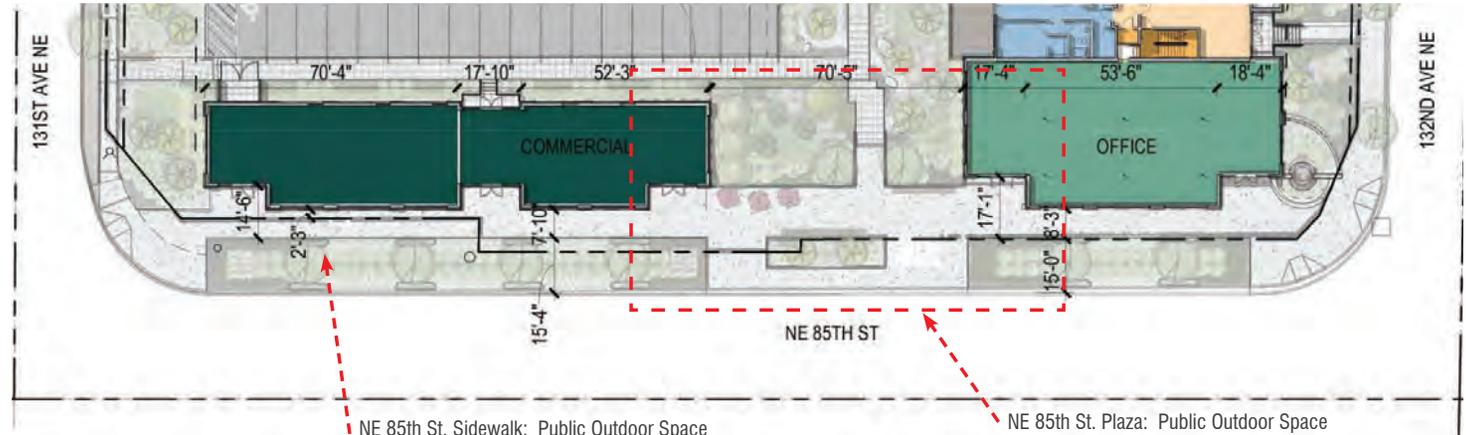
### DESIGN GUIDELINE #10:

Objectives:

- To provide amenities that enrich the pedestrian environment.
- To increase pedestrian activity in the Rose Hill Business District.

Provide pedestrian amenities along all sidewalks, interior pathways, and within plazas and other open spaces. Desired amenities include:

- Pedestrian-scaled lighting (12'-15' above ground).
- Seating space. (benches, steps, railings and planting ledges, 16" to 18" above ground, 6" to 24" wide.)
- Pedestrian furniture (trash receptacles, consolidated newspaper racks, bicycle racks, and drinking fountains).
- Planting beds and/or potted plants.
- Unit paving, such as stones, bricks or tiles.
- Decorative pavement patterns and tree grates.
- Water features.
- Informational kiosks.
- Transit shelters.
- Decorative clocks.
- Artwork.



- NE 85th St. Sidewalk: Public Outdoor Space
- Recessed and covered building entries
  - Canopies over generous sidewalk
  - Wide planting buffer between sidewalk and street

- NE 85th St. Plaza: Public Outdoor Space
- Recessed and covered building entries
  - Space for tables beside Commercial Spaces
  - Benches / Seatwall around planters
  - Bicycle Racks

### DESIGN GUIDELINE #12:

Objectives:

- To provide a variety of pedestrian-oriented areas to attract shoppers to commercial areas and enrich the pedestrian environment.
- To create gathering spaces for the community.
- To configure buildings and uses to encourage pedestrian activity and pedestrian focal points.
- Provide pedestrian plazas in conjunction with non-residential uses.
- Position plazas in visible locations...close to bus stops, or where there are strong pedestrian flows on neighboring sidewalks.
- Incorporate pedestrian amenities.



Partial Plan - NE 85th St. Plaza

Partial Elevation - NE 85th St. Plaza

# PROJECT VISION | NEW PUBLIC & PRIVATE OUTDOOR SPACE



View of Plaza from NE 85th St.



View of Plaza Looking West



Plaza Area Bird's Eye View



View of Plaza Looking East

## PROJECT VISION | NEW PUBLIC & PRIVATE OUTDOOR SPACE



Residential Courtyard Style/Sample Images



### DESIGN GUIDELINE #13:

#### Objectives:

- To create usable space that is suitable for leisure or recreational activities for residents.
- To create open space that contributes to the residential setting.

Incorporate common open space into multi-family residential uses.

- Consider open space as a focal point....
  - Open space should feature paths, seating, lighting, and other pedestrian amenities....it should be oriented to receive sunlight, (preferable south).
- Provide private open space for multi-family residential units....provide patios, decks, and/or landscaped yards....provide balconies large enough to allow for human activity.

# PROJECT VISION | NEW PUBLIC & PRIVATE OUTDOOR SPACE



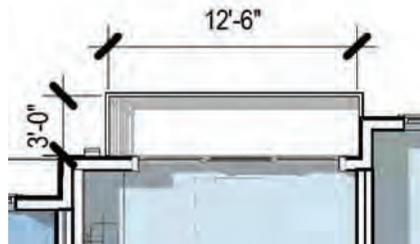
View of Residential Courtyard



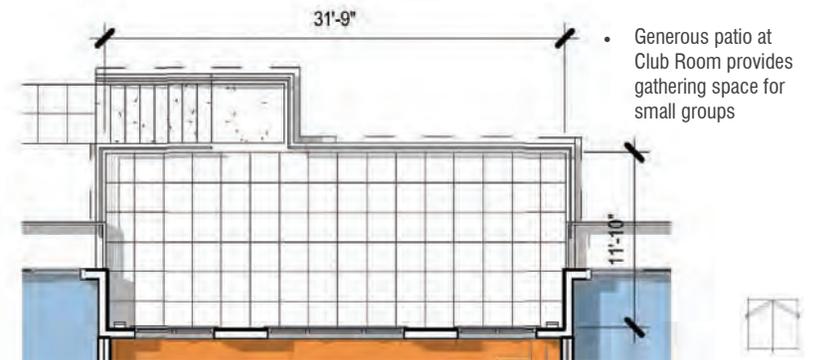
View of Patio @ Club Room



- Balconies are large enough for activity and furniture
- Sliding Doors provide access without taking away space

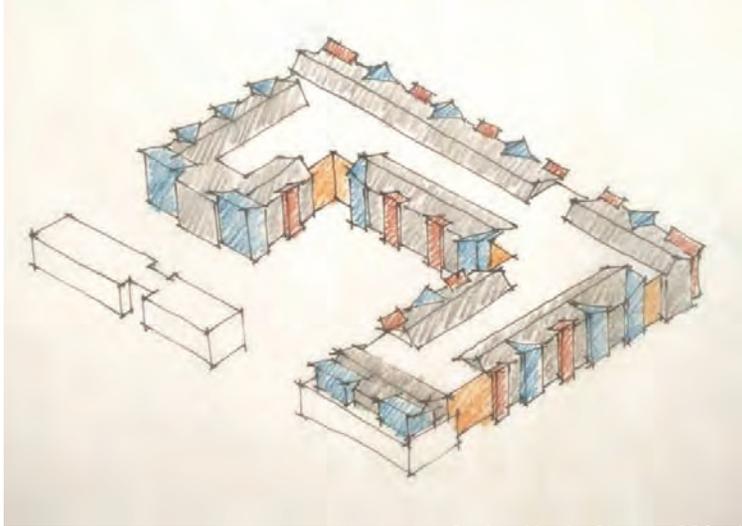


Plan of Typical Balcony



Plan of Patio @ Club Room

## PROJECT VISION | TRANSITION TO RESIDENTIAL SCALE



Previous Massing Diagram - DRC #1

### DESIGN GUIDELINE #17:

#### Objectives:

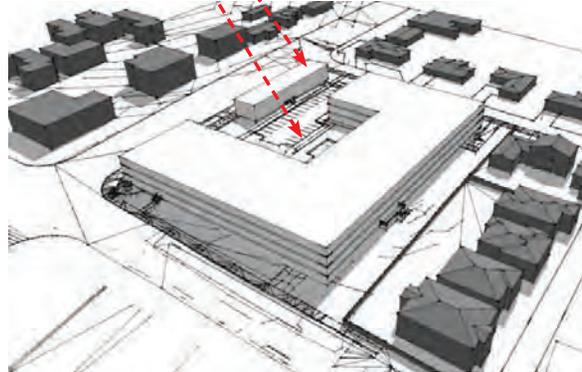
- To encourage an architectural scale of development that is compatible with the vision for the three design districts within the Rose Hill Business District.
- To add visual interest to buildings.

A combination of techniques is desirable to reduce the architectural scale of buildings. Specifically, these techniques are encouraged at intervals (30 feet in the East end....)....Alternatives will be considered provided they meet the intent of the guidelines.

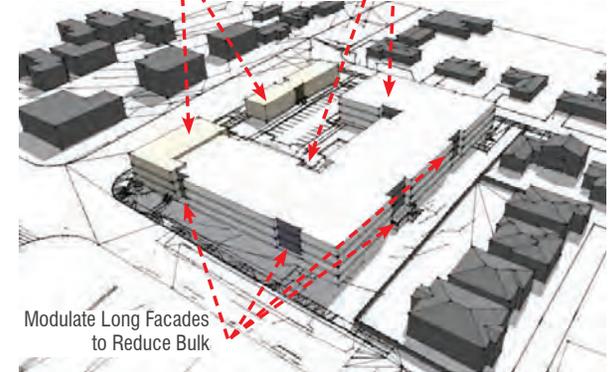
- Incorporate fenestration techniques that indicate the scale of the building.
- Encourage vertical modulation on multi-story buildings to add variety and to make large buildings appear to be an aggregation of smaller buildings.
- Encourage a variety of horizontal building modulation techniques to reduce the architectural scale of the building and add visual interest.
- Encourage a variety of roofline modulation techniques.

### “C” Shape w/ Courtyard

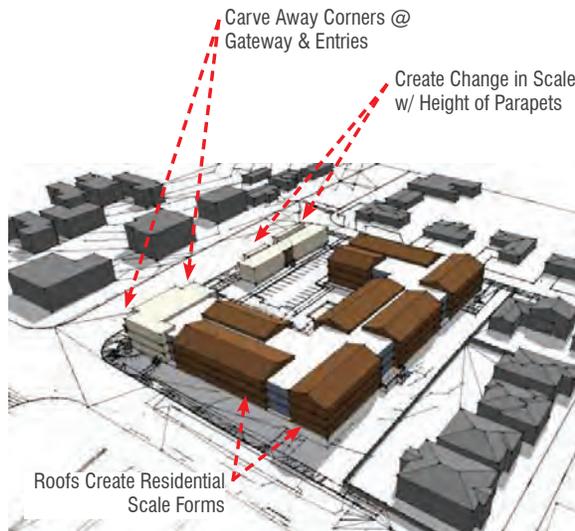
Smaller, Stand-Alone  
Commercial Bldg  
Central Courtyard  
w/ Southern Exposure



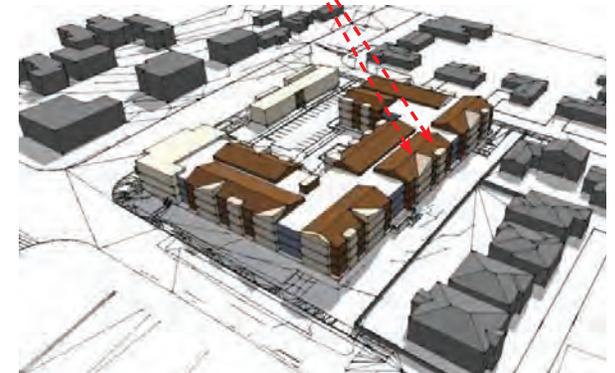
Carve Away Inside  
Corners for Light & Air at  
Courtyard  
Material Changes  
@ Commercial  
Spaces



Modulate Long Facades  
to Reduce Bulk



Increase Facade Modulation  
w/ Forms that Reduce Scale  
& Add Variety and Rhythm



Massing Diagram

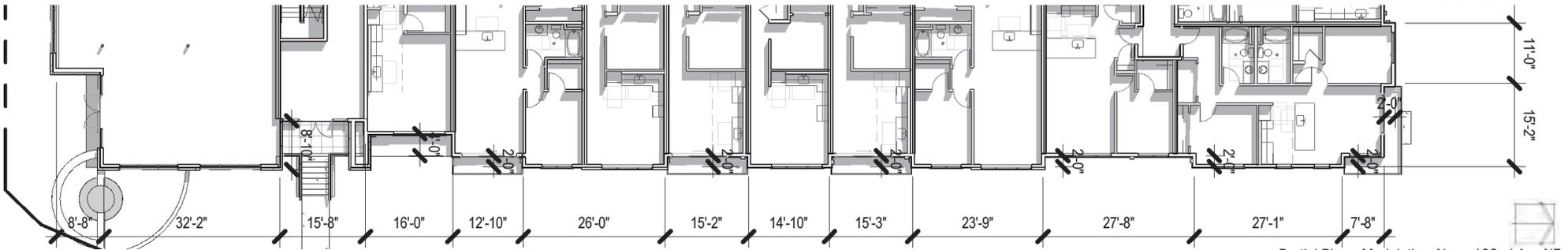
# PROJECT VISION | TRANSITION TO RESIDENTIAL SCALE



Partial Elevation - 132nd Ave NE

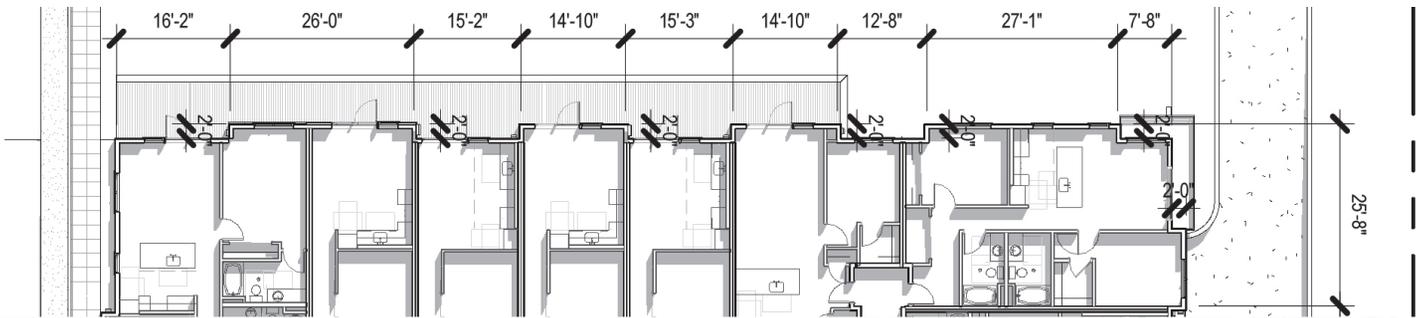


Partial Elevation Diagram - Modulation Along 132nd Ave NE



Partial Plan - Modulation Along 132nd Ave NE

Partial Plan - Modulation Along 131st Ave NE



Partial Elevation Diagram - Modulation Along 131st Ave NE

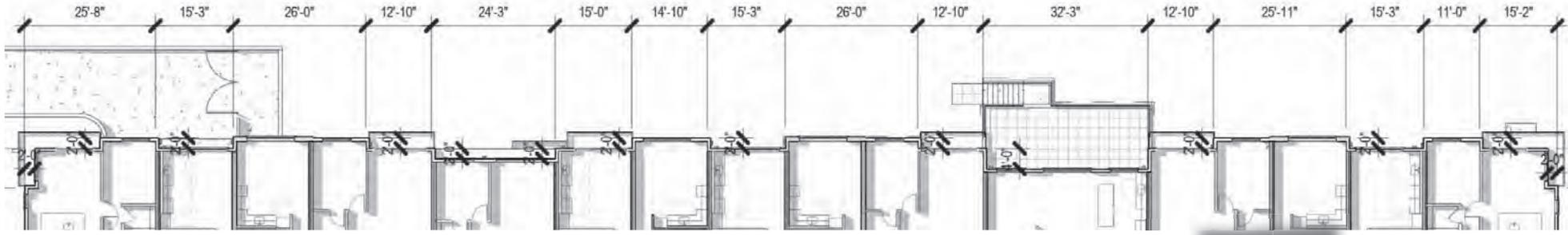


Partial Elevation - 131st Ave NE



**PROJECT VISION | TRANSITION TO RESIDENTIAL SCALE**

Partial Plan - Modulation Along North Elevation



Partial Elevation Diagram - Modulation Along North Elevation



Partial Elevation - North Elevation



**PROJECT VISION | TRANSITION TO RESIDENTIAL SCALE**

**PROJECT VISION | TRANSITION TO RESIDENTIAL SCALE**

Detailed Brick Cornice With Soldier Course & Coping

Partial Glass Deck Railing

Metal Coping Cap

Contrasting Material (Lap Siding)

1" Recess @ Brick

Canopies for Weather Protection

Metal Channel Details

Decorative Lighting

Large Storefront Openings & Doors

1" Brick Recess & Soldier Course



Partial Elevation Showing Commercial Scale Elements

**DESIGN GUIDELINE #18:**

Objectives:

- To encourage the use of building components that relate to the size of the human body.
- To add visual interest to buildings.

Encourage a combination of architectural building elements that lend the building a human scale. Examples include arcades, balconies, bay windows, roof decks, trellises, landscaping, awnings, cornices, friezes, art concepts, and courtyards.



2-Piece Fascia Board & Trim

Balcony with Decorative Railing

Lap Siding for Smaller Scale

Smaller Residential Windows and Doors

Change in Depth @ Material Change

Decorative Trim & Accent Panel

Partial Elevation Showing Residential Scale Elements

## PROJECT VISION | TRANSITION TO RESIDENTIAL SCALE



132nd Ave. NE Facade



View Looking North along 132nd Ave. NE



View Looking North along 131st Ave. NE

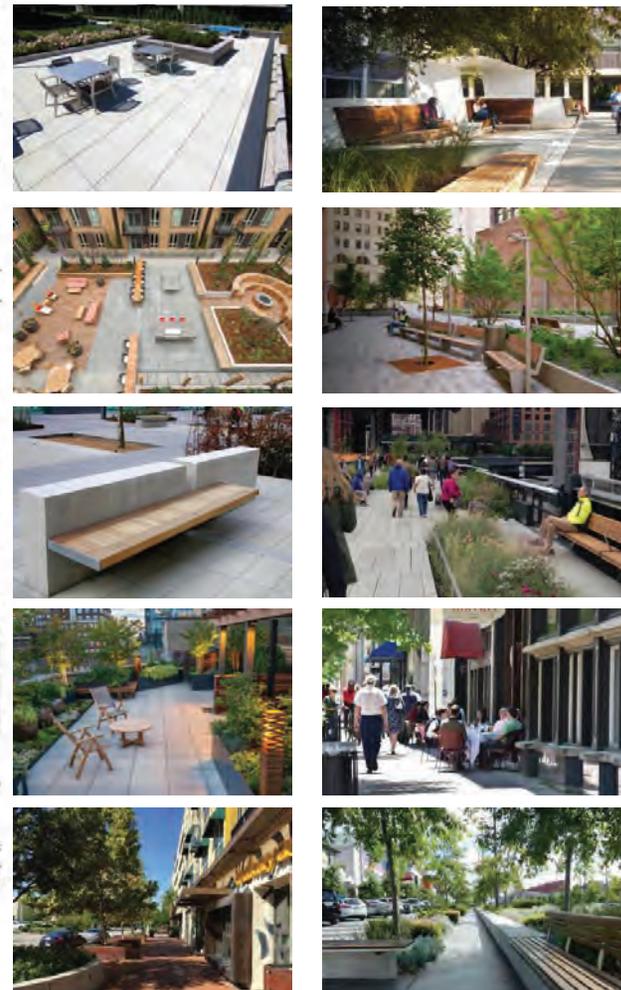


View Looking West along North Facade from Club Room Patio

# PROJECT VISION | LANDSCAPING TO ENHANCE THE SITE



## REFERENCE PHOTOS



## PROJECT VISION | LANDSCAPING TO ENHANCE THE SITE



### ROSE HILL BUSINESS DISTRICT DESIGN GUIDELINE #22

Continental Divide aims to enhance the visual quality of the urban environment. The site contains pedestrian/auto, pedestrian, and building oriented landscapes. Pedestrian/auto focuses on robust plantings to protect pedestrians from traffic with street trees creating a more hospitable environment. The pedestrian landscape emphasizes plant materials that provide color, texture, shape, and year-round interest. Finally, the building landscape serves to complement the building while screening any faults and maintaining views. Over the site there is a colorful mix of drought tolerant and low maintenance plantings including roses in many highly visible locations.

(Design Guidelines for Rose Hill Business District - <https://www.kirklandwa.gov/Assets/Planning/Planning+PDFs/Rose+Hill+Design+Guidelines.pdf>)

### LANDSCAPE BUFFER

The applicant shall provide a 15' wide landscape strip to be planted with trees spaced at a rate of 1 tree every 20'. Deciduous trees are to be 2.5" caliper minimum and coniferous trees are to be 8" minimum in height, at least 70% of trees shall be evergreen. A mix of various shrubs are to be planted to obtain at least 60% coverage within 2 years.

(KZC 95.42.1 Minimum Land Use Buffer Requirements)

### LANDSCAPE PLAN DATA

#### TYPES OF PLANTINGS

The site is composed of a mix of evergreen and deciduous trees and shrubs to provide year-round structure. While various grasses and perennials add seasonal interest and character. A few plants that are predominant on the site are: Vine Maple, Vanderwolf Pine, Western Red Cedar, Western Hemlock, Red & yellow Twig Dogwood, Rugosa Rose, Flowering Currant, Japanese Pieris, Mountain Laurel, Viburnum, Switch Grass, Lavender, Coreopsis, Creeping Mahonia among many others.

<b>NUMBER OF TREES</b>	127 - Avg. Size: 2" cal. / 8' high min.
<b>NUMBER OF SHRUBS + GRASSES</b>	2,460 - Avg. Size Shrub 5-gal, Grass 2 gal
<b>NUMBER OF GROUND COVER</b>	1742 - Avg. Size 4"
<b>TOTAL NUMBER OF PLANTS ON SITE</b>	4,329

**EVERGREEN COVERAGE IN 15' BUFFER** 79.5%

\*Plant totals represented are approximate and are subject to change

## PROJECT VISION | LANDSCAPING TO ENHANCE THE SITE



### LANDSCAPE BUFFER

A 15' landscape buffer surrounds the site on 3 sides. This buffer is composed of trees spaced every 20' with an understory of mixed shrubs and groundcovers providing year-round interest. Additionally, the buffer provides a barrier between the neighboring homes and the proposed development to maintain existing privacy.

## PROJECT VISION | LANDSCAPING TO ENHANCE THE SITE

### DECIDUOUS TREES



ARMSTRONG MAPLE



VINE MAPLE



CALLERY PEAR



IN SPRING



CORAL BARK MAPLE



IN SPRING

### EVERGREEN TREES



VANDERWOLF PINE



WEeping ALASKA CEDAR

### GROUND COVER



CREeping THYME



LILY TURF

### SHADE PLANTINGS



WESTERN RED CEDAR



WESTERN HEMLOCK



BUNCHBERRY DOGWOOD



PACHYSANDRA

### EVERGREEN SHRUBS



MOUNTAIN LAUREL



HEAVENLY BAMBOO



SPRING BOUQUET VIBURNUM



RHODODENDRON

### SHRUBS + GRASSES



BLUE OAT + LAVENDAR



DWARF FOUNTAIN GRASS



MOONLIGHT TICKSEED



RUGOSA ROSE



FLOWERING CURRANT



NINEBARK

## PROJECT VISION | MATERIALS & ELEVATIONS



^ EAST ELEVATION



^ SOUTH ELEVATION

## PROJECT VISION | MATERIALS & ELEVATIONS



^ WEST ELEVATION



^ NORTH ELEVATION

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| MERIT HOMES | CONTINENTAL DIVIDE | DRC PRESENTATION | 11.18.2019 27

## PROJECT VISION | MATERIALS & ELEVATIONS



A F.C. LAP SIDING 7" EXPOSURE  
PRE-FINISHED "WINCHESTER BROWN"



B MODULAR BRICK  
MUTUAL MATERIALS "PEWTER"



C ARCHITECTURAL CONCRETE  
FINE / SACKED FINISH



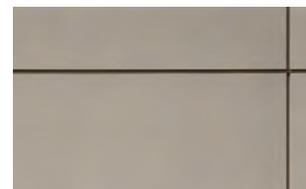
D STOREFRONT  
BLACK ANODIZED

### ^ PARTIAL ELEVATION @ COMMERCIAL SPACES

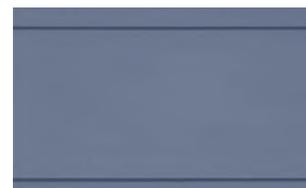
# PROJECT VISION | MATERIALS & ELEVATIONS



**E** F.C. LAP SIDING 7" EXPOSURE  
PAINTED "STURDY BROWN"



**F** FIBER CEMENT PANELS  
PAINTED "ANALYTICAL GRAY"



**G** HORIZONTAL FIBER CEMENT PANELS  
PAINTED "DOWNING SLATE"



**C** ARCHITECTURAL CONCRETE  
FINE / SACKED FINISH



**H** VINYL WINDOWS  
BLACK FRAMES

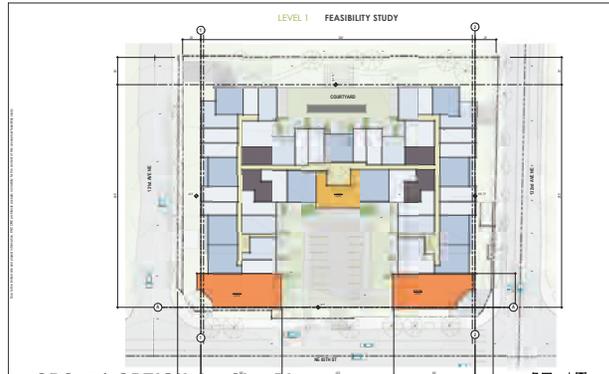
^ PARTIAL ELEVATION @ RESIDENTIAL UNITS

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## CDC REVIEW | FROM 9/15/17 & 11/22/17



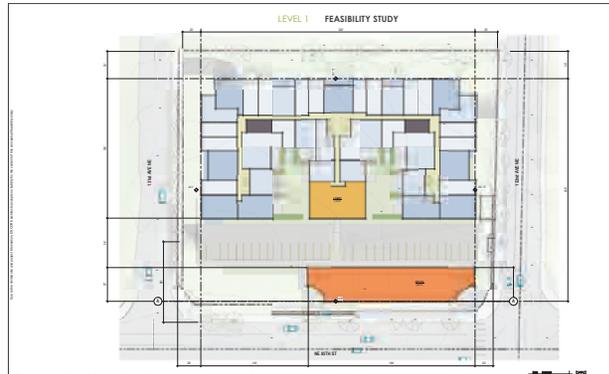
^ CDC #1 OPTION A - Bird's Eye View



^ CDC #1 OPTION A - Site Plan



^ CDC #1 OPTION B - Bird's Eye View



^ CDC #1 OPTION B - Site Plan



^ CDC #1 OPTION C - Bird's Eye View



^ CDC #1 OPTION C - Site Plan

### CDC #1 Option A: "H" Scheme:

- Main courtyard opens to the south, with smaller court to the north
- Main courtyard is primarily parking, instead of amenity space
- Parking lot requires entry from NE 85th St. (not permitted by traffic engineer).
- More undesirable inside-corner units.
- Commercial spaces disconnected, poor pedestrian pathway across site.

### CDC #1 Option B: "E" Scheme:

- Two small courtyards opening to the south.
- Courtyards are too small for large gathering space, create many inside corner units
- Parking lot extends across almost entire site, with very little screening.
- Single, separate commercial building appears small and disconnected in front of larger residential building.
- Suburban, rather than urban pedestrian experience along NE 85th St.
- Small commercial building makes poor gateway element @ corner of NE 85th St, & 132nd Ave. NE

### CDC #1 Option C: "Courtyard" (Preferred):

- Main courtyard opens to the south, with more efficient parking area and large amenity space.
- Pedestrian-oriented plaza and sidewalk along NE 85th St.
- Separate commercial spaces, opening to central plaza.
- Building anchors corner of NE 85th St. & 132nd Ave NE to create gateway to the community.
- Parking area is well-screened from all directions.

**Board Preferred Option C "Courtyard" Scheme and requested a second meeting with improvements to one Scheme only**

**CDC REVIEW | FROM 9/15/17 & 11/22/17**



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CONTINENTAL DIVIDE CDC #2 - Site Plan

CDC #2 - Bird's Eye

**CDC #2 (Updates and Revisions to Option C):**

- Increased modulation of east, west and north facades.
- Improved relationship between commercial and residential units above at southeast corner.
- Developed rhythm of commercial storefronts for pedestrian-oriented experience.
- Revised courtyard for improved connection to NE 85th St. and entry sequence to lobby.
- Parking area is well-screened from all directions.



CDC #2 - Facade Modulation



CDC #2 - Courtyard

# DRC REVIEW | FROM 7/2/18



^ DRC #1 - View of NE 85th St. & 312nd Ave. NE



^ DRC #1 - View of Courtyard



^ DRC #1 - East Elevation



^ DRC #1 - North Elevation

**DRC REVIEW | FROM 7/2/18**



^ DRC #1 - View of Pedestrian Streetscape along NE 85th St.



^ DRC #1 - View Looking Southeast along 131st Ave. NE

**DRC #1 Meeting Comments:  
(received via email on 7/16/18)**

- Include two design options for the gateway feature area. Also, the building at the corner of 132nd & 85th needs additional treatment. See Guidelines 1, 3a, 3c and 3d.
- Look at ways to decrease the impacts on neighboring properties specifically the neighbors to the north. This could include minimizing the amount of windows and balconies on this facade. See Guideline 5d.
- Include additional information regarding the treatment of the 132nd blank wall including full landscape renderings. See Guidelines 8 and 15.
- Provide seating areas and other amenities near the bus stop and sidewalks. See Guideline 10.
- Provide a pedestrian connection between the north building exit and 131st Avenue NE. See Guideline 11.
- Windows need to be more residential in nature. Create variety and decrease size to match neighboring residential uses. See Guideline 16.
- Increase the amount of vertical and horizontal modulation, specifically along the longer east and north facades. Varying roof heights and forms would help to create the look of smaller buildings. Increase depth and width of horizontal modulations. See Guidelines 17 and 18.
- The masonry material on the commercial façade needs more texture and interest. See Guideline 19.
- Provide a detailed landscaping plan. See Guideline 22.

## DRC REVIEW | FROM 8/6/18



^ DRC #2 - Bird's Eye View from Southeast

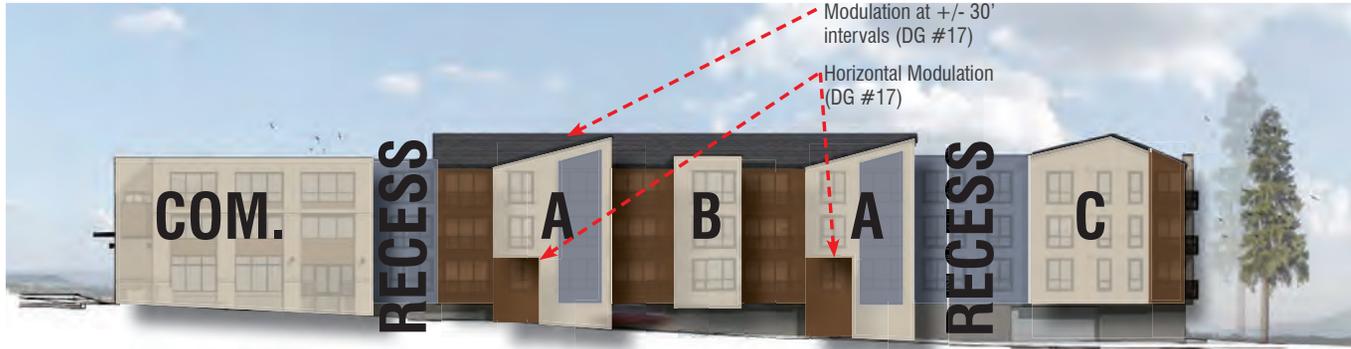


^ DRC #2 - Bird's Eye View from Southwest

### DRC #2 Meeting Comments: (received via email on 8/27/18)

- Update plans and elevations to match the renderings. Include dimensional information on plans to help show the depth of modulations and other related items
- Refine the renderings and models more. Bringing the model to the meeting would be beneficial.
- The Board preferred the curved planters for the 85TH/132ND Corner, but would like to see how the curb cuts and utilities impact the design
- Comparison of the fenestration changes along the north façade from the July 2nd plans to the August 6 plans.
- Updated materials boards and sheets
- More information on the southeast corner building design including upper deck design and material treatment.
- Parapets on the backside of commercial building need additional material treatment.
- Ensure that the project complies with the modulation requirements contact in the Architectural Scale design guidelines (Section 17).

**DRC REVIEW | FROM 8/6/18**



^ Current Design - East Elevation Modulation



^ DRC #2 - East Elevation Modulation



^ DRC #1 - East Elevation Modulation

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**East Facade Modulation:**

- Larger, more clarified mass @ commercial space on NE 85th St.
- Eliminated unrelated roof form above commercial space.
- Unequal slopes at peaked roof ("C") section, instead of equal slopes.
- Switch orientation of "A" forms at base, for more grounded shape.
- Added accent color panel to "A" forms to reduce scale
- Peak of roof at "A" meets peak of sloped roof.

**DRC #2 Modulation:**

- Smaller mass @ NE 85th St. corner, with less complicated roof form above.
- Separation at commercial/residential attempts to connect above.
- Reduced total number of distinct forms from DRC #1.
- Widened "A" forms for variety.
- Reduced color/material variation from DRC #1, with darker color at recesses.
- Widened recess near northeast corner to reduce bulk.

**DRC #1 Modulation:**

- Complicated shed/peaked roof forms at building corners and above commercial space.
- Highly repetitive modulation, of almost all equal width forms.
- Two different shed roof accent forms, with different orientations.
- Four main material colors, alternating frequently.
- Narrow recess towards north facade.

## DRC REVIEW | FROM 8/6/18



^ Current Design - North Elevation Modulation



^ DRC #2 - North Elevation Modulation



^ DRC #1 - North Elevation Modulation

### North Facade Modulation:

- Extended base of "B" masses below floor line to create more variety.
- Added accent color panel to "A" forms to reduce scale
- Peak of roof at "A" meets peak of sloped roof.

### DRC #2 Modulation:

- Reduced color/material variation from DRC #1, with darker color at recesses.
- Added second deeper recess to create three main forms.
- Widened "A" forms and added plane/material change for variety, while keeping material palette simplified.
- Reduced total number of distinct forms from DRC #1.

### DRC #1 Modulation:

- One single deep recess, splitting bulk of facade into two unequal parts.
- Highly repetitive modulation, of almost all equal width forms.
- Two different shed roof accent forms, with different orientations.
- Four main material colors, alternating frequently.

## DRC REVIEW | FROM 8/6/18



^ Current Design - North Elevation Fenestration



^ DRC #2 - North Elevation Fenestration



^ DRC #1 - North Elevation Fenestration

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### North Facade Fenestration:

- Number of Balconies: 18
- Number of Openings: 69
- Glazing: 4090.92 GSF

### DRC #2

#### North Facade Fenestration:

- Number of Balconies: 18
- Number of Openings: 69
- Glazing: 4,090.92 GSF

Reduced Balconies by 42%  
Reduced Glazing by 12.7%

### DRC#1

#### North Facade Fenestration:

- Number of Balconies: 31
- Number of Openings: 81
- Glazing: 4,681.51 GSF

## DRC REVIEW | FROM 8/6/18



^ DRC #2 Gateway - OPTION A



^ DRC #2 Gateway - OPTION B



^ Current Design - Gateway with Sculpture

### DG #1a, 1b, 1d, 1e Gateway Features:

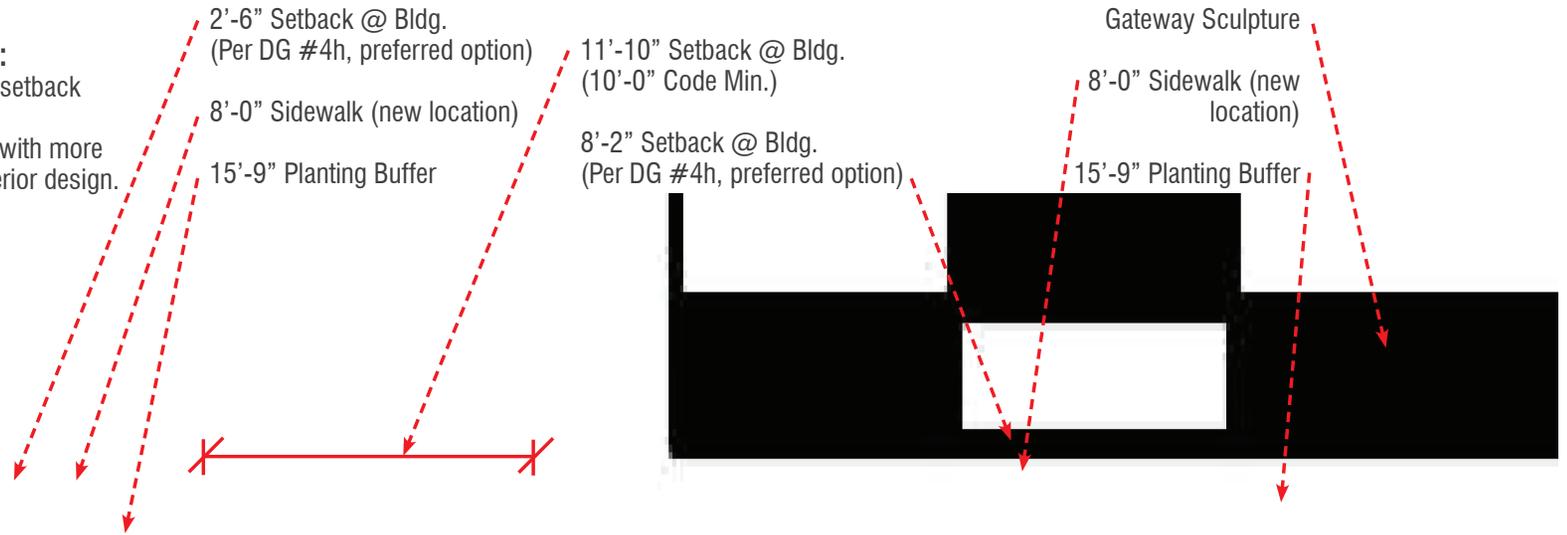
- Entry canopy/roof deck at upper level adds setback and modulation for scale.
- Mass of building marks prominent corner from distance.
- Recessed entry creates pedestrian space.
- Masonry sculpture base with accent lighting, surrounded by landscaped area.

**DRC REVIEW | FROM 8/6/18**

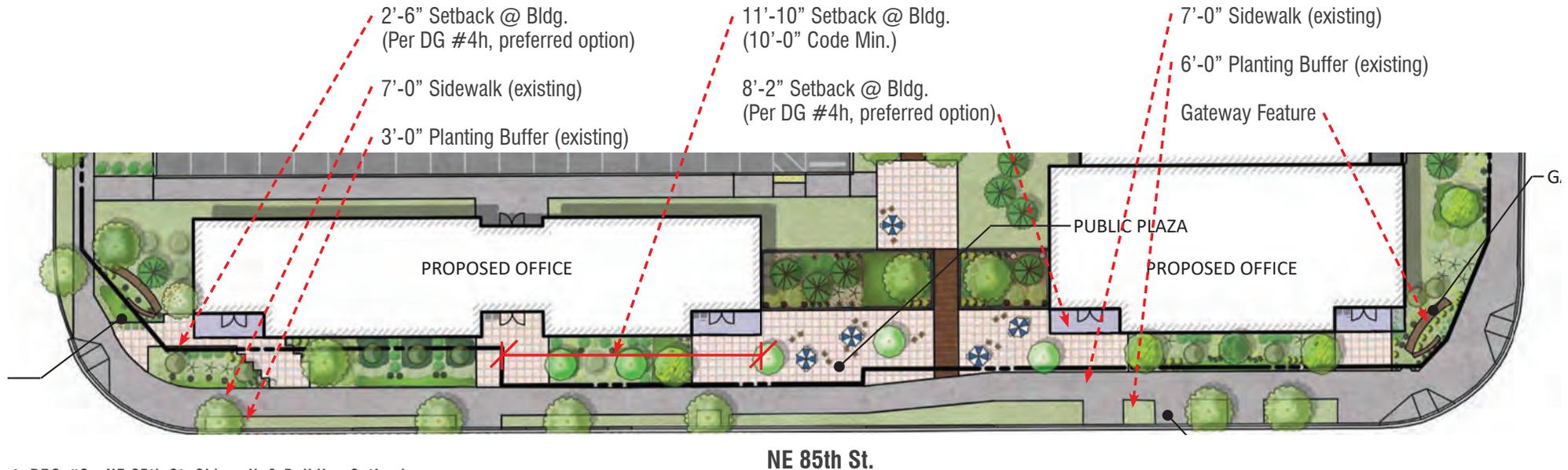
**DG #5a, 5b, 5h**

**NE 85th St. Pedestrian Experience:**

- Meets all requirements for requested setback departure.
- Creates more welcoming streetfront, with more separation from vehicle traffic & superior design.

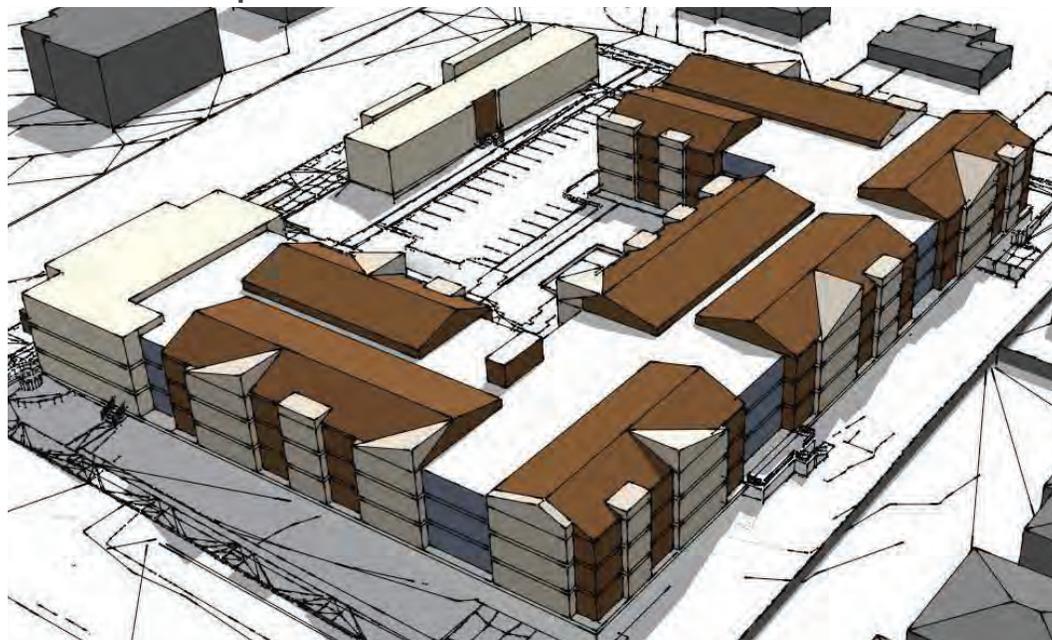


^ **Current Design - NE 85th St. Sidewalk & Building**



^ **DRC #2 - NE 85th St. Sidewalk & Building Setback**

## DRC REVIEW | FROM 8/6/18



^ Current Design - Roof Forms

### Current Design: Roof Forms

- Main flat roof with parapets; where height of parapet changes for distinct forms.
- Unequal gable roof masses to create smaller scale and residential character.
- Gable roof peeled away to create accent roof dormers.
- Small parapet roof at narrow accent bays.



^ DRC #1 - Roof Forms



^ DRC #2 - Roof Forms

**DRC REVIEW | FROM 8/6/18**



Primary Access to the Site

**Tertiary Access to the Site:**

- Tertiary egress from parking garage, one way traffic.
- Access only to minor, unclassified street.

**Secondary Access to the Site:**

- Small visitor/commercial parking area (25 spaces).
- Access only to minor, unclassified street.



**Primary Access to the Site:**

- Most used entry/most vehicle trips.
- 2-way traffic.
- Access from Secondary Arterial Street (NE 132nd Ave.)

**Pedestrian Only Access to the Site:**

- No vehicle access to arterial street.
- No curb cuts allowed.

**KZC 5.345:**

**Ground Floor:**

The floor of a structure that is closest in elevation to the finished grade along the facade of the structure that is principally oriented to the street which provides primary access to the subject property

**KZC 5.345:**

**Primary Vehicular Access:**

The major street from which the majority of vehicles enter the subject property.