

312 Central Way
Design Response Package #2
Date: July 16th, 2018
DRB File #: DRV18-00317



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Project Information

Property Address

312 Central Way
Kirkland, WA 98101

Project Legal Description

LOTS 35 THROUGH 46, INCLUSIVE, BLOCK 95, KIRKLAND TERRACE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 21 OF PLATS PAGE 42, IN KING COUNTY, WASHINGTON.

Plat Block: 95
Plat Lot: 35 THRU 46

Tax Parcel Number: 390010-1330

Kirkland Permit Number

PRE17-00719

Owner

Henbart LLC

Development Manager

Anthony Jansen, Project Manager
4025 Delridge Way SW, Suite 530
Seattle, WA 98106

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Architect

Graphite Design Group
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Contact: Gary Barber, AIA, Project Manager
206.224.3335
gary.barber@graphitedesigngroup.com
www.graphitedesigngroup.com

GROUND PLANE AND LANDSCAPE:

TREE IMPACT:

Show driplines of existing trees and construction impacts to the trees.

BUILDING DESIGN:

THIRD STREET FACADE:

Address the treatment of "Blank Wall" along Third Street. Increased glazing, use of trellis are options.

THIRD AND CENTRAL CORNER:

Study Third and Central corner treatment including size, scale, and ground level transparency.

MATERIAL STUDY:

Provide renderings that clearly show materials, textures and colors. Ensure that building's colors do not make the building look "homogenous."

ROOF TOP SCHEMES:

Include more detailed 3D information depicting the extent of the roof landscape as well as mechanical equipment and solar panels. Also provide more detailed 3D and sectional information depicting the impact difference between the preferred and compliant roof top schemes.

SUPPORTING INFORMATION:

ROOF CAP & GLAZING:

Provide roof cap details to demonstrate the project's intent. Provide wall sections depicting the extent of exterior window glazing.

SPOT ELEVATIONS:

Provide spot elevations for all sides of the building showing the relationship of building finished floor levels to exterior levels.

SETBACK ENCROACHMENT:

Recalculate the encroachments (including balconies) into the required setback yards for the minor variation request.







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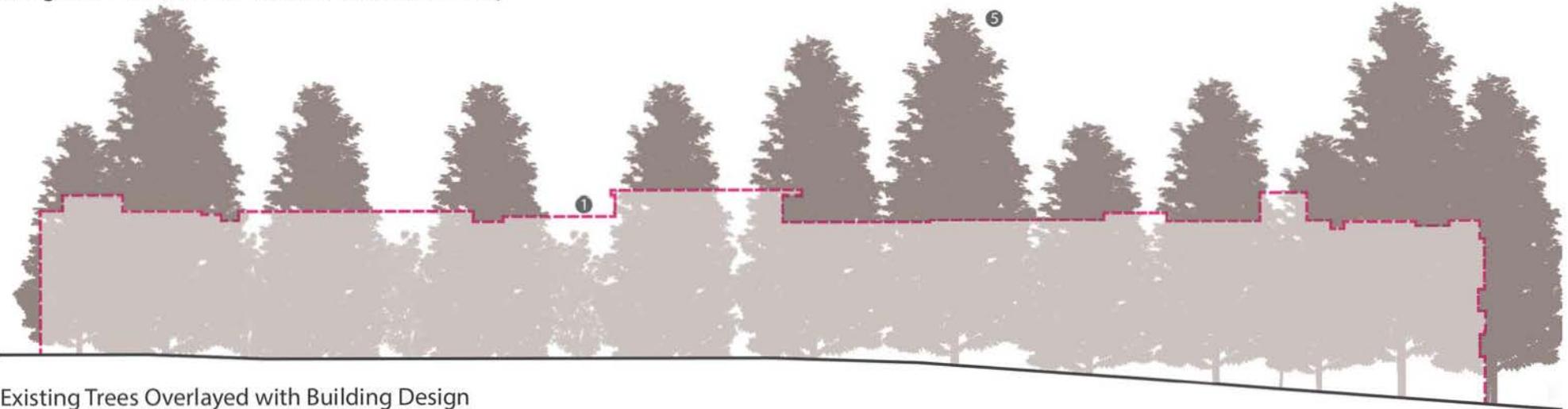


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Existing Site Plan with Construction Extents Overlay



Existing Trees Overlaid with Building Design
View from Alley Looking South

THIRD STREET FACADE

Review Board Comments:

Address the treatment of "Blank Wall" along Third Street. Increased glazing, use of trellis as option.

Applicant Design Response:

- ① Retail glazing at corner extended further back
- ② Trellis green wall along 3rd street
- ③ Meandering sidewalk with flanking landscaping
- ④ North residential facade pushed back to landscape buffer setback
- ⑤ West residential facade pulled closer to property line



THIRD AND CENTRAL CORNER

Review Board Comments:

Study Third and Central corner treatment including size, scale, and ground level transparency.

Applicant Design Response:

- ① Extruded element nestled more into 3rd Street facade
- ② Decreased thickness of extrusion and reduced contrast in color
- ③ Retail overhang aligned with exterior wall instead of protruding out





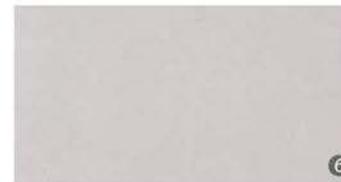
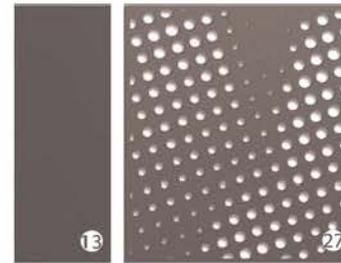
MATERIAL STUDY
WEST SIDE

Review Board Comments:

Provide renderings that clearly show materials, textures and colors. Ensure that building's colors do not make the building look "homogenous."

Applicant Design Response:

- ③ Dark concrete panels with varied hues and textures
- ⑥ Light concrete panel
- ⑬ Metal accents
- ⑭ Metal canopy at podium
- ⑯ Wood soffits under canopies to provide visual warmth
- ⑰ Perforated metal privacy screens





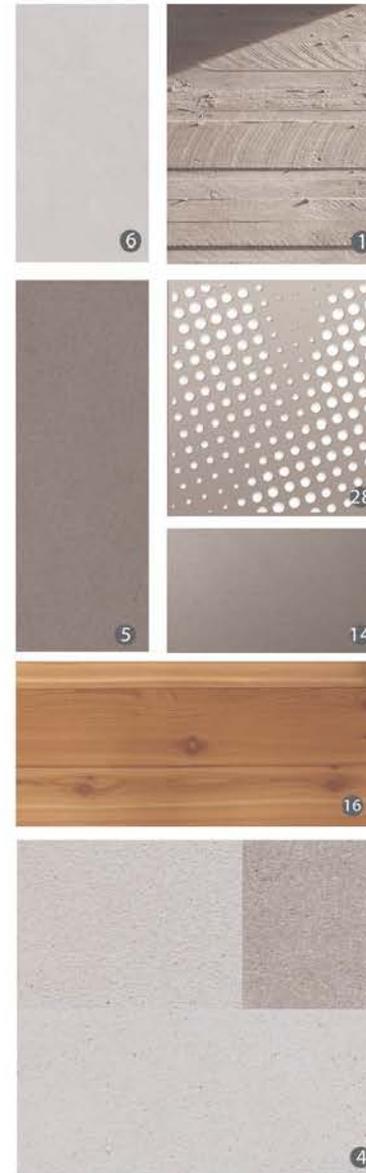
MATERIAL STUDY
EAST SIDE

Review Board Comments:

Provide renderings that clearly show materials, textures and colors. Ensure that building's colors do not make the building look "homogenous."

Applicant Design Response:

- ① Board form concrete
- ④ Light concrete panels with varied hues and textures
- ⑤ Concrete panel dark accent
- ⑥ Light concrete panel
- ⑭ Metal canopies and balconies
- ⑯ Wood soffits under canopies to provide visual warmth
- ⑳ Perforated metal privacy screen



ROOF TOP SCHEME - INTERIM

Review Board Comments:

Include more detailed 3D information depicting the extent of the roof landscape as well as mechanical equipment and solar panels. Also provide more detailed 3D and sectional information depicting the impact difference between the preferred and compliant roof top schemes.

Applicant Design Response:

- ① Green roof with various planting in weaving pattern.
- ② Tall planting to provide visual and aural privacy.
- ③ Solar panels
- ④ Pet relief area
- ⑤ Vestibule for vertical circulation.
- ⑥ Smaller roof footprint.



Interim Roof

ROOF TOP SCHEME - PREFERRED



Review Board Comments:

Include more detailed 3D information depicting the extent of the roof landscape as well as mechanical equipment and solar panels. Also provide more detailed 3D and sectional information depicting the impact difference between the preferred and compliant/interim roof top schemes.

Applicant Design Response:

- ① Green roof with various planting in weaving pattern.
- ② Tall planting to provide visual and aural privacy.
- ③ Solar panels
- ④ Pet relief area
- ⑤ Vestibule for vertical circulation.
- ⑥ Larger roof footprint.
- ⑦ Residents' amenity space



Interim Roof

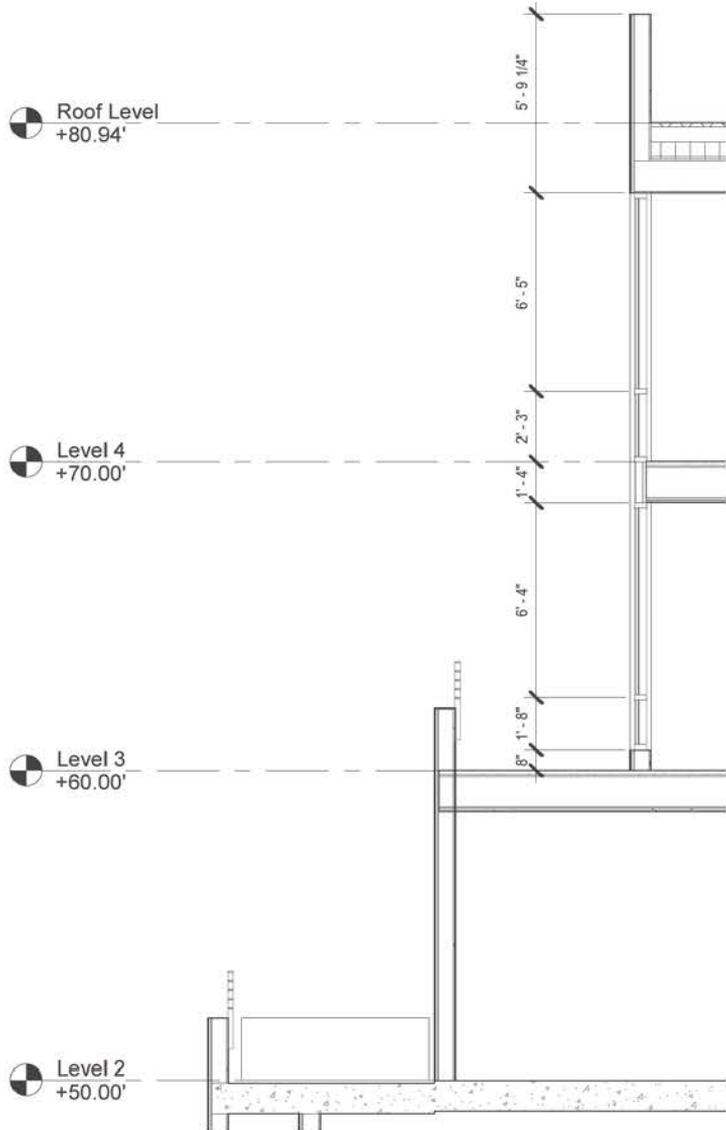


Preferred Roof

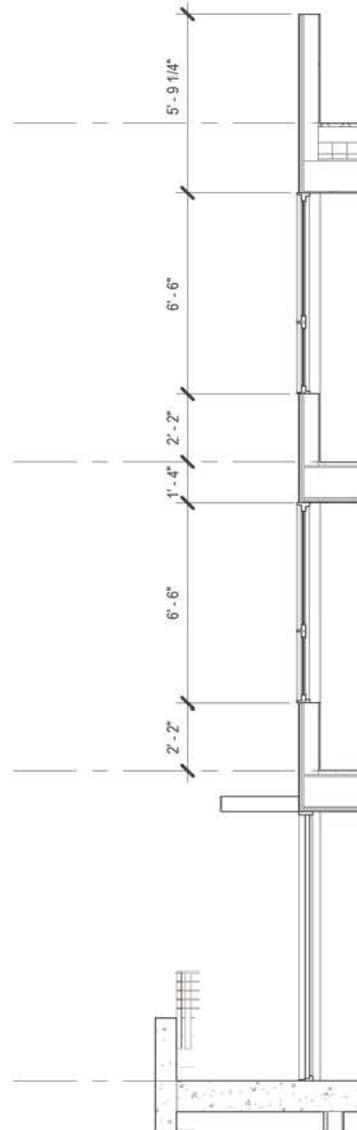
ROOF CAP & GLAZING

Review Board Comments:

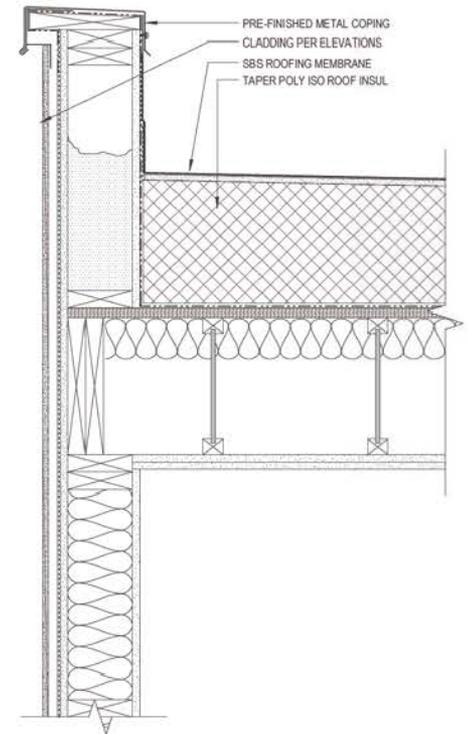
Provide roof cap details to demonstrate the project's intent.
 Provide wall sections depicting the extent of the exterior window glazing.



Typ. West Side Window



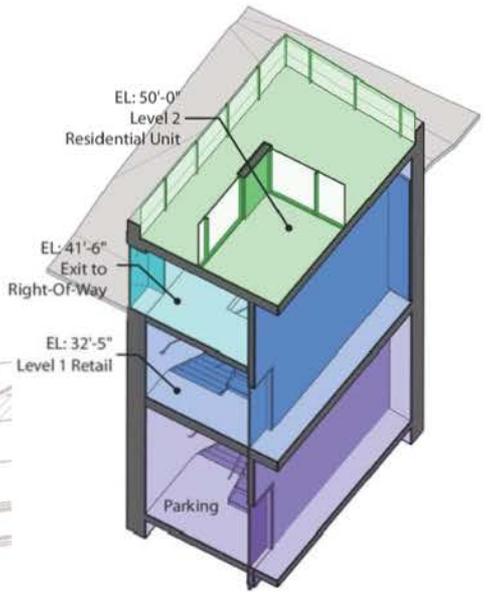
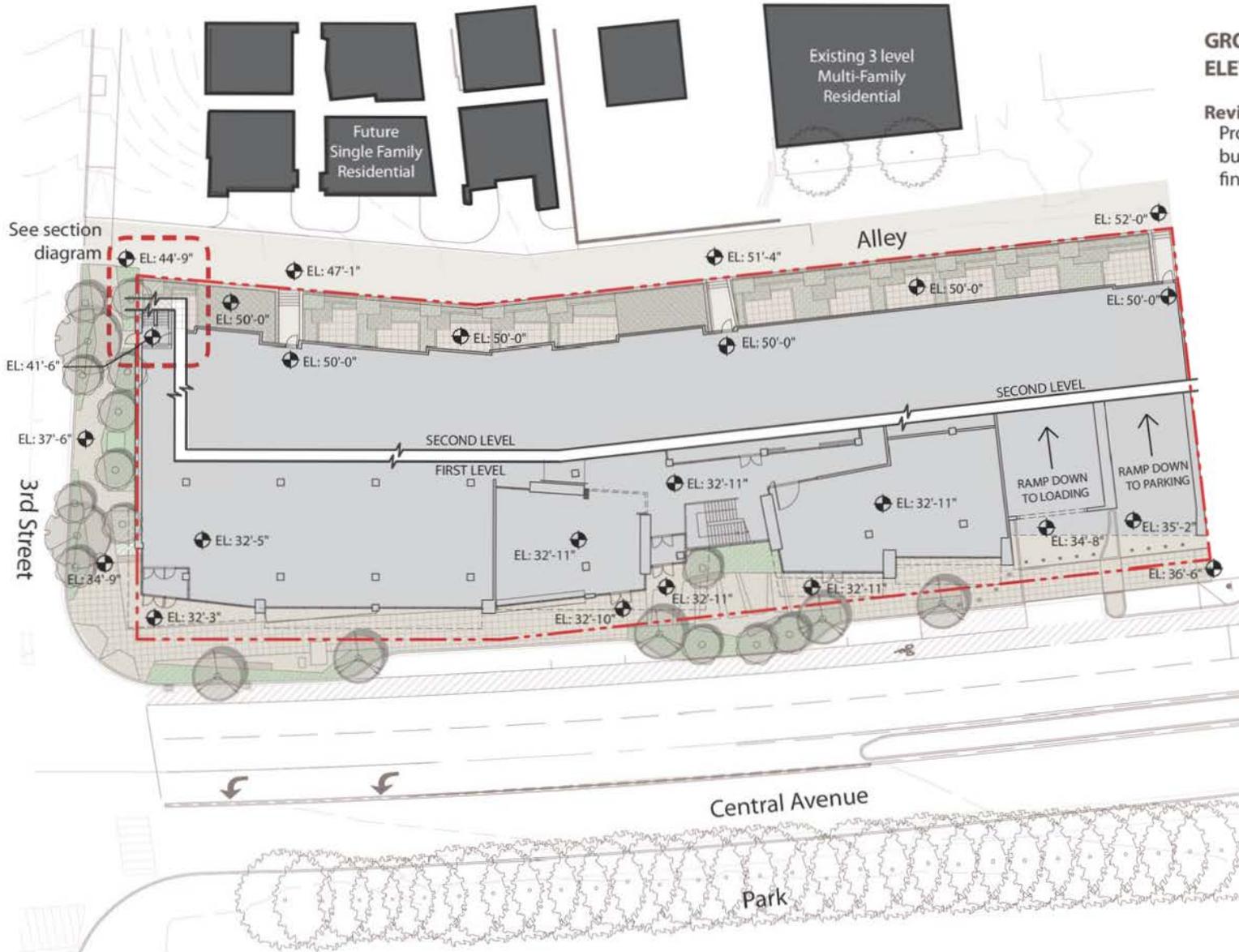
Typ. East Side Window



Typ. Parapet Coping

GROUND LEVEL PLAN WITH SPOT ELEVATIONS

Review Board Comments:
Provide spot elevations for all sides of the building showing the relationship of building finished floor levels to exterior levels.



Northwest Stair Section Diagram

SETBACK ENCROACHMENT

Review Board Comments:

Recalculate the encroachments (including balconies) into the required setback yards for the minor variation request.

3rd & Central Area Totals

	Bldg Behind Setback	675 s.f.
	Bldg Beyond Setback	2,279 s.f.
	Balcony Beyond Setback	2,175 s.f.
	Increased Setback	1,837 s.f.

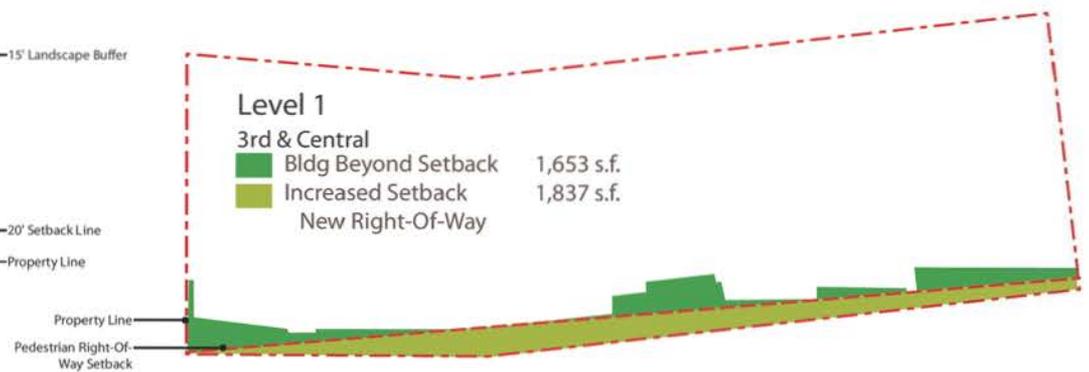
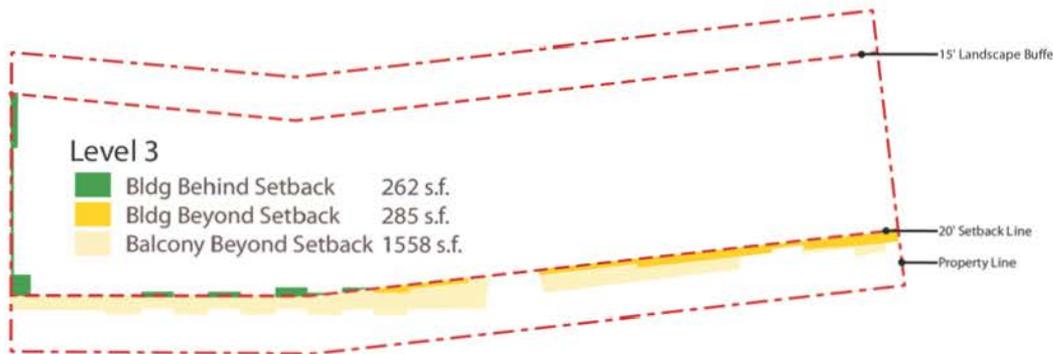
↑ New Right-Of-Way

Note:

Code allows for 0' setback at Ground Level along Central Way and 3rd Street.

**Net Building Area:
Inside Setbacks 233 s.f.**

**Net Building + Balcony Area:
Outside Setbacks 1,942 s.f.**





NORTH FACADE UPDATES

- ① Facade aligns with landscape buffer setback.
- ② Bay windows protrude no more than 18" into landscape buffer, making up no more than 25% of linear facade length.
- ③ Canopies provide articulation to bay windows, conforming to code XX.
- ④ Facade remains behind landscape buffer setback.



Design Response



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Appendix

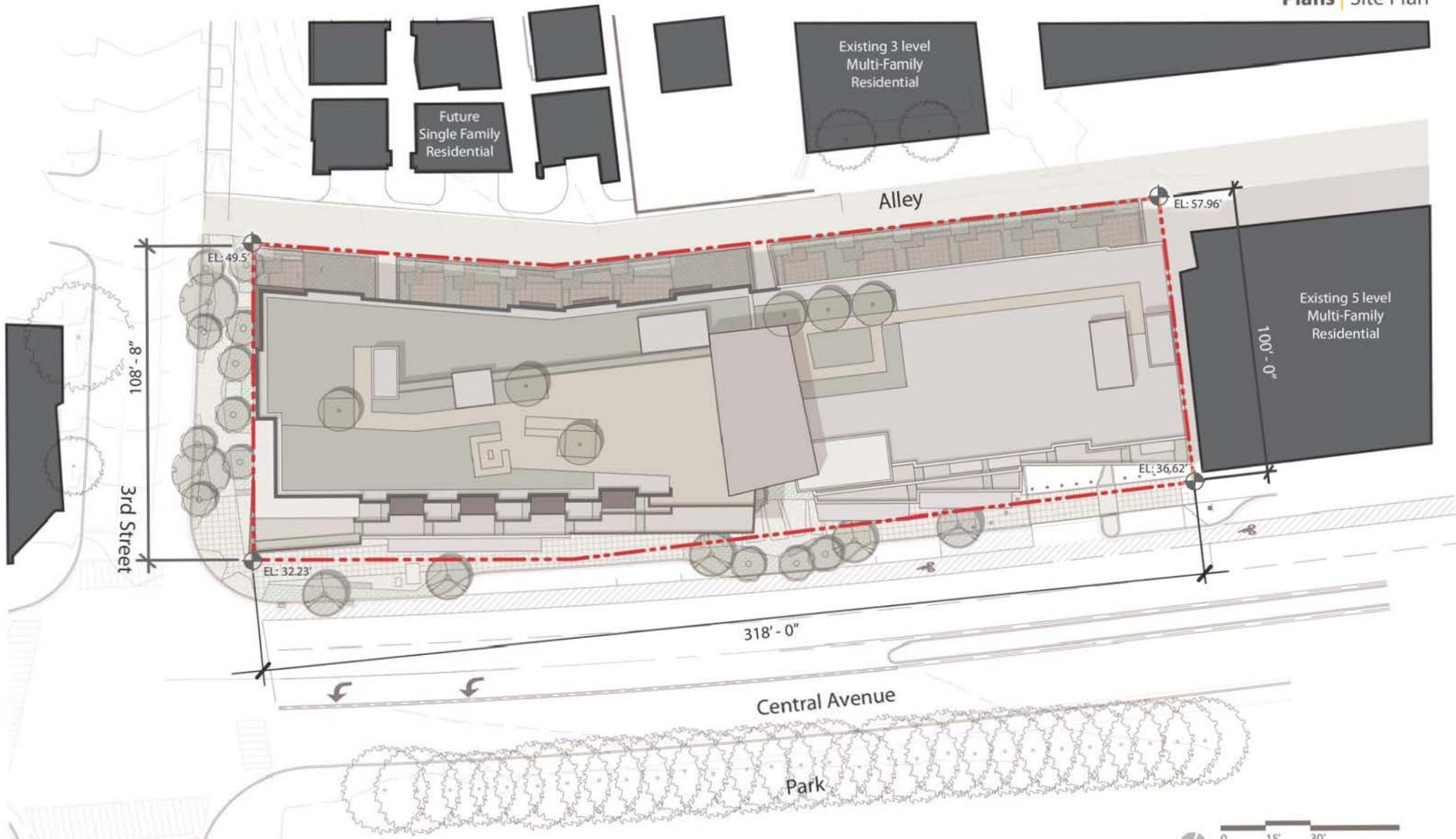


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Level 1 Gross Area

Retail	16,722
Amenity	1,084
Circulation	2,392
Parking/Service	8,002

Project Gross Area

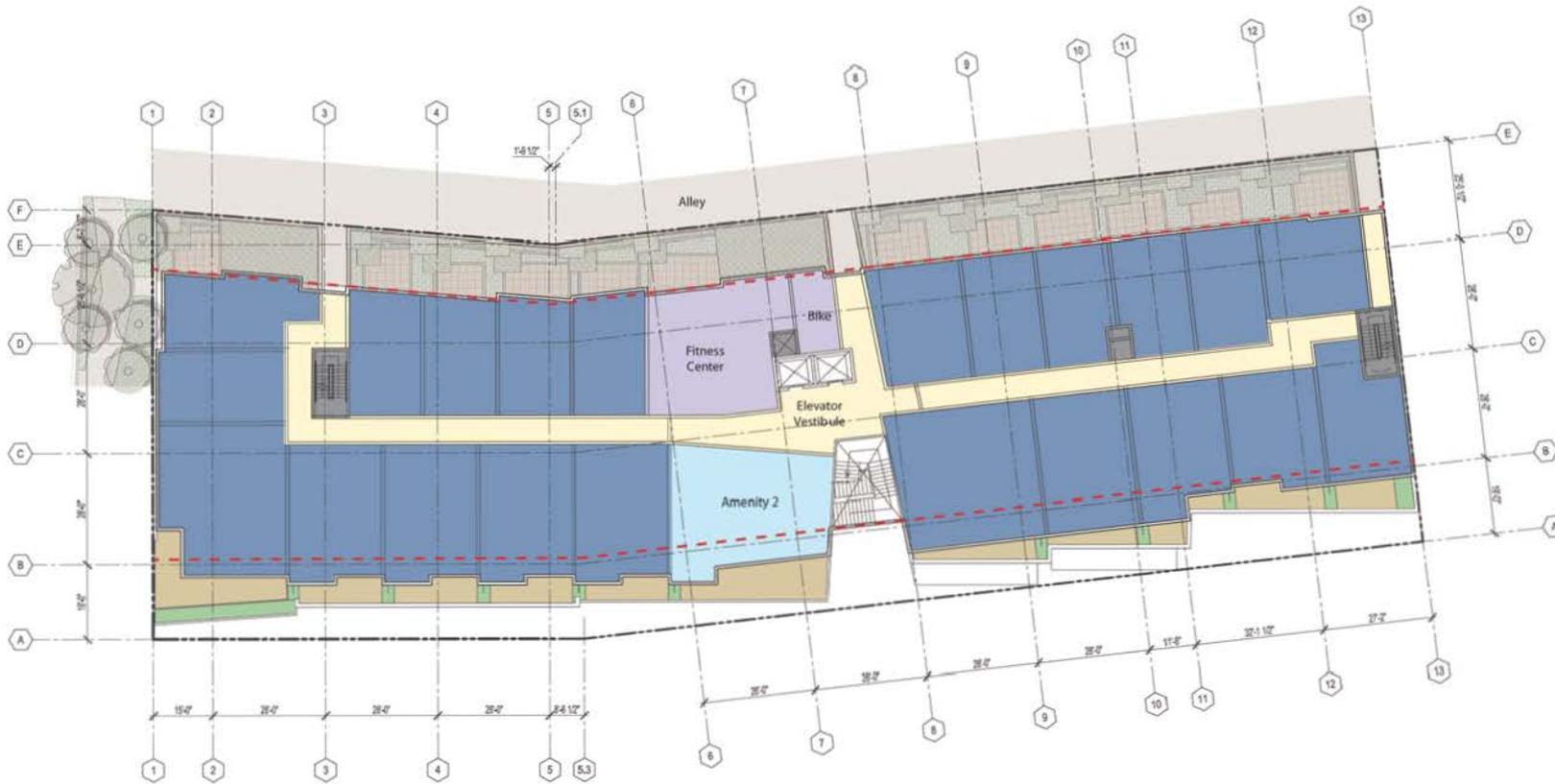
Residential	53,445
Retail	16,722
Amenity	6,559
Circulation	8,485
Parking/Service	97,927



- Residential
- Residential Amenity
- Retail
- Amenity 2
- Circulation
- Parking
- MEP/BOH
- Terrace
- Green Roof



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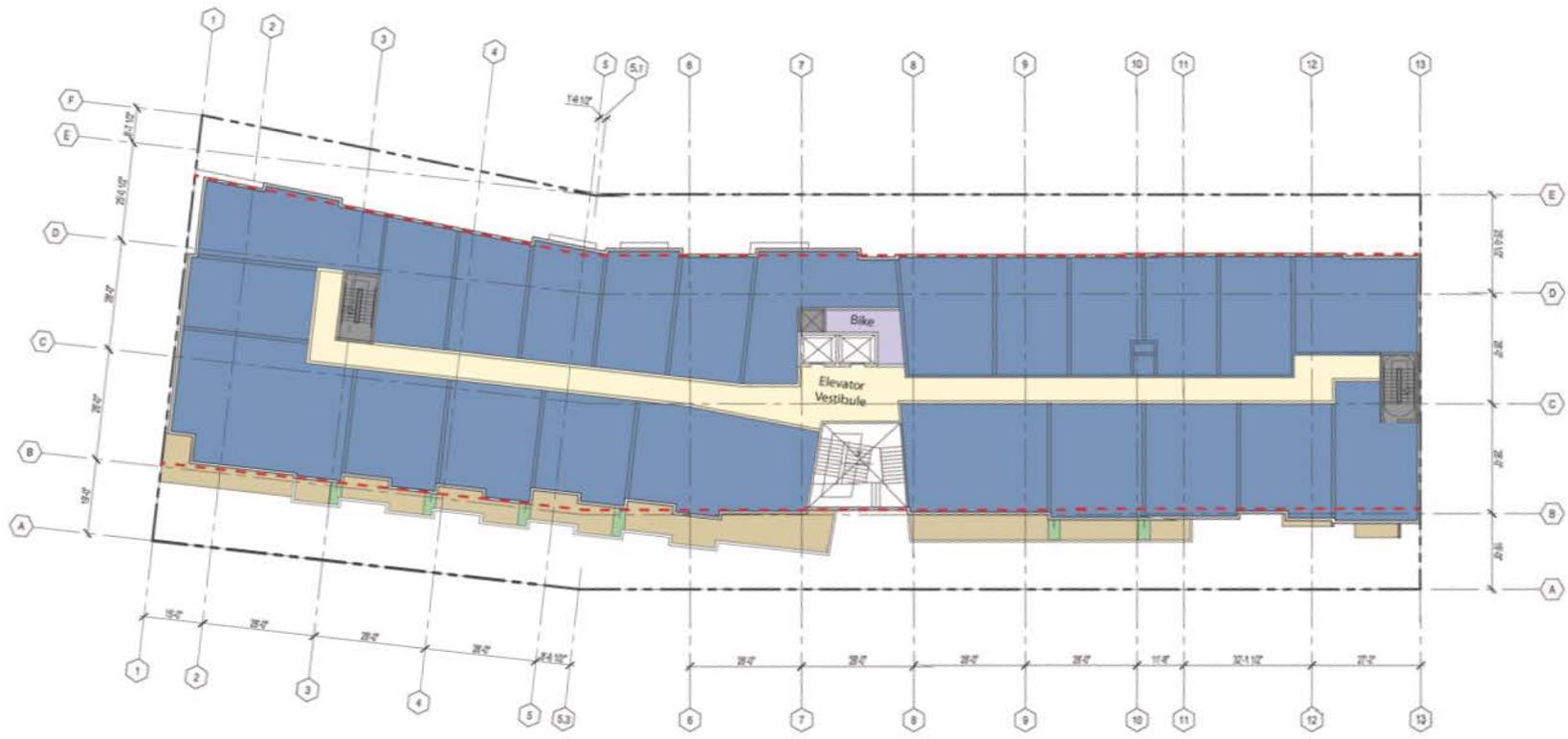
Level 2 Gross Area

Residential	17,215
Amenity	2,445
Circulation	1,719

0 15' 30'
scale: 1" = 30'-0" (at 11"x17")

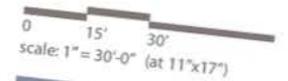
- Residential
- Residential Amenity
- Retail
- Amenity 2
- Circulation
- Parking
- MEP/BOH
- Terrace
- Green Roof





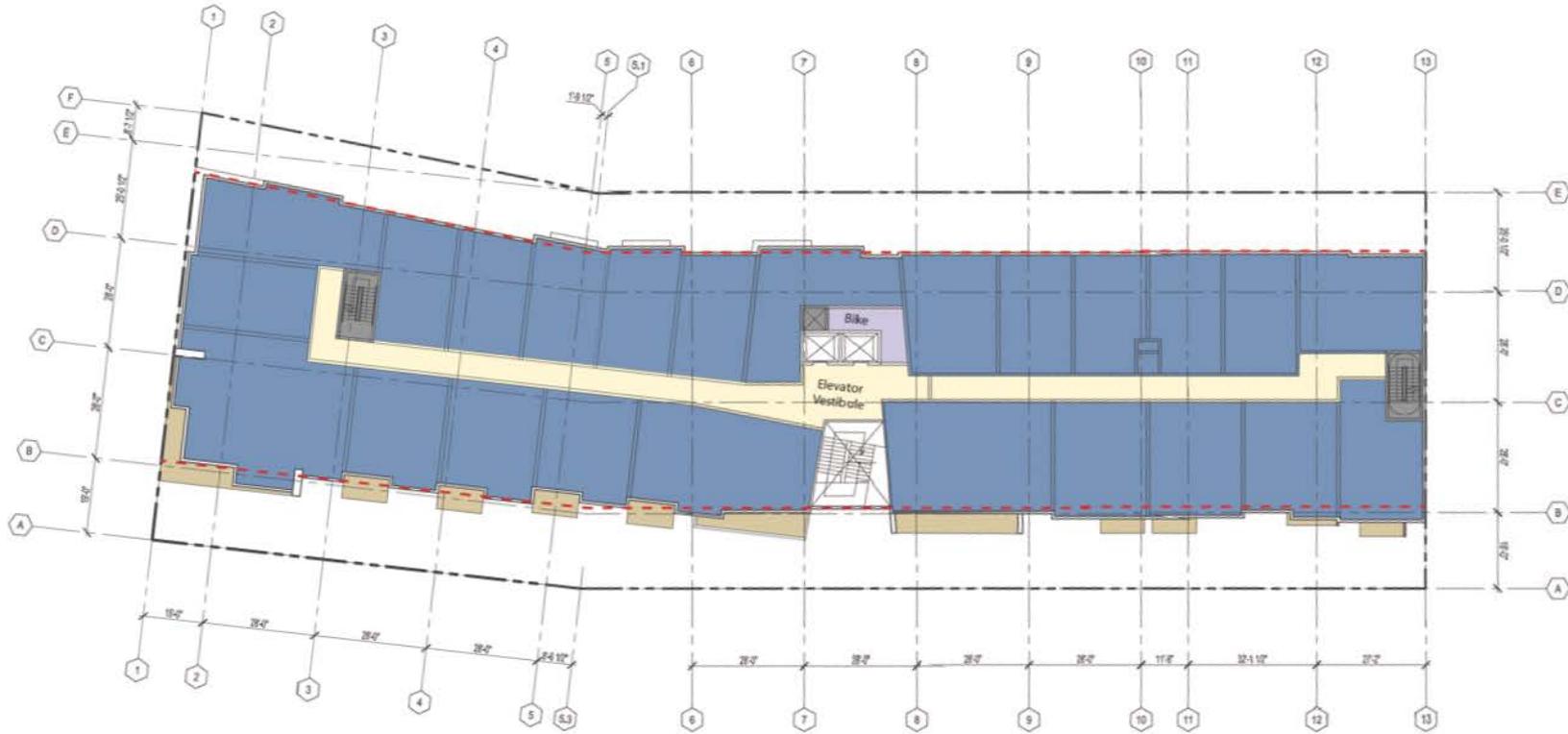
Level 3 Gross Area

Residential	18,209
Amenity	158
Circulation	1,528



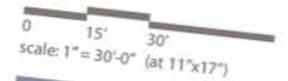
- Residential
- Residential Amenity
- Retail
- Amenity 2
- Circulation
- Parking
- MEP/BOH
- Terrace
- Green Roof





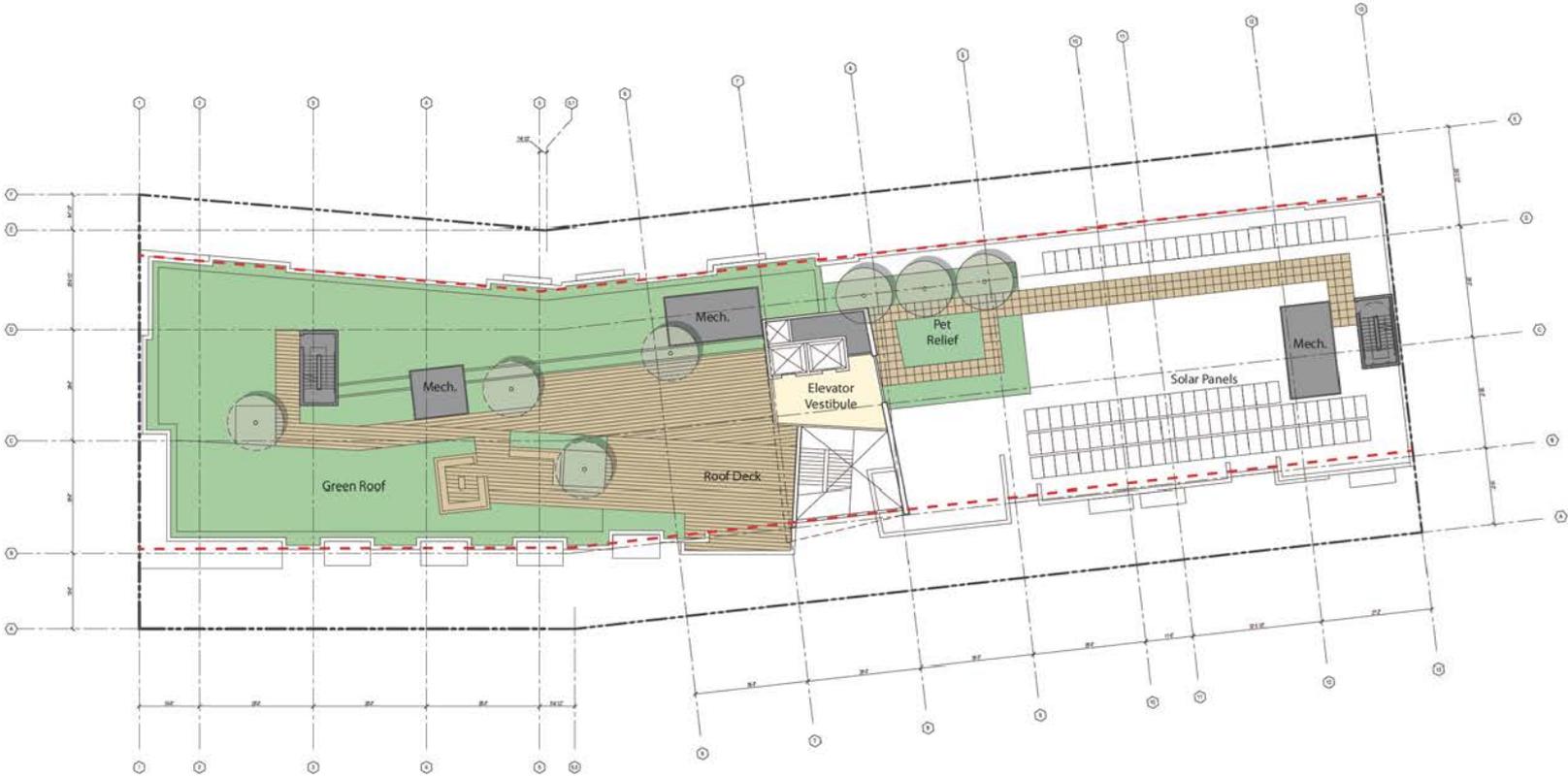
Level 4 Gross Area

Residential	18,021
Amenity	158
Circulation	1,528



- Residential
- Residential Amenity
- Retail
- Amenity 2
- Circulation
- Parking
- MEP/BOH
- Terrace
- Green Roof





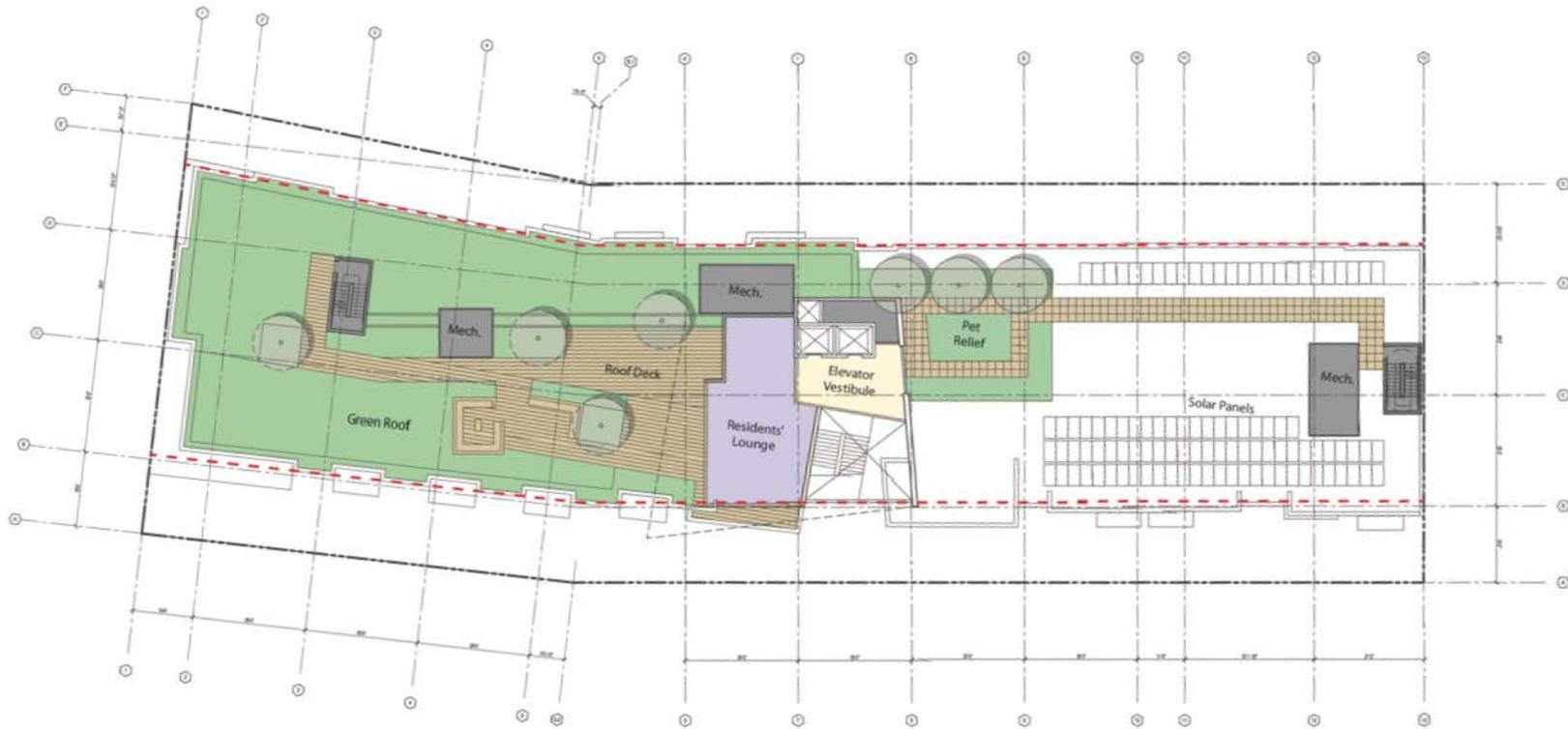
Roof Gross Area

Amenity (deck)	2,771
Circulation	1,318
Service	590

0 15' 30'
 scale: 1" = 30'-0" (at 11"x17")

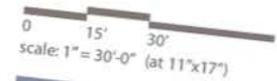
- Residential
- Residential Amenity
- Retail
- Amenity 2
- Circulation
- Parking
- MEP/BOH
- Terrace
- Green Roof





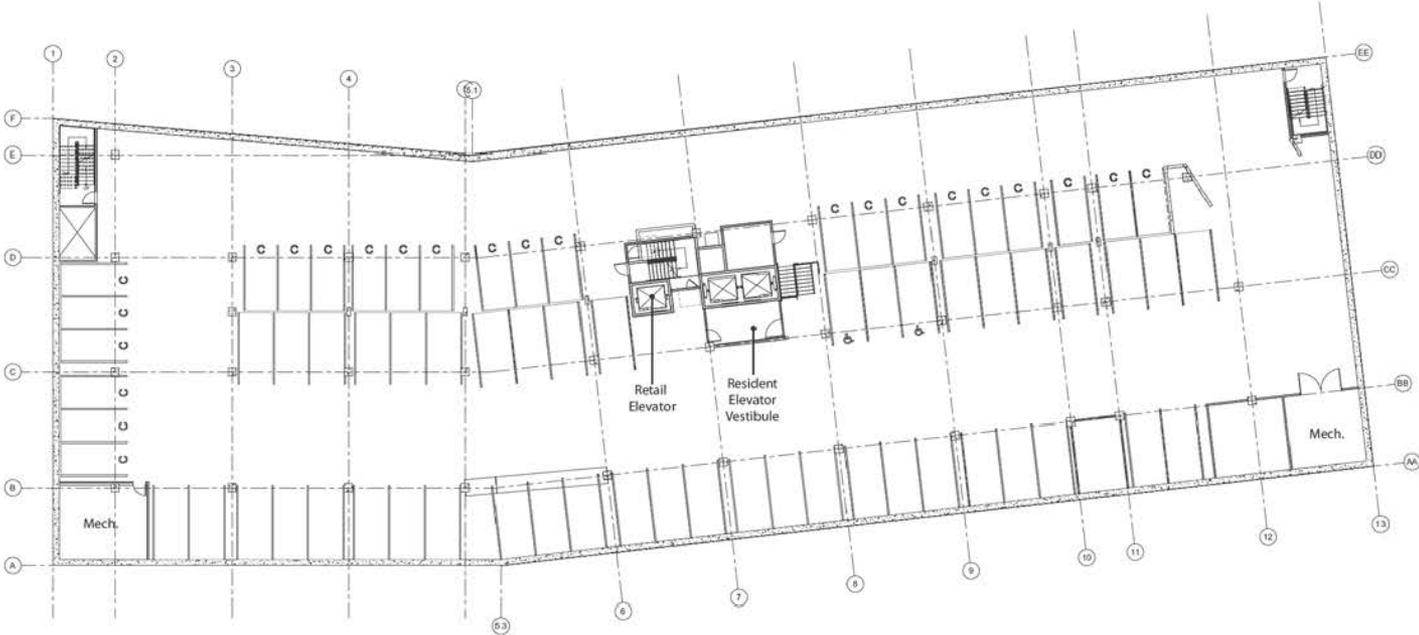
Roof Gross Area

Amenity (incl. deck)	2,771
Circulation	1,318
Service	590



- Residential
- Residential Amenity
- Retail
- Amenity 2
- Circulation
- Parking
- MEP/BOH
- Terrace
- Green Roof





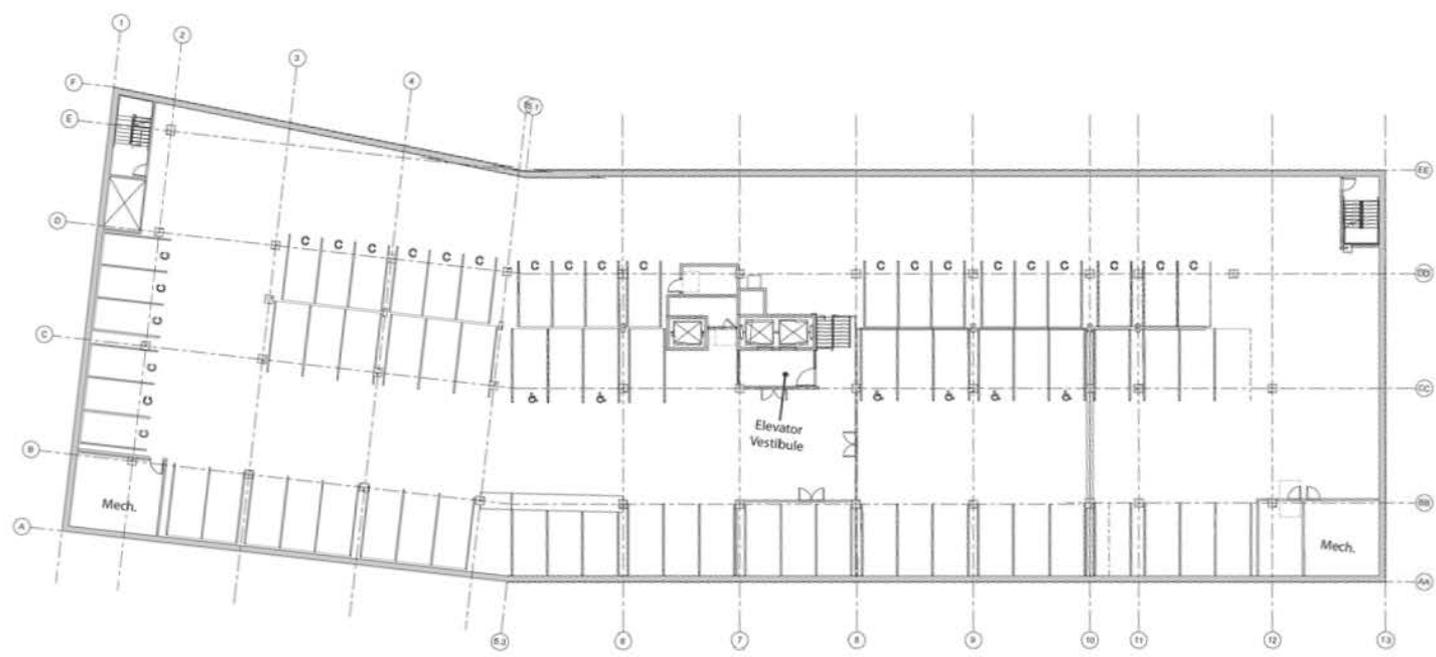
Level P1 Gross Area

Circulation	600
Parking/Service	31,119
Appox. Stall Count	73

0 15' 30'
scale: 1" = 30'-0" (at 11"x17")

- Residential
- Residential Amenity
- Retail
- Amenity 2
- Circulation
- Parking
- MEP/BOH
- Terrace
- Green Roof

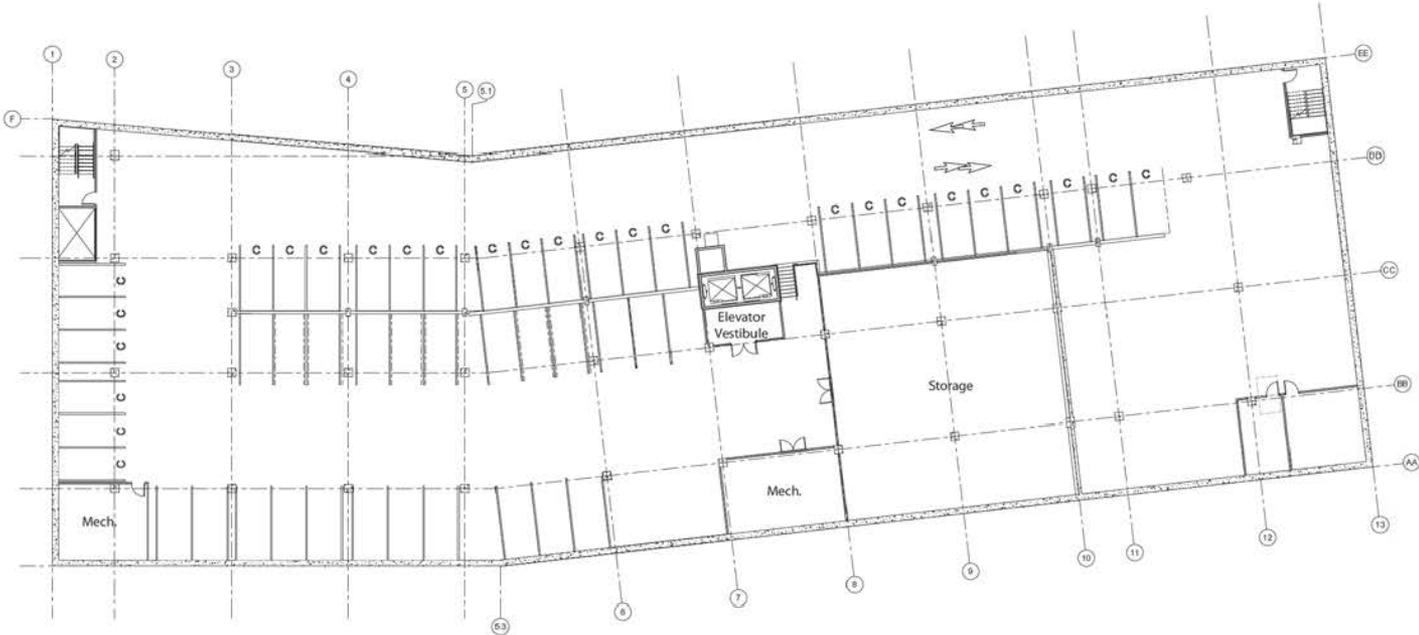




Level P2 Gross Area

Circulation	410
Parking/Service	31,309
Approx. Stall Count	75





Level P3 Gross Area

Circulation	410
Parking/Service	27,497
Approx. Stall Count	50

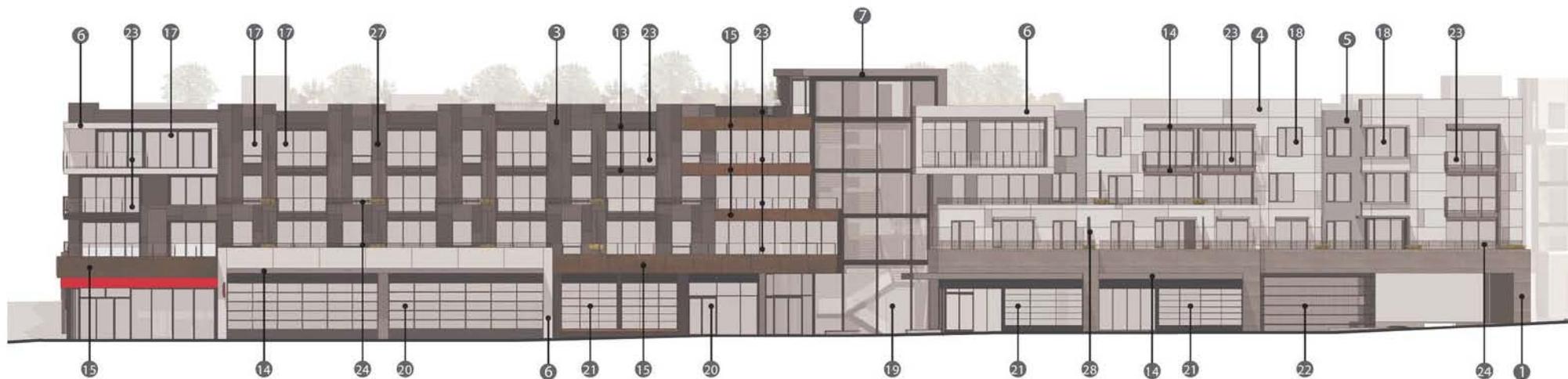
0 15' 30'
 scale: 1" = 30'-0" (at 11"x17")

- Residential
- Residential Amenity
- Retail
- Amenity 2
- Circulation
- Parking
- MEP/BOH
- Terrace
- Green Roof

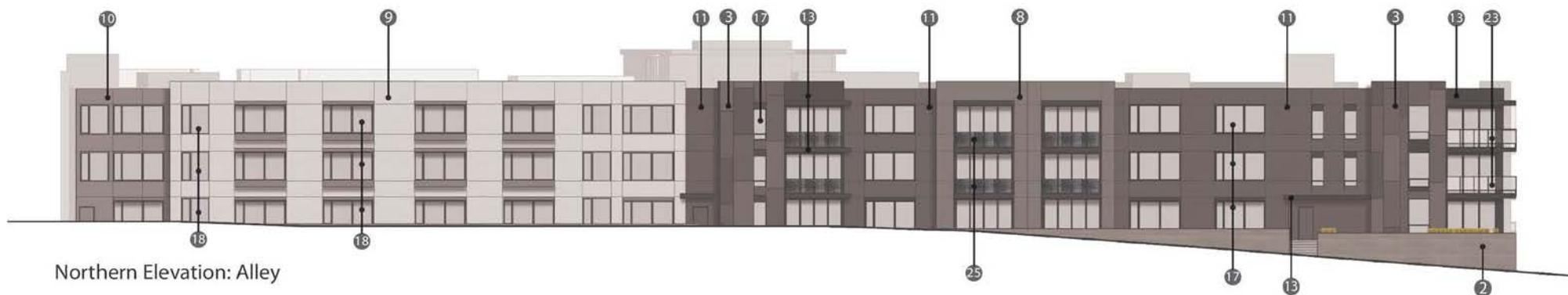


Elevations

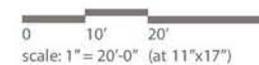
For material key, see page A-35.



Southern Elevation: Central Way

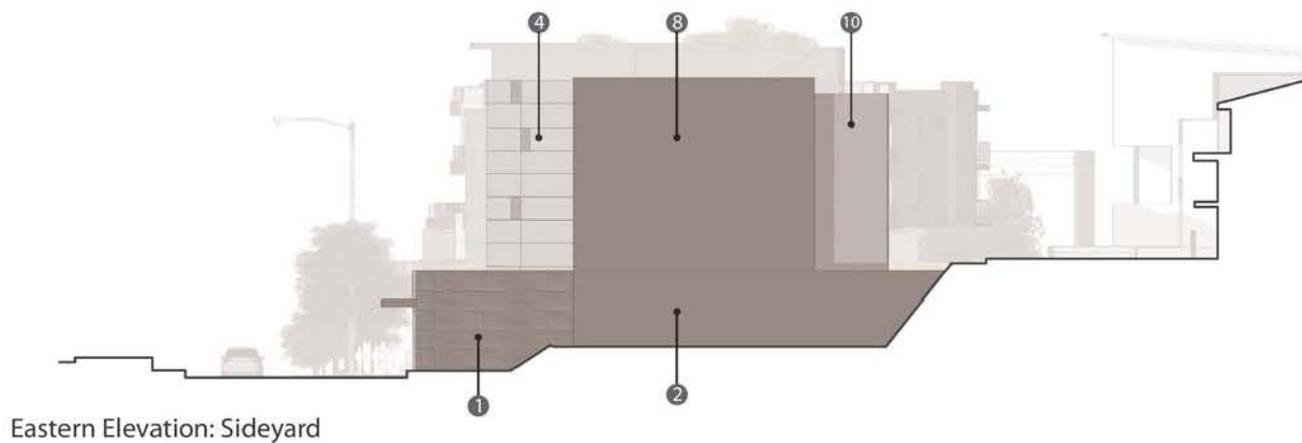


Northern Elevation: Alley



Elevations

For material key, see page A-35.



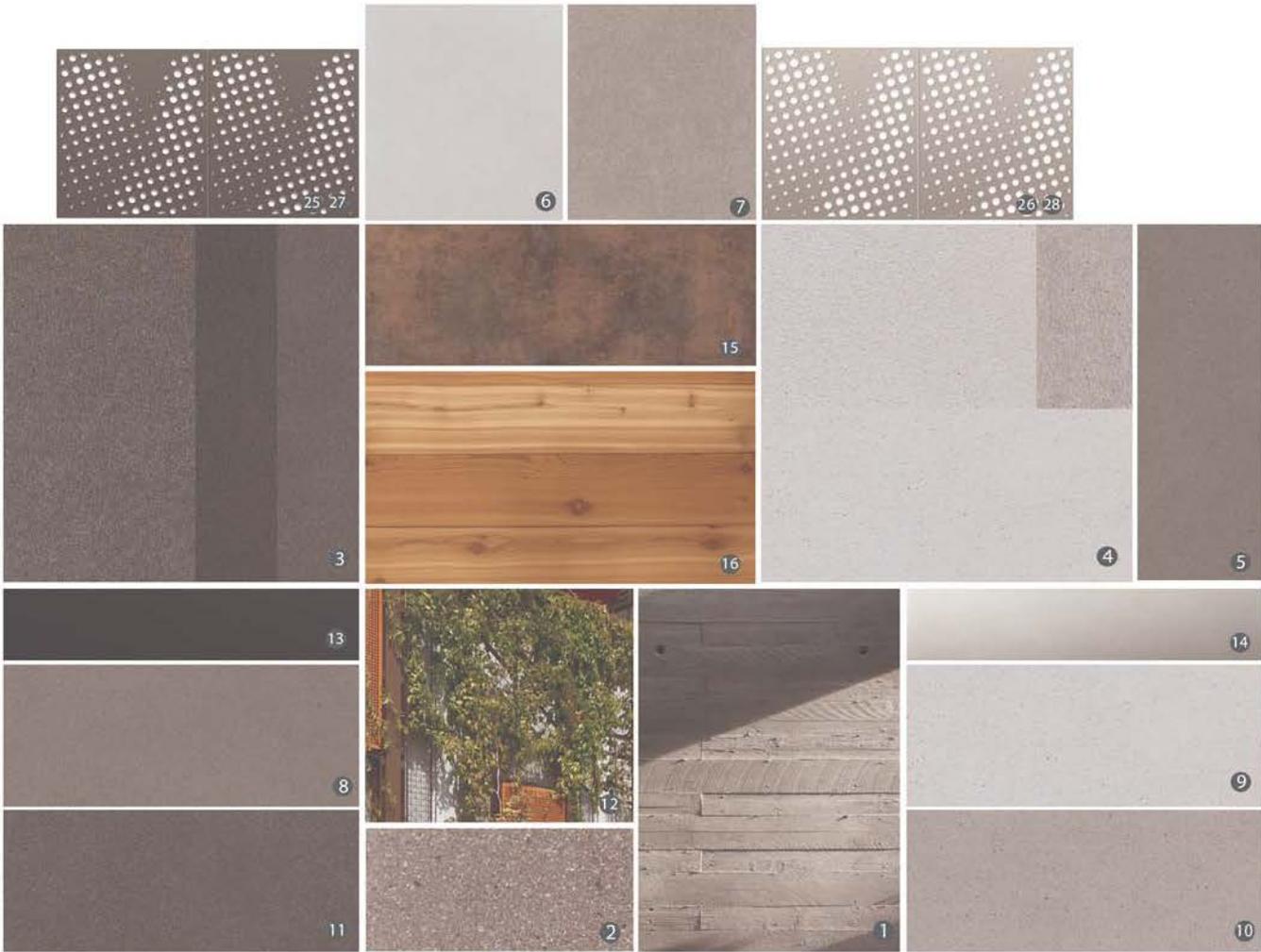
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Elevations | Material Key

- 1 Concrete 1
- 2 Concrete 2
- 3 Panelized Concrete System - Panel 1
- 4 Panelized Concrete System - Panel 2
- 5 Panelized Concrete System - Panel 3
- 6 Panelized Concrete System - Panel 4
- 7 Panelized Concrete System - Panel 5
- 8 Cementitious Panel System - Panel 1
- 9 Cementitious Panel System - Panel 2
- 10 Cementitious Panel System - Panel 3
- 11 Cementitious Panel System - Panel 4
- 12 Green Wall
- 13 Metal 1
- 14 Metal 2
- 15 Metal 3
- 16 Wood (Soffit)
- 17 Recessed Residential Window System 1
- 18 Recessed Residential Window System 2
- 19 Aluminum Curtain Wall System
- 20 Typical Storefront Glazing System
- 21 Operable Storefront "Garage" Doors
- 22 Garage Door
- 23 Railing 1
- 24 Railing 2
- 25 Railing 3
- 26 Railing 4
- 27 Privacy Screen 1
- 28 Privacy Screen 2



See pages 33-34 for elevations with material locations.

Departure Request 1

Standard	Request	Proposed	Rationale	Applicable Design Guidelines	Reference
<p>142.37 Design Departure and Minor Variations</p> <p>1. General – This section provides a mechanism for obtaining approval to depart from strict adherence to the design regulations or for requesting minor variations from requirements in the following zones:</p> <p>a. In the CBD and YBD: minimum required yards; and</p> <p>b. In the Business District Core: minimum required yards, floor plate maximums and building separation requirements; and</p> <p>c. In the RHBD, FHNC, the PLA 5C zone, the HENC, and the TLBD: minimum required yards, and landscape buffer; and</p> <p>d. In the MSC 1 and MSC 4 zones of the Market Street Corridor: minimum required front yards; and</p> <p>e. In the MSC 2 zone of the Market Street Corridor: height (up to an additional five (5) feet), and minimum required front yards.</p> <p>This section does not apply when a design regulation permits the applicant to propose an alternate method for complying with it or the Use Zone Chart allows the applicant to request a reduced setback administratively.</p>	<p>Upper Story Setback Modification (along Central Way) per KZC 142.37</p> <p>Allow for minor incursions into setbacks on floors above the first floor along the Central Way frontage.</p>	<p>Minor projections of upper residential floor walls and balcony elements beyond 20' setback line above the first-floor level</p>	<p>This proposal seeks to –</p> <ul style="list-style-type: none"> • Provide a high degree of horizontal modulation over the entire building façade, to reduce the perceived mass of the development, consistent with City design guidelines. • First floor building frontage is held back to accommodate minimum sidewalk widths desired under City design guidelines; owner is also providing additional frontage setbacks to create visual interest and enhance pedestrian activity on the Central Way corridor. • Provide both horizontal and vertical articulation for a building frontage that exceeds 300 linear feet by: <ul style="list-style-type: none"> ○ Minor offsetting of residential levels on floors beyond the 20' setback limit to provide horizontal variation, bringing the massing down to more human scale, both from the street level as well as the units themselves. ○ Breaking the overall building frontage by the inclusion of a “hub” stairway at the main building entry (roughly at the mid-point of the site); facade projections adjacent to either side of this element further reinforces the individual design nature of each sub-façade. • Minor incursions of this proposed departure will not produce detrimental impacts on nearby properties (retail, mixed-use and downtown park) where this departure is located. Overall impact of this departure will add to the “texture” of the façade in this important transition between the downtown area architecture and properties to the east of 3rd Street. 	<p>Design Guidelines for Pedestrian-Oriented Business Districts: Page 26 –</p> <p>“Guideline: Horizontal building modulation may be used to reduce the perceived mass of a building and to provide continuity at the ground level of large building complexes. Building design should incorporate strong pedestrian-oriented elements at the ground level and distinctive roof treatments.”</p>	<p>See Diagrams A-23, A-24, A-25, A-46 and A-47</p>