

## **PROPOSED COMPREHENSIVE PLAN TEXT REVISIONS**

### ***Policy TL-17.3:***

*Restrict development in identified landslide hazard areas to ensure public safety and conformity with natural constraints.*

High ground water with soft soil conditions in the low-lying parts of the neighborhood may limit or require special measures for development. The presence of loose saturated soils increases the risk for differential settlement and seismically induced soil liquefaction. In these areas, development must demonstrate methods to prevent the settlement of structures and utility systems and to withstand seismic events.

The steep, heavily vegetated hillside in the northeastern portion of the neighborhood lies within an identified high landslide area (see Figures TL-5 and TL-11, District TL 9). Although a range of office, industrial or multifamily uses are permitted in the southern portion of the hillside north of NE 126<sup>th</sup> Place, this development and all development on the hillside is subject to the following conditions:

(1) Development ~~should~~ shall be subject to the City's Process IIA public review and discretionary approval process.

(2) The base density for residential development on the slope should be eight dwelling units per acre.

(3) Lot coverage for development should be lower than that allowed for the less environmentally sensitive properties to the south, to enable the preservation of vegetation and watercourses on the site.

(4) Vegetative cover should be maintained to the maximum extent possible. Clustering of structures may be required to preserve significant groupings of trees.

(5) Watercourses should be retained in a natural state.

(6) Development should only be permitted if an analysis is presented that concludes that the slope will be stable. The analysis should indicate the ability of the slope and adjacent areas to withstand development, the best locations for development, and specific structural designs and construction techniques necessary to ensure long-term stability.

~~(7) The hillside with the steepest slopes should be left undisturbed in a natural condition and retained as permanent natural open space through the creation of a greenbelt easement or the dedication of air rights. In order to provide property owners with reasonable development potential, some development may be permitted on the southern, lower portion of the hillside. In no case should such development or associated land surface modification extend northward more than 150 feet into any slope in excess of 15 percent, nor closer than 100 feet to existing single-family residential development north of the slope.~~

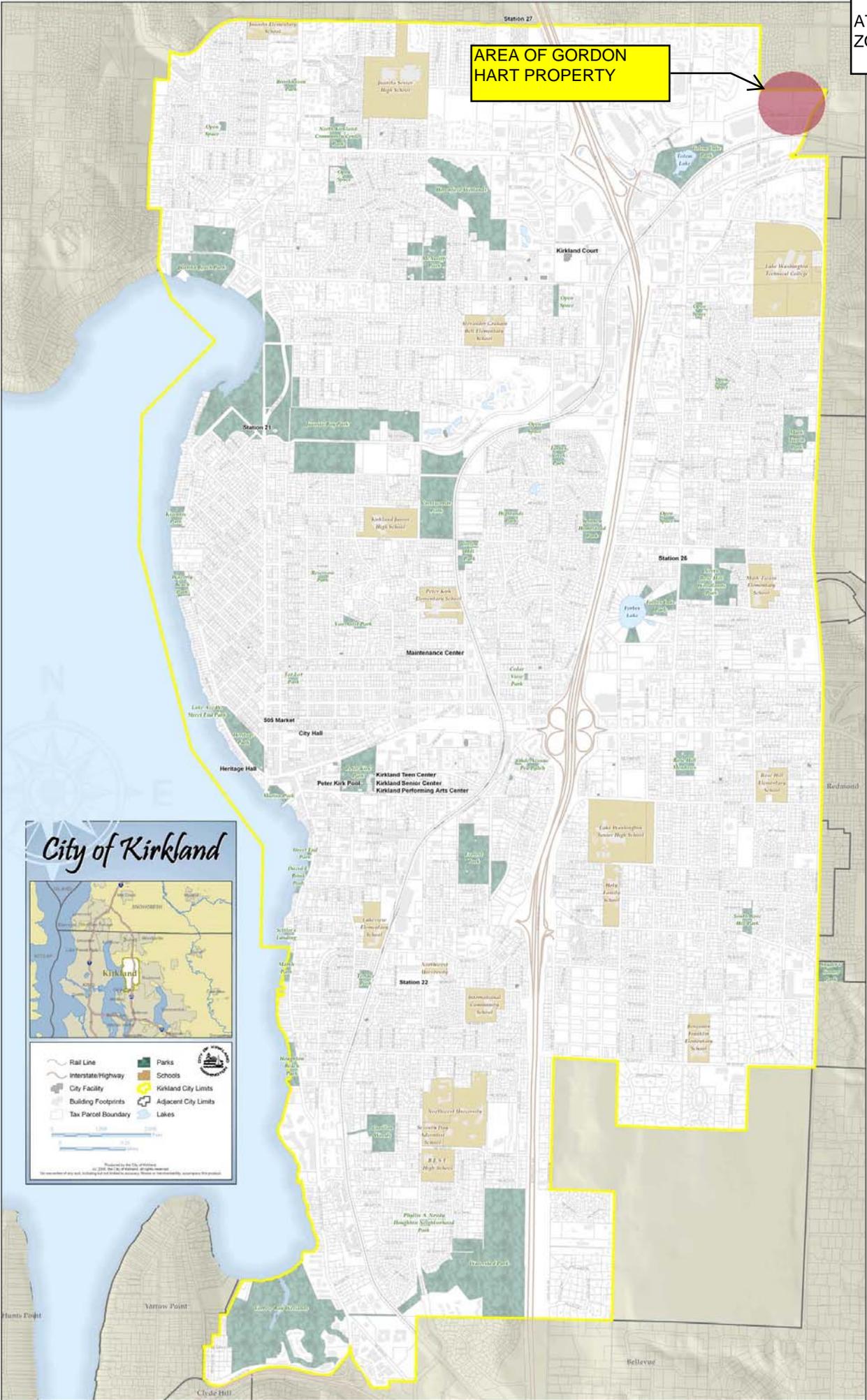
~~(8)~~ Any part of the hillside which is retained as permanent natural open space, but which has been previously altered from its natural state, or which is so altered as a result of soils testing or watercourse rehabilitation, should be returned to its natural condition.

~~(9)~~ Surface water runoff should be maintained at predevelopment levels.

~~(10) The developer should indemnify and hold harmless the City by a covenant running with the land in a form approved by the City Attorney.~~

~~(1110) Vehicular access should be from south of the slope. If necessary, access may be from 132<sup>nd</sup> Avenue NE, provided that such access is limited to one point and meets other City standards. A roadway, designed to have the least impact on the steep slopes, may be permitted to traverse the steep slopes up to the northern plateau provided that cutting and grading is limited to the smallest extent necessary and that any disrupted portions of the slope, excluding the roadway itself, are heavily landscaped to maintain the natural character of the hillside.~~

AREA OF GORDON  
HART PROPERTY



# City of Kirkland

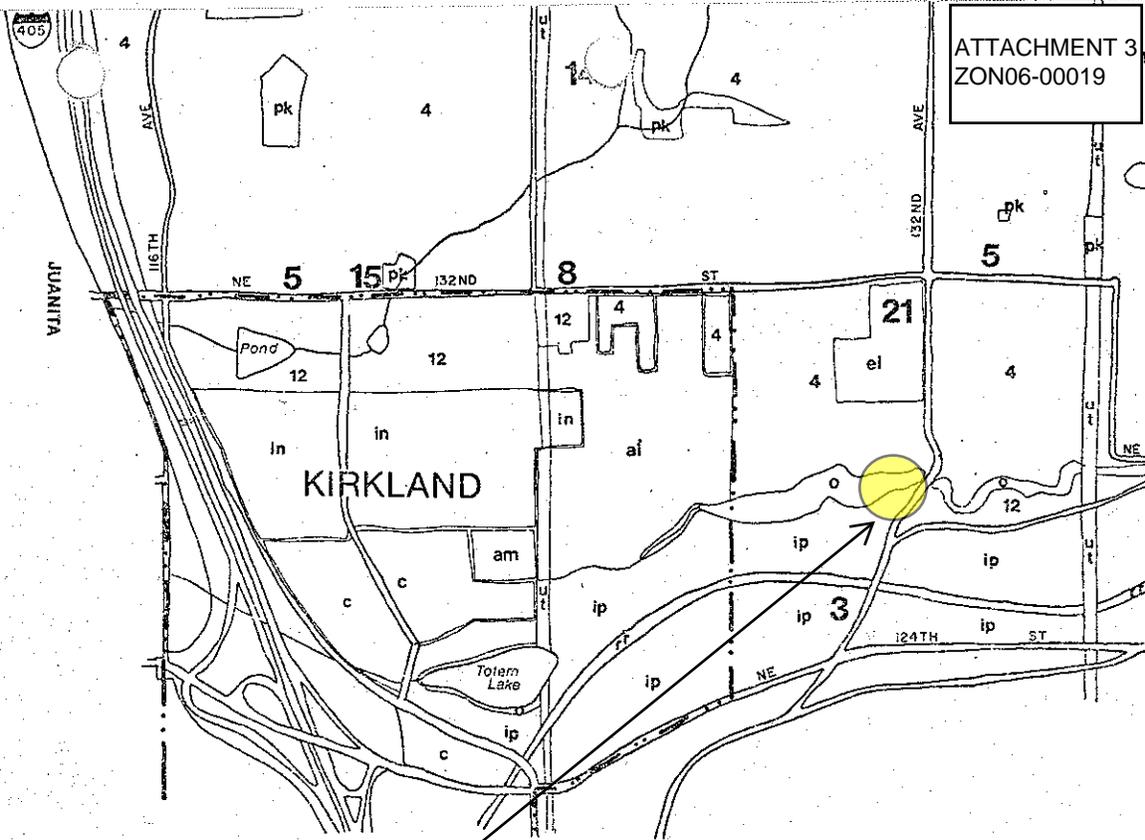


- Rail Line
- Interstate/Highway
- City Facility
- Building Footprints
- Tax Parcel Boundary
- Parks
- Schools
- Kirkland City Limits
- Adjacent City Limits
- Lakes

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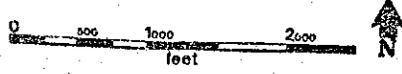
**Legend**

- o Open space, cemeteries
- ag Agriculture
- Residential areas:
- 2 one home per 5 acres average
- 1 one home per acre
- 2 two homes per acre
- 3 three homes per acre
- 4 four homes per acre
- 12 twelve homes per acre
- Apartments:
- al eighteen units per acre
- am twentyfour units per acre
- ah thirtysix units per acre
- pr Professional offices
- c Commercial, business
- in Institutions:  
hospitals, clinics, nursing care,  
churches
- pf Public facilities:  
post offices, fire stations,  
libraries, public offices
- ut Utilities
- pk Parks and recreation facilities
- ip Industrial park
- iw Industrial warehousing
- Schools:
- el elementary
- jr junior high
- sr senior high
- s special
- 6 Refers to proposal items for  
this neighborhood



# kingsgate

**SUBJECT PROPERTY**



1. Reserve the areas containing steep slopes of 40% or more along the east edge of the plateau as open space as a condition of approval for Planned Unit development or Subdivisions. Slopes of 20% or more where physical land characteristics such as topography, soils and hydrology indicates undesirable conditions for development would also be reserved for open space.
3. Future expansion of the industrial district east of I-405 between Totem Village and 140th Ave. NE, north of NE 124th St. should only be permitted if the petitioners provide a master plan for transitional residential development and open space buffer on their property to protect the abutting properties to the north.

(Add the following at the end of page 396A.)

East of Totem Lake, a steep heavily vegetated hillside serves to separate industrial uses below, to the south, from residential uses above, to the north. Slopes on the hillside are identified as unstable and potentially unstable (see Figure 40). The hillside is also the site of a significant woodland (see Figure 41).

Development on the hillside should be strictly limited. Residential uses at a density of one dwelling unit per acre may be developed on the relatively level plateau areas lying directly north of the steep slopes, subject to the following conditions:

1. Development should be subject to public review and discretionary approval;
2. Dwelling units should be clustered or attached. Stacked units should not be permitted;
3. Development should provide and maintain the stability of the slope and adjacent areas. An analysis of slope stability should be submitted. The analysis should indicate the ability of the slope and adjacent areas to withstand development, the best locations for development, and specific structural designs and construction techniques necessary to insure long term stability;
4. The portions of the hillside with the steepest slopes, together with adjacent slope areas to the south, should be left in a natural condition and retained as permanent natural open space;
5. The height of all structures should be limited to 25 feet;
6. Attached dwelling units should be separated from adjacent single family dwellings by a 20 foot landscaped buffer;
7. Vehicular access should be from south of the slope. If necessary, access may be from 132nd Ave. N.E., provided that such access is limited to one point located as far to the south as possible. A roadway may be permitted to traverse the steep slopes up to the residential uses on the northern plateau provided that cutting and grading is limited to the smallest extent necessary and that any disrupted portions of the slope, excluding the roadway itself, are heavily landscaped to maintain the natural character of the hillside;
8. Vegetative cover should be maintained to the maximum extent possible;
9. Watercourses should be retained in a natural state;
10. Surface water runoff should be maintained at predevelopment levels;
11. The developer should indemnify and hold harmless the City by a covenant running with the land in a form approved by the City Attorney.

Exhibit "0"  
Alternative Text Amendment #2  
Gordon Hart  
File No. PA-81-160

ALTERNATIVE TEXT AMENDMENT (INDUSTRIAL)

(Delete the last two sentences of the first paragraph page 400A and add the following.)

Industrial development east of Totem Lake is bounded on the north by a steep heavily vegetated hillside. Slopes on the hillside are identified as unstable and potentially unstable (see Figure 40). The hillside is also the site of a significant woodland (see Figure 41). In its natural state, the hillside serves to separate the industrial uses to the south from the single family residences to the north.

In order to protect slope stability, maintain the natural characteristics of the slope and provide a transition from industrial to residential uses, development on the hillside should be strictly limited. Small offices and warehouses may be permitted on the southerly portions of the hillside subject to the following conditions:

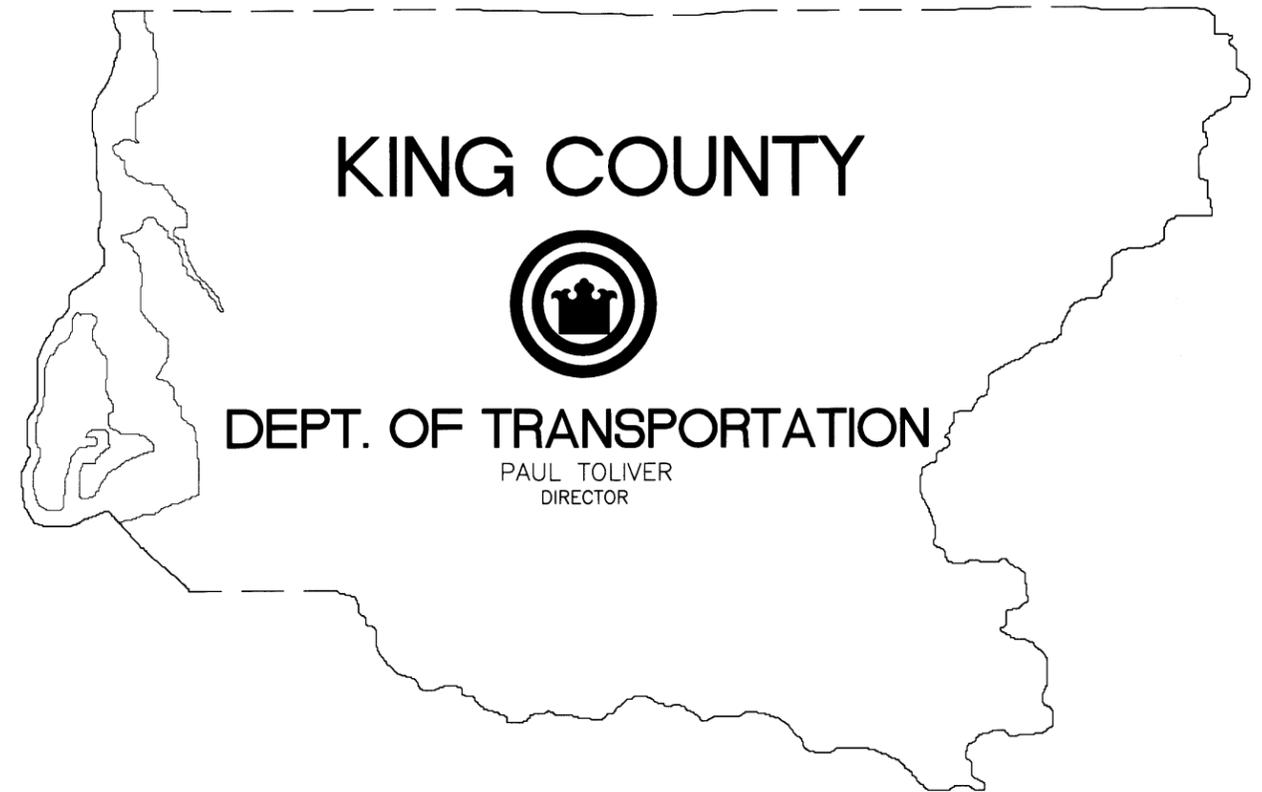
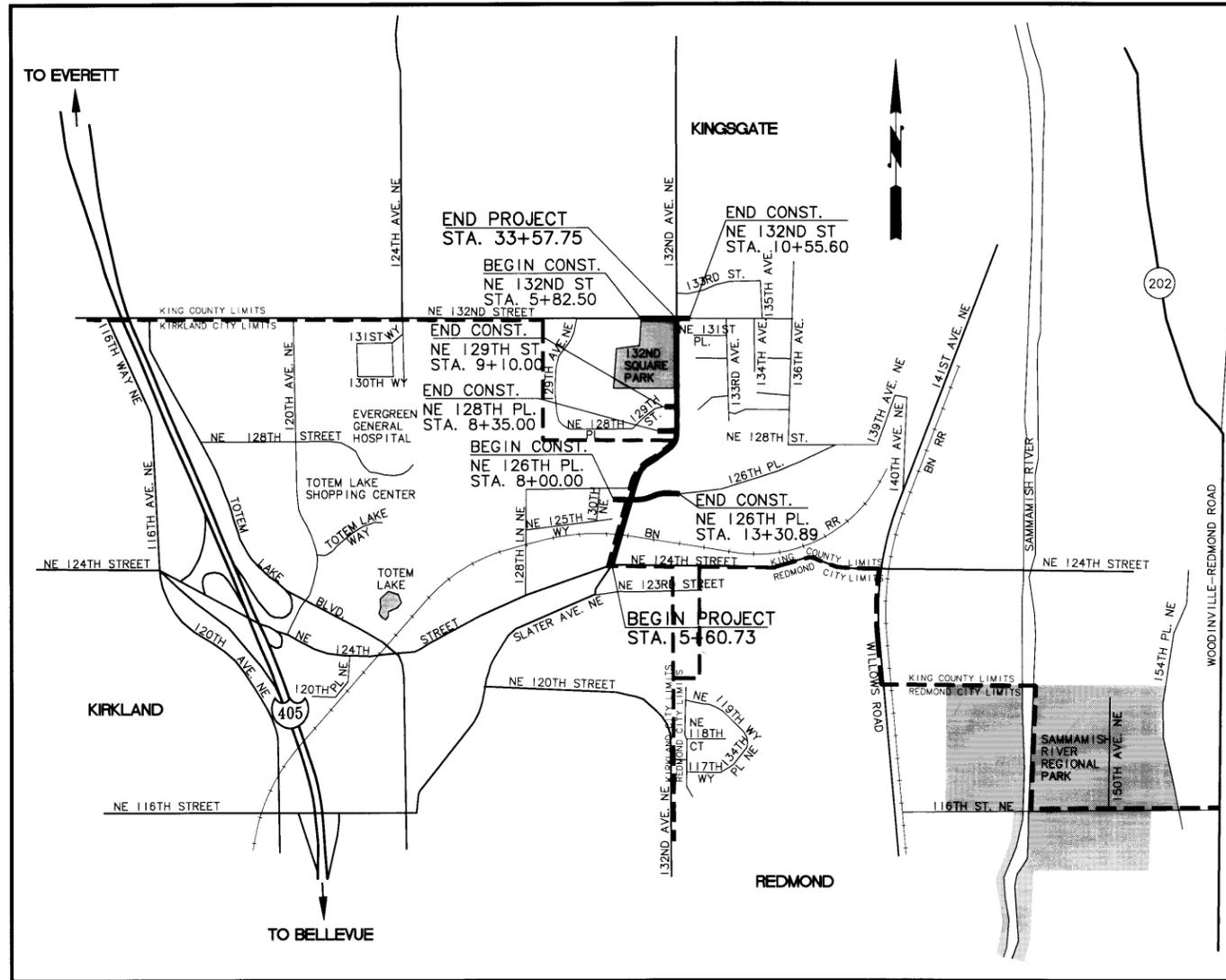
1. Development should be subject to public review and discretionary approval;
2. Development should only be permitted if substantial evidence is presented that slope stability will be provided and maintained. An analysis of slope stability should be submitted. The analysis should indicate the ability of the slope and adjacent areas to withstand development, the best locations for development, and specific structural designs and construction techniques necessary to insure long term stability;
3. The portions of the hillside with the steepest slopes, together with the remaining area to the north, should be left undisturbed, in a natural condition and retained as permanent natural open space through the creation of a greenbelt easement or the dedication of air rights. In order to provide property owners with reasonable development potential, some development may be permitted on the lower portion of the hillside. In no case should such development or associated land surface modification extend northward more than 150' into any slope in excess of 15% nor closer than 100' to existing single family residential development north of the slope.
4. Vegetative cover should be maintained to the maximum extent possible;
5. Watercourses should be retained in or rehabilitated to a natural state;
6. Any part of the hillside which is retained as permanent natural open space but which has been previously altered from its natural state or which is so altered as a result of soils testing or watercourse rehabilitation should be returned to its natural condition;
7. Surface water runoff should be maintained at predevelopment levels;
8. The developer should indemnify and hold harmless the City by a covenant running with the land in a form approved by the City Attorney;
9. Vehicular access should be from south of the slope. If necessary, access may be from 132nd Ave. N.E. provided that such access is limited to one point, located as far to the south as possible.

Exhibit "V"

Alternative Text Amendment #1

File No. PA-81-160 Gordon Hart

VICINITY MAP



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2	SUMMARY OF QUANTITIES
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# 132ND AVENUE/PLACE NE

PHASE 1  
(NE 124TH STREET TO NE 132ND STREET)

CALL 2 DAYS  
BEFORE YOU DIG  
1-800-424-5555

NOTE: SHTS. 61-64 ARE WOODINVILLE WATER DISTRICT PLANS

FIELD BOOK:	1279 A		
SURVEYED:	C. LAMB 11/90		
SURVEY BASE MAP:	B. EBLE 11/90		
DESIGN ENTERED:	R. TEMPLADO 5/95		
DESIGNED:	M. VAN WORMER 5/95		
CHECKED:	J. O'BRIEN		
DATE	REVISION	BY	DATE



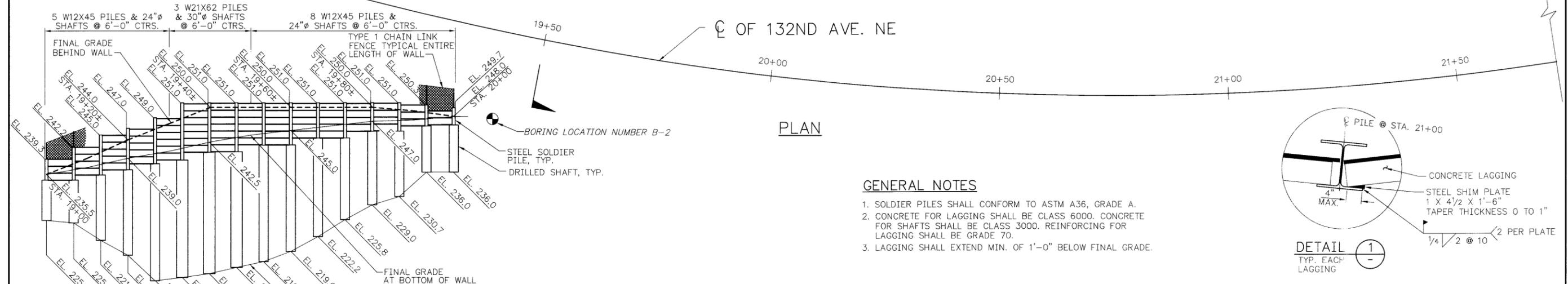
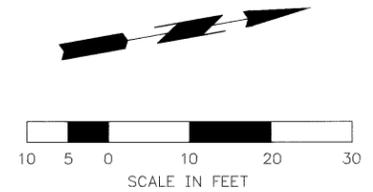
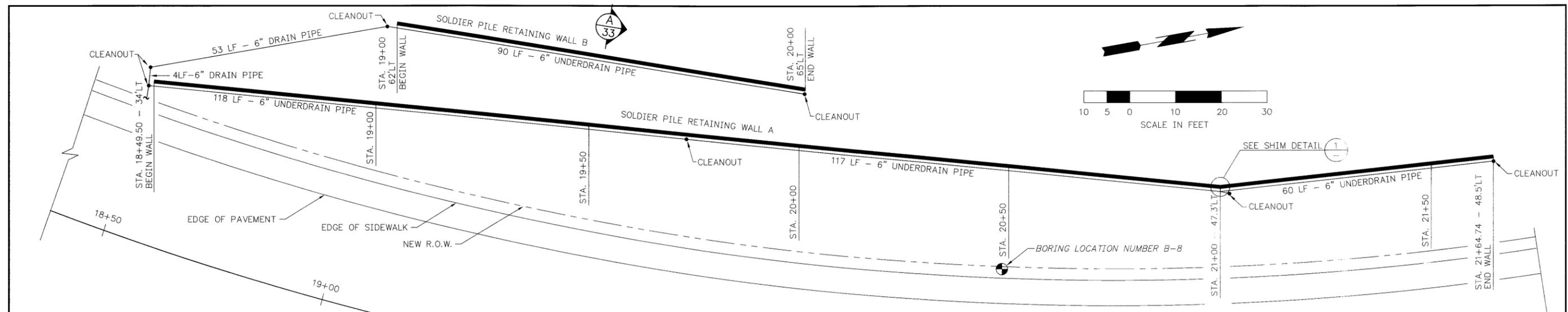
FED. AID No.	
PROJECT No.	100187
SURVEY No.	28-26-5-19
MAINTENANCE DIVISION No.	1



KING COUNTY DEPT. OF TRANSPORTATION  
PAUL TOLIVER, DIRECTOR  
**132ND AVENUE/PLACE NE**  
(NE 124TH STREET TO NE 132ND STREET)



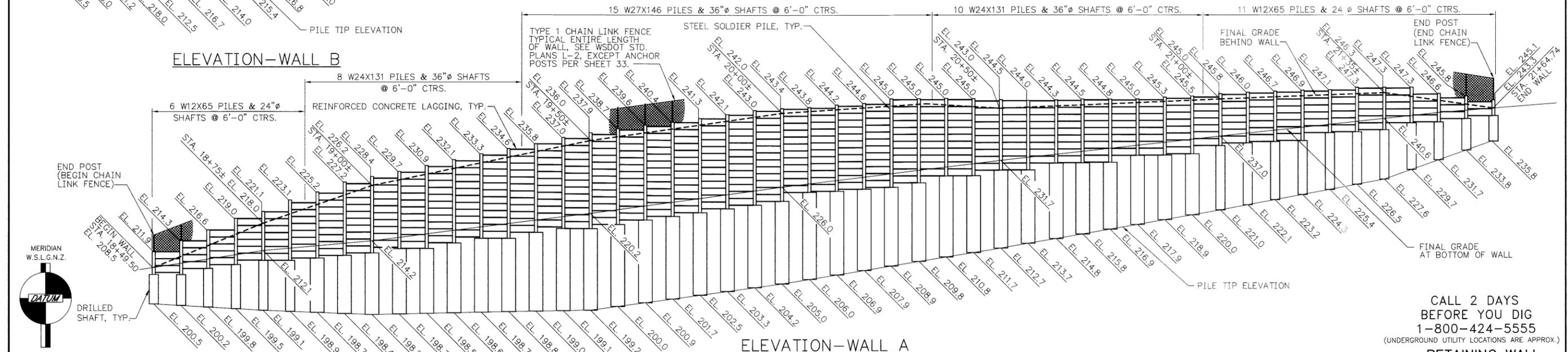
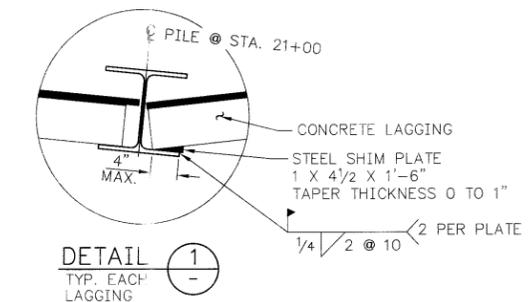
SHEET  
1  
OF  
64  
SHEETS  
**309-94(1)**



PLAN

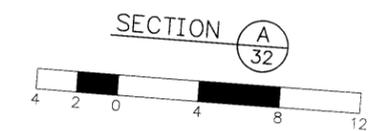
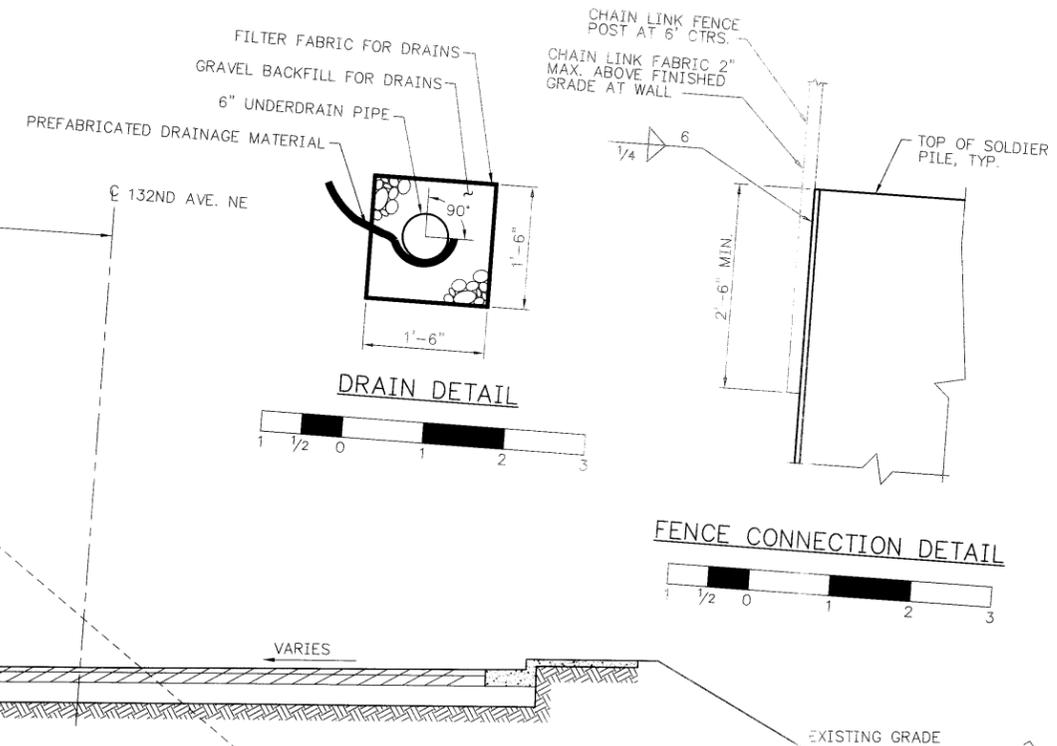
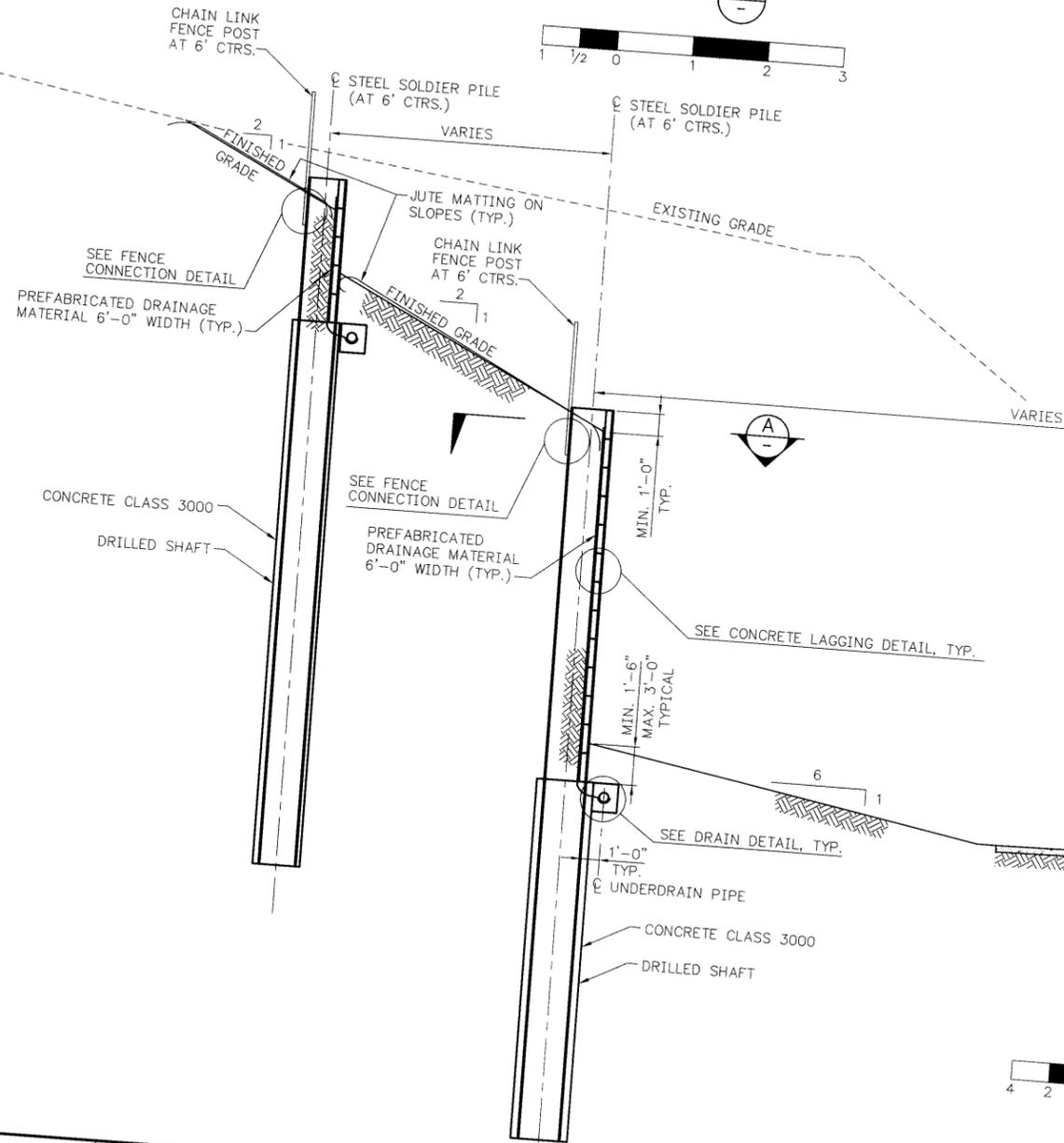
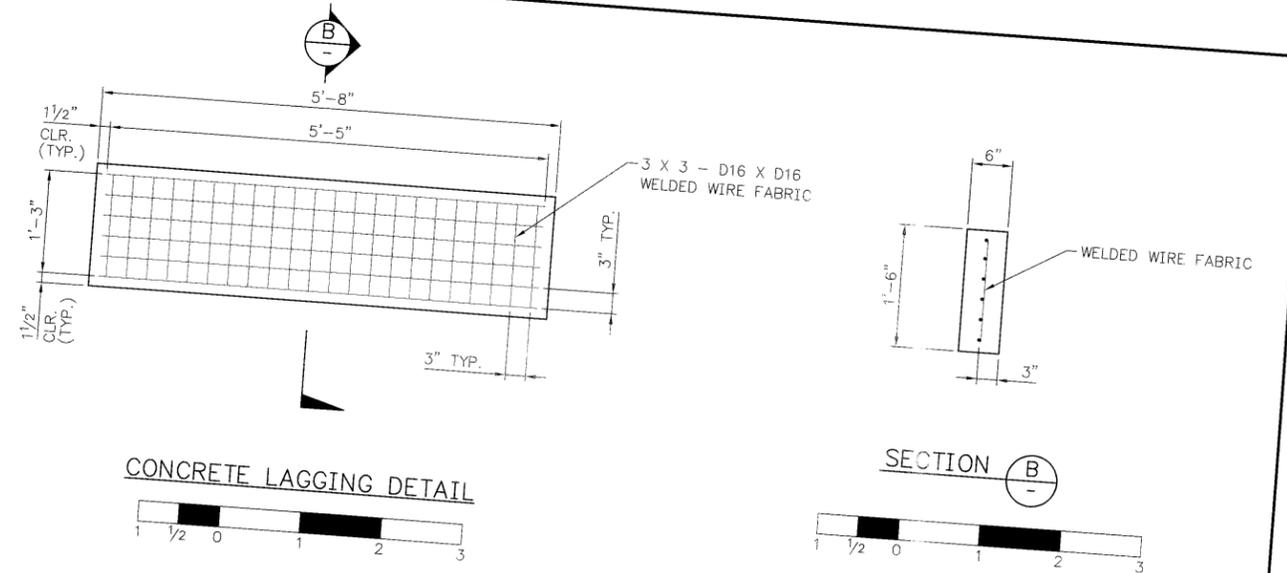
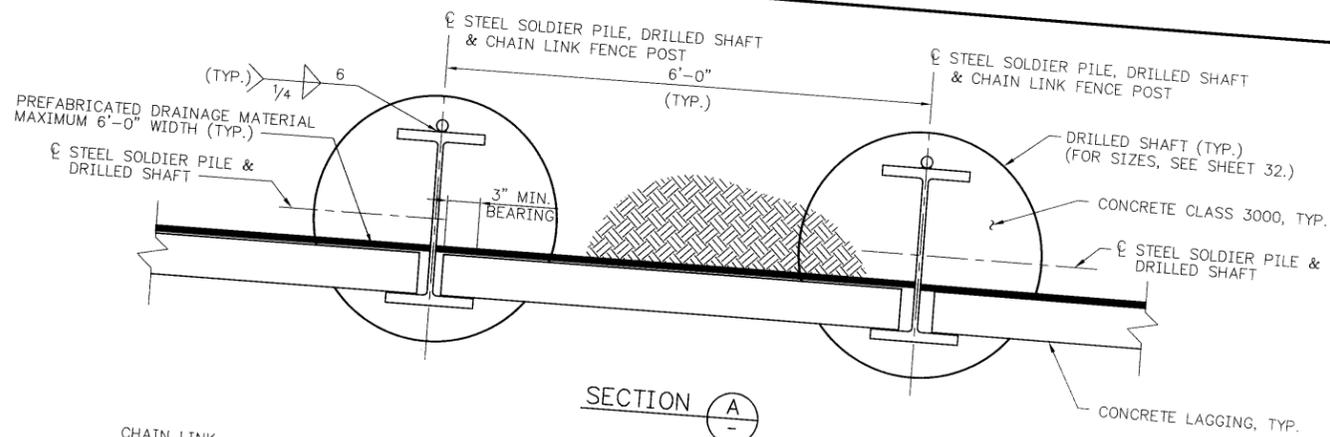
**GENERAL NOTES**

1. SOLDIER PILES SHALL CONFORM TO ASTM A36, GRADE A.
2. CONCRETE FOR LAGGING SHALL BE CLASS 6000. CONCRETE FOR SHAFTS SHALL BE CLASS 3000. REINFORCING FOR LAGGING SHALL BE GRADE 70.
3. LAGGING SHALL EXTEND MIN. OF 1'-0" BELOW FINAL GRADE.

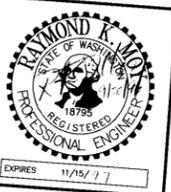


CALL 2 DAYS BEFORE YOU DIG  
1-800-424-5555  
(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

FIELD BOOK: 1279 A SURVEYED: C. LAMB 11/90 SURVEY BASE MAP: B. EBLE 11/90 DESIGN ENTERED: K. WILLEY 6/94 DESIGNED: K. WILLEY 10/94 CHECKED: C. WRIGHT 10/94	 REGISTERED PROFESSIONAL ENGINEER EXPIRES 11/15/97	 <b>L &amp; A</b> LIN & ASSOCIATES, INC. Consulting Engineers Seattle, Washington	FED. AID No. _____ PROJECT No. 100187 SURVEY No. 28-26-5-19 MAINTENANCE DIVISION No. 1	 REGISTERED PROFESSIONAL ENGINEER EXPIRES 3/7/98 COUNTY ROAD ENGINEER	<b>KING COUNTY DEPT. OF TRANSPORTATION</b> PAUL TOLIVER, DIRECTOR <b>132ND AVENUE/PLACE NE</b> (NE 124TH STREET TO NE 132ND STREET) RETAINING WALL PLAN & PROFILE	 SHEET <b>32</b> OF <b>60</b> SHEETS <b>309-94(32)</b>
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CHECKED:	C. WRIGHT 10/94
DATE	
REVISION	BY DATE



FED. AID No. \_\_\_\_\_  
 PROJECT No. 100187  
 SURVEY No. 28-26-5-19  
 MAINTENANCE DIVISION No. 1



KING COUNTY DEPT. OF TRANSPORTATION  
 PAUL TOLIVER, DIRECTOR  
 132ND AVENUE/PLACE NE  
 (NE 124TH STREET TO NE 132ND STREET)  
 RETAINING WALL DETAILS

CALL 2 DAYS BEFORE YOU DIG  
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 (UNDERGROUND UTILITY LOCATIONS ARE APPROX.)  
 RETAINING WALL DETAILS

SHEET 33 OF 60 SHEETS

309-91(32)