

# Design Guidelines

For Yarrow Bay Business Districts



Adopted by the City Council pursuant to  
Kirkland Municipal Code Section 3.30.040.

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# Design Guidelines for Yarrow Bay Business District

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## Introduction

This document sets forth a series of Design Guidelines, adopted by Section 3.30 of the Kirkland Municipal Code that will be used by the City in the design review process for development in the Yarrow Bay Business District located in the Lakeview Neighborhood. The Yarrow Bay Business District includes the YBD 1, YBD 2, YBD 3 and PR 8.5 zones. Other documents that should be referred to during design review are the YBD (Chapter 56) and PR (Chapter 25) Use Zone Charts found in the Kirkland Zoning Code.

## Purpose of the Design Guidelines

The Design Review Board will use these guidelines to evaluate development proposals during the design review process. The Design Guidelines are intended to establish a greater sense of quality, unity, and conformance with Kirkland's physical assets and civic identity. These guidelines are not intended to slow or restrict development, but rather to add consistency and predictability to the permit review process.

## Urban Design Goals and Objectives

The key design objectives promoted in the Lakeview Neighborhood Plan for the Yarrow Bay Business District include:

- *Promote quality architectural and site design.*
- *Encourage architectural vertical and horizontal modulation along all street frontages and perimeter of district.*
- *Preserve public scenic views and natural features that contribute to Lakeview's visual identity.*
- *Provide interconnected street and pedestrian improvements throughout the district that tie the district together, contribute to a sense of identity and enhance visual quality. Included in this concept are pedestrian linkages on site, to adjacent properties, and to transit facilities. Provide directional signs that indicate path locations.*

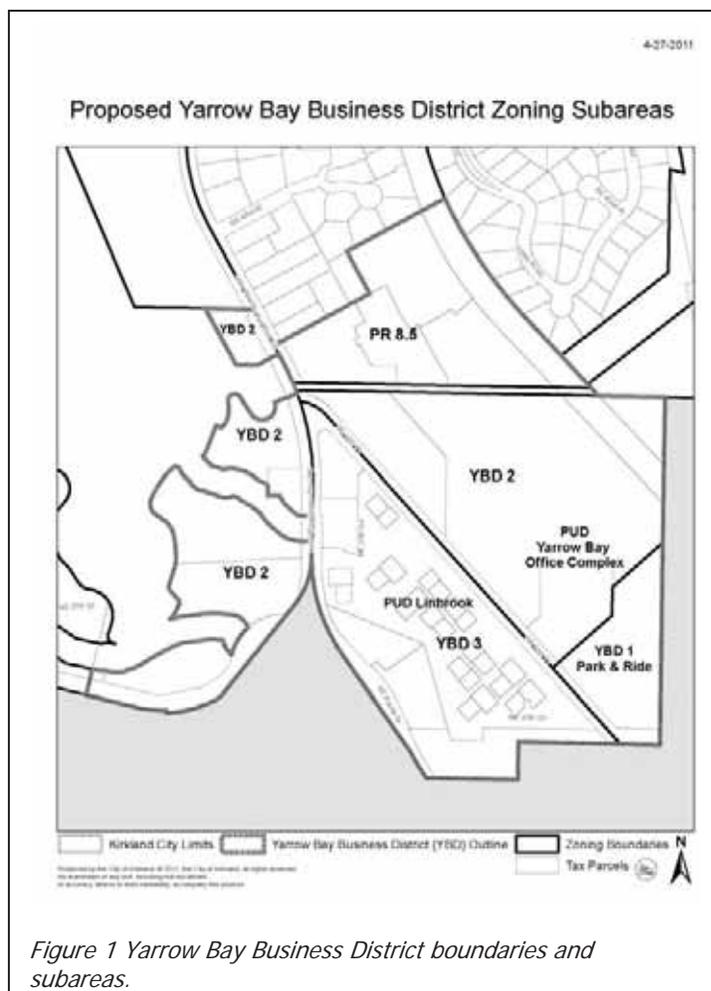


Figure 1 Yarrow Bay Business District boundaries and subareas.

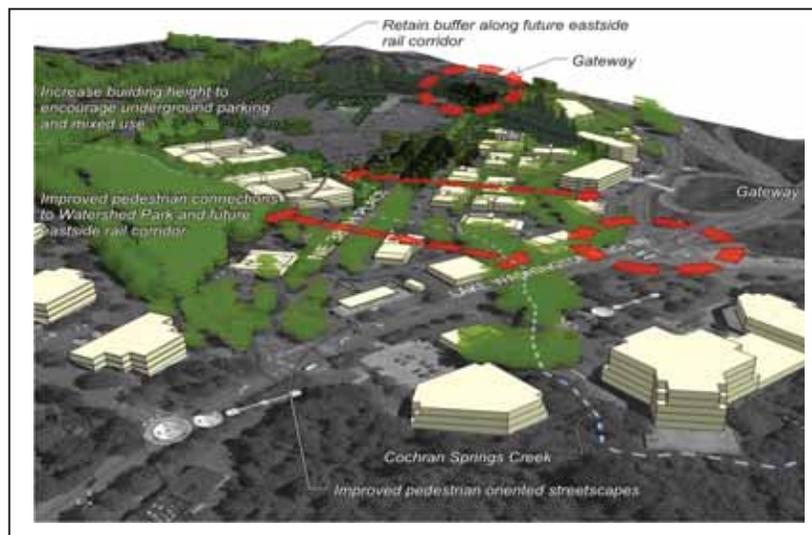
- *Enhance streetscapes distinctive to the neighborhood along Lake Washington Blvd., Northup Way and NE 38<sup>th</sup> PI with wide sidewalks, street trees, decorative pedestrian lighting, benches, or other street furniture.*
- *Incorporate gateway features to the neighborhood to strengthen neighborhood identity at the locations identified in the Lakeview Neighborhood Plan.*
- *Especially along retail uses and streets, promote using pedestrian oriented design techniques such as, generous ground floor window treatments, awnings, superior building materials, open space plazas, and pedestrian amenities.*
- *Locate development away from streams and wetlands. Enhance stream corridors for both habitat and as a natural amenity.*

### **Vision for the Yarrow Bay Business District**

The Lakeview Neighborhood Plan vision for the Yarrow Bay Business District is to transform the large suburban style office park development into a more integrated, mixed use residential and commercial district. Several strategies will help achieve this vision such as allowing a broader range of uses, and improving pedestrian connections between properties, businesses, the Transit Oriented Development at the South Kirkland Park and Ride facility and the Eastside Rail Corridor. Incorporating public plazas, green spaces and pedestrian amenities into new development will help create an inviting environment for employees, residents and visitors. New design standards and design review for development will ensure quality architecture, site design and identity for the district.

The Lakeview Neighborhood Plan envisions improvements to NE 38<sup>th</sup> PI, Lake Washington Blvd. NE and Northup Way to upgrade the streets with wider sidewalks, street trees and decorative pedestrian lighting, directional signs, benches and varying pavement textures. On-street parking is encouraged along NE 38<sup>th</sup> PI to support pedestrian-oriented uses or retail frontage.

*Figure 2 illustrates the future urban design concept for the Yarrow Bay Business District*



## **Vision for YBD 1**

The YBD 1 zone contains the South Kirkland Park and Ride property, planned for transit-oriented development (TOD). In light of the district's role in fostering a vibrant and desirable community that includes mixed use and promotes the use of transit, design guidelines are established to create a supportive built environment.

The guidelines implement the vision for the area described in the Lakeview Neighborhood Plan. They emphasize coordinated development of the site through high quality building design and pedestrian amenities and connections within and beyond the site. The importance of building orientation and connections to NE 38<sup>th</sup> Place, and the creation of a welcoming and attractive gateway at the entrance to the district at NE 38<sup>th</sup> Place and 108<sup>th</sup> Avenue NE are also highlighted in the guidelines.

## **Vision for YBD 2 and 3**

Larger sites within the Yarrow Bay Business District provide opportunities for coordinated development. Mixed-use developments combining retail, office and residential uses with an attractive face along the major traffic corridors or provide interior vehicular and pedestrian pathways and open space as focal points for pedestrians. Focal points may include plazas surrounded by shops, offices, services or wide sidewalk areas along an interior access street.

Buildings should front along NE 38<sup>th</sup> Pl. and orient toward Lake Washington Blvd. Storefronts may be clustered around major entry points to the development to provide a welcoming entry. Use of a variety of materials and colors and modulated walls and rooflines is encouraged to reduce architectural scale.

Residential buildings should feature prominent building entries and individual balconies. Orienting residential buildings around a courtyards, plazas, or natural features also is encouraged.

The following design guidelines for the Yarrow Bay Business District (YBD) are intended to help guide the future development toward the vision described in the Lakeview Neighborhood Plan and in this document.

## **Design Guidelines for YBD 1**

### **1. High Quality Building and Design**

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- a. Building materials should exhibit permanence.

- b. Building materials and color should be selected to integrate with each other and complement architectural design.
- c. Ornament and applied art should be integrated with the structures and the site environment and not haphazardly applied.
- d. Emphasis should be placed on highlighting building features such as doors, windows, and eaves, and on the use of materials such as wood siding and ornamental masonry. Ornament may take the form of traditional or contemporary elements
- e. Original artwork or hand-crafted details should be considered in special areas.

## **2. Building Scale and Massing**

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- a. Large window areas should be avoided. Instead smaller window units should be used to achieve human scale.
- b. Facing the street, buildings above the 2<sup>nd</sup> story should use upper story step backs to create receding building forms as building height increases to maintain human scale. A rigid stair step or “wedding cake” approach to upper story step backs is not appropriate. Prescribed upper story step backs in the gateway area at the intersection of NE 38<sup>th</sup> Place and 108<sup>th</sup> Avenue NE are appropriate to prevent the building from overpowering the gateway design.
- c. Decks and/or balconies should be designed so that they do not significantly increase the apparent mass of the building.
- d. The location of the subject property makes any new multi-story building highly visible from the surrounding streets and properties. Building design should be based on viewpoints or vantages to be identified through the Design Review process. The final arrangement of building mass should therefore address the key vantage points and respond to the context of existing and/or planned improvements, gateway features, and location of plazas and open space.
- e. All building facades should be designed carefully, i.e. there should be no “backside” of a building.
- f. Building facades should be well modulated to avoid blank walls and provide architectural interest.
- g. Landscaping should be used to provide visual interest and help soften building form at appropriate locations, including upper level terraces.

- h. To help moderate the vertical scale of buildings, buildings should incorporate design techniques which clearly define the building's top, middle, and bottom.

Examples include using a sloped roof and strong eave lines to help define the top; using windows, balconies, and material changes to define a building's middle; and pedestrian-oriented storefronts, awnings, and use of 'earth' materials such as concrete and stone to help define the building's bottom.

- i. Roof forms should be varied and attractive. Where appropriate, roof forms should also help reinforce the modulation or articulation interval of the building façade.
- j. Roof forms should be designed to screen rooftop mechanical units.
- k. A predominantly flat roof design is discouraged. For portions of the building where a flat roof design is used, architectural details such as eaves, cornices, or other articulation elements should be used to provide interest at the ground level.
- l. Vertical building modulation should be used to add variety by avoiding monotonous design. A technique that may be used is to make large buildings appear to be an aggregation of smaller buildings. Different colors and/or materials may be used to help differentiate between façade planes.
- m. Horizontal building modulation should be used to reduce the perceived mass of a building and to provide continuity at the ground level of large building complexes. Building design should incorporate strong pedestrian-oriented elements at the ground level and distinctive roof treatments. Different colors and/or materials may be used to help differentiate between façade planes.

### **3. Pedestrian Features and Amenities**

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- a. Pedestrian walkways should be placed throughout the site to allow for efficient access between the residential, commercial, transit center uses, and adjacent streets. The walkways should be situated to minimize walking distance from the public sidewalk and transit facilities to building entrances.
- b. Pedestrian and bicycle pathways and/or connections should be well-defined and safe.
- c. Pedestrian connections should be provided to adjacent properties to allow for efficient access to the transit facilities and commercial uses.
- d. Landscaping should be used to help define and provide visual interest along pedestrian walkways.

- e. Convenient and safe pedestrian areas should be designed in centralized locations to accommodate transit users.
- f. Lighting should be provided to walkways and sidewalks through building mounted light and canopy or awning mounted lights.
- g. Low level lighting in the form of bollards or similar style of lighting should be encouraged along pedestrian pathways not adjacent to buildings.
- h. Through-block pathways should be designed so that it is clear that access by the general public is allowed. The following guidelines also apply:
  - i. Because the subject property is steep along NE 38<sup>th</sup> Place, stairways may be used in the design of the through-block pathway where connecting to the street. If located along NE 38<sup>th</sup> Place, the stairway should function as a focal entry/exit point and contain design elements that make it a welcoming, safe, and attractive entry.
  - ii. If located within a parking lot, the following guidelines should be incorporated into the design of the through-block pathway:
    - a) Increased landscaped island size adjoining the pathway. This helps to narrow the driveway width where appropriate to help slow parking lot traffic.
    - b) Raised landscape beds.
    - c) Raised pathway with pavement material, texture, and color different from traffic lanes.
    - d) Selection of tree species that provide the broadest canopy possible to produce a dense landscaped environment.
  - iii. If the through-block pathway is located between buildings, appropriate plants and trees should be selected based on solar access and the location of proposed improvements.

#### **4. Streetscape**

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- a. Street trees species should be selected and spaced to allow for visual continuity along NE 38<sup>th</sup> Place, buffer pedestrians from the street, and provide visibility of ground floor retail uses.
- b. Buildings should be oriented towards the street when located along NE 38<sup>th</sup> Place.

- c. Design elements such as multiple storefronts, pedestrian-oriented signs, exterior light fixtures, glazing, landscaping, and awnings should be utilized to add human scale and interest at the street level.
- d. Ground floor spaces along NE 38<sup>th</sup> Place should be transparent with windows of clear vision glass beginning no higher than 2' above grade to at least 10' above grade. Windows should extend across, at a minimum, 75% of the façade length. Continuous window walls should be avoided by providing architectural building treatments, mullions, building modulation, entry doors, and/or columns at appropriate intervals.
- e. Varied window treatments should be encouraged. Architectural detailing at window jambs, sills, and heads should be emphasized. Use of ribbon windows should be avoided.
- f. A street wall is a wall or portion of a wall of a building facing a street. Continuous street walls should incorporate vertical and horizontal modulations into the building form.
- g. Along pedestrian oriented streets, upper story building facades should be stepped back to provide enough space for decks, balconies, and other activities overlooking the street.
- h. Awnings or canopies should be required on facades adjoining sidewalks. Blank walls should be avoided near sidewalks, open spaces, and pedestrian areas.
- i. Blank walls should not be visible from the street or sidewalk. Where blank walls are unavoidable, they should be treated with landscaping, art, or other architectural treatments.

## 5. **Gateways**

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- a. A gateway is an urban design feature that signifies a sense of place and arrival into a city or neighborhood. A gateway should be designed in the location shown in the Comprehensive Plan. The design elements of the gateway should include a combination of landscaping, architectural features, and artwork which:
  - i. Contain a highly visible and welcoming public space between the sidewalk and the building which is easily accessible, comfortable, safe, and includes pedestrian amenities;

- ii. Establish a landmark that reflects the TOD elements of the site;
- iii. Reinforce NE 38th Place and 108th Avenue NE as a focal point;
- iv. Transition between Kirkland and Bellevue and the Yarrow Bay Business District to the west; and
- v. Are integrated with the TOD building design

## **6. Parking Facilities**

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- a. Parking areas should not be located between NE 38<sup>th</sup> Place and buildings.
- b. Access driveways to parking areas should be minimized.
- c. Parking lots should be designed to provide for clear vehicular and pedestrian circulation and be well organized.
- d. Screening and landscaping should be used to reduce the visual impact of parking lots and/or parking structures to the surrounding neighborhood.
- e. Parking structures shall be designed and located to obscure the view of parked cars from adjacent properties. Parking structures should be located to the back of buildings or underground with intervening uses.
- f. Portions of parking structures visible from the street that cannot be placed behind an intervening use due to site topography, should be constructed with high quality materials and be architecturally compatible with the character of surrounding buildings.
- g. Architectural treatment, artwork, building setbacks, and/or dense landscaping should be used to further reduce the visual impact of parking structures along the street.
- h. If adjacent to the required gateway, the exterior of a parking structure should reflect the design elements of the gateway. Design should avoid the appearance of a parking structure.

## **7. Public Amenities and Open Space**

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- a. Public open space should be provided on the subject property which can be used by the general public, residents, and transit users.

- b. Public open space should be open to the sky except where overhead weather protection is provided (e.g. canopies and awnings). The space should appear and function as public space rather than private space.
- c. Public open space should be located in close proximity to commercial and retail uses that are required along NE 38<sup>th</sup> Place. The public open space should be well defined and contain amenities such as outdoor dining, seating areas, art, water features, and/or landscaping. Adequate room for pedestrian movement through the space should be maintained. Additional public open space in a location convenient to the site's transit users may also be appropriate.
- d. Careful attention should be paid to the transition between transit operations and the building to create a well defined pedestrian space such as a small plaza with landscaping features.
- e. A combination of lighting, access to sunlight, paving, landscaping, and seating should be used to enhance the pedestrian experience with the public open space.

## Design Guidelines for YBD 2 and 3

### 1. Building Location and Orientation

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#### Objectives

- To enhance the character and identity of the Yarrow Bay Business District.
- To upgrade the appearance of streets in the Yarrow Bay Business District.
- To enhance pedestrian circulation.
- To create focal points, particularly on large sites.

#### Guidelines

- a. Locate and orient buildings toward sidewalks along streets.
- b. Within interior portions of sites orient buildings to plazas, common open spaces or major internal pedestrian pathways.
- c. Where buildings are located at the sidewalk with direct pedestrian access, provide pedestrian oriented building façade treatments described in the Pedestrian Friendly Facades Section 9.



*Figure 3. Encourage buildings to orient to the street and locate parking lots to the side, rear, or provide structured parking to as accomplished here.*

- d. Provide landscaping, plazas or building façade treatments to enhance the pedestrian experience. In general, buildings that have less pedestrian orientation will merit more landscaping and façade treatments to prevent blank walls.
- e. Locating parking to the side and/or rear of buildings is preferred.
- f. Configure development to provide focal points and opportunities for coordinated pedestrian and vehicular access. Where there are no current opportunities for coordinated access provide the opportunity for future coordination should adjacent site redevelop in the future.

## 2. Parking Lots and Vehicular Circulation

### Objectives

- To minimize the impact of parking facilities on the fronting street, pedestrian environment, and neighboring properties.
- To enhance pedestrian and vehicular safety.
- To maintain traffic flow on streets.
- To promote shared parking.
- To provide attractive and connected vehicular circulation routes.

### Discussion

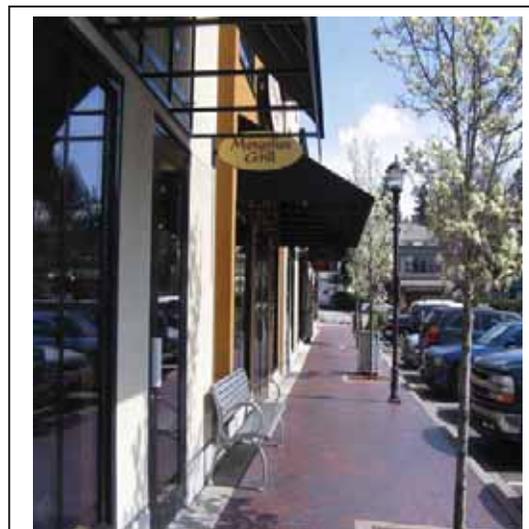
Parking lots can detract from the pedestrian and visual character of a commercial area. The adverse impacts of parking lots can be mitigated through sensitive design, location, and configuration. Large parking lots can be confusing unless vehicle and pedestrian circulation patterns are well organized and marked.

### Guidelines

#### Driveways

- a. Minimize the number of driveways into a development along Lake Washington Blvd, NE 38<sup>th</sup> Pl. and Northup Way. To the extent possible, adjacent developments should share driveways.

#### Parking Lot Location and Design



*Figure 4 A good example of incorporating trees between parking lot and along pedestrian paths in front of uses.*



*Figure 5 An example of interior parking lot landscaping.*

- a. Surface parking lots are discouraged. Where they are provided, locate parking to the side or rear of buildings so it is not between a building and the sidewalk.
- b. Avoid parking layouts that visually dominate a development. Design parking lots to be attractive to pedestrian's walking by and to break up large parking lots into smaller ones.
- c. Provide a clear and well organized parking lot design. Space should be provided for pedestrians to walk safely in all parking lots.

#### Parking Lot Landscaping and Screening

- a. Integrate landscaping into parking lots to reduce their visual impact. Provide planting beds with a variety of trees, shrubs, and ground cover to provide visual relief, summer shade, and seasonal interest.
- b. Provide low level perimeter landscaping where parking is adjacent to sidewalks in order to maintain a visual screen and reduce clutter. Use screening methods that maintain visibility at eye level between the street and parking area.
- c. Provide extensive screening and landscaping between parking lots, residential uses, and open spaces. A combination of a screen wall with a landscape buffer is preferred.

### 3. Parking Structures

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#### Objective

- To mitigate the visual impacts of parking structures in the urban environment.

#### Guidelines

- a. Structured parking garages are preferred over surface parking lots provided they can be designed to mitigate the intrusive qualities of parking garages along streets, pedestrian pathways and in pedestrian areas using the following design techniques:
  - Locate parking structures, service areas, and storage away from the street edge and so they are not visible from the street or sidewalks.
  - Incorporate ground-level commercial space, oriented to the adjacent street, into parking structures.
  - Use landscaping to screen the parking garage façade.
  - Design and locate parking garage entries to complement, not subordinate the pedestrian entry. Where possible, locate the parking entry away from the primary street, to either the side or rear of the building.



*Figure 6. This parking garage includes street front retail space and landscaped trellises to mitigate visual impacts*

- Use architectural forms, materials, and/or details to integrate parking structure with the design of other buildings on the property.
- Locate and design parking structures to obscure the view of parked cars from adjacent properties.

## 4. Architectural Scale

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### Objectives

- To encourage an architectural scale of development desired for each zone within the Yarrow Bay Business District.
- To add visual interest to buildings.

### Discussion

“Architectural scale” means the size of a building relative to the buildings or elements around it. When the buildings in a neighborhood are about the same size and proportion, we say they are “in scale.” The vision and development regulations for the Yarrow Bay Business District provide for larger buildings than currently exist. Care must be taken to design buildings so they appropriately respond to the evolution of the District from the current low rise condition to its vibrant mixed use future. For example, a new project need not step down to a one story edge condition to acknowledge an existing one story building on an adjoining site, but it can incorporate horizontal and vertical modulation that allow it to “fit” with the existing context and provide cues for future development of the adjoining site.

### Guidelines

A combination of techniques to reduce the architectural scale of buildings is important. In general the following techniques should be included at intervals of 70 feet for office uses and 30 feet for residential uses. Alternatives will be considered if they meet the objectives.

- a. Incorporate fenestration techniques proportionate in size and pattern for the scale of the building. This is particularly important on upper floors, where windows should be divided into individual units with each window unit separated by a visible mullion or other element. “Ribbon windows” (continuous horizontal bands of glass) or “window walls” (glass over the entire surface) do little to indicate the scale of the building and are thus discouraged, except in special circumstances where they serve as an accent element.
- b. Encourage vertical modulation on multi-story buildings to add variety. Vertical modulation may be particularly effective for tall buildings adjacent to a street, plaza, or



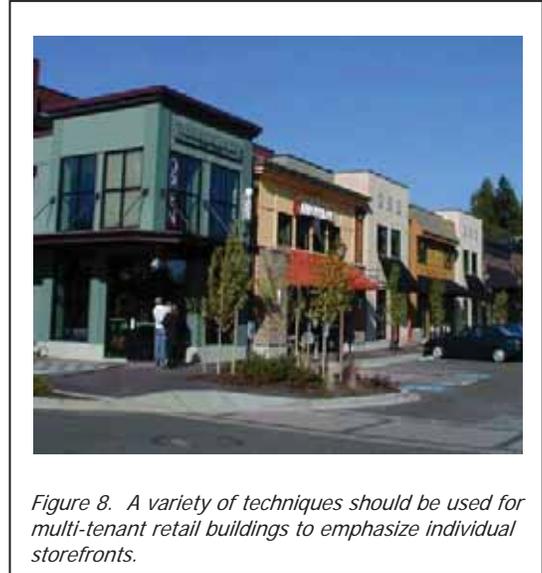
*Figure 7. Fenestration and vertical modulation techniques help to reduce the architectural scale of this office building*

residential area to provide compatible architectural scale and to minimize shade and shadow impacts.

- c. Incorporate horizontal building modulation techniques to reduce the architectural scale of the building and add visual interest. Horizontal building modulation is the horizontal articulation or division of an imposing building façade through upper story setbacks, awnings, balconies, roof decks, eaves, and banding of contrasting materials. Elevations that are modulated with horizontal elements appear less massive than those with sheer, flat surfaces.

Recommended horizontal building modulation techniques include:

- Roofline modulation and a change in building materials.
  - Step back building facades, generally above the second floor.
  - For residential uses, provide horizontal building modulation based on individual unit size, use roofline modulation, and changes in color and/or building materials. The depth and width of the modulation should be sufficient to meet the objectives of the guidelines. Avoid repetitive modulation techniques, since they may not be effective when viewed from a distance. Larger residential buildings will require greater horizontal modulation techniques to provide appropriate architectural scale.
- d. Break up long continuous walls with a combination of horizontal building modulation, change in fenestration, and/or change in building materials. This is especially important for office buildings.
- e. Encourage a variety of roofline modulation techniques such as hipped or gabled rooflines and modulated flat rooflines. As a general rule, the larger the building or unbroken roofline, the bigger the modulation should be. In determining the appropriate roof type and amount of modulation, consider the distance from which the building can be viewed. For example, a large commercial building adjacent to a parking lot is capable of being viewed from a relatively large distance and will consequently necessitate greater roofline modulation.



## 5. Human Scale

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### Objectives

- To encourage the use of building components that relate to pedestrian activity.
- To add visual interest to buildings.

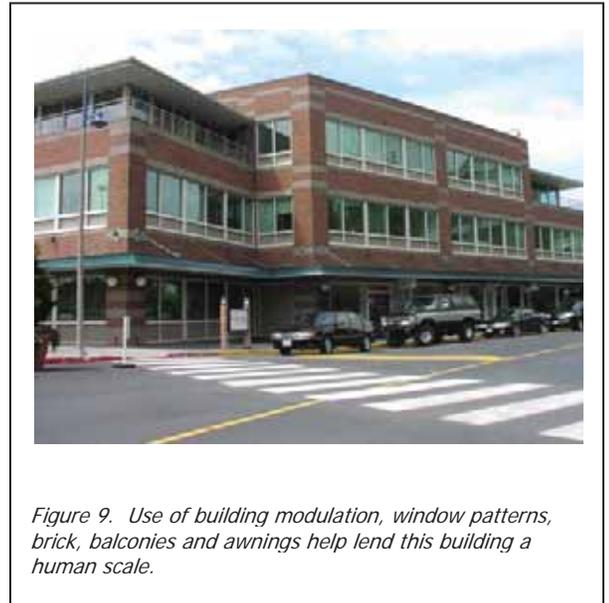
### Discussion

The term “human scale” is generally used to indicate a building’s size in proportion to pedestrians. The actual size of a building is often not as important as its perceived size. A variety of design techniques may be used to make a building less imposing and to make people feel comfortable using and approaching it.

How the pedestrian interacts with the building at street level, along store fronts and portions of the building that are within view and reach of the pedestrian are most important factors. Upper story setbacks can also prevent taller structures from overwhelming the pedestrian scale at the street level. The use of materials, detailing, and transparency of windows along a building façade are important techniques. A bay window suggests housing, while an arcade suggests a public walkway with retail frontage. Each element must be designed for an appropriate urban setting and for public or private use. A building should incorporate special features that enhance its character and surroundings. Such features give a building a better defined “human scale.”

### Guidelines

- a. Encourage a combination of architectural elements that give buildings a human scale. Examples include arcades, balconies, bay windows, roof decks, trellises, landscaping, awnings, cornices, friezes, art concepts, street front courtyards and plazas outside of retail spaces. Window fenestration techniques described in Section 4 can also be effective. Consider the distances from which buildings can be viewed (from the sidewalk, street, parking lot, open space, etc.).



## 6. Pedestrian Connections

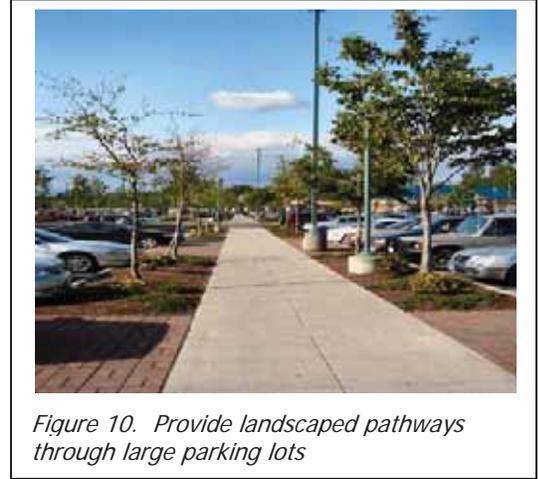
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### Objectives

- To provide convenient pedestrian access.
- To reduce vehicle trips.
- To encourage pedestrian activity.

### Guidelines

- Provide convenient pedestrian access between the street, bus stops, buildings, parking areas, and open spaces.
- Provide direct pedestrian access from buildings to abutting public sidewalks and major internal pathways.
- Provide paved walkways through large parking lots. Separate walkways from vehicular parking and travel lanes by use of contrasting paving material which may be raised above the vehicular pavement and by landscaping.
- Provide safe and convenient pedestrian connections east to west through the business district consistent with Plate 34 of the Zoning Code.
- Consider installing a public trail along the stream corridor as a pedestrian connection and natural amenity.



*Figure 10. Provide landscaped pathways through large parking lots*

## 7. Natural Features

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### Objectives

- Establish a “greenway” corridor extending in an east/west direction across the business district from the Yarrow Bay wetlands and along stream corridors to the Houghton slope.

### Guidelines

- Configure buildings and site features to preserve and enhance stream corridors. Consider these natural features as open space amenities.
- Use wooded slopes as a natural site amenity and buffer by using and retaining native vegetation.
- Encourage buildings and rooflines to step down or be tucked against hillsides to roughly follow the slope of the existing terrain.



*Figure 11. Seek opportunities to expand the existing public pedestrian pathway.*

## 8. Blank Walls

### Objectives

- To minimize visible blank walls.
- To enhance public safety along sidewalks and pathways.
- To encourage design elements that enhance the character of buildings at all perceived distances.

### Discussion

Blank walls deaden the pedestrian environment and break the continuity of ground floor activity along a street or pathway. Blank walls can also create a safety problem, particularly where adjacent to pedestrian areas, as they don't allow for natural surveillance of those areas.

### Guidelines

- a. Avoid blank walls near sidewalks, major internal walkways, parks, and pedestrian areas. Use the following treatments to mitigate the negative effects of blank walls (in order of preference):
  - Configure buildings and uses to avoid blank walls exposed to public view.
  - Provide a planting bed with plant material to screen most of the wall.
  - Install trellises with climbing vines or plant materials to cover the surface of the wall. For long walls, use trellises to avoid monotony.
  - Provide artwork on the wall surface.
  - Provide architectural techniques that add visual interest at a pedestrian scale, such as a combination of horizontal building modulation, change in building materials and/or color, and use of decorative building materials.
  - Provide decorative lighting fixtures.



*Figure 12. An example of treatment for blank wall or parking structure.*



*Figure 13. This building was a combination of alternating building materials, details, and landscaping elements to add visual interest at a close range.*

## 9. Pedestrian-Friendly Building Fronts

### Objectives

- To enhance the pedestrian environment.
- To create safe and active sidewalks and pathways.

### Guidelines

- a. Incorporate transparent windows, pedestrian entrances, and weather protection along facades adjacent to a sidewalk or internal pathway. Weather protection features could include awnings, canopies, marquees, or other similar treatments.
- b. Where buildings are not located at the sidewalk, incorporate landscaping, a pedestrian plaza or open space between the building and the sidewalk or provide building façade treatment.



Figure 14. An example of pedestrian friendly building façade.

## 10. Pedestrian Plazas

### Objectives

- To provide a variety of pedestrian-oriented areas to attract shoppers and employees to commercial areas and enrich the pedestrian environment.
- To create gathering spaces for the community.
- To configure buildings to encourage pedestrian activity and pedestrian focal points.

### Discussion

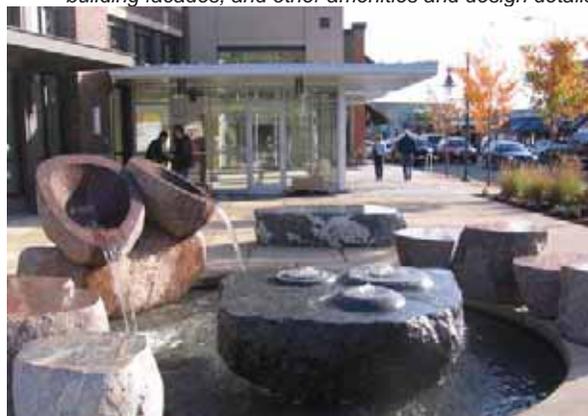
Pedestrian plazas serve as open space and places for people to gather.

### Guidelines

- a. Provide pedestrian plazas in conjunction with building and site spaces that are accessible to the general public, residents and transit users.
- b. Position plazas in locations adjacent to and visible from major streets, such as along NE



Figure 15. Good examples of pedestrian plazas. Notice the decorative pavements, landscaping components, adjacent building facades, and other amenities and design details



38<sup>th</sup> Pl, major internal circulation routes, or where there are strong pedestrian flows on neighboring sidewalks. For large sites, development should be configured to create one or more focal plazas. To enhance visibility and accessibility, plazas usually should be no more than 3' above or below the adjacent sidewalk or internal pathway.

- c. Locate building entrances that open on to plazas.
- d. Provide landscaping elements that add color and seasonal interest. This can include trees, planting beds, potted plants, trellises, and hanging plants.
- e. Incorporate pedestrian amenities, as described in Section 12.
- f. Locate plazas in sunny locations.
- g. Provide transitional zones along building edges to allow for outdoor seating areas and a planted buffer.

## 11. Residential Open Space

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### Objectives

- To create useable space that is suitable for leisure activities for residents.
- To create open space that contributes to the residential setting.

### Guidelines

- a. Incorporate common open space for use by residents. Guidelines for common open space include:
  - Design space as a focal point of the development.
  - Space may be provided in one large area or in multiple smaller spaces, provided that each space is large enough to provide functional leisure activity. For example, long narrow spaces rarely function as usable common space.
  - Provide space for a range of activities and age groups. Children's play areas should be visible from dwelling units and positioned near pedestrian activity.
  - Separate common space from ground floor windows, streets, service areas, and parking lots with landscaping and/or low-level fencing. However, care should be used to maintain visibility from dwelling units towards open space for safety.
- c. Provide private open space for individual residential units. For townhouses and other ground-based

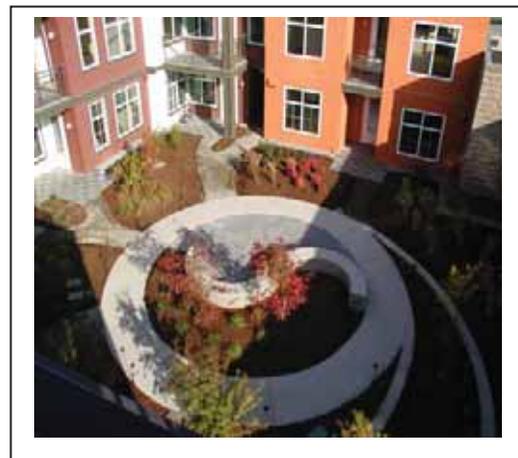


Figure 16. Good examples of common open space, including internal courtyard (above), a children's play area (below).

housing units, provide patios, decks, and/or landscaped front or rear yards adjacent to the units. For all other units, provide balconies large enough for usable space for sitting, outdoor cooking and eating etc.

## 12. Pedestrian Amenities

### Objectives

- To provide amenities that enrich the pedestrian environment.
- To increase pedestrian activity.

### Discussion

Site features and pedestrian amenities, such as lighting, benches, paving, waste receptacles, and other site elements, are an important aspect of a business district's character. These elements reduce apparent walking lengths and unify the district's visual character.

### Guidelines

Provide pedestrian amenities along all sidewalks, interior pathways and within plazas and other open spaces. Examples include:

- Pedestrian-scaled lighting less than 15' above the ground.
- Seating space such as benches, steps, railings and planting ledges. Ideal heights are between 12" to 18". An appropriate seat depth ranges from 6" to 24".
- Pedestrian furniture such as trash receptacles, consolidated newspaper racks, and drinking fountains.
- Planting beds and/or potted plants.
- Unit paving such as stones, bricks, or tiles.
- Decorative pavement patterns and tree grates.
- Water features.
- Informational kiosks.
- Transit shelters.
- Decorative clocks.
- Artwork.



Figure 17. Consolidated newspaper racks



Figure 18. Bicycle racks



Figure 19. Potted plants

- Bicycle racks.



Figure 21. Decorative pavement patterns (top), benches and pedestrian-scale lighting (middle), and informational kiosk



Figure 20. This example combines a sculptural water feature with landscaping

## 13. Pedestrian Coverings

### Objectives

- To provide shelter for pedestrians.
- To provide spatial enclosure and add design interest to a retail or office streetscapes.

### Discussion

The design and width of pedestrian coverings should be determined by their function, the building's use and the type of street.

As a general rule, the more traffic an entry is expected to accommodate, the larger the covered area at the entry should be.

The width of the sidewalk should also be considered when sizing the pedestrian covering (wider sidewalks can accommodate wider pedestrian coverings). Canopies and awnings should be appropriately dimensioned to allow for tree growth, where applicable. The architecture of the building and the spacing of individual storefronts should help determine the appropriate placement and style of the canopy or awning. Continuous, uniform awnings or canopies, particularly for multi-tenant retail buildings, can create a monotonous visual environment and are discouraged.

### Guidelines

- Provide weather protection along the primary exterior entrance of all businesses, residential units, and other buildings.
- Design weather protection features to provide adequate width and depth at building entries.
- Pedestrian covering treatments may include: covered porches, overhangs, awnings, canopies, marquees, recessed entries or other similar features. A variety of styles and colors should be considered and be compatible with the architectural style of the building and the ground floor use.
- Back lit, plastic awnings are not appropriate.

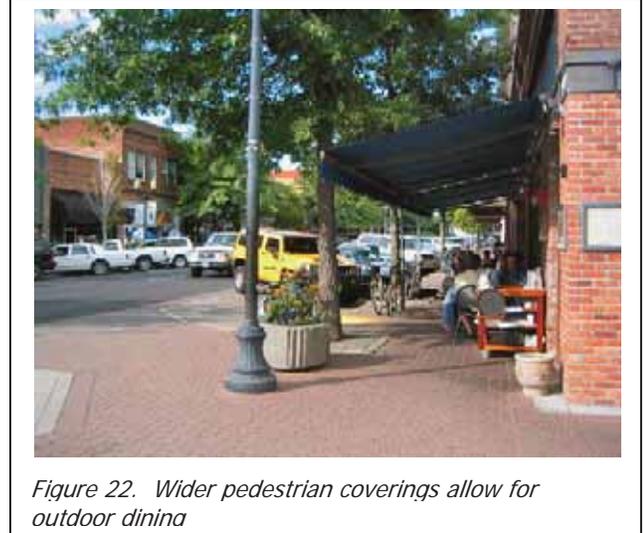


Figure 22. Wider pedestrian coverings allow for outdoor dinina

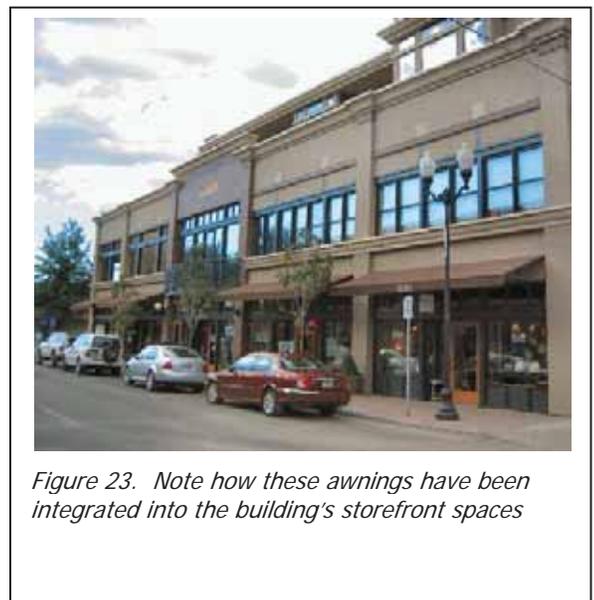


Figure 23. Note how these awnings have been integrated into the building's storefront spaces

## 14. Building Details and Materials

### Objectives

- To use building and site design details that add visual interest to buildings/sites at a pedestrian scale.
- To use a variety of quality building materials such as brick, stone, glass, timber, and metal appropriate to the Pacific Northwest climate.

### Guidelines

- a. Encourage the integration of ornament and applied art with structures and site environments. For example, significant architectural features should not be hidden, nor should the urban context be overshadowed.



Figure 24. Consider changes in building materials with modulation techniques

Emphasis should be placed on highlighting building features such as doors, windows, eaves, and ornamental masonry. Ornament may take the form of traditional or contemporary elements. Original artwork or hand-crafted details should be considered in special areas. Ornament may consist of raised surfaces, painted surfaces, ornamental or textured banding, changing of materials, or lighting.

- b. Use a variety of quality building materials such as brick, stone, timber, and metal to add visual interest to the buildings and reduce their perceived scale. Use masonry or other durable materials - especially near the ground level.
- c. Avoid use of concrete block and large expansive tilt up concrete facades.



Figure 25. A combination of materials is preferred

## 15. Entry Gateway Features

### Objectives

- To enhance the character and identity of the Lakeview Neighborhood.
- To provide a welcoming statement for visitors entering the City.

### Discussion

The Lakeview Neighborhood Plan calls for gateway features at two key entry points into neighborhood and the Yarrow Bay Business District:

- Intersection of SR 520 and Lake Washington Blvd. NE
- Intersection of 108<sup>th</sup> Avenue NE and NE 38<sup>th</sup> PL at the Transit Oriented Development.

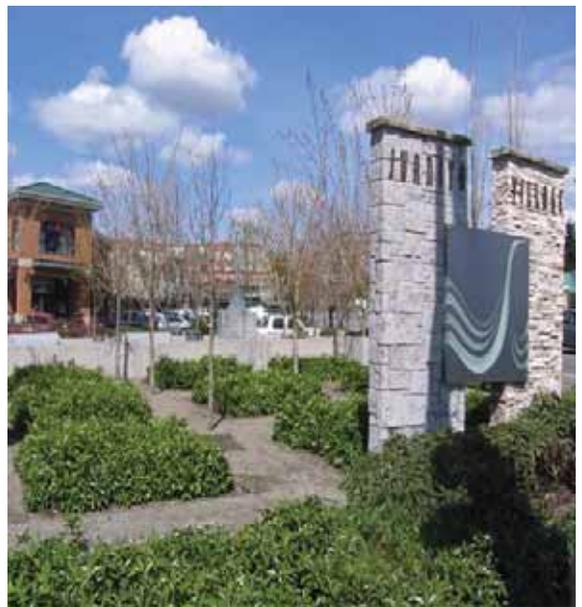
### Guideline

Incorporate entry gateway features in new development in the vicinity of gateways/nodal intersections identified in the Lakeview Neighborhood Plan. Locate and provide a new design for a gateway sign on Lake Washington Blvd. Gateway features may include some or all of the following:

- a. Distinctive landscaping.
- b. Artwork (e.g. vertical sculpture incorporating historical information about the Lakeview Neighborhood).
- c. Decorative lighting elements.
- d. Distinctive architectural features that are unique to the neighborhood or provide open space.
- e. Incorporation of the Cochrane Springs Creek crossing into a gateway feature as a soft, green entrance to the City.



*Figure 26 Existing gateway city entrance sign*



*Figure 27 an example of a gateway feature in a business district.*

## 16. Sidewalk and Pathway Widths

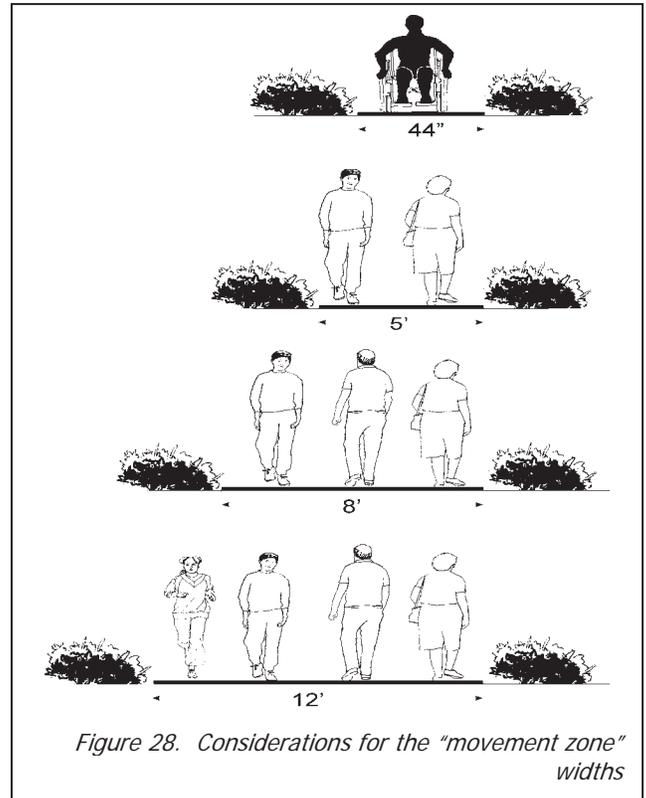
### Objectives

- To provide wide sidewalks and pathways that accommodates pedestrian movement and provides a pleasing pedestrian experience.

### Discussion

Sidewalks have three overlapping parts with different functions: the curb zone, the movement zone, and the storefront or activity zone. A well-sized and uncluttered movement zone allows pedestrians to move at a comfortable pace.

Sidewalks or pathways adjacent to moving vehicular traffic need generous buffers to make them safer and more inviting. Landscaping elements are particularly important physical and visual buffers between walkways and streets or other vehicle access areas. As a general rule, the higher the travel speed, the greater the buffer should be between moving cars and pedestrians.



### Guidelines

- Integrate a "curb zone" into the sidewalk or pathway width to separate the pedestrian from the street. This space should include street trees in a landscape strip or tree grates. Subtle changes in paving patterns between the curb zone and the movement zone can be effective and should be considered.
- Design sidewalks and pathways to support a variety and concentration of activities and provide a separation for the pedestrian from the busy street. Provide decorative pedestrian lighting and amenities described in the pedestrian amenities section below.
- For the movement or storefront activity zone design sidewalks to be wide enough to allow for pedestrians to pass those window shopping or seated at sidewalk cafes.



## 17. Street Trees

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### Objectives

- To utilize street trees to upgrade the character and identity of the Yarrow Bay Business District.
- To enhance the pedestrian environment in the Business District.
- To use trees that provide seasonal interest.
- To use trees that will not obscure views of businesses from the street.

### Discussion

The repetition of trees bordering streets, internal roadways, and pathways can unify the District. Trees can add color, texture, and form to the urban environment and provide a respite from the weather.

### Guidelines

- a. Incorporate street trees along all streets, internal access roads, and pathways.
- b. Encourage street trees to be used as a unifying features for the District.
- c. Select and maintain tree species that will accommodate pedestrian and vehicular traffic, and maintain visibility into and through sites for safety purposes.



*Figure 30. Provide street trees along all streets and internal access roads*

## 18. Landscaping

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### Objective

- To enhance the visual quality of the urban environment.
- To incorporate greenery into the urban environment.

### Discussion

Landscaping can soften the hard edges and improve the visual quality of the urban environment. Landscaping treatment in the urban environment should focus on the automobile, pedestrian, and building landscapes.



Along high speed and high volume traffic areas, raised planting strips can be used to protect pedestrians from traffic. The pedestrian landscape should offer variety at the ground level through the use of shrubs, ground cover, and trees. Pedestrian circulation, complete with entry and resting points, should be emphasized. Landscaping around buildings particularly along blank walls can reduce scale and add diversity through pattern, color, and form.

Examples of how landscaping is used to soften and enhance the visual quality of the urban environment include:

- Screening of parking lots;
- Tall cylindrical trees to mark an entry;
- Continuous street tree plantings to protect pedestrians;
- Clusters of dense trees along long building facades;
- Cluster plantings at focal points;
- Parking lots with trees and shrubs planted internally as well as on the perimeter.

### Guidelines

- a. Design landscaping for the purpose and context in which it will be located. The auto oriented landscaping requires strong plantings of a structural nature to act as buffers or screens for pedestrians. The pedestrian landscape should emphasize the subtle characteristics of the plant materials. The building landscape should use landscaping that complements the building's qualities and screens service areas or blank walls while not blocking views of the business or signage.
- b. Encourage a colorful mix of drought tolerant and low maintenance trees, shrubs and perennials. Except in special circumstances, ivy should be avoided.
- c. Consider the on-site topography to hide parking and enhance views.
- d. Use wooded slopes and streams as a natural site amenity and to screen unwanted views, where applicable.

## 19. Service Areas

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### Objectives

- To mitigate adverse impacts of service areas.
- To locate and design site service and storage areas to promote ease of use, safety, and visual cohesion.

### Guidelines

- a. Locate and design service and storage areas (such as refuse, recycling, loading or mechanical equipment areas) to minimize visibility from public pedestrian spaces and adjacent properties.
- b. Locate service elements where they are accessible to service vehicles and convenient for tenant use.
- c. Design service enclosures to be compatible with the design of adjacent buildings. This may be accomplished by the use of similar building materials, details, and architectural styles. Such enclosures should be made of masonry, ornamental metal, heavy wood timber, or other durable materials.
- d. Locate roof-mounted mechanical equipment so as not to be visible from the street, public open space, parking areas, or from the ground level of adjacent properties. Equipment screening should blend with the architectural character of the building.
- e. Consider the location and screening of mechanical equipment and service areas early in building and site design.

## 20. Lighting

### Objectives

- To enhance safety by providing light levels sufficient to adequately illuminate pedestrian areas and building facades.
- To create inviting pedestrian areas using a variety of illumination techniques.
- To provide adequate lighting without creating excessive glare or light levels.

### Discussion

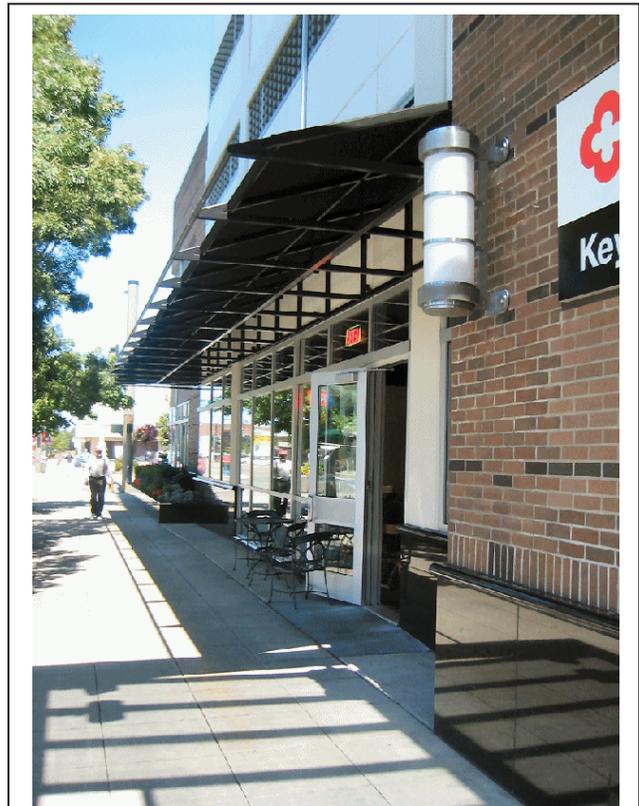
Overpowering and uniform illumination in commercial areas creates glare and destroys the quality of night light especially adjacent to residential areas. Well placed light fixtures provide sufficient lighting levels for security and safety as well as create a positive ambience. A blend of lighting directed downward on walking surfaces and up onto trees can be used to define these spaces. Care should be taken to avoid spilling excessive glare into adjacent properties and to avoid sky directed light pollution. For this reason utilizing fixtures that shield the light source as much as possible is prudent. In some instances highlighting light fixtures by allowing the light source to be seen is appropriate; however, care should be taken to diffuse the light source to not cause excessive glare. Overall, it is desirable to have different intensities and balances of light to create well defined and comfortable outdoor places.

### Guidelines

- a. Provide adequate lighting levels in all areas used by pedestrians and automobiles, including building entries, walkways, parking areas, circulation areas, and open spaces.

Recommended minimum light levels:

- Building entries: 4 foot candles. This can be a combination of up lighting and down lighting and building mounted lighting. Care should be taken to emphasize the importance of the building entrance.
- Primary pedestrian walkway: 2 foot candles lighting can be ambient light from canopies and building mounted lighting. Emphasis should take place on creating pools of lighting on the pedestrian surface. Lighting sources should not be seen except when lighting is designed as part of a theme for the overall building such as in some sort of lamp lighting.



*Figure 31. Building-mounted lighting is encouraged to enhance the pedestrian environment*

- Secondary pedestrian walkway: 1-2 foot candles. Focus should be on pooling lighting on the walking surface and hiding the light source. Different levels of lighting should occur at focus or gathering points to provide destinations along pedestrian walkways.
  - Parking lot: .60 -1 foot candle
  - Enclosed parking garages for common use: 3 foot candles
- b. Provide lighting for walkways and sidewalks through building mounted lights, canopy or awning mounted lights, and display windows. Building-mounted light fixtures are encouraged to give visual variety and provide interest. It is acceptable to use the building mounted light as a piece of visual artwork unto itself. Care should be taken to prevent as much direct glare as possible from the light source. Canopies or awning-mounted lights are not to illuminate a glowing canopy. Canopies and awning lights should be directed onto walking surfaces, on the building façades or directed up under the canopy. Window display ambient light can spill onto the walkways and sidewalk.
- c. Provide parking lot light fixtures that are non-glare. Lower level lighting fixtures in a design that is coordinated with the architecture of the building are preferred. Lights up to 20' in height may be used for safety and security when needed. However, the light source shall not be seen beyond an approximate 20-degree angle from the light fixture itself.
- d. Prohibit flood illumination of building facades. Some directed façade lighting maybe appropriate when coordinated with the design theme of the building.

## 21. Signs

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### Objectives

- To encourage the use of creative, well-crafted signs that will contribute to the character of the district while providing adequate identification for buildings and tenants.

### Discussion

Kirkland's Zoning Code regulates signs throughout the city in order to create a high-quality urban environment. The type and design of a sign will vary, depending on if it is geared toward the passing motorist, pedestrians or a commercial center. Signs should be an integral part of a building's façade or site design. The location, architectural style, and mounting of signs should conform to a building's architecture and not cover up or conflict with its prominent architectural features. A sign's design and mounting should be appropriate for the setting.

### Guidelines

- Provide pedestrian oriented signs on all commercial facades where adjacent to a sidewalk or walkway. This includes signs located within 15' of the ground plane, such as "blade" signs which hang below canopies. Small signs located on canopies or awnings are also effective along building facades at the street. Sculpted signs and signs that incorporate artwork add interest.
- Prohibit internally lit cabinet signs. Neon signs are appropriate when integrated with the building's architecture.
- For ground mounted signs provide substantial sign bases in proportion to the sign face and install low level landscaping around the sign base.
- Use mounting supports for signs that reflect the materials and design character of the building or site elements or both. Too much variety, too much uniformity though unified by common design elements, signs can still express the individual character of businesses.
- Provide master sign plans for larger commercial centers to combine signage for the whole complex that describes the general location for signs, complements the architectural design of the center and signs oriented to automobile traffic.



*Figure 32 good example of a sign geared to automobiles for a multi use development*

**22.28.040 Lots—Lot averaging.**

In multiple lot subdivisions not located in an RSA **or PLA 3C** zone and not subject to Section 22.28.030, the minimum lot area shall be deemed to have been met if the average lot area is not less than the minimum lot area required of the zoning district in which the property is located as identified on the zoning map. Under this provision, either:

(a) Not more than twenty percent of the number of lots in a subdivision and one of the lots in a short plat may contain an area less than the prescribed minimum for this zoning district. In no case shall any lots be created which contain an area more than ten percent less than the prescribed minimum for this zoning district; or

(b) Up to seventy-five percent of the number of lots in a subdivision or short plat may contain an area less than the prescribed minimum for this zoning district if the lots which would be created contain an area no more than five percent less than prescribed.

These smaller lots shall be located so as to have the least impact on surrounding properties and public rights-of-way.

Using process IIA, Chapter 150 of Title 23 of this code, and the applicable sections of Chapter 22.12 or 22.20 of this title, additional lot averaging may be achieved. Through process IIA, not more than thirty percent of the number of lots in a subdivision, and two of the lots in a short plat, may contain an area less than the prescribed minimum for this zoning district as long as the average lot area is not less than the minimum lot area required for the zoning district in which the property is located as identified on the zoning map. In no case shall any lots be created through this process which contain an area more than fifteen percent less than the prescribed minimum for this zoning district. The smaller lots shall be located so as to have the least impact on surrounding properties and public rights-of-way. In addition, the plat or short plat must meet the following criteria:

(1) The averaging is necessary because of special circumstances regarding the size, shape, topography, or location of the subject property, or the location of a preexisting improvement on that subject property; and

(2) The averaging will not be materially detrimental to the property or improvements in the area of the subject property or to the city in part or as a whole; and

(3) Existing significant trees and vegetation will be preserved where feasible to buffer the adjacent properties from the smaller lots in the subject subdivision.

Additional lot averaging may only be addressed and obtained through the provisions of Chapter 125, Planned Unit Development, of Title 23 of this code and the applicable sections of Chapter 22.12 or 22.20 of this title. (Ord. 4196 § 2 (Exh. B) (part), 2010; Ord. 4011 § 2, 2005; Ord. 3705 § 2 (part), 1999)

**22.28.042 Lots—Small lot single-family.**

In the Market, and Norkirk and Lakeview (except for lots located in the PLA 3C zone and RS 12.5 zone) neighborhoods, as defined in the comprehensive plan, for those subdivisions not subject to the lot size flexibility provisions of Sections 22.28.030 and 22.28.040 and historic preservation provisions of Section 22.28.048, the minimum lot area shall be deemed to be met if at least one-half of the lots created contain no less than the minimum lot size required in the zoning district in which the property is located. The remaining lots may contain less than the minimum required lot size; provided, that such lots meet the following standards:

- (a) Within the RS 6.3 and RS 7.2 zones, the lots shall be at least five thousand square feet.
- (b) Within the RS 8.5 zone, the lots shall be at least six thousand square feet.
- (c) The portion of any flag lot that is less than thirty feet wide, and used for driveway access to the buildable portion of the lot may not be counted in the lot area.
- (d) The floor area ratio (FAR) shall not exceed thirty percent of lot size; provided, that FAR may be increased up to thirty-five percent of the lot size if the following criteria are met:
  - (1) The primary roof form of all structures on the site is peaked, with a minimum pitch of four feet vertical to twelve feet horizontal; and
  - (2) All structures are set back from side property lines by at least seven and one-half feet.
- (e) The FAR restriction shall be recorded on the face of the plat.
- (f) Accessory dwelling units are prohibited. This restriction shall be recorded on the face of the plat. (Ord. 4102 § 1(A), 2007)

PUBLICATION SUMMARY  
OF ORDINANCE NO. O-4332

AN ORDINANCE OF THE CITY OF KIRKLAND RELATING TO PLANNING AND LAND USE AND AMENDING PORTIONS OF KIRKLAND MUNICIPAL CODE CHAPTER 22.28 RELATING TO SUBDIVISIONS AND CHAPTER 3.30 RELATING TO YARROW BAY BUSINESS DISTRICT DESIGN GUIDELINES AND APPROVING A SUMMARY FOR PUBLICATION, FILE NO. ZON07-00032.

Section 1. Amends the following specific portions of the Municipal Code:

Section 3.30.040 Design Guidelines adopted by reference.  
Section 22.28.040, Lots – Lot averaging in reference to PLA 3C;  
Section 22.28.042 – Lots – Small lot single-family to include the Lakeview Neighborhood except lots located in the PLA 3C and RS 12.5 zones;

Section 2. Provides a severability clause for the ordinance.

Section 3. Authorizes publication of the ordinance by summary, which summary is approved by the City Council pursuant to Kirkland Municipal Code 1.08.017 and establishes the effective date as January 1, 2012, which will be more than five days after publication of summary.

Section 4. Establishes certification by City Clerk and notification of King County Department of Assessments.

The full text of this Ordinance will be mailed without charge to any person upon request made to the City Clerk for the City of Kirkland. The Ordinance was passed by the Kirkland City Council at its meeting on the \_\_\_\_ day of \_\_\_\_\_, 2011.

I certify that the foregoing is a summary of Ordinance \_\_\_\_\_ approved by the Kirkland City Council for summary publication.

\_\_\_\_\_  
City Clerk

ORDINANCE NO. O-4333

AN ORDINANCE OF THE CITY OF KIRKLAND RELATING TO COMPREHENSIVE PLANNING AND LAND USE AND AMENDING THE KIRKLAND ZONING CODE (TITLE 23 OF THE KIRKLAND MUNICIPAL CODE), AND THE KIRKLAND ZONING MAP, ORDINANCE 3710 AS AMENDED TO IMPLEMENT THE LAKEVIEW NEIGHBORHOOD PLAN UPDATE AND APPROVING A SUMMARY FOR PUBLICATION, FILE NO ZON07-00032.

WHEREAS, the City Council has received a recommendation from the Kirkland Planning Commission and the Houghton Community Council to amend certain portions of the Kirkland Zoning Code (Title 23 of the Kirkland Municipal Code), all as set forth in that certain report and recommendation of the Planning Commission dated September 7, 2011 and bearing Kirkland Department of Planning and Community Development File No. ZON07-00032; and

WHEREAS, prior to making said recommendation the Planning Commission and the Houghton Community Council, following notice thereof as required by RCW 35A.63.070 and RCW 36.70A.035, held public hearings on June 23, 2011 and July 14, 2011, on the amendment proposals and considered the comments received at said hearings; and

WHEREAS, pursuant to the State Environmental Policy Act (SEPA), there has accompanied the legislative proposal and recommendation through the entire consideration process, a SEPA Addendum to Existing Environmental Documents, issued on July 15, 2011 by the responsible official pursuant to WAC 197-11-625; and

WHEREAS, in regular public meeting the City Council considered the environmental documents received from the responsible official, together with the report and recommendation of the Planning Commission and the Houghton Community Council;

NOW, THEREFORE, the City Council of the City of Kirkland do ordain as follows:

Section 1. Zoning Text amended: The following specified sections of the text of the Kirkland Zoning Code (Title 23 of the Kirkland Municipal Code) are amended as follows:

- A. Table of Contents:  
Text amendments to Table of Contents as set forth in Exhibit A attached to this ordinance and incorporated by reference.
- B. Chapter 5. Definitions:  
Text amendments to Sections 5.10.145, 5.10.490, 5.10.513, 5.10.595 and 5.10.785 as set forth in Exhibit B attached to this ordinance and incorporated by reference.

O-4333

- C. Chapter 10. Legal Effect/Applicability:  
Text amendments to Section 10.25 as set forth in Exhibit C attached to this ordinance and incorporated by reference.
- D. Chapter 25. Professional Office Residential (PR) and Professional Office Residential A (PRA) Zones:  
Text amendments as set forth in Exhibit D attached to this ordinance and incorporated by reference.
- E. Chapter 30. Waterfront District (WD) Zones:  
Text amendments to Sections 30.30 and 30.35.010 as set forth in Exhibit E attached to this ordinance and incorporated by reference.
- F. Repeal Chapter 35. Freeway Commercial (FC III) Zone
- G. Add to Chapter 56. Yarrow Bay Business District Subareas YBD 2 and 3 as set forth in Exhibit F attached to this ordinance and incorporated by reference.
- H. Chapter 60. Planned Areas:  
Text amendments to PLA 2 Use Zone Chart as set forth in Exhibit G attached to this ordinance and incorporated by reference.  
  
Delete PLA 3A use zone chart.  
  
Add new Sections 60.19 – 60.22 PLA 3C Use Zone charts as set forth in Exhibit H attached to this ordinance and incorporated by reference.  
  
Text amendments to 60.25 PLA 3B as set forth in Exhibit I attached to this ordinance and incorporated by reference.
- I. Add Yarrow Bay Business District (YBD) Design Regulations to Chapter 92 as set forth in Exhibit J attached to this ordinance and incorporated by reference.
- J. Chapter 100 Signs  
Add Lakeview Drive and NE 60<sup>th</sup> Street to section 100.50 Designated Corridors and Yarrow Bay Business District to 100.52 Certain Signs Prohibited as set forth in Exhibit K attached to this ordinance and incorporated by reference.
- K. Chapter 105 Parking  
Text amendment to Section 105.58.2 as set forth in Exhibit L attached to this ordinance and incorporated by reference.
- L. Chapter 115 Miscellaneous  
Text amendment to Section 115.42 as set forth in Exhibit M attached to this ordinance and incorporated by reference.
- M. Chapter 142 Design Review

O-4333

Text amendment to Section 142.25 and 142.37 as set forth in Exhibit N attached to this ordinance and incorporated by reference.

- N. Chapter 180 Plates  
Revise Plate 34L and add Plate 34 M as set forth in Exhibit O attached to this ordinance and incorporated by reference.

Section 2. Zoning Map amended: The following specified zones of Ordinance 3710 as amended, the Kirkland Zoning Map, are amended as follows:

- A. Change zoning from RS 12.5 to PLA 3C in area set forth in Exhibit P attached to this ordinance and incorporated by reference.
- B. Change zoning from RM 3.6 to PR 3.6 and delete prefixes in areas set forth in Exhibit Q attached to this ordinance and incorporated by reference.
- C. Change zoning from PO and PLA 3A to YBD 2 and from FCIII to YBD 3 and designate Yarrow Bay Business District Boundary in areas set forth in Exhibit R attached to this ordinance and incorporated by reference.

Section 3. If any section, subsection, sentence, clause, phrase, part or portion of this ordinance, including those parts adopted by reference, is for any reason held to be invalid or unconstitutional by any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this ordinance.

Section 4. This ordinance shall be in full force and effect January 1, 2012, which will be more than five days from and after its passage by the City Council and publication pursuant to Kirkland Municipal Code 1.08.017, in the summary form attached to the original of this ordinance and by this reference approved by the City Council as required by law.

Section 5. A complete copy of this ordinance shall be certified by the City Clerk, who shall then forward the certified copy to the King County Department of Assessments.

Passed by majority vote of the Kirkland City Council in open meeting this \_\_\_\_\_ day of \_\_\_\_\_, 2011.

Signed in authentication thereof this \_\_\_\_\_ day of \_\_\_\_\_, 2011.

\_\_\_\_\_  
MAYOR

O-4333

Attest:

\_\_\_\_\_  
City Clerk

Approved as to Form:

\_\_\_\_\_  
City Attorney

## Title 23 ZONING

### TABLE OF CONTENTS

This code contains zoning regulations for the Finn Hill, North Juanita, and Kingsgate annexation areas as adopted by the Kirkland City Council through Ordinance 4196. The effective date of the annexation and Ordinance 4196 zoning regulations is June 1, 2011.

[Click here](#) to view adopted ordinances that have not yet been inserted into the Zoning Code as well as pending regulations under consideration.

#### [Zoning Code Interpretations](#)

[Chapter 1](#) – User Guide

[Chapter 5](#) – Definitions

[Chapter 10](#) – Legal Effect/Applicability

[Chapter 15](#) – Single-Family Residential (RS) Zones

[Chapter 17](#) – Single-Family Residential X (RSX) Zones

[Chapter 18](#) – Single-Family Residential A (RSA) Zones

[Chapter 20](#) – Multifamily Residential (RM and RMA) Zones

[Chapter 25](#) – Professional Office Residential (PR) and Professional Office Residential A (PRA) Zones

[Chapter 27](#) – Professional Office (PO) Zones

[Chapter 30](#) – Waterfront District (WD) Zones

[WDI Zone](#)

[WDII Zone](#)

[WDIII Zone](#)

~~[Chapter 35](#) – Freeway Commercial (FC) Zones [Delete Chapter 35 FCIII Zone](#)~~

~~[FCIII Zone](#)~~

[Chapter 40](#) – Neighborhood Business (BN) Zones and Neighborhood Business A (BNA) Zones

[Chapter 45](#) – Community Business (BC, BC 1 and BC 2) Zones

[Chapter 47](#) – Community Business X (BCX) Zones

[Chapter 48](#) – Light Industrial Technology (LIT) Zones

[Chapter 49](#) – Park/Public Use (P) Zones

[Chapter 50](#) – Central Business District (CBD) Zones

[CBD-1A & 1B](#)

[CBD-2](#)

[CBD-3](#)

[CBD-4](#)

[CBD-5](#)

[CBD-5A](#)

[CBD-6](#)

[CBD-7](#)

[CBD-8](#)

[50.60](#) Special Parking Provisions in the CBD 1, 2, and 8 Zones

[50.62](#) Building Height Provisions in the CBD

[Chapter 51](#) – Market Street Corridor (MSC) Zones

[MSC 1, 4](#)

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[MSC 3](#)

[Chapter 52](#) – Juanita Business District (JBD) Zones

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## Chapter 5 – DEFINITIONS

### 5.10 Definitions

#### .145 Commercial Zones

– The following zones: BN; BNA; BC; BC 1; BC 2; BCX; CBD; JBD 1; JBD 2; JBD 4; JBD 5; JBD 6; MSC 2; MSC 3; NRH 1A; NRH 1B; NRH 4; RH 1A; RH 1B; RH 2A; RH 2B; RH 2C; RH 3; RH 5A; RH 5B; RH 5C; RH 7; TL 2; TL 4A; TL 4B; TL 4C; TL 5; TL 6A; TL 6B; and TL 8, ~~YBD 2, YBD 3.~~

#### .490 Low Density Zones

– The following zones: RS 35; RSX 35; RS 12.5; RSX 12.5; RS 8.5; RSX 8.5; RSA 8; RS 7.2; RSX 7.2; RS 6.3; RSA 6; RS 5.0; RSX 5.0; RSA 4; RSA 1; PLA 3C, PLA 6C, 6E; PLA 16; WD II; and comparable zones in other adjoining jurisdictions, except properties with approved intent to rezone to zoning designations other than low density.

#### .513 Maximum Units per Acre

– Within RSA and PLA 3C zones, the maximum allowed number of dwelling units shall be computed by multiplying the gross area of the subject property by the applicable residential density number per acre shown on the Zoning Map. In the RSA zone, fFor the purpose of calculating the maximum units per acre, all road dedications and vehicular access easements and tracts shall be included in the calculation for density. The maximum development potential requirements of Chapter 90 KZC shall apply.

#### .595 Office Zones

– The following zones: PO; PR 8.5; PR 5.0; PR 3.6; PR 2.4; PR 1.8; PRA 1.8; JBD 3; ~~PLA 3A~~; PLA 5B, C; PLA 6B; PLA 15A; PLA 17A; ~~FC III~~; MSC 1; MSC 4; NRH 2; NRH 3; NRH 5; NRH 6; RH 4; RH 8; TL 1A; TL 10A, TL 10B, TL 10C, TL 10D and TL 10E.

#### .785 Residential Zone

– The following zones: RS 35; RSX 35; RS 12.5; RSX 12.5; RS 8.5; RSX 8.5; RSA 8; RS 7.2; RSX 7.2; RS 6.3; RSA 6; RS 5.0; RSX 5.0; RSA 4; RSA 1; RM 5.0; RMA 5.0; RM 3.6; RMA 3.6; RM 2.4; RMA 2.4; RM 1.8; RMA 1.8; WD I; WD II; WD III; TL 9B; PLA 2; PLA 3B; PLA 5A, D, E; PLA 6A, C, D, E, F, H, I, J, K; PLA 7A, B, C; PLA 9; PLA 15B; PLA 16; PLA 17; ~~and~~ TL 11; PLA 3C.

**Amendments to KZC 10.25 Zoning Categories Adopted-**

The City is divided into the following zoning categories:

<b>Zoning Category</b>	<b>Symbol</b>
1. Single-Family Residential Zones	RS, RSA and RSX (followed by a designation indicating minimum lot size per dwelling unit or units per acre)
2. Multifamily Residential Zones	RM and RMA (followed by a designation indicating minimum lot size per dwelling unit)
3. Professional Office/Residential Zones	PR and PRA (followed by a designation indicating minimum lot size per dwelling unit)
4. Professional Office Zones	PO
5. Waterfront Districts	WD (followed by a designation indicating which Waterfront District)
6. <del>Freeway Commercial Zones</del> <u>Yarrow Bay Business District</u>	<del>FC (followed by a designation indicating which Freeway Commercial Zone)</del> <u>YBD (followed by a designation indicating which sub-zone within the Yarrow Bay Business District)</u>
7. Neighborhood Business	BN and BNA
8. Community Business	BC, BC 1, BC 2 and BCX
9. Central Business District	CBD (followed by a designation indicating which sub-zone within the Central Business District)
10. Juanita Business District	JBD (followed by a designation indicating which sub-zone within the Juanita Business District)
11. Market Street Corridor	MSC (followed by a designation indicating which sub-zone within the Market Street Corridor)
12. North Rose Hill Business District	NRH (followed by a designation indicating which sub-zone within the North Rose Hill Business District)
13. Rose Hill Business District	RH (followed by a designation indicating which sub-zone within the Rose Hill Business District)
14. Totem Center and Totem Lake Neighborhood	TL (followed by a designation indicating which sub-zone within Totem Center or the Totem Lake Neighborhood)
15. Light Industrial Zones	LIT, TL 7
16. Planned Areas	PLA (followed by a designation indicating which Planned Area, and in some cases, which sub-zone within a Planned Area)
17. Park/Public Use Zones	P

**CHAPTER 25 – PROFESSIONAL OFFICE RESIDENTIAL (PR) AND PROFESSIONAL OFFICE RESIDENTIAL A (PRA) ZONES-Proposed Amendments**

**25.05** User Guide.

The charts in KZC 25.10 contain the basic zoning regulations that apply in each PR 8.5, PR 5.0, PR 3.6, PR 2.4 and PR 1.8 and PRA 1.8 zone of the City. Use these charts by reading down the left hand column entitled Use. Once you locate the use in which you are interested, read across to find the regulations that apply to that use.

**Section 25.08**

Zone  
PR, PRA

Section 25.08 – GENERAL REGULATIONS

The following regulations apply to all uses in this zone unless otherwise noted:

1. Refer to Chapter 1 KZC to determine what other provisions of this code may apply to the subject property.
2. Developments creating four or more new dwelling units shall provide at least 10 percent of the units as affordable housing units as defined in Chapter 5 KZC. Two additional units may be constructed for each affordable housing unit provided. In such cases, the minimum lot size listed in the Use Regulations shall be used to establish the base number of units allowed on the site, but shall not limit the size of individual lots. See Chapter 112 KZC for additional affordable housing incentives and requirements.
3. If any portion of a structure is adjoining a low density zone, then either:
  - a. The height of that portion of the structure shall not exceed 15 feet above average building elevation, or
  - b. The maximum horizontal facade shall not exceed 50 feet in width.See KZC 115.30, Distance Between Structures/Adjacency to Institutional Use, for further details.
- ~~4.~~ ~~The required yard of a structure abutting Lake Washington Boulevard or Lake St. S. must be increased two feet for each one foot that structure exceeds 25 feet above average building elevation (does not apply to Public Park uses).~~
- ~~5.~~4 If the property is located south of NE 85th Street between 124th Avenue and 120th Avenue, to the extent possible, the applicant shall save existing viable significant trees within the required landscape buffers separating nonresidential development from adjacent single-family homes.
- ~~6.~~5 Within the PRA zone, the maximum building height of a structure may be increased to 60 feet above average building elevation if:
  - a. All required yards are increased by one foot for every two feet of height above 35 feet;
  - b. Buildings may not exceed three stories; and
  - c. Rooftop appurtenances may not exceed the maximum height and are screened with sloped roof forms.
- ~~7.~~6 May also be regulated under the Shoreline Master Program; refer to Chapter 83 KZC.

Section 25.10	USE ↓ REGULATIONS →	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARDS (See Ch. 115)			Height of Structure					
				Front	Side	Rear						
.010	Detached Dwelling Units	None	8,500 sq. ft. if PR 8.5 zone, 5,000 sq. ft. if PR 5.0 zone, otherwise 3,600 sq. ft.	20'	5'	10'	70%	If adjoining a low density zone other than RSA or RSX, then 25' above average building elevation.  See Spec. Reg. 6.	E	A	2.0 per dwelling unit.	<ol style="list-style-type: none"> <li>For this use, only one dwelling unit may be on each lot regardless of lot size.</li> <li>Chapter 115 KZC contains regulations regarding home occupations and other accessory uses, facilities and activities associated with this use.</li> </ol>
.020	Detached, Attached or Stacked Dwelling Units	Within the NE 85th Street Subarea and <a href="#">Yarrow Bay Business District</a> , Chapter 142 KZC. Otherwise, none.	8,500 sq. ft. if PR 8.5 zone, 5,000 sq. ft. if PR 5.0 zone, otherwise 3,600 sq. ft. with a density as established on the Zoning Map. See Spec. Reg. 1.	20'	For PR zones: 5' each for detached units and 5' but 2 side yards must equal at least 15' for attached and stacked units. For PRA zones: 5' each side. See Spec. Reg. 4.	10' See Spec. Reg. 5.	70%	Otherwise, for PR zones, 30' above average building elevation and for PRA zones, 35' above average building elevation.  See Gen. Reg. <a href="#">6-5</a> .	D	A	1.7 per unit.	<ol style="list-style-type: none"> <li>Minimum amount of lot area per dwelling unit is as follows:                             <ol style="list-style-type: none"> <li>In PR 8.5 zones, the minimum lot area per unit is 8,500 sq. ft.</li> <li>In PR 5.0 zones, the minimum lot area per unit is 5,000 sq. ft.</li> <li>In PR 3.6 zones, the minimum lot area per unit is 3,600 sq. ft.</li> <li>In PR 2.4 zones, the minimum lot area per unit is 2,400 sq. ft.</li> <li>In PR 1.8 zones and PRA 1.8 zones, the minimum lot area per unit is 1,800 sq. ft.</li> </ol> </li> <li>Chapter 115 KZC contains regulations regarding home occupations and other accessory uses, facilities and activities associated with this use.</li> <li>Chapter 115 KZC contains regulations regarding common recreational space requirements for this use.</li> <li>The side yard may be reduced to zero feet if the side of the dwelling unit is attached to a dwelling unit on an adjoining lot. If one side of a dwelling unit is so attached and the opposite side is not, the side that is not attached must provide a minimum side yard of five feet.</li> <li>The rear yard may be reduced to zero feet if the rear of the dwelling unit is attached to a dwelling unit on an adjoining lot.</li> <li>Where the 25-foot height limitation results solely from an adjoining low density zone occupied by a school that has been allowed to increase its height to at least 30 feet, then a structure height of 30 feet above average building elevation is allowed.</li> </ol>

.030	Office Uses	Within the NE 85th Street Subarea <u>and Yarrow Bay Business District</u> , D.R., Chapter 142 KZC. Otherwise, none.	None	20'	For PR zones: 5' but 2 side yards must equal at least 15'.  For PRA zones: 5' each in the PRA zones.	10'	70%	If adjoining a low density zone other than RSA or RSX, then 25' above average building elevation.  Otherwise, for PR zones, 30' above average building elevation and for PRA zones, 35 feet above average building elevation.  See Gen. Reg. <u>6-5</u>	C	D	If medical, dental or veterinary office, then one per each 200 sq. ft. of gross floor area. Otherwise one per each 300 sq. ft. of gross floor area.	<ol style="list-style-type: none"> <li>1. The following regulations apply to veterinary offices only:               <ol style="list-style-type: none"> <li>a. May only treat small animals on the subject property.</li> <li>b. Outside runs and other outside facilities for the animals are not permitted.</li> <li>c. Site must be designed so that noise from this use will not be audible off the subject property. A certification to this effect, signed by an acoustical engineer, must be submitted with the development permit application.</li> </ol> </li> <li>2. Ancillary assembly and manufacture of goods on the premises of this use are permitted only if:               <ol style="list-style-type: none"> <li>a. The ancillary assembled or manufactured goods are subordinate to and dependent on this use.</li> <li>b. The outward appearance and impacts of this use with ancillary assembly or manufacturing activities must be no different from other office uses.</li> </ol> </li> </ol>
.040	Development Containing Stacked or Attached Dwelling Units and Office Uses. See Spec. Reg. 1.	Within the NE 85th Street Subarea <u>and Yarrow Bay Business District</u> , D.R., Chapter 142 KZC. Otherwise, none.	3,600 sq. ft. with a residential density as established on the Zoning Map. See Spec. Reg. 2.	20'	For PR zones: 5' but 2 side yards must equal at least 15'.  For PRA zones: 5' each in the PRA zones.	10'	70%	If adjoining a low density zone other than RSA or RSX, then 25' above average building elevation.  See Spec. Reg. 5.  Otherwise, for PR zones, 30' above average building elevation and for PRA zones, 35' above average building elevation.  See Gen. Reg. <u>6-5</u>	C	D	See KZC 105.25.	<ol style="list-style-type: none"> <li>1. A veterinary office is not permitted in any development containing dwelling units.</li> <li>2. Minimum amount of lot area per dwelling unit is as follows:               <ol style="list-style-type: none"> <li>a. In PR 8.5 zones, the minimum lot area per unit is 8,500 square feet.</li> <li>b. In PR 5.0 zones, the minimum lot area per unit is 5,000 square feet.</li> <li>c. In PR 3.6 zones, the minimum lot area per unit is 3,600 square feet.</li> <li>d. In PR 2.4 zones, the minimum lot area per unit is 2,400 square feet.</li> <li>e. In PR 1.8 and PRA 1.8 zones, the minimum lot area per unit is 1,800 square feet.</li> </ol> </li> <li>3. Chapter 115 KZC contains regulations regarding home occupations and other accessory uses, facilities and activities associated with this use.</li> <li>4. Chapter 115 KZC contains regulations regarding common recreational space requirements for this use.</li> <li>5. Ancillary assembly and manufacture of goods on the premises of this use are permitted only if:               <ol style="list-style-type: none"> <li>a. The ancillary assembled or manufactured goods are subordinate to and dependent on this use.</li> <li>b. The outward appearance and impacts of this use with ancillary assembly or manufacturing activities must be no different from other office uses.</li> </ol> </li> <li>6. Where the 25-foot height limitation results solely from an adjoining low density zone occupied by a school that has been allowed to increase its height to at least 30 feet, then a structure height of 30 feet above average building elevation is allowed.</li> </ol>

.050	Restaurant or Tavern	Within the NE 85th Street Subarea, <u>and Yarrow Bay Business District</u> D.R., Chapter 142 KZC. Otherwise, Process I, Chapter 145 KZC.	8,500 sq. ft. if PR 8.5 zone, otherwise 7,200 sq. ft.	20'	10' on each side.	10'	70%	If adjoining a low density zone other than RSA or RSX, then 25' above average building elevation.  Otherwise, for PR zones, 30' above average building elevation and for PRA zones, 35' above average building elevation.  See Gen. Reg. <u>6-5</u>	B	E	1 per each 100 sq. ft. floor area.	<p>1. This use is not permitted in a PR 3.6 zone located in the NE 85th Street Subarea.</p> <p>2. <u>This use is allowed in the Lakeview Neighborhood if located south of NE 60<sup>th</sup> Street between Lakeview Dr. and Lake Washington Blvd NE provided that:</u></p> <p>a. <u>Both the front building façade and vehicular access are not located along Lakeview Dr.</u></p> <p>b. <u>Internal lit signs are not located along Lakeview Dr and NE 60<sup>th</sup> Street</u></p> <p>c. <u>Gross floor area shall not exceed 3,000 square feet</u></p> <p>d. <u>On lots 13 and 14 of Block 2 of Houghton Addition Volume 5 of Plats, Page 71 of King County Records and if a change of use is proposed within a structure that existed on November 15, 2011 and requires additional parking the following shall apply:</u></p> <p>1) <u>The number of required parking spaces shall be determined based on the actual parking demand pursuant to Section 105.25, KZC. The required additional parking for the new use may be provided by adding parking along the frontage of the subject property or across the street within the NE 60th ST right of way at the developer's expense.</u></p> <p>2) <u>On Lot 13 a historic interpretive sign shall be installed.</u></p> <p>32. <u>Drive-in or drive-through facilities are prohibited.</u></p>
.060	Grocery Store, Drug Store, Laundromat, Dry Cleaners, Barber Shop, or Shoe Repair Shop										1 per each 300 sq. ft. floor area.	<p>1. This use is not permitted in a PR 3.6 zone located in the NE 85th Street Subarea.</p> <p>2. May not be located above the ground floor of a structure.</p> <p>3. Gross floor area <del>shall not</del> cannot exceed 3,000 square feet.</p> <p>4. <u>This use is allowed in the Lakeview Neighborhood if located south of NE 60<sup>th</sup> Street between Lakeview Dr. and Lake Washington Blvd NE provided that:</u></p> <p>a. <u>Both the front building façade and vehicular access are not located along Lakeview Dr.</u></p> <p>b. <u>Internal lit signs are not located along Lakeview Dr and NE 60<sup>th</sup> Street</u></p> <p>c. <u>Gross floor area shall not exceed 3,000 square feet</u></p> <p>d. <u>On Lots 13 and 14 of Block 2 of Houghton Addition Volume 5 of Plats, Page 71 of King County Records if a change of use is proposed within a structure that existed on November 15, 2011 and requires additional parking the following shall apply:</u></p> <p>1) <u>The number of required parking spaces shall be determined based on the actual parking demand pursuant to Section 105.25, KZC. The required additional parking for the new use may be provided by adding parking along the frontage of the subject property or across the street within the NE 60th ST right of way at the developer's expense.</u></p> <p>2) <u>On Lot 13 a historic interpretive sign shall be installed.</u></p>
.070	<u>Any Retail Establishment other than those specifically listed, limited, or prohibited in this zone, selling</u>				<u>10' on each side</u>	<u>10'</u>			<u>B</u>	<u>E</u>		<p>1. <u>This use is only allowed in the Lakeview Neighborhood and if located south of NE 60<sup>th</sup> Street between Lakeview Dr. and Lake Washington Blvd NE provided that:</u></p> <p>a. <u>Both the front building façade and vehicular access are not located along Lakeview Dr.</u></p> <p>b. <u>Internal lit signs are not located along Lakeview Dr and NE 60<sup>th</sup> Street</u></p>

	<a href="#">goods or providing services including banking and financial services. See Special Regulation 1</a>										<p><a href="#">c. Gross floor area shall not exceed 3,000 square feet</a></p> <p><a href="#">d. On Lots 13 and 14 of Block 2 of Houghton Addition Volume 5 of Plats, Page 71 of King County Records if a change of use is proposed within a structure that existed on November 15, 2011 and requires additional parking the following shall apply:</a></p> <p><a href="#">3) The number of required parking spaces shall be determined based on the actual parking demand pursuant to Section 105.25, KZC . The required additional parking for the new use may be provided by adding parking along the frontage of the subject property or across the street within the NE 60th ST right of way at the developer's expense.</a></p> <p><a href="#">4) On Lot 13 a historic interpretive sign shall be installed.</a></p> <p><a href="#">e. The following uses are not permitted:</a></p> <p><a href="#">1) Vehicle service stations</a></p> <p><a href="#">2) Entertainment or recreational activities</a></p> <p><a href="#">3) Storage services unless accessory to another permitted use</a></p> <p><a href="#">4) The sale, service and/or rental of motor vehicles, sailboats, motor boats, and recreation trailers, heavy equipment and similar vehicles.</a></p> <p><a href="#">5) Storage and operation of heavy equipment, except delivery vehicles, associated with retail uses.</a></p> <p><a href="#">6) Storage of parts unless conducted entirely within an enclosed structure.</a></p> <p><a href="#">7) Uses with drive-in or drive through facilities.</a></p> <p><a href="#">f. A delicatessen, bakery, or other similar use may include accessory seating if:</a></p> <p><a href="#">1) The seating and associated circulation area does not exceed more than 10 percent of the gross floor area of the use; and</a></p> <p><a href="#">It can be demonstrated to the City that the floor plan is designed to preclude the seating area from being expanded</a></p>				
<a href="#">.070-.080</a>	Funeral Home or Mortuary							20' each side.	20'			C	B		1. This use is not permitted in a PR 3.6 zone located in the NE 85th Street Subarea.
<a href="#">.080-.090</a>	Church													1 for every 4 people based on maximum occupancy load of any area of worship. See Spec. Reg. 1.	1. No parking is required for day-care or school ancillary to this use.
<a href="#">.090-.100</a>	School or DayCare Center	Within the NE 85th Street Subarea, D.R., Chapter 142 KZC. Otherwise,	8,500 sq. ft. if PR 8.5 zone, otherwise 7,200 sq. ft.	If this use can accommodate 50 or more students or children, then: 50' 50' on each side 50'		70%	If adjoining a low density zone other than RSA or RSX, then 25' above average building					D	B	See KZC 105.25.	1. A six-foot-high fence is required only along the property lines adjacent to the outside play areas. 2. Structured play areas must be set back from all property lines as follows: a. Twenty feet if this use can accommodate 50 or more students or children. b. Ten feet if this use can accommodate 13 to 49 students or children.

		none. If this use is adjoining a low density zone, then Process I, Chapter 145 KZC.		If this use can accommodate 13 to 49 students or children, then:  20'    20' on each side    20'				elevation.  Otherwise, for PR zones, 30' above average building elevation and for PRA zones, 35' above average building elevation.  See Gen. Reg. <b>6-5</b> and Spec. Reg. 7.				<ol style="list-style-type: none"> <li>3. An on-site passenger loading area must be provided. The City shall determine the appropriate size of the loading area on a case-by-case basis, depending on the number of attendees and the extent of the abutting right-of-way improvements. Carpooling, staggered loading/unloading time, right-of-way improvements or other means may be required to reduce traffic impacts on nearby residential uses.</li> <li>4. May include accessory living facilities for staff persons.</li> <li>5. To reduce impacts on nearby residential uses, hours of operation of the use may be limited and parking and passenger loading areas relocated.</li> <li>6. These uses are subject to the requirements established by the Department of Social and Health Services (WAC Title 388).</li> <li>7. For school use, structure height may be increased, up to 35 feet in PR zones and 40 feet in PRA zones, if:             <ol style="list-style-type: none"> <li>a. The school can accommodate 200 or more students; and</li> <li>b. The required side and rear yards for the portions of the structure exceeding the basic maximum structure height are increased by one foot for each additional one foot of structure height; and</li> <li>c. The increased height is not specifically inconsistent with the applicable neighborhood plan provisions of the Comprehensive Plan; and</li> <li>d. The increased height will not result in a structure that is incompatible with surrounding uses or improvements. <i>This special regulation is not effective within the disapproval jurisdiction of the Houghton Community Council.</i></li> </ol> </li> <li>8. For a Mini-School or Mini-Day-Care Center use, electrical signs shall not be permitted and the size of signs may be limited to be compatible with nearby residential uses.</li> <li>9. These uses are subject to the requirements established by the Department of Social and Health Services (WAC Title 388).</li> </ol>
<b>.100, 110</b>	Mini-School or Mini-Day-Care	Within the NE 85th Street Subarea, D.R., Chapter 142 KZC. Otherwise, none.	8,500 sq. ft. if PR 8.5 zone, 7,200 sq. ft. if PR 7.2 zone, 5,000 sq. ft. if PR 5.0 zone, otherwise 3,600 sq. ft.	20'	For PR zones: 5' but 2 side yards must equal at least 15'.  For PRA zones: 5' each in the PRA zones.	10'	70%	If adjoining a low density zone other than RSA or RSX, then 25' above average building elevation.  Otherwise, for PR zones, 30' above average building elevation and for PRA zones,	E	B	See KZC 105.25.	<ol style="list-style-type: none"> <li>1. A six-foot-high fence is required along the property lines adjacent to the outside play areas.</li> <li>2. Structured play areas must be set back from all property lines by five feet.</li> <li>3. An on-site passenger loading area may be required depending on the number of attendees and the extent of the abutting right-of-way improvements.</li> <li>4. To reduce impacts on nearby residential uses, hours of operation of the use may be limited and parking and passenger loading areas relocated.</li> <li>5. Electrical signs shall not be permitted. Size of signs may be limited to be compatible with nearby residential uses.</li> <li>6. May include accessory living facilities for staff persons.</li> <li>7. These uses are subject to the requirements established by the Department of Social and Health Services (WAC Title 388).</li> </ol>

<del>.140.</del> <del>120</del>	Assisted Living Facility							35' above average building elevation.  See Gen. Reg. <del>6-5</del>	D	A	1.7 per independent unit. 1 per assisted living unit.	<ol style="list-style-type: none"> <li>1. A facility that provides both independent dwelling units and assisted living units shall be processed as an assisted living facility.</li> <li>2. If a nursing home use is combined with an assisted living facility use in order to provide a continuum of care for residents, the required review process shall be the less intensive process between the two uses.</li> <li>3. For density purposes, two assisted living units shall constitute one dwelling unit. Total dwelling units may not exceed the number of stacked dwelling units allowed on the subject property. Through Process IIB, Chapter 152 KZC, up to 1 1/2 times the number of stacked dwelling units allowed on the property may be approved if the following criteria are met: <ol style="list-style-type: none"> <li>a. Project is of superior design, and</li> <li>b. Project will not create impacts that are substantially different than would be created by a permitted multifamily development.</li> </ol> </li> <li>4. The assisted living facility shall provide usable recreation space of at least 100 square feet per unit, in the aggregate, for both assisted living units and independent dwelling units, with a minimum of 50 square feet of usable recreation space per unit located outside.</li> <li>5. Chapter 115 KZC contains regulations regarding home occupations and other accessory uses, facilities, and activities associated with this use.</li> </ol>
<del>.120.</del> <del>130</del>	Convalescent Center or Nursing Home	Within the NE 85th Street Subarea, D.R., Chapter 142 KZC.	8,500 sq. ft. if PR 8.5 zone, otherwise 7,200 sq. ft.	20'	10' on each side	10'	70%	If adjoining a low density zone other than RSA and RSX, then 25' above average building elevation.	C	B	1 for each bed.	<ol style="list-style-type: none"> <li>1. If a nursing home use is combined with an assisted living facility use in order to provide a continuum of care for residents, the required review process shall be the less intensive process between the two uses.</li> </ol>
<del>.130.</del> <del>140</del>	Public Utility	Otherwise, Process I, Chapter 145 KZC.	None		20' on each side	20'		Otherwise, for PR zones, 30' above average building elevation and for PRA zones, 35' above average building elevation.	A		See KZC 105.25.	
<del>.140.</del> <del>150</del>	Government Facility Community Facility				10' each side	10'		See Gen. Reg. <del>6-5</del>	C See Spec. Reg. 2.			<ol style="list-style-type: none"> <li>1. Site design must minimize adverse impacts on surrounding residential neighborhoods.</li> <li>2. Landscape Category A or B may be required depending on the type of use on the subject property and the impacts associated with the use on the nearby uses.</li> </ol>
<del>.150.</del> <del>160</del>	Public Park	Development standards will be determined on case-by-case basis. See Chapter 49 KZC for required review process.										

**CHAPTER 56 – YBD 2 and YBD 3 – Draft Revised 8-1-2011**

56.15 User Guide.

The charts in KZC 56.20 contain the basic zoning regulations that apply in each YBD 2 and YBD 3 zone of the City. Use these charts by reading down the left hand column entitled Use. Once you locate the use in which you are interested, read across to find the regulations that apply to that use.

**Section 56.18  
YBD 2, YBD 3**

Section 56.18 – GENERAL REGULATIONS

The following regulations apply to all uses in this zone unless otherwise noted:

1. Refer to Chapter 1 KZC to determine what other provisions of this code may apply to the subject property.
2. In addition to the height exceptions established by KZC [115.60](#), the following exceptions to height regulations in the YBD 2 and YBD 3 zones are allowed:
  - a. Decorative parapets may exceed the height limit by a maximum of four feet; provided that the average height of the parapets around the perimeter of the structure shall not exceed two feet.
  - b. For structures with a peaked roof, the peak may extend eight feet above the height limit if the slope of the roof is equal to or greater than four feet vertical to 12 feet horizontal.
3. A City entry or gateway feature shall be designed and installed on the subject property adjacent Lake Washington Blvd. between the southern city limit line and NE 38<sup>th</sup> PI pursuant to the standards in KZC 110.60. The specific location and design of the gateway shall be evaluated with the Design Review Process.
4. Driveways onto Lake Washington Blvd., NE 38<sup>th</sup> PI. and Northup Way shall be limited to prevent arterial congestion and traffic safety hazards. Shared access points must be utilized where feasible (does not apply to Public Park uses). The Public Works Official shall approve the number, location and design of all driveways.
5. The minimum ground floor story height shall be 13' for retail establishments selling goods or services including banking and financial services, restaurant and tavern, or office.
6. The upper story setback for all floors above the second story within 40' of the property line abutting NE 38<sup>th</sup> Place shall average 15'. For the purpose of this regulation, the term "setback" shall refer to the horizontal distance between the property line and any exterior wall abutting the street prior to any potential right of way dedication. The required upper story setbacks for all floors above the second story shall be calculated as Total Upper Story Setback Area, as shown on Plate 35.
7. Developments in parts of this zone may be limited by chapter 83 or 90 KZC, regarding development near streams, lakes, and wetlands.

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 56.20	USE ↓ REGULATIONS ↓	Require d Review Process	MINIMUMS				MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
			Lot Size	REQUIRED YARDS (See Ch. 115)			Height of Structure					
				Front	Side	Rear						
.010	Vehicle Service Station	D.R., Chapter 142 KZC	22,500 sq. ft.	40'	15' on each side. See also Special Regulation 3.	15'	80%	In YBD 2 55' above average building elevation.  In YBD 3 60' above average building elevation.	A	E	See KZC 105.25.	<ol style="list-style-type: none"> <li>The following uses and activities are prohibited:                             <ol style="list-style-type: none"> <li>The outdoor storage, sale, service and/or rental of motor vehicles, sailboats, motor boats, and recreational trailers.</li> </ol> </li> <li>There may not be more than two vehicle service stations at any intersection. This use is only allowed if the subject property abuts Lake Washington Blvd. or Northup Way.</li> <li>Gas pump islands may extend 20 feet into the front yard. Canopies or covers over gas pump islands may not be closer than 10 feet to any property line. Outdoor parking and service areas may not be closer than 10 feet to any property line. See KZC 115.105, Outdoor Use, Activity and Storage, for further regulations</li> </ol>
.020	Restaurant or Tavern	D.R., Chapter 142 KZC	None	0' adjacent to NE 38 <sup>th</sup> Pl and Northup Way otherwise 20'	0'	0'			B		1 per each 100 sq. ft. of gross floor area.	<ol style="list-style-type: none"> <li>The following uses and activities are prohibited:                             <ol style="list-style-type: none"> <li>Drive in or drive through facilities.</li> </ol> </li> <li>The gross floor area of individual retail establishments may not exceed 15,000 sq. ft. except within a mixed use development in which the floor area of other uses exceeds the floor area of retail establishments.</li> </ol>

<p><b>.030</b></p>	<p>Office Use</p>	<p>D.R. Chapter 14 2, KZC</p>	<p>None</p>	<p>0' adjacent to NE 38<sup>th</sup> Pl and Northup Way otherwise 20'</p>	<p>0'</p>	<p>0'</p>	<p>80%</p>	<p>In YBD 2 55' above average building elevation.  In YBD 3 60' above average building elevation.</p>	<p>C</p>	<p>D</p>	<p>If Medical, Dental or Veterinary office, then one per each 200 sq. ft. of gross floor area. Otherwise, 1 per each 300 sq. ft. of gross floor area.</p>	<p>1. The following regulations apply to veterinary offices only:                  a. May only treat small animals on the subject property.                  b. Outside runs and other outside facilities for the animals are not permitted.                  c. Site must be designed so that noise from this use will not be audible off the subject property. A certification to this effect, signed by an Acoustical Engineer, must be submitted with the development permit application.                  2. Ancillary assembly and manufacture of goods on the premises of this use are permitted only if:                  a. The ancillary assembled or manufactured goods are subordinate to and dependent on this use.                  b. The outward appearance and impacts of this use with ancillary assembly or manufacturing activities must be no different from other office uses.</p>
<p><b>.040</b>  <b>.050</b></p>	<p>Hotel or Motel  A Retail Establishment other than those specifically listed, limited, or prohibited in the zone, selling goods, or providing services including banking and related financial services</p>	<p>D.R. Chapter 14 2, KZC</p>	<p>None</p>	<p>0' adjacent to NE 38<sup>th</sup> Pl and Northup Way otherwise 20'</p>	<p>0'</p>	<p>0'</p>	<p>80%</p>	<p>In YBD 2 55' above average building elevation.  In YBD 3 60' above average building elevation.</p>	<p>B</p>	<p>E</p>	<p>1 per each room. See also Special Regulation 2.  1 per each 300 sq. ft. of gross floor area.</p>	<p>1. May include ancillary meeting and convention facilities.                  2. Excludes parking requirements for ancillary meeting and convention facilities. Additional parking requirement for these ancillary uses shall be determined on a case by case basis.                   1. The following uses and activities are prohibited:                  a. The outdoor storage, sale, service and/or rental of motor vehicles, sailboats, motor boats, and recreational trailers.                  b. Vehicle repair,                  c. Retail establishment providing storage services unless accessory to another permitted use.                  d. Storage and operation of heavy equipment, except delivery vehicles associated with retail uses.                  e. Storage of parts unless conducted entirely within an enclosed structure,                  f. Drive in or drive through facilities.                   2. The gross floor area of individual retail establishments may not exceed 15,000 sq. ft. except within a mixed use development in which the floor area of other uses exceeds the floor area of retail establishments.                   3. A delicatessen, bakery, or other similar use may include, as part of the use, accessory seating if:                  a. The seating and associated circulation area does not exceed</p>

more than 10 percent of the gross floor area of the use; and  
 b. It can be demonstrated to the City that the floor plan is designed to preclude the seating area from being expanded.

.060	Stacked Dwelling Units	D.R. Chapter 142, KZC	None	0' adjacent to NE 38 <sup>th</sup> PI and Northup Way otherwise 20'	0'	0'	80%	In YBD 2 55' above average building elevation.  In YBD 3 60' above average building elevation.	D	A	1.7 per unit	1. Chapter 115 KZC contains regulations regarding home occupations and other accessory uses, facilities and activities associated with this use.
.070	Assisted Living Facility, Convalescent Center or Nursing Home			0' adjacent to NE 38 <sup>th</sup> PI and Northup Way otherwise 20'	0'	0"			C		Independent unit: 1.7 per unit. Assisted living unit: 1 per unit. Convalescent Center or Nursing Home: 1 per each bed.	1. A facility that provides both independent dwelling units and assisted living units shall be processed as an assisted living facility. 2. 3. If a nursing home use is combined with an assisted living facility use in order to provide a continuum of care for residents the required review process shall be the least intensive process between the two uses.
.080	Private Lodge or Club	D.R. Chapter 142, KZC	None	0' adjacent to NE 38 <sup>th</sup> PI and Northup Way otherwise 20'	0'	0'	80%	In YBD 2 55' above average building elevation.  In YBD 3 60' above average building elevation.	C	B	1 per each 300 sq. ft. of gross floor area	
.090	Hospital Facility	D.R. Chapter 142, KZC	None	0' adjacent to NE 38 <sup>th</sup> PI and Northup Way otherwise 20'	0'	0'	80%	In YBD 2 55' above average building elevation.  In YBD 3 60' above average building elevation.	B	B	See KZC 105.25	

.100	Public Utility	D.R. Chapter 142, KZC	None	0' adjacent to NE 38 <sup>th</sup> Pl and Northup Way otherwise 20'	0'	0'	80 %	In YBD 2 55' above average building elevation.  In YBD 3 60' above average building elevation.	A	B	See KZC 105.25	
.110	Church			0' adjacent to NE 38 <sup>th</sup> Pl and Northup Way otherwise 20'	0'	0'			C	B	1 for every 4 people based on maximum occupant load of any area of worship. See Special Reg 2	<ol style="list-style-type: none"> <li>1. May include accessory living facilities for staff persons.</li> <li>2. No parking is required for day-care or school ancillary to the use.</li> </ol>
.120	School or Day-Care Center	D.R. Chapter 142, KZC	None	0' adjacent to NE 38 <sup>th</sup> Pl and Northup Way otherwise 20'	0'	0'	80 %	In YBD 2 55' above average building elevation.  In YBD 3 60' above average building elevation.	D	B	See KZC 105.25.	<ol style="list-style-type: none"> <li>1. A six-foot-high fence is required only along the property lines adjacent to the outside play areas.</li> <li>2. Structured play areas must be setback from all property lines by at least five feet.</li> <li>3. An on-site passenger loading area must be provided depending on the number of attendees and the extent of the abutting right-of-way improvements.</li> <li>4. May include accessory living facilities for staff persons.</li> </ol>
.130	Mini-School or Mini-Day-Care	D.R. Chapter 142, KZC	None	0' adjacent to NE 38 <sup>th</sup> Pl and Northup Way otherwise 20'	0'	0'	80 %	In YBD 2 55' above average building elevation.  In YBD 3 60' above average building elevation.	E	B	See KZC 105.25.	<ol style="list-style-type: none"> <li>1. A six-foot-high fence is required along the property lines adjacent to the outside play areas.</li> <li>2. Structured play areas must be setback from all property lines by at least five feet.</li> <li>3. An on-site passenger loading area must be provided depending on the number of attendees and the extent of the abutting right-of-way improvements.</li> <li>4. May include accessory living facilities for staff persons.</li> </ol>
.140	Government Facility Community Facility								C See Spec. Reg. 1			<ol style="list-style-type: none"> <li>1. Landscape Category A or B may be required depending on the type of use on the subject property and the impacts associated with the use on the nearby uses.</li> </ol>
.150	Public Park	Development standards will be determined on a case-by-case basis. See Chapter 49 KZC for required review process.										

**60.14** User Guide. [Proposed Amendments](#)

The charts in KZC 60.17 contain the basic zoning regulations that apply in Planned Area 2, including sub-zones. Use these charts by reading down the left hand column entitled Use. Once you locate the use in which you are interested, read across to find the regulations that apply to that use.

**Section  
60.15**

Zone  
PLA2

Section 60.15 – GENERAL REGULATIONS

The following regulations apply to all uses in this zone unless otherwise noted:

1. Refer to Chapter 1 KZC to determine what other provisions of this code may apply to the subject property.
2. Developments creating four or more new dwelling units shall provide at least 10 percent of the units as affordable housing units as defined in Chapter 5 KZC. Two additional units may be constructed for each affordable housing unit provided. In such cases, the minimum lot size listed in the Use Regulations shall be used to establish the base number of units allowed on the site, but shall not limit the size of individual lots. See Chapter 112 KZC for additional affordable housing incentives and requirements.
3. Development in parts of this zone may be limited by Chapter 83 or 90 KZC, regarding development near streams, lakes and wetlands. In addition, the site must be designed to concentrate development away from, and to minimize impact on, the wetlands.
4. May not use lands waterward of the ordinary high water mark to determine lot size or to calculate allowable density.
5. May also be regulated under the Shoreline Master Program; refer to Chapter 83 KZC.

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 60.17	USE ↓ REGULATIONS ↘	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARDS (See Ch. 115)			Height of Structure					
				Front	Side	Rear						
.010	Attached or Stacked Dwelling Unit	Process IIB, Chapter 152 KZC.	35,000 sq. ft. per unit	20'	5', but 2 side yards must equal at least 15'.	10'	60%	25' above average building elevation. See Spec. Reg. 3.	D	A	1.7 per unit.	1. No structure may be waterward of the ordinary high water mark. <del>2. If the development includes portions of Planned Area 3, the applicant may propose and the City may require that part or all of the density allowed in Planned Area 2 be developed in Planned Area 3.</del> 32. The height of a structure may be increased as long as neither of the following maximums is exceeded: a. The structure may not exceed 60 feet above average building elevation. b. The structure may not exceed a plane that starts 3.5 feet above the outside westbound lane of SR 520 and ends at the high waterline of Lake Washington in the zone, excluding the canal. 43. Chapter 115 KZC contains regulations regarding home occupations and other accessory uses, facilities, and activities associated with this use. 54. The side yard may be reduced to zero feet if the side of the dwelling unit is attached to a dwelling unit on an adjoining lot. If one side of a dwelling unit is so attached and the opposite side is not, the side that is not attached must provide a minimum side yard of five feet. 65. The rear yard may be reduced to zero feet if the rear of the dwelling unit is attached to a dwelling unit on an adjoining lot.

.020	Mini-School or Mini-Day-Care	Process IIB, Chapter 152 KZC.	35,000 sq. ft.	20'	5', but 2 side yards must equal at least 15'.	10'	60%	25' above average building elevation. See Spec. Reg. 23.	D	B	See KZC 105.25.	<ol style="list-style-type: none"> <li>1. No structure may be waterward of the ordinary high water mark.</li> <li>2. <del>If the development includes portions of Planned Area 3, the applicant may propose and the City may require that part or all of the density allowed in Planned Area 2 be developed in Planned Area 3.</del></li> <li>23. The height of a structure may be increased as long as neither of the following maximums is exceeded:             <ol style="list-style-type: none"> <li>a. The structure may not exceed 60 feet above average building elevation.</li> <li>b. The structure may not exceed a plane that starts 3.5 feet above the outside westbound lane of SR 520 and ends at the high waterline of Lake Washington in the zone, excluding the canal.</li> </ol> </li> <li>34. May locate on the subject property if:             <ol style="list-style-type: none"> <li>a. It will serve the immediate neighborhood in which it is located; or</li> <li>b. It will not be detrimental to the character of the neighborhood in which it is located.</li> </ol> </li> <li>45. A six-foot-high fence is required along the property lines adjacent to the outside play areas.</li> <li>56. Hours of operation may be limited by the City to reduce impacts on nearby residential areas.</li> <li>67. Structured play areas must be set back from all property lines by five feet.</li> <li>78. An on-site passenger loading area may be required depending on the number of attendees and the extent of the abutting right-of-way improvements.</li> <li>89. The location of parking and passenger loading areas shall be designed to reduce impacts on nearby residential areas.</li> <li>940. May include accessory living facilities for staff persons.</li> <li>1044. These uses are subject to the requirements established by the Department of Social and Health Services (WAC Title 388).</li> </ol>
.030	Public Utility	Process IIA, Chapter 150 KZC.	None	20'	20' on each side	10'	70%	25' above average building elevation.	A	A	See KZC 105.25.	<ol style="list-style-type: none"> <li>1. Site design must minimize adverse impacts on surrounding residential neighborhoods.</li> <li>2. Landscape Category A may be required depending on the type of use on the subject property and the impacts associated with the use on the nearby uses.</li> </ol>
.040	Government Facility				10' on each side				B See Spec. Reg. 2.	B		
.050	Community Facility				Process IIB, Chapter 152 KZC.							
.060	Public Park	Development standards will be determined on a case-by-case basis. See Chapter 49 KZC for required review process.										<ol style="list-style-type: none"> <li>1. Portions of the park located within the wetlands must be devoted exclusively to passive recreation that is not consumptive of the natural environment.</li> </ol>

30.29 User Guide. Proposed Amendments

The charts in KZC 30.35 contain the basic zoning regulations that apply in the WD III zones of the City. Use these charts by reading down the left hand column entitled Use. Once you locate the use in which you are interested, read across to find the regulations that apply to that use.

Section  
30.30

Zone  
WDIII

Section 30.30 – GENERAL REGULATIONS

The following regulations apply to all uses in this zone unless otherwise noted:

1. Refer to Chapter 1 KZC to determine what other provisions of this code may apply to the subject property.
2. Developments creating four or more new dwelling units shall provide at least 10 percent of the units as affordable housing units as defined in Chapter 5 KZC. Two additional units may be constructed for each affordable housing unit provided. In such cases, the minimum lot size listed in the Use Regulations shall be used to establish the base number of units allowed on the site, but shall not limit the size of individual lots. See Chapter 112 KZC for additional affordable housing incentives and requirements.
3. May not use lands waterward of the ordinary high water mark to determine lot size or to calculate allowable density.
4. The required 30-foot front yard may be reduced, subject to all of the following conditions:
  - a. The existing primary structure does not conform to the minimum shoreline setback standard;
  - b. The proposed complete replacement or replacement of portion of the existing primary structure comply with the minimum required shoreline setback established under the provisions of Chapter 83 KZC, or as otherwise approved under the shoreline setback reduction provisions established in KZC 83.380; and
  - c. The front yard for the complete replacement or the portion of replacement may be reduced one foot for each one foot of the shoreline setback that is increased in dimension from the setback of the existing nonconforming primary structure ~~;~~ provided, that subsection (4)(d) of this regulation is met; and
  - d. ~~Within the front yard, each portion of the replaced or portion of replaced primary structure is set back from the front property line by a distance greater than or equal to the maximum height of that portion above the front property line.~~

(Does not apply to Public Access Pier, Boardwalk, or Public Access Facility; Piers, Docks, Boat Lifts and Canopies Serving Detached Dwelling Unit; Piers, Docks, Boat Lifts and Canopies Serving Detached, Attached or Stacked Dwelling Units; Public Park; Public Utility Uses; Boat Launch; or Water Taxi).
5. ~~The required 30-foot front yard may be reduced, subject to the following conditions:~~
  - a. ~~The existing primary structure does not conform to the minimum shoreline setback standard;~~
  - b. ~~The front yard may be reduced one foot for each one foot of the shoreline setback that is increased in dimension;~~
  - c. ~~The new or remodeled primary structure must comply with the minimum required shoreline setback established under the provisions of Chapter 83 KZC, or as otherwise approved under the shoreline setback reduction provisions established in KZC 83.380; and~~
  - d. ~~Within 30 feet of the front property line, each portion of a structure is set back from the front property line by a distance greater than or equal to the height of that portion above the front property line.~~
5. The required 30-foot front yard may be reduced one foot for each one foot of this yard that is developed as a public use area if:
  - a. Substantially, the entire width of the yard (from north to south property line) is developed as a public use area; and,
  - b. The design of the public use area is specifically approved by the City.

(Does not apply to Public Access Pier; Boardwalk or Public Access Facility; Piers, Docks, Boatlifts and Canopies Serving Detached Dwelling Units; Piers, Docks Boat Lifts and Canopies Serving Detached, Attached or Stacked Dwelling Units, Public Park, Public Utility Uses, Boat Launch; or Water Taxi.)
6. May also be regulated under the Shoreline Master Program, Chapter 83 KZC.

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 30.35	USE REGULATIONS	Required Review Process	MINIMUMS				MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
			Lot Size	REQUIRED YARDS (See Ch. 115)			Height of Structure					
				Front	Side Property Line	Shoreline Setback						
.010	Detached Dwelling Unit	None	3,600 sq. ft./unit, except 1,800 sq. ft./unit for up to 2 dwelling units if the public access provisions of KZC 83.420 are met.	30' See also Spec. Reg. 2.	5', but 2 side yards must equal at least 15'.	See Chapter 83 KZC.	80%	30' above average building elevation. This provision may not be varied.	E	A	2.0 per unit.	<ol style="list-style-type: none"> <li>No structures, other than moorage structures or public access piers, may be waterward of the ordinary high water mark. For the regulations regarding moorages and public access piers, see the specific listings in this zone and Chapter 83 KZC.</li> <li>Chapter 83 KZC contains regulations regarding shoreline setbacks, view corridors, and public pedestrian walkways.</li> <li>Chapter 115 KZC contains regulations regarding home occupations and other accessory uses, facilities and activities associated with this use.</li> <li><del>The required yard of a structure abutting Lake Washington Blvd. must be increased two feet for each one foot that structure exceeds 25 feet above the adjacent centerline of Lake Washington Blvd.</del></li> </ol>
.020	Attached or Stacked Dwelling Units	Process I, Chapter 145 KZC.	3,600 sq. ft. per unit	30'	5', but 2 side yards must equal at least 15'.  See General Regulations.	See Chapter 83 KZC.		30' above average building elevation. See also Spec. Reg. 3.	D			<ol style="list-style-type: none"> <li>No structures, other than moorage structures or public access piers, may be waterward of the ordinary high water mark. For the regulations regarding moorages and public access piers, see the specific listings in this zone and Chapter 83 KZC.</li> <li>Chapter 83 KZC contains regulations regarding shoreline setbacks, view corridors, and public pedestrian walkways.</li> <li>Structure height may be increased to 35 feet above average building elevation if the increase does not impair views of the lake from properties east of Lake Washington Boulevard; and                             <ol style="list-style-type: none"> <li>The increase is offset by a view corridor that is superior to that required by Chapter 83 KZC.</li> </ol> </li> <li>Chapter 115 KZC contains regulations regarding home occupations and other accessory uses, facilities and activities associated with this use.</li> <li>Any required yard, other than the front required yard or shoreline setback, may be reduced to zero feet if the side of the dwelling unit is attached to a dwelling unit on an adjoining lot. If one side of a dwelling unit is so attached and the opposite side is not, the side that is not attached shall provide the minimum required yard.</li> </ol>

.030	Public Access Pier or Boardwalk or Public Access Facility	See Chapter 83 KZC.	None	See Chapter 83 KZC.	-	See Chapter 83 KZC.	See Chapter 83 KZC.	See Chapter 83 KZC.	See KZC 105.25.	1. Refer to Chapter 83 KZC for additional regulations.
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**Proposed New KZC Section 60.19 PLA 3C USE ZONE CHART -8-5-2011**

**User Guide.** The charts in KZC 60.22 contain the basic zoning regulations that apply in the PLA 3A zone of the City. Use these charts by reading down the left hand column entitled Use. Once you locate the use in which you are interested, read across to find the regulations that apply to that use.

**Section 60.20 - GENERAL REGULATIONS**

The following regulations apply to all uses in this zone unless otherwise noted:

1. Refer to Chapter 1 KZC to determine what other provisions of this code may apply to the subject property.
2. If any portion of a structure is adjoining a detached or attached dwelling unit in a low density zone, then either:
  - a. The height of that portion of the structure shall not exceed 15 feet above average building elevation; or
  - b. The maximum horizontal facade shall not exceed 50 feet.
  - c. See KZC [115.30](#), Distance Between Structures/Adjacency to Institutional Use, for further details.  
(Does not apply to Detached Dwelling Unit, Attached or Stacked Dwelling Unit and Mini-School or Mini-Day-Care Center uses).
3. Development shall be subject to the following development standards:
  - a. Structures must be clustered and located so that they will not significantly impact slope stability, drainage patterns, erosion or landslide hazards, and steep ravine areas on the subject property or adjacent property.
  - b. Vegetative cover shall be retained to the maximum extent possible to stabilize slopes.
  - c. Pursuant to the requirements of Chapter 85.15.1-4 KZC, the applicant shall submit a geotechnical report prepared by a qualified geotechnical engineer evaluating the potential geologic hazard areas of the subject and adjacent properties to minimize damage to life and property. Specific structural designs and construction techniques to ensure long term stability shall be considered as part of the analysis. The applicant's geotechnical report and recommendations shall be reviewed by a qualified geotechnical engineer selected and retained by the City at the applicant's expense. The applicant shall comply with the performance standards contained in 85.25 KZC and 85.45 KZC.
  - d. The City may require traffic control devices, shared access points, right of way realignment, or limit development if necessary to further reduce traffic impacts.
  - e. Development must ensure that the City has the ability to access and provide necessary emergency services.
4. May also be regulated under the Shoreline Master Program, refer to KZC Chapter 83.

**USE ZONE CHARTS Section 60.22**

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**Use: Detached Dwelling Unit**

Required Review Process: None

Minimums:

Lot Size: 12,500 sq. ft. See Special Regulation 1, 2, and 3

Required Yards:

Front: 20' See Special Regulation 5

Side: Minimum 5' but 2 sides must equal at least 15'

Rear: 10'

Maximums:

Lot Coverage: 50%.

Height of Structures: 25' above average building elevation.

Landscape Category: E

Sign Category: A

Required Parking: 2.0 per dwelling unit.

Special Regulations:

1. Maximum dwelling units per acre is 6 dwelling units. Not more than one dwelling unit may be on each lot regardless of the size of the lot.
2. Within a subdivision or short plat the minimum lot size is 5,000 sq. ft.
3. Road dedication and vehicular access easements or tracts may not be included in the density calculation or in the minimum lot size per dwelling unit.
4. For lots containing less than 7,200 sq. ft., the Floor Area Ratio (FAR) requirements of KZC Section 115.42 shall apply. The maximum Floor Area Ratio is 50% of the lot size provided that F.A.R. may be increased to 60% if:
  - a. The primary roof form of all structures on the site is peaked with a minimum pitch of four feet vertical to 12 feet horizontal and
  - b. A setback of at least 7.5 feet is provided along each side yard.See KZC 115.42 Floor Area Ratio (FAR) calculation for Detached dwelling Units in Low Density Residential Zones for additional information.
5. On corner lots with two required front yards, one may be reduced to the average of the front yards for the two adjoining properties fronting the same street as the front yard to be reduced. The applicant may select which front yard will be reduced (see Plate 24).
6. Chapter 115 KZC contains regulations regarding home occupations and other accessory uses, facilities and activities associated with this use.

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**Use: Attached Dwelling Units**

Required Review Process: Process I, KZC Chapter 145

Minimums:

Lot Size: See Special Regulation 1, 2 and 3

Required Yards:

Front: 20' See Special Regulation 6

Side: 10' See Special Regulation 7

Rear: 10' See Special Regulation 7

Maximums:

Lot Coverage: 50%.

Height of Structures: 25' above average building elevation.

Landscape Category: E

Sign Category: A

Required Parking: 2.0 per dwelling unit.

Special Regulations:

1. Maximum dwelling units per acre is 6 dwelling units. Not more than one dwelling unit may be on each lot regardless of the size of the lot.
2. Within a subdivision or short plat the minimum lot size is 5,000 sq. ft.
3. Road dedication and vehicular access easements or tracts may not be included in the density calculation or in the minimum lot size per dwelling unit.
4. No more than two units may be attached to each other.
5. For lots containing less than 7,200 sq. ft., the Floor Area Ratio (FAR) requirements of KZC Section 115.42 shall apply. The maximum Floor Area Ratio is 50% of the lot size provided that F.A.R. may be increased to 60% if the primary roof form of all structures on the site is peaked with a minimum pitch of four feet vertical to 12 feet horizontal.  
See KZC 115.42 Floor Area Ratio (FAR) calculation for Detached dwelling Units in Low Density Residential Zones for additional information.
6. On corner lots with two required front yards, one may be reduced to the average of the front yards for the two adjoining properties fronting the same street as the front yard to be reduced. The applicant may select which front yard will be reduced (see Plate 24).
7. The side or rear yard may be reduced to zero feet if the side or rear of the dwelling unit is attached to a dwelling unit on an adjoining lot within the short plat or subdivision.
8. Attached dwelling units must be designed to look like a detached single family house using such techniques as limiting the points of entry on each façade, providing pitched roofs and covered porches.
9. Chapter 115 KZC contains regulations regarding home occupations and other accessory uses, facilities and activities associated with this use.

**Section:**

**Use: Church**

Required Review Process: Process IIA, Chapter 150 KZC

Minimums:

Lot Size: 12,500 sq. ft.

Required Yards:

Front: 20'

Side: 20' on each side

Rear: 20'

Maximums:

Lot Coverage: 50%.

Height of Structures: 25' above average building elevation. See General Regulations.

Landscape Category: C

Sign Category: B

Required Parking: 1 for every 4 people based on maximum occupancy load of any area of worship. See Special Reg. 1

Special Regulations:

1. No parking is required for day-care or school ancillary to the use.
2. The property must be served by a collector or arterial street.

---

**Section:**

**Use: School or Daycare Center**

Required Review Process: Process IIA, Chapter 150 KZC.

Minimums:

Lot Size: 12,500 sq. ft.

Required Yards:

If this use can accommodate 50 or more students or children, then: 50' front 50' on each side 50' rear

If this use can accommodate 13 to 49 students or children, then: 20' front 20' on each side 20' rear

Maximums:

Lot Coverage: 50%

Height of Structures: 25' above average building elevation. See General Regulations.

Landscape Category: D

Sign Category: B

Required Parking: See KZC 105.25

School Special Regulations:

- May locate on the subject property only if
  - a. It will not be materially detrimental to the character of the neighborhood in which it is located.
  - b. Site and building design minimizes adverse impacts on surrounding residential neighborhoods.
  - c. The property is served by a collector or arterial street.
- Six-foot-high fence along the side and rear property lines is required only along the property lines adjacent to the outside play areas.
- Hours of operation and maximum number of attendees at one time may be limited to reduce impacts on nearby residential uses.
- Structured play areas must be setback from all property lines as follows
  - a. 10 feet if this use can accommodate 50 or more students or children.
  - b. 20 feet if this use can accommodate 10 to 49 students or children.
- 5. An on-site passenger loading area must be provided. The city shall determine the appropriate size of the loading area on a case-by-case basis depending on the number of attendees and the extent of the abutting right-of-way improvements. The location of parking and passenger loading areas shall be designed to reduce impacts on nearby residential uses.
- Electrical signs shall not be permitted.
- May include accessory living facilities for staff persons.

---

**Section:**

**Use: Mini School or Mini Day Care Center**

Required Review Process: Process I, Chapter 145 KZC.

Minimums:

Lot Size: 12,500 sq. ft.

Required Yards:

Front: 20'

Side: 5' but 2 side yards must equal at least 15'

Rear: 20'

Maximums:

Lot Coverage: 50%.

Height of Structures: 25' above average building elevation.

Landscape Category: E

Sign Category: B

Required Parking: See KZC 105.25

Special Regulations:

- May locate on the subject property if
  - a. It will not be materially detrimental to the character of the neighborhood in which it is located.
  - b. Site design must minimize adverse impacts on surrounding residential neighborhoods.
- Six-foot-high fence is required along the property lines adjacent to the outside play areas.
- Hours of operation and maximum number of attendees may be limited by the city to reduce impacts on nearby residential uses.
- Structured play areas must be setback from all property lines by five feet.
- 5. An on-site passenger loading area may be required depending on the number of attendees and the extent of the abutting right-of-way improvements.
- The location of parking and passenger loading areas shall be designated to reduce impacts on nearby residential uses.
- Electrical signs shall not be permitted. Size of signs may be limited to be compatible with nearby residential uses.

- May include accessory living facilities for staff persons.

**Section:**

**Use: Public Utility**

Required Review Process: Process I, Chapter 50 KZC

Minimums:

Lot Size: None

Required Yards:

Front: 20'

Side: 20' on each side

Rear: 20'

Maximums:

Lot Coverage: 50%.

Height of Structures: 25' above average building elevation. See General Regulations

Landscape Category: A See Special Regulation 2

Sign Category: B

Required Parking: See KZC 105.25

Special Regulations:

- Site and building design minimizes adverse impacts on surrounding residential neighborhoods.
- Landscape category B or C may be required depending on the type of use on the subject property and the impacts associated with the use on the nearby uses.

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**Section:**

**Use: Government Facility Community Facility**

Required Review Process: Process IIA, Chapter 150, KZC

Minimums:

Lot Size: None.

Required Yards:

Front: 20'

Side: 10' on each side

Rear: 10'

Maximums:

Lot Coverage: 50%.

Height of Structures: 25' above average building elevation. See General Regulations

Landscape Category: C See special regulation 2

Sign Category: B

Required Parking: See KZC 105.25

Special Regulations:

- Site and building design minimizes adverse impacts on surrounding residential neighborhoods.
- Landscape category or may be required depending on the type of use on the subject property and the impacts associated with the use on the nearby uses.

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**Section:**

**Use: Public Park**

Development standards will be determined on a case-by-case basis. See chapter 49 KZC for required review process.

60.24 User Guide. Proposed Amendments

The charts in KZC 60.27 contain the basic zoning regulations that apply in Planned Area 3B, including sub-zones. Use these charts by reading down the left hand column entitled Use. Once you locate the use in which you are interested, read across to find the regulations that apply to that use.

Section 60.25



Section 60.25 – GENERAL REGULATIONS

The following regulations apply to all uses in this zone unless otherwise noted:

1. Refer to Chapter 1 KZC to determine what other provisions of this code may apply to the subject property.
2. Developments creating four or more new dwelling units shall provide at least 10 percent of the units as affordable housing units as defined in Chapter 5 KZC. Two additional units may be constructed for each affordable housing unit provided. In such cases, the minimum lot size listed in the Use Regulations shall be used to establish the base number of units allowed on the site, but shall not limit the size of individual lots. See Chapter 112 KZC for additional affordable housing incentives and requirements.
3. The required 30-foot front yard may be reduced, subject to all of the following conditions:
  - a. The existing primary structure does not conform to the minimum shoreline setback standard;
  - b. The proposed complete replacement or replacement of portion of the existing primary structure comply with the minimum required shoreline setback established under the provisions of Chapter 83 KZC, or as otherwise approved under the shoreline setback reduction provisions established in KZC 83.380; and
  - c. The front yard for the complete replacement or the portion of replacement may be reduced one foot for each one foot of the shoreline setback that is increased in dimension from the setback of the existing nonconforming primary structure; ~~provided, that subsection (3)(d) of this section is met; and~~  
~~d. Within the front yard, each portion of the primary structure that is replaced is set back from the front property line by a distance greater than or equal to the maximum height of that portion above the front property line.~~
4. The required 30-foot front yard may be reduced one foot for each foot of this yard that is developed as a public use area if:
  - ~~a. Within 30 feet of the front property line, each portion of a structure is set back from the front property line by a distance greater than or equal to the height of that portion above the front property line; and~~
  - ~~ba.~~ Substantially, the entire width of this yard (from north to south property lines) is developed as a public use area; and
  - ~~eb.~~ The design of the public use area is specifically approved by the City.  
(Does not apply to Public Access Pier, Boardwalk, or Public Access Facility; Boat Launch; Piers, Docks, Boat Lifts and Canopies Serving Detached Dwelling Unit; Piers, Decks, Boat Lifts and Canopies Serving Detached, Attached or Stacked Dwelling Units; Public Park; Public Utility uses; or Water Taxi).
5. A view corridor must be maintained across 30 percent of the average parcel width. Refer to Chapter 83 KZC for additional details.
6. May not use lands waterward of the high water mark to determine lot size or to calculate allowable density.
7. May also be regulated under the Shoreline Master Program. Refer to Chapter 83 KZC.

## Chapter 92 – DESIGN REGULATIONS-Proposed Amendments

### 92.05 Introduction

1. General
2. Applicability
3. Design Review Procedures
4. Relationship to Other Regulations
5. Dedication
6. Design Districts in Rose Hill Business District
7. Design Districts in the Totem Lake Neighborhood

### 92.10 Site Design, Building Placement and Pedestrian-Oriented Facades

1. Building Placement in JBD
2. Pedestrian-Oriented Facades Defined for RHBD and TLN
3. Building Placement In RHBD, ~~and~~ TLN, ~~and~~ YBD
4. Multi-Story Buildings on Sites Adjacent to a Low Density Zone in RHBD and TLN
5. Multifamily Buildings Located in TLN
6. Building Location at Street Corners in the RHBD and TLN Zones
7. Building Location at Street Corners in CBD

### 92.15 Pedestrian-Oriented Improvements on or Adjacent to the Subject Property

1. All Zones – Pedestrian Oriented Space and Plazas in Parking Areas
2. Pedestrian-Oriented Space and Plazas in TC, CBD, NRHBD, RHBD and TLN Zones
3. Blank Wall Treatment
4. Parking Garages

### 92.30 Architectural and Human Scale

1. Techniques To Moderate Bulk and Mass in the CBD
2. Horizontal Definition in All Zones
3. Techniques To Moderate Bulk and Mass in the RHBD and TLN Zones
4. Techniques To Achieve Architectural Scale in All Zones
5. Techniques To Achieve Architectural Scale in the RHBD and the TLN Zones
6. Achieving Human Scale in All Zones

### 92.35 Building Material, Color and Detail

1. Required Elements
2. Prohibited Materials – All Zones
3. Metal Siding – All Zones
4. Concrete Block – All Zones
5. Awnings – All Zones
6. Covering of Existing Facades – All Zones
7. Building Cornerstone or Plaque – All Zones
8. Required On-Site Improvements – All Zones

## 92.05 Introduction

1. General – This chapter establishes the design regulations that apply to development in Design Districts including the Central Business District (CBD), Market Street Corridor (MSC), Juanita Business District (JBD), Rose Hill Business District (RHBD), Totem Lake Neighborhood (TLN), North Rose Hill Business District (NRHBD), Totem Center (TC), Yarrow Bay Business District (YBD) and in areas indicated on the use zone charts for PLA 5C.

Special provisions that apply to a particular Design District are noted in the section headings of the chapter.

## 92.10 Site Design, Building Placement and Pedestrian-Oriented Facades

This section contains regulations which establish the location of a building on the site in relationship to the adjacent sidewalk, pedestrian pathway or pedestrian-oriented elements on or adjacent to the subject property.

1. Building Placement in JBD – All buildings must front on a right-of-way or through-block pathway (see Plate 34).
2. Pedestrian-Oriented Facades Defined for RHBD and TLN – To meet the definition of a pedestrian-oriented facade (see Figure 92.10.A):
  - a. The building's primary entrance must be located on this facade and facing the street. For purposes of this chapter, "primary entrance" shall be defined as the primary or principle pedestrian entrance of all buildings along that street. The primary entrance is the entrance designed for access by pedestrians from the sidewalk. This is the principal architectural entrance even though customers or residents may use a secondary entrance associated with a garage, parking area, driveway or other vehicular use area more frequently.
  - b. Transparent windows and/or doors must occupy at least 75 percent of the facade area between two and seven feet above the sidewalk.
  - c. Weather protection feature(s) at least five feet wide must be provided over at least 75 percent of the facade. This could include awnings, canopies, marquees, or other permitted treatments that provide functional weather protection.
3. Building Placement In RHBD, ~~and~~ TLN and YBD
  - a. ~~-~~Building Location Featuring Pedestrian-Oriented Facades in RHBD, ~~and~~ TLN and YBD Zones – Buildings may be located adjacent to the sidewalk of any street (except west of 124th Avenue NE in the TLN) and in YBD (except for Lake Washington Blvd and Northup Way), if they contain a pedestrian-oriented facade along that street frontage pursuant to the standards in subsection (2) of this section. As part of the Design Review process, required yards, setbacks or other development standards may be modified along the street frontage. Buildings not featuring a pedestrian-oriented facade along a street must provide a building setback of at least 10 feet from any public street (except areas used for pedestrian or vehicular access) landscaped with a combination of trees, shrubs, and groundcover per the requirements of supplemental landscape standards of KZC 95.41(2).

## 92.30 Architectural and Human Scale

6. Achieving Human Scale in All Zones
  - a. General
    - 1) CBD – Except as provided in subsection (6)(a)(3) of this section, the applicant shall use at least two of the elements or techniques listed in subsection (6)(b) of this section in the design and construction of each facade of a building facing a street or public park.
    - 2) JBD, NRHBD, RHBD, MSC, TC, YBD and TLN – Except as provided in subsection (6)(a)(3) of this section, the applicant shall use at least one of the elements or techniques listed in subsection (6)(b) of this section in the design and construction of each facade of a one-story building facing a street or through-block pathway, and at least two of the elements or techniques for a two-story building facing a street or through-block pathway (see Plate 34 in Chapter 180 KZC).

**Kirkland Zoning Code Amendments:****100.50 Designated Corridors**

1. General – KZC [100.45](#) contains limitations on sign area along the following designated corridors:
  - a. Market Street between Central Way and N.E. 106th Street.
  - b. State Street, between N.E. 68th Street and 2nd Avenue South.
  - c. Lake Washington Boulevard and Lake Street South between N.E. 38th Street and 3rd Avenue South.
  - d. Lakeview Drive and NE 60<sup>th</sup> Street.
2. Electrical Signs Prohibited – Electrical signs shall not be located along designated corridors.

**100.52 CBD and JBD – Certain Signs Prohibited**

Cabinet signs shall be prohibited in all Central Business District (Chapter [50](#) KZC), ~~and~~ Juanita Business District zones (Chapter [52](#) KZC) and Yarrow Bay Business District (Chapter 56, KZC).

105.58 Location of Parking Areas Specific to Design Districts

If the subject property is located in a Design District, the applicant shall locate parking areas on the subject property according to the following requirements:

1. Location of Parking Areas in the CBD, TC (TL 1, TL 2, TL 3) Zones
  - a. Parking areas shall not be located between a pedestrian-oriented street and a building unless specified in a Conceptual Master Plan in TL 2. (See Plate 34 in Chapter 180 KZC and Chapters 92 and 110 KZC for additional requirements regarding pedestrian-oriented streets).
  - b. On all other streets, parking lots shall not be located between the street and the building on the subject property unless no other feasible alternative exists.
2. Location of Parking Areas in the JBD 2, and the NRHBD and YBD Zones – Parking areas shall not be located between the street and the building unless no other feasible alternative exists on the subject property.
3. Location of Parking Areas in the MSC Zones – Parking areas in the MSC zones shall not be located between the street and the building unless the Planning Official determines that the proposed landscape design provides superior visual screening of the parking area.
4. Location of Parking Areas in Certain TLN and RHBD Zones – Parking areas and vehicular access may not occupy more than 50 percent of the street frontage in the following zones (see Figure 105.58.A):
  - a. TL 4, only properties fronting on 120th Avenue NE;
  - b. TL 5;
  - c. TL 6A, only properties fronting on 124th Avenue NE. Auto dealers in this zone are exempt from this requirement;
  - d. TL 6B, only properties fronting on NE 124th Street;
  - e. TL 10E.

Alternative configurations may be considered through the Design Review process, if the project meets the objectives of the KMC Design Guidelines for the Totem Lake Neighborhood.

  - f. In the Regional Center (RH 1A, RH 2A, RH 3 and RH 5A zones west of 124th Avenue). For parcels over two acres in size, parking lots and vehicular access areas may not occupy more than 50 percent of the NE 85th Street property frontage (see Figure 105.58.A). Alternative configurations will be considered through the Design Review process, if the project meets the intent of the KMC Design Guidelines for the Rose Hill Business District.

Insert: and attached dwelling unit in PLA 3C

### 115.42 Floor Area Ratio (F.A.R.) Calculation for Detached Dwelling Units in Low Density Residential Zones

Insert: and attached dwelling units in PLA 3C

1. Gross floor area for purposes of calculating F.A.R. and maximum floor area for detached dwelling units in low density residential zones does not include the following:
  - a. Attic area with less than five (5) feet of ceiling height, as measured between the finished floor and the supporting members for the roof.
  - b. Floor area with a ceiling height less than six (6) feet above finished grade. The ceiling height will be measured to the top of the structural members for the floor above. The finished grade will be measured along the outside perimeter of the building (see Plate 23).
  - c. On lots less than 8,500 square feet, the first 500 square feet of an accessory dwelling unit or garage contained in an accessory structure, when such accessory structure is located more than 20 feet from and behind the main structure (see KZC 115.30 for additional information on the required distance between structures); provided, that the entire area of an accessory structure, for which a building permit was issued prior to March 6, 2007, shall not be included in the gross floor area used to calculate F.A.R. For purposes of this section, "behind" means located behind an imaginary plane drawn at the back of the main structure at the farthest point from, and parallel to, the street or access easement serving the residence.
  - d. On lots greater than or equal to 8,500 square feet, the first 800 square feet of an accessory dwelling unit or garage contained in an accessory structure, when such accessory structure is located more than 20 feet from and behind the main structure (see KZC 115.30 for additional information on the required distance between structures); provided, that the entire area of an accessory structure, for which a building permit was issued prior to March 6, 2007, shall not be included in the gross floor area used to calculate F.A.R.
  - e. Uncovered and covered decks, porches, and walkways.
2. Floor area with a ceiling height greater than 16 feet shall be calculated as follows:
  - a. The first 100 square feet of such floor area, in aggregate, shall be calculated only once toward allowable F.A.R.;
  - b. Floor area in excess of the first 100 square feet shall be calculated at twice the actual floor area toward allowable F.A.R.
3. *This section is not effective within the disapproval jurisdiction of the Houghton Community Council.*

Insert: except for those lots in PLA 3C that are less than 7200 sq. ft. or lots that have less than the minimum lot size created through the small lot provisions of Subdivision 22.28.042.

## Zoning Code Amendments to Chapter 142:

### 142.25 Administrative Design Review (A.D.R.) Process

1. Authority – The Planning Official shall conduct A.D.R in conjunction with a related development permit pursuant to this section.

The Planning Official shall review the A.D.R. application for compliance with the design regulations contained in Chapter [92](#) KZC. In addition, the following guidelines and policies shall be used to interpret how the regulations apply to the subject property:

- a. Design guidelines for pedestrian-oriented business districts, as adopted in KMC 3.30.040.
  - b. Design guidelines for the Rose Hill Business District (RHBD), ~~and~~ the Totem Lake Neighborhood (TLN) and Yarrow Bay Business District (YBD) as adopted in KMC 3.30.040.
  - c. For review of attached or stacked dwelling units within the NE 85th Street Subarea and the Market Street Corridor, Appendix C, Design Principles for Residential Development contained in the Comprehensive Plan.
2. Application – As part of any application for a development permit requiring A.D.R., the applicant shall show compliance with the design regulations in Chapter [92](#) KZC by submitting an A.D.R. application on a form provided by the Planning Department. The application shall include all documents and exhibits listed on the application form, as well as application materials required as a result of a pre-design conference.
  3. Pre-Design Conference – Before applying for A.D.R. approval, the applicant may schedule a pre-design meeting with the Planning Official. The meeting will be scheduled by the Planning Official upon written request by the applicant. The purpose of this meeting is to provide an opportunity for an applicant to discuss the project concept with the Planning Official and for the Planning Official to designate which design regulations apply to the proposed development based primarily on the location and nature of the proposed development.
  4. A.D.R. Approval
    - a. The Planning Official may grant, deny, or conditionally approve the A.D.R. application. The A.D.R. approval or conditional approval will become conditions of approval for any related development permit, and no development permit will be issued unless it is consistent with the A.D.R. approval or conditional approval.
    - b. Additions or Modifications to Existing Buildings
      - 1) Applications involving additions or modifications to existing buildings shall comply with the design regulations of Chapter [92](#) KZC to the extent feasible depending on the scope of the project. The Planning Official may waive compliance with a particular design regulation if the applicant demonstrates that it is not feasible given the existing development and scope of the project.
      - 2) The Planning Official may waive the A.D.R. process for applications involving additions or modifications to existing buildings if the design regulations are not applicable to the proposed development activity.

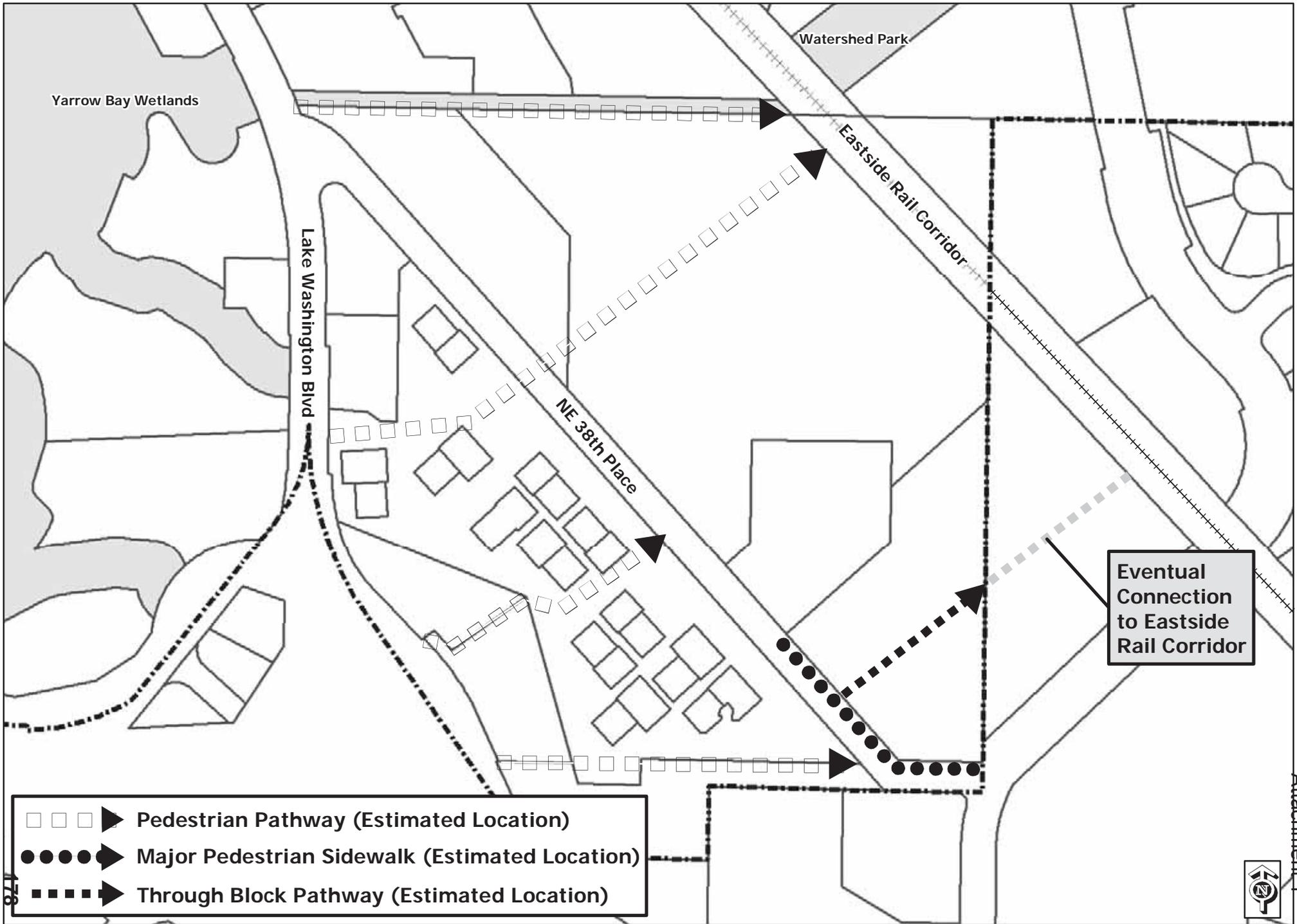
5. Lapse of Approval – The lapse of approval for the A.D.R. decision shall be tied to the development permit and all conditions of the A.D.R. approval shall be included in the conditions of approval granted for that development permit.
6. Design departure and minor variations may be requested pursuant to KZC [142.37](#).

### 142.37 Design Departure and Minor Variations

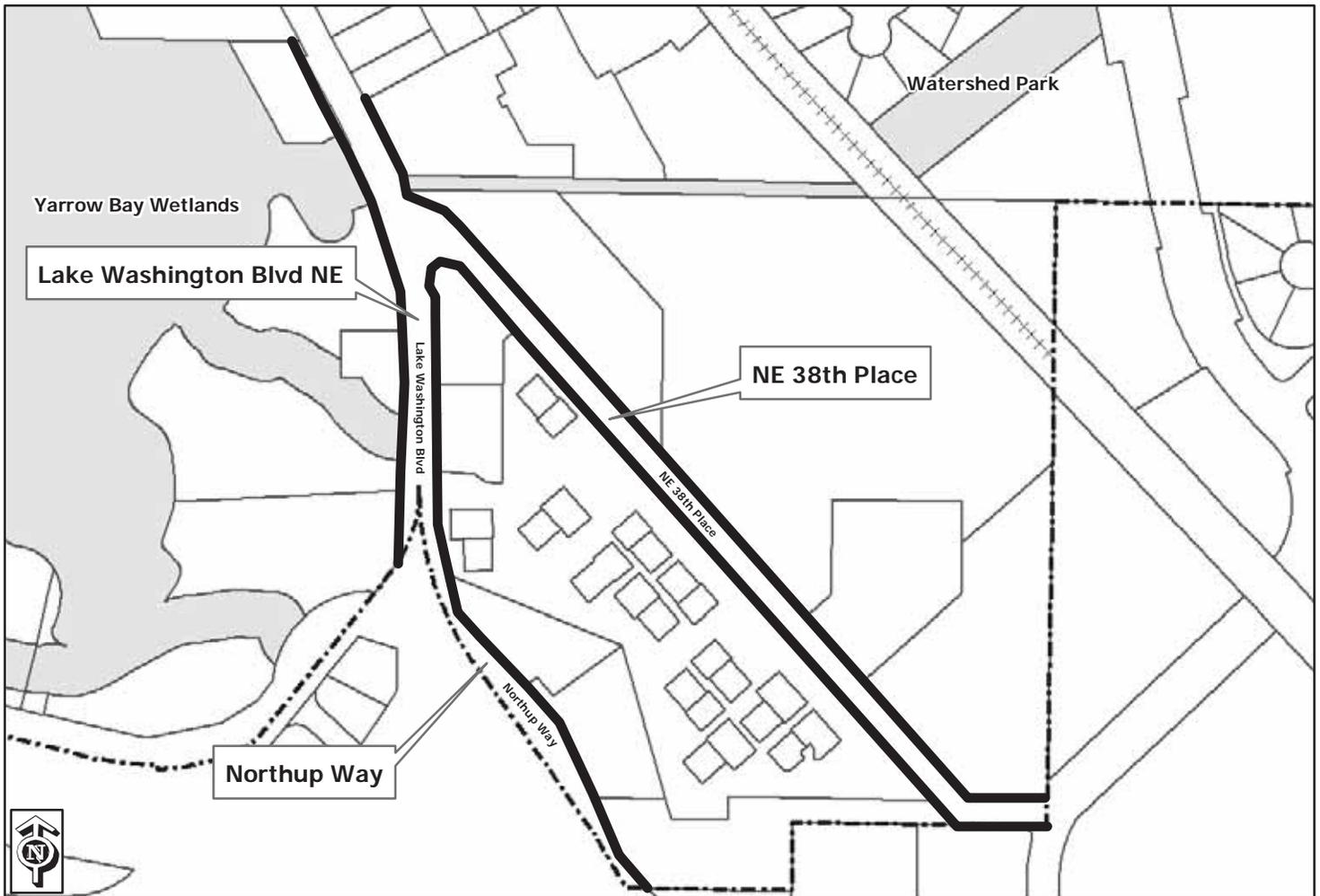
1. General – This section provides a mechanism for obtaining approval to depart from strict adherence to the design regulations or for requesting minor variations from requirements in the following zones:
  - a. In the CBD [and YBD](#): minimum required yards; and
  - b. In the Totem Center: minimum required yards, floor plate maximums and building separation requirements; and
  - c. In the RHBD and the TLN: minimum required yards, landscape buffer and horizontal facade requirements; and
  - d. In the MSC 1 and MSC 4 zones of the Market Street Corridor: minimum required front yards and horizontal facade requirements; and
  - e. In the MSC 2 zone of the Market Street Corridor: height (up to an additional five (5) feet), minimum required front yards and horizontal facade requirements; and
  - f. In the MSC 3 zone of the Market Street Corridor: horizontal facade requirements.

This section does not apply when a design regulation permits the applicant to propose an alternate method for complying with it or the use zone chart allows the applicant to request a reduced setback administratively.
2. Process – If a design departure or minor variation is requested, the D.R. decision, including the design departure or minor variation, will be reviewed and decided upon using the D.B.R. process.
3. Application Information – The applicant shall submit a complete application on the form provided by the Planning Department, along with all information listed on that form, including a written response to the criteria in subsection (4) of this section.
4. Criteria – The Design Review Board may grant a design departure or minor variation only if it finds that all of the following requirements are met:
  - a. The request results in superior design and fulfills the policy basis for the applicable design regulations and design guidelines;
  - b. The departure will not have any substantial detrimental effect on nearby properties and the City or the neighborhood.

# Plate 34L: PEDESTRIAN CIRCULATION IN YBD



## Plate 34M: Street Improvements in YBD



**Required street improvements for NE 38th Pl, Lake Washington Blvd NE, and Northup Way in the Yarrow Bay Business District:**

**NE 38th Pl:**

- 70-80 feet of public right of way
- 10 foot wide sidewalks with street trees in landscape strip or tree grates on both sides of street and decorative street light fixtures
- On-street parking strongly encouraged along street

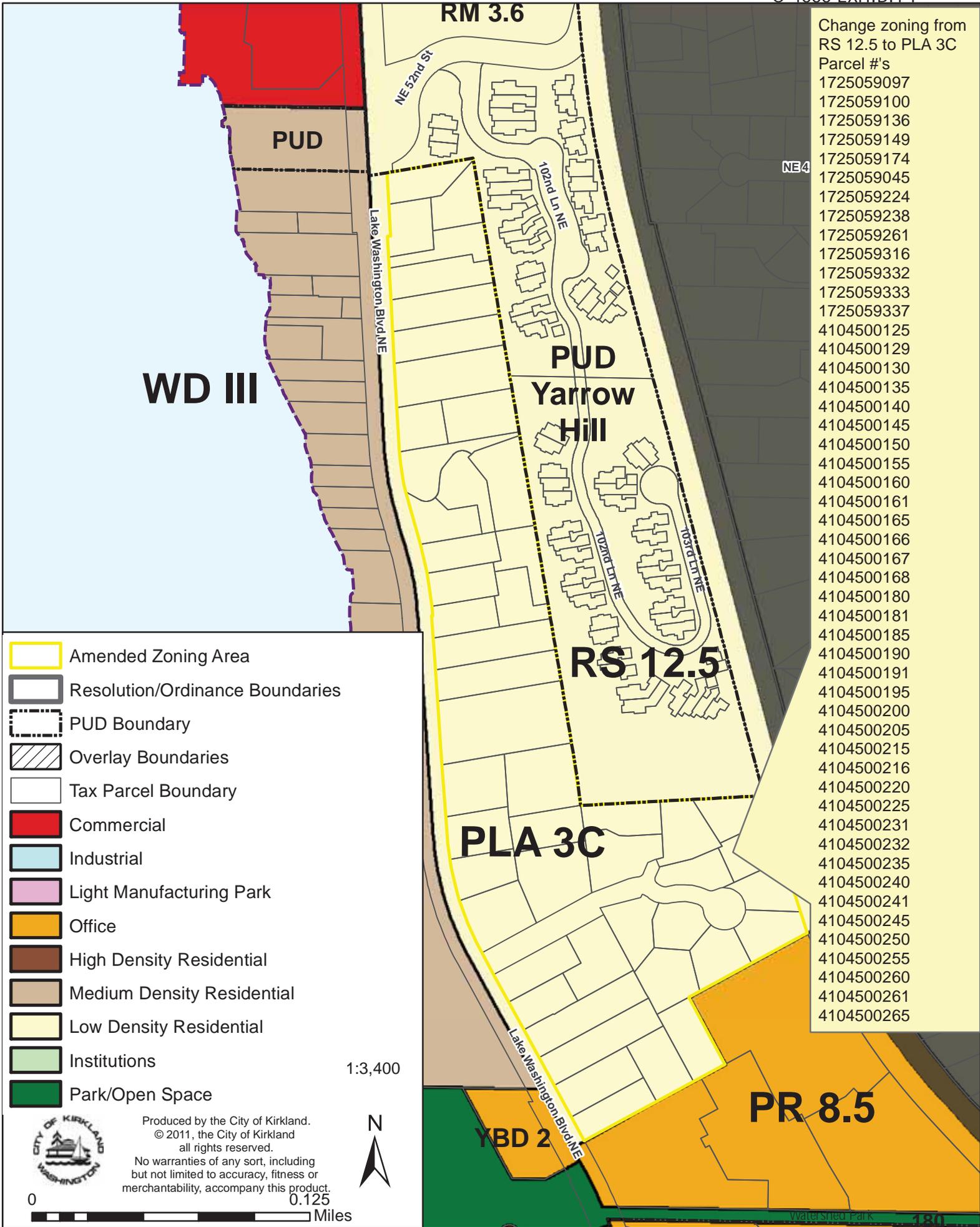
**Lake Washington Blvd NE:**

- 60 – 80 feet of public right of way
- 10 foot wide sidewalks with street trees in landscape strip or tree grates on both sides of street and decorative street light fixtures

**Northup Way:**

- 10 foot wide sidewalks with street trees in landscape strip or tree grates on both sides of street and decorative street light fixtures.

**Note:** The precise right of way specifications may vary and shall be determined by the Public Works Director



- Change zoning from  
RS 12.5 to PLA 3C  
Parcel #'s
- 1725059097
  - 1725059100
  - 1725059136
  - 1725059149
  - 1725059174
  - 1725059045
  - 1725059224
  - 1725059238
  - 1725059261
  - 1725059316
  - 1725059332
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  - 1725059337
  - 4104500125
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  - 4104500241
  - 4104500245
  - 4104500250
  - 4104500255
  - 4104500260
  - 4104500261
  - 4104500265

- Amended Zoning Area
- Resolution/Ordinance Boundaries
- PUD Boundary
- Overlay Boundaries
- Tax Parcel Boundary
- Commercial
- Industrial
- Light Manufacturing Park
- Office
- High Density Residential
- Medium Density Residential
- Low Density Residential
- Institutions
- Park/Open Space

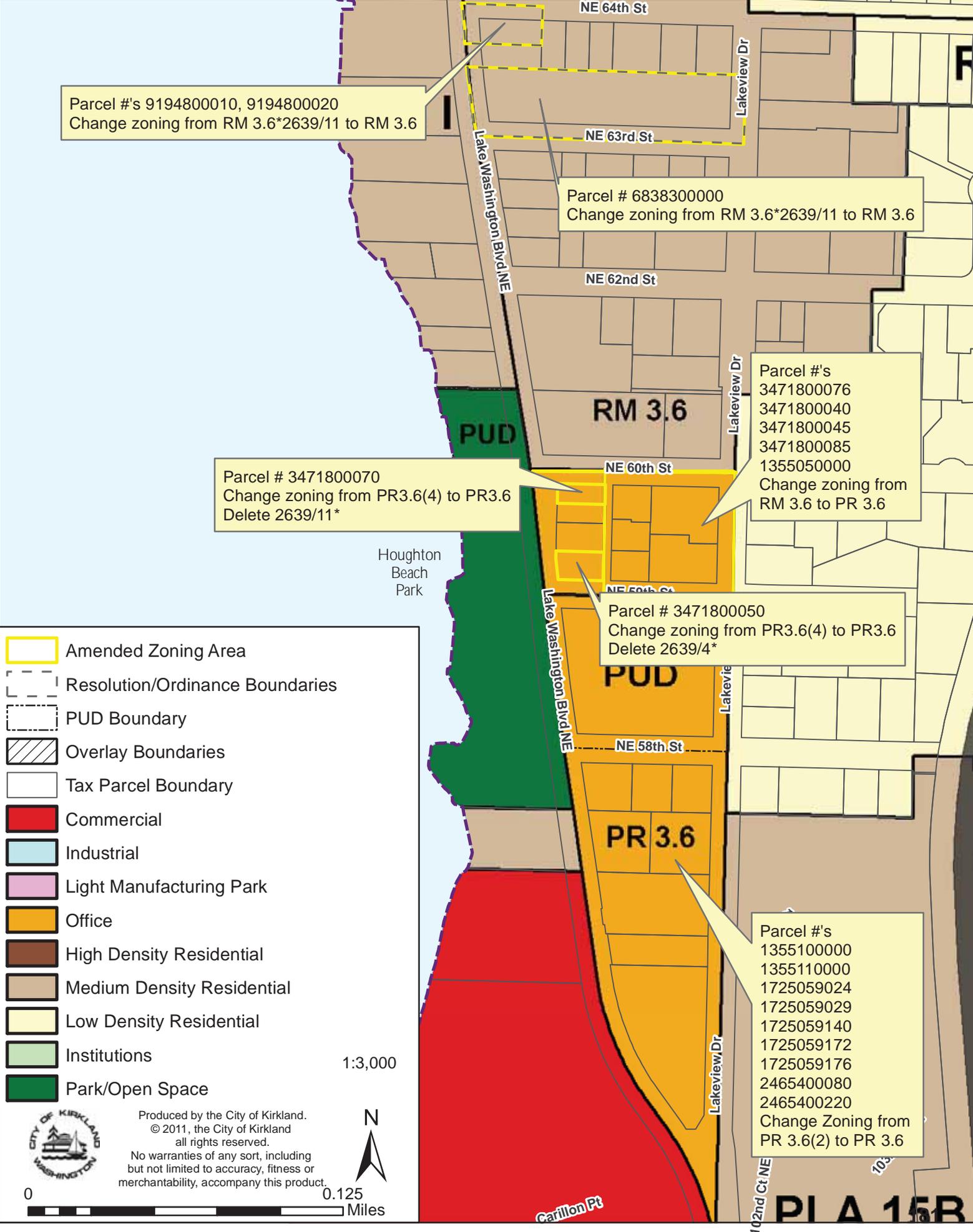
1:3,400

N

0 0.125 Miles

CITY OF KIRKLAND WASHINGTON

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but not limited to accuracy, fitness or  
merchantability, accompany this product.



Parcel #'s 9194800010, 9194800020  
Change zoning from RM 3.6\*2639/11 to RM 3.6

Parcel # 6838300000  
Change zoning from RM 3.6\*2639/11 to RM 3.6

Parcel # 3471800070  
Change zoning from PR3.6(4) to PR3.6  
Delete 2639/11\*

Parcel #'s  
3471800076  
3471800040  
3471800045  
3471800085  
1355050000  
Change zoning from  
RM 3.6 to PR 3.6

Parcel # 3471800050  
Change zoning from PR3.6(4) to PR3.6  
Delete 2639/4\*

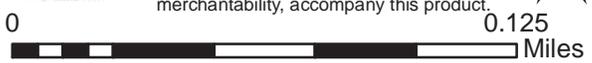
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1355110000  
1725059024  
1725059029  
1725059140  
1725059172  
1725059176  
2465400080  
2465400220  
Change Zoning from  
PR 3.6(2) to PR 3.6

- Amended Zoning Area
- Resolution/Ordinance Boundaries
- PUD Boundary
- Overlay Boundaries
- Tax Parcel Boundary
- Commercial
- Industrial
- Light Manufacturing Park
- Office
- High Density Residential
- Medium Density Residential
- Low Density Residential
- Institutions
- Park/Open Space

1:3,000



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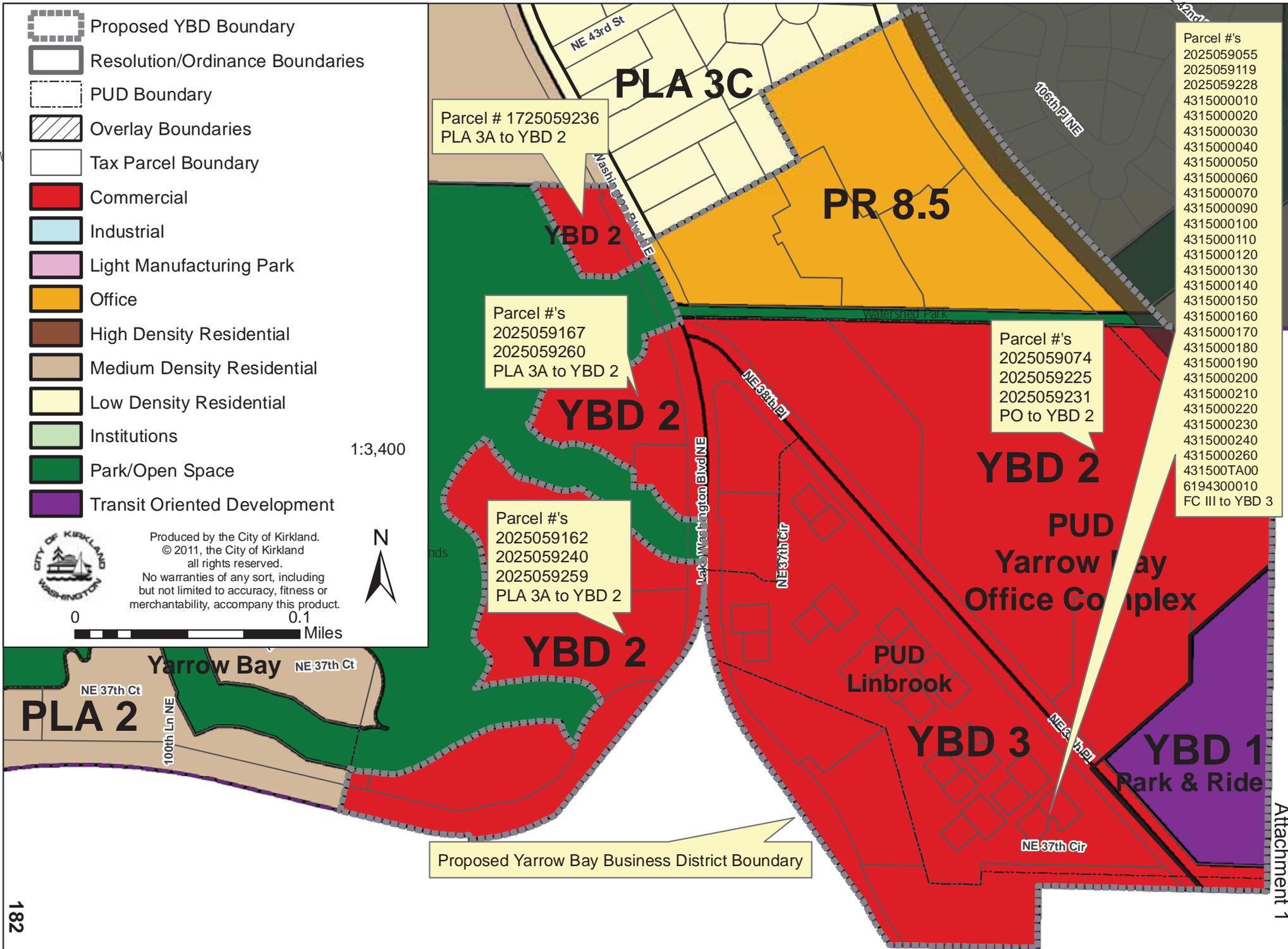
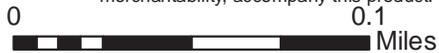
102nd Ct NE  
103rd Ct NE  
PLA 15B

-  Proposed YBD Boundary
-  Resolution/Ordinance Boundaries
-  PUD Boundary
-  Overlay Boundaries
-  Tax Parcel Boundary
-  Commercial
-  Industrial
-  Light Manufacturing Park
-  Office
-  High Density Residential
-  Medium Density Residential
-  Low Density Residential
-  Institutions
-  Park/Open Space
-  Transit Oriented Development

1:3,400



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 merchantability, accompany this product.



Parcel # 1725059236  
 PLA 3A to YBD 2

Parcel #'s  
 2025059167  
 2025059260  
 PLA 3A to YBD 2

Parcel #'s  
 2025059162  
 2025059240  
 2025059259  
 PLA 3A to YBD 2

Parcel #'s  
 2025059074  
 2025059225  
 2025059231  
 PO to YBD 2

Parcel #'s  
 2025059055  
 2025059119  
 2025059228  
 4315000010  
 4315000020  
 4315000030  
 4315000040  
 4315000050  
 4315000060  
 4315000070  
 4315000090  
 4315000100  
 4315000110  
 4315000120  
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 4315000180  
 4315000190  
 4315000200  
 4315000210  
 4315000220  
 4315000230  
 4315000240  
 4315000260  
 431500TA00  
 6194300010  
 FC III to YBD 3

Proposed Yarrow Bay Business District Boundary

PUBLICATION SUMMARY  
OF ORDINANCE NO. O-4333

AN ORDINANCE OF THE CITY OF KIRKLAND RELATING TO COMPREHENSIVE PLANNING AND LAND USE AND AMENDING THE KIRKLAND ZONING CODE (TITLE 23 OF THE KIRKLAND MUNICIPAL CODE), AND THE KIRKLAND ZONING MAP, ORDINANCE 3710 AS AMENDED TO IMPLEMENT THE LAKEVIEW NEIGHBORHOOD PLAN UPDATE AND APPROVING A SUMMARY FOR PUBLICATION, FILE NO ZON07-00032.

SECTION 1. Amends the following specific portions of the Kirkland Zoning Code:

- A. Amend Table of Contents;
- B. Amend Chapter 5. Definitions;
- C. Amend Chapter 10. Legal Effect/Applicability;
- D. Amend Chapter 25. Professional Office Residential (PR) and Professional Office Residential A (PRA) Zones;
- E. Amend Chapter 30. Waterfront District (WD) Zones;
- F. Repeal Chapter 35. Freeway Commercial (FCIII) Zone;
- G. Add new section to Chapter 56. Yarrow Bay Business District Subareas YBD 2 and YBD 3;
- H. Chapter 60. Planned Areas:
  - a. Amend PLA 2 Use Zone Chart;
  - b. Delete PLA 3A Use Zone Chart;
  - c. Add new Sections 60.19 – 60.22 PLA 3C Use Zone Chart;
  - d. Text amendments to 60.25 PLA 3B;
- I. Add Yarrow Bay Business District (YBD) Design Regulations to Chapter 92;
- J. Amend Chapter 100. Signs;
- K. Amend Chapter 105. Parking;
- L. Amend Chapter 115. Miscellaneous;
- M. Amend Chapter 142. Design Review;
- N. Amend Chapter 180 Plates.

SECTION 2. Amends the Kirkland Zoning Map as set forth in Exhibit P, Exhibit Q and Exhibit R.

SECTION 3. Provides a severability clause for the ordinance.

SECTION 4. Authorizes publication of the ordinance by summary, which summary is approved by the City Council pursuant to Kirkland Municipal Code 1.08.017 and establishes the effective date as January 1, 2012, which will be more than five days after publication of summary.

SECTION 5. Establishes certification by City Clerk and notification of King County Department of Assessments.

The full text of this Ordinance will be mailed without charge to any person upon request made to the City Clerk for the City of Kirkland. The Ordinance was passed by the Kirkland City Council at its meeting on the \_\_\_\_ day of \_\_\_\_\_, 2011.

I certify that the foregoing is a summary of Ordinance \_\_\_\_\_ approved by the Kirkland City Council for summary publication.

\_\_\_\_\_  
City Clerk

RESOLUTION 2011-5

A RESOLUTION OF THE HOUGHTON COMMUNITY COUNCIL APPROVING ORDINANCE NO. 4329 ADOPTED BY THE KIRKLAND CITY COUNCIL ON NOVEMBER 15, 2011 ADOPTING COMPREHENSIVE PLAN AMENDMENTS (FILE NO. ZON09-00016).

WHEREAS, the Houghton Community Council has received from the Kirkland City Council Ordinance No. 4329 adopting the amendments to the Comprehensive Plan; and

WHEREAS, the subject matter of this ordinance, pursuant to Ordinance 2001, is subject to the disapproval jurisdiction of the Houghton Community Council and shall become effective within the Houghton Community Municipal Corporation only upon approval by the Houghton Community Council or the failure of said Community Council to disapprove this ordinance within 60 days of the date of the passage of this ordinance; and

WHEREAS, on June 23, 2011 the Houghton Community Council held a joint hearing with the Planning Commission on the proposed amendments and, following the close of the public hearing, recommended that the City Council approve the amendments; and

WHEREAS, the subject of this ordinance was reviewed and discussed by the Houghton Community Council at a meeting held on November 28, 2011; and

WHEREAS, the Houghton Community Council elects to exercise its jurisdiction with respect to Ordinance 4329 by approving the ordinance;

NOW, THEREFORE, be it resolved that Ordinance 4329 is hereby approved and shall be effective within the Houghton Community Municipal Corporation.

PASSED by majority vote of the Houghton Community Council in regular, open meeting this \_\_\_\_ day of \_\_\_\_\_, 2011.

SIGNED IN AUTHENTICATION thereof this \_\_\_\_ day of \_\_\_\_\_, 2011.

\_\_\_\_\_  
Chair, Houghton Community Council

\_\_\_\_\_  
City Clerk



RESOLUTION 2011-6

A RESOLUTION OF THE HOUGHTON COMMUNITY COUNCIL APPROVING ORDINANCE NO. 4330 ADOPTED BY THE KIRKLAND CITY COUNCIL ON NOVEMBER 15, 2011 ADOPTING MUNICIPAL CODE AMENDMENTS (FILE NO. ZON09-00016).

WHEREAS, the Houghton Community Council has received from the Kirkland City Council Ordinance No. 4330 adopting the amendments to the Municipal Code; and

WHEREAS, the subject matter of this ordinance, pursuant to Ordinance 2001, is subject to the disapproval jurisdiction of the Houghton Community Council and shall become effective within the Houghton Community Municipal Corporation only upon approval by the Houghton Community Council or the failure of said Community Council to disapprove this ordinance within 60 days of the date of the passage of this ordinance; and

WHEREAS, on June 23, 2011 the Houghton Community Council held a joint hearing with the Planning Commission on the proposed amendments and, following the close of the public hearing, recommended that the City Council approve the amendments; and

WHEREAS, the subject of this ordinance was reviewed and discussed by the Houghton Community Council at a meeting held on November 28, 2011; and

WHEREAS, the Houghton Community Council elects to exercise its jurisdiction with respect to Ordinance 4330 by approving the ordinance;

NOW, THEREFORE, be it resolved that Ordinance 4330 is hereby approved and shall be effective within the Houghton Community Municipal Corporation.

PASSED by majority vote of the Houghton Community Council in regular, open meeting this \_\_\_\_ day of \_\_\_\_\_, 2011.

SIGNED IN AUTHENTICATION thereof this \_\_\_\_ day of \_\_\_\_\_, 2011.

\_\_\_\_\_  
Chair, Houghton Community Council

\_\_\_\_\_  
City Clerk



RESOLUTION 2011-7

A RESOLUTION OF THE HOUGHTON COMMUNITY COUNCIL APPROVING ORDINANCE NO. 4331 ADOPTED BY THE KIRKLAND CITY COUNCIL ON NOVEMBER 15, 2011 ADOPTING COMPREHENSIVE PLAN AMENDMENTS (FILE NO. ZON07-00032).

WHEREAS, the Houghton Community Council has received from the Kirkland City Council Ordinance No. 4331 adopting the amendments to the Comprehensive Plan; and

WHEREAS, the subject matter of this ordinance, pursuant to Ordinance 2001, is subject to the disapproval jurisdiction of the Houghton Community Council and shall become effective within the Houghton Community Municipal Corporation only upon approval by the Houghton Community Council or the failure of said Community Council to disapprove this ordinance within 60 days of the date of the passage of this ordinance; and

WHEREAS, on June 23, 2011 and July 14, 2011 the Houghton Community Council held a joint hearing with the Planning Commission on the proposed amendments and, following the close of the public hearing, recommended that the City Council approve the amendments; and

WHEREAS, the subject of this ordinance was reviewed and discussed by the Houghton Community Council at a meeting held on November 28, 2011; and

WHEREAS, the Houghton Community Council elects to exercise its jurisdiction with respect to Ordinance 4331 by approving the ordinance;

NOW, THEREFORE, be it resolved that Ordinance 4331 is hereby approved and shall be effective within the Houghton Community Municipal Corporation.

PASSED by majority vote of the Houghton Community Council in regular, open meeting this \_\_\_\_ day of \_\_\_\_\_, 2011.

SIGNED IN AUTHENTICATION thereof this \_\_\_\_ day of \_\_\_\_\_, 2011.

\_\_\_\_\_  
Chair, Houghton Community Council

\_\_\_\_\_  
City Clerk



RESOLUTION 2011-8

A RESOLUTION OF THE HOUGHTON COMMUNITY COUNCIL APPROVING ORDINANCE NO. 4332 ADOPTED BY THE KIRKLAND CITY COUNCIL ON NOVEMBER 15, 2011 ADOPTING MUNICIPAL CODE AMENDMENTS (FILE NO. ZON07-00032).

WHEREAS, the Houghton Community Council has received from the Kirkland City Council Ordinance No. 4332 adopting the amendments to the Municipal Code; and

WHEREAS, the subject matter of this ordinance, pursuant to Ordinance 2001, is subject to the disapproval jurisdiction of the Houghton Community Council and shall become effective within the Houghton Community Municipal Corporation only upon approval by the Houghton Community Council or the failure of said Community Council to disapprove this ordinance within 60 days of the date of the passage of this ordinance; and

WHEREAS, on June 23, 2011 and July 14, 2011 the Houghton Community Council held a joint hearing with the Planning Commission on the proposed amendments and, following the close of the public hearing, recommended that the City Council approve the amendments; and

WHEREAS, the subject of this ordinance was reviewed and discussed by the Houghton Community Council at a meeting held on November 28, 2011; and

WHEREAS, the Houghton Community Council elects to exercise its jurisdiction with respect to Ordinance 4332 by approving the ordinance;

NOW, THEREFORE, be it resolved that Ordinance 4332 is hereby approved and shall be effective within the Houghton Community Municipal Corporation.

PASSED by majority vote of the Houghton Community Council in regular, open meeting this \_\_\_\_ day of \_\_\_\_\_, 2011.

SIGNED IN AUTHENTICATION thereof this \_\_\_\_ day of \_\_\_\_\_, 2011.

\_\_\_\_\_  
Chair, Houghton Community Council

\_\_\_\_\_  
City Clerk



RESOLUTION 2011-9

A RESOLUTION OF THE HOUGHTON COMMUNITY COUNCIL APPROVING ORDINANCE NO. 4333 ADOPTED BY THE KIRKLAND CITY COUNCIL ON NOVEMBER 15, 2011 ADOPTING ZONING CODE AND ZONING MAP AMENDMENTS (FILE NO. ZON07-00032).

WHEREAS, the Houghton Community Council has received from the Kirkland City Council Ordinance No. 4333 adopting the amendments to the Zoning Code and Zoning Map; and

WHEREAS, the subject matter of this ordinance, pursuant to Ordinance 2001, is subject to the disapproval jurisdiction of the Houghton Community Council and shall become effective within the Houghton Community Municipal Corporation only upon approval by the Houghton Community Council or the failure of said Community Council to disapprove this ordinance within 60 days of the date of the passage of this ordinance; and

WHEREAS, on June 23, 2011 and July 14, 2011 the Houghton Community Council held a joint hearing with the Planning Commission on the proposed amendments and, following the close of the public hearing, recommended that the City Council approve the amendments; and

WHEREAS, the subject of this ordinance was reviewed and discussed by the Houghton Community Council at a meeting held on November 28, 2011; and

WHEREAS, the Houghton Community Council elects to exercise its jurisdiction with respect to Ordinance 4333 by approving the ordinance;

NOW, THEREFORE, be it resolved that Ordinance 4333 is hereby approved and shall be effective within the Houghton Community Municipal Corporation.

PASSED by majority vote of the Houghton Community Council in regular, open meeting this \_\_\_\_ day of \_\_\_\_\_, 2011.

SIGNED IN AUTHENTICATION thereof this \_\_\_\_ day of \_\_\_\_\_, 2011.

\_\_\_\_\_  
Chair, Houghton Community Council

\_\_\_\_\_  
City Clerk