

CHAPTER 56 – YBD 2 and YBD 3 – Draft 6-10-2011

56.15 User Guide.

The charts in KZC 56.20 contain the basic zoning regulations that apply in each YBD 2 zone of the City. Use these charts by reading down the left hand column entitled Use. Once you locate the use in which you are interested, read across to find the regulations that apply to that use.

**Section 56.18
YBD 2, YBD 3**

Section 56.18 – GENERAL REGULATIONS

The following regulations apply to all uses in this zone unless otherwise noted:

1. Refer to Chapter 1 KZC to determine what other provisions of this code may apply to the subject property.
2. In addition to the height exceptions established by KZC [115.60](#), the following exceptions to height regulations in the YBD 2 [and YBD 3 zones](#) are allowed:
 - a. Decorative parapets may exceed the height limit by a maximum of four feet; provided that the average height of the parapets around the perimeter of the structure shall not exceed two feet.
 - b. For structures with a peaked roof, the peak may extend eight feet above the height limit if the slope of the roof is equal to or greater than four feet vertical to 12 feet horizontal.
3. A City entry or gateway feature shall be designed and installed on the subject property adjacent Lake Washington Blvd. between the southern city limit line and NE 38th PI pursuant to the standards in KZC 110.60. The specific location and design of the gateway shall be evaluated with the Design Review Process.
4. ~~Vehicular access points~~ Driveways onto Lake Washington Blvd., NE 38th PI, and Northup Way must shall be ~~minimiz~~limited to prevent arterial congestion and traffic safety hazards. Shared access points must be utilized where feasible (does not apply to Public Park uses). The Public Works Official shall approve the number, location and design of all driveways.
5. The minimum ground floor story height ~~shall be 13' for retail uses selling goods or services including banking and financial services, restaurant and tavern, entertainment, recreational or cultural establishments or office shall be 13' for all uses. This requirement does not apply to residential, assisted living, convalescent center, nursing home, public utility, government facility or vehicle service station uses.~~
6. Developments in parts of this zone may be limited by chapter 83 or 90 KZC, regarding development near streams, lakes, and wetlands.

The Planning Commission recommended the following changes to the Houghton Community Council recommendation on April 28, 2011. See highlighted text next page:

- Allow a 0' front yard setbacks along both NE 38th PI and Northup Way otherwise for all other streets 20' front yard setback (Lake Washington Blvd/Points Dr).
- Special Regulation 1 revision: Increase the limitation on size of individual retail uses from 15,000 to 65,000 sq. ft. consistent with the Rose Hill Business District
- For Lake Washington Blvd NE, NE 38th PI and Northup Wy provide a 10' wide sidewalk with street trees in tree grates and decorative pedestrian lighting (to be shown on Plate 34 M and referred to in KZC Chapter 110).

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS

Section 56.20	USE ⇩ REGULATIONS ⇨	Required Review Process	MINIMUMS					MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
			Lot Size	REQUIRED YARDS (See Ch. 115)			Height of Structure						
				Front	Side	Rear							
.010	Vehicle Service Station	D.R., Chapter 142 KZC	22,500 sq. ft.	40'	15' on each side See also Special Regulation 3.	15'	80%	60' above average building elevation	A	E	See KZC 105.25.	1. The following uses and activities are prohibited: <ol style="list-style-type: none"> Individual establishments exceeding 465,000 sq. ft. of gross floor area. The outdoor storage, sale, service and/or rental of motor vehicles, sailboats, motor boats, and recreational trailers. 2. There M ay not be more than two vehicle service stations at any intersection, This use is only allowed if the subject property abuts Lake Washington Blvd or Northup Way. 3. Gas pump islands may extend 20 feet into the front yard. Canopies or covers over gas pump islands may not be closer than 10 feet to any property line. Outdoor parking and service areas may not be closer than 10 feet to any property line. See KZC 115.105, Outdoor Use, Activity and Storage, for further regulations	
.020	Restaurant or Tavern	D.R., Chapter 142 KZC	None	10' adjacent to NE 38 th PI otherwise 20'	0'	0s			B		1 per each 100 sq. ft. of gross floor area.	1. The following uses and activities are prohibited: <ol style="list-style-type: none"> Individual establishments exceeding 15,000 sq. ft. of gross floor area. Drive in or drive through facilities. 	

The Planning Commission recommends the size limit be increased to be consistent with the Rose Hill Business District of 65,000 sq. ft.

The Planning Commission recommends a minimum of 0' front yard setback along NE 38th PI and Northup Way for all uses (except vehicle service station).

.0 30	Office Use	D.R. Chapter 14 2, KZC	None	10' adjacent to NE 38 th PI otherwise 20'	0'	0'	80%	60' above average building elevation	C	D	If Medical, Dental or Veterinary office, then one per each 200 sq. ft. of gross floor area. Otherwise, 1 per each 300 sq. ft. of gross floor area.	<ol style="list-style-type: none"> The following regulations apply to veterinary offices only: <ol style="list-style-type: none"> May only treat small animals on the subject property. Outside runs and other outside facilities for the animals are not permitted. Site must be designed so that noise from this use will not be audible off the subject property. A certification to this effect, signed by an Acoustical Engineer, must be submitted with the development permit application. Ancillary assembly and manufacture of goods on the premises of this use are permitted only if: <ol style="list-style-type: none"> The ancillary assembled or manufactured goods are subordinate to and dependent on this use. The outward appearance and impacts of this use with ancillary assembly or manufacturing activities must be no different from other office uses.
.0 40	Hotel or Motel	D.R. Chapter 14 2, KZC	None	10' adjacent to NE 38 th PI otherwise 20'	0'	0'	80%	60' above average building elevation.	B	E	1 per each room. See also Special Regulation 2.	<ol style="list-style-type: none"> May include ancillary meeting and convention facilities. Excludes parking requirements for ancillary meeting and convention facilities. Additional parking requirement for these ancillary uses shall be determined on a case by case basis.
.0 50	A Retail Establishment other than those specifically listed, limited, or prohibited in the zone, selling goods, or providing services including banking and related financial services			See Special Regulation 3							1 per each 300 sq. ft. of gross floor ea.	<ol style="list-style-type: none"> The following uses and activities are prohibited: <ol style="list-style-type: none"> Individual retail establishments exceeding 15,000 sq. ft. in gross floor area. The outdoor storage, sale, service and/or rental of motor vehicles, sailboats, motor boats, and recreational trailers. Vehicle repair, Retail establishment providing storage services unless accessory to another permitted use. Storage and operation of heavy equipment, except delivery vehicles associated with retail uses. Storage of parts unless conducted entirely within an enclosed structure, Drive in or drive through facilities. A delicatessen, bakery, or other similar use may include, as part of the use, accessory seating if: <ol style="list-style-type: none"> The seating and associated circulation area does not exceed more than 10 percent of the gross floor area of the use; and It can be demonstrated to the City that the floor plan is designed

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												to preclude the seating area from being expanded.
												3. The required front yard setback may be zero feet for one story at street level.
.0 60	A Retail Establishme nt providing entertainment, recreational or cultural activities	D.R. Chapter 142, KZC	None	10' adjacent to NE 38 th PI otherwise 20' See Special Regulation 2	0'	0'	80%	60' above average building elevation	B	E	1 for every four fixed seats	1. Individual establishments exceeding 15,000 sq. ft of gross floor area are prohibited. 2. The required front yard setback may be zero feet for one story at street level.
<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: 0 auto;"> <p>The Planning Commission recommends a minimum of 0' front yard setback along NE 38th PI and Northup Way for all uses (except vehicle service station).</p> </div>												
.0 70	Stacked Dwelling Units	D.R. Chapter 142, KZC	None	10' adjacent to NE 38 th PI otherwise 20'	0'	0'	80%	60' above average building elevation	D	A	1.7 per unit	1. Chapter 115 KZC contains regulations regarding home occupations and other accessory uses, facilities and activities associated with this use.
<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: 0 auto;"> <p>The Planning Commission recommends a minimum of 0' front yard setback along NE 38th PI and Northup Way for all uses (except vehicle service station).</p> </div>												

.080	Assisted Living Facility, Convalescent Center or Nursing Home			10' adjacent to NE 38 th PI otherwise 20'	0"	0"			C		Independent unit: 1.7 per unit. Assisted living unit: 1 per unit. Convalescent Center or Nursing Home: 1 per each bed.	1. A facility that provides both independent dwelling units and assisted living units shall be processed as an assisted living facility. 2. If a nursing home use is combined with an assisted living facility use in order to provide a continuum of care for residents the required review process shall be the least intensive process between the two uses.
.090	Private Lodge or Club	D.R. Chapter 142, KZC	None	10' adjacent to NE 38 th PI otherwise 20'	0'	0'	80 %	60' average building elevation	C	B	1 per each 300 sq. ft. of gross floor area	
.100	Hospital Facility	D.R. Chapter 142, KZC	None	10' adjacent to NE 38 th PI otherwise 20'	0'	0'	80 %	60' average building elevation	B	B	See KZC 105.25	
.110	Public Utility	D.R. Chapter 142, KZC	None	10' adjacent to NE 38 th PI otherwise 20'	0'	0'	80 %	60' above average building elevation	A	B	See KZC 105.25	

.120	Church			10' adjacent to NE 38 th Pl otherwise 20'	0'	0'			C	B	1 for every 4 people based on maximum occupant load of any area of worship. See Special Reg 2	<ol style="list-style-type: none"> 1. May include accessory living facilities for staff persons. 2. No parking is required for day-care or school ancillary to the use.
.130	School or Day-Care Center	D.R. Chapter 142, KZC	None	10' adjacent to NE 38 th Pl otherwise 20'	0'	0'	80%	60' above average building elevation	D	B	See KZC 105.25.	<ol style="list-style-type: none"> 1. A six-foot-high fence is required only along the property lines adjacent to the outside play areas. 2. Structured play areas must be setback from all property lines by at least five feet. 3. An on-site passenger loading area must be provided depending on the number of attendees and the extent of the abutting right-of-way improvements. 4. May include accessory living facilities for staff persons.
.140	Mini-School or Mini-Day-Care	D.R. Chapter 142, KZC	None	10' adjacent to NE 38 th Pl otherwise 20'	0 ₃	0 ₃	80%	60' above average building elevation	E	B	See KZC 105.25.	<ol style="list-style-type: none"> 1. A six-foot-high fence is required along the property lines adjacent to the outside play areas. 2. Structured play areas must be setback from all property lines by at least five feet. 3. An on-site passenger loading area must be provided depending on the number of attendees and the extent of the abutting right-of-way improvements. 4. May include accessory living facilities for staff persons.
.150	Government Facility Community Facility								C See Spec. Reg. 1			<ol style="list-style-type: none"> 1. Landscape Category A or B may be required depending on the type of use on the subject property and the impacts associated with the use on the nearby uses.
.160	Public Park	Development standards will be determined on a case-by-case basis. See Chapter 49 KZC for required review process.										

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 60.17	USE ↓ REGULATIONS →	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARDS (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.010	Attached or Stacked Dwelling Unit	Process IIB, Chapter 152 KZC.	35,000 sq. ft. per unit	20'	5', but 2 side yards must equal at least 15'. <i>See Spec. Regs. 5 and 6.</i>	10'	60%	25' above average building elevation. See Spec. Reg. 3.	D	A	1.7 per unit.	<ol style="list-style-type: none"> 1. No structure may be waterward of the ordinary high water mark. 2. If the development includes portions of Planned Area 3, the applicant may propose and the City may require that part or all of the density allowed in Planned Area 2 be developed in Planned Area 3. <i>2.</i> 3. The height of a structure may be increased as long as neither of the following maximums is exceeded: <ol style="list-style-type: none"> a. The structure may not exceed 60 feet above average building elevation. b. The structure may not exceed a plane that starts 3.5 feet above the outside westbound lane of SR 520 and ends at the high waterline of Lake Washington in the zone, excluding the canal. <i>3.</i> 4. Chapter 115 KZC contains regulations regarding home occupations and other accessory uses, facilities, and activities associated with this use. <i>4.</i> 5. The side yard may be reduced to zero feet if the side of the dwelling unit is attached to a dwelling unit on an adjoining lot. If one side of a dwelling unit is so attached and the opposite side is not, the side that is not attached must provide a minimum side yard of five feet. <i>5.</i> 6. The rear yard may be reduced to zero feet if the rear of the dwelling unit is attached to a dwelling unit on an adjoining lot.

User Guide. The charts in KZC 60.22 contain the basic zoning regulations that apply in Planned Area 3A, including sub-zones. Use these charts by reading down the left hand column entitled Use. Once you locate the use in which you are interested, read across to find the regulations that apply to that use.

Section 60.20

**Zone
PLA3A**

*Delete
Section
and
replace
with
new
YBD
ZONE*

Section 60.20 – GENERAL REGULATIONS

The following regulations apply to all uses in this zone unless otherwise noted:

1. Refer to Chapter 1 KZC to determine what other provision of this code may apply to the subject property
2. Developments in parts of this zone may be limited by Chapter 83 or 90 KZC, regarding development near streams, lakes, and wetlands.
3. The site must be designed to concentrate development away from and to minimize impacts on the wetlands (does not apply to Detached Dwelling Unit, Attached or Stacked Dwelling Unit, Mini-School or Mini-Day-Care and Public Park uses).
4. If the development includes portions of Planned Area 2, the applicant may propose and the City may require that part or all of the density allowed in Planned Area 2 be developed in Planned Area 3 (does not apply to Detached Dwelling Unit, Attached or Stacked Dwelling Unit, Public Utility, Government or Community Facility, and Public Park uses).
5. The height of structures may be increased if:
 - a. The structure does not exceed 60 feet above average building elevation,
 - b. The amount of pervious surface on the subject property in this zone significantly exceeds 50 percent, and
 - c. The site is designed to the maximum extent feasible to provide views through the subject property from Lake Washington Boulevard and Bellevue Way while complying with the General Regulations.
(Does not apply to Detached Dwelling Unit, Attached or Stacked Dwelling Unit, Public Utility, Government or Community Facility, and Public Park uses).
6. May not use lands waterward of the high-waterline/ordinary high water mark to determine lot size or to calculate allowable density.
7. The required yard of a structure abutting Lake Washington Boulevard or Lake Street South must be increased two feet for each one foot that structure extends 25 feet above average building elevation.
8. City entryway design must be provided on the subject property adjacent to Lake Washington Boulevard as follows:
 - a. An earthen berm, 12 feet wide and with a uniform height of three feet at the center;
 - b. Lawn covering the berm;
 - c. London Plane at least two inches in diameter, planted 30 feet on center along the berm.
9. Vehicular circulation on the subject property must be designed to minimize traffic impacts on Lake Washington Boulevard and at the SR-520 interchange. The city may limit access points onto Lake Washington Boulevard and Points Drive and require traffic control devices and right-of-way realignment (does not apply to Detached Dwelling Unit, Attached or Stacked Dwelling Unit, Public Utility, Government or Community Facility, and Public Park uses).
10. May also be regulated under the Shoreline Master Program, refer to KZC Chapter 83/KMC Title-24.

****New Section 60.19 South Houghton Slope PLA 3C USE ZONE CHART -6-16-2011**

User Guide. The charts in KZC 60.22 contain the basic zoning regulations that apply in the PLA 3A zone of the City. Use these charts by reading down the left hand column entitled Use. Once you locate the use in which you are interested, read across to find the regulations that apply to that use.

Section 60.20 - GENERAL REGULATIONS

The following regulations apply to all uses in this zone unless otherwise noted:

1. Refer to Chapter 1 KZC to determine what other provisions of this code may apply to the subject property.
2. If any portion of a structure is adjoining a detached or attached dwelling unit or two-unit home in a low density zone, then either:
 - a. The height of that portion of the structure shall not exceed 15 feet above average building elevation; or
 - b. The maximum horizontal facade shall not exceed 50 feet.
 - c. See KZC 115.30, Distance Between Structures/Adjacency to Institutional Use, for further details. (Does not apply to Detached Dwelling Unit and Mini-School or Mini-Day-Care Center uses).
3. ~~Development shall be subject to review through a Process I permit to ensure development will minimize any potential geologic hazards and impacts to streams or wetlands. Development shall be subject to the~~ following development standards ~~shall apply:~~
 - a. Structures must be clustered and located so that they will not significantly impact slope stability, drainage patterns, erosion or landslide hazards, and steep ravine areas on the subject property or adjacent property.
 - b. Pursuant to the requirements of Chapter 85.15.1-4 KZC, the applicant shall submit a geotechnical report prepared by a qualified geotechnical engineer evaluating the potential geologic hazard areas of the subject and adjacent properties to minimize damage to life and property. Specific structural designs and construction techniques to ensure long term stability shall be considered as part of the analysis. The applicant's geotechnical report and recommendations shall be reviewed by a qualified geotechnical engineer selected and retained by the City at the applicant's expense. The applicant shall comply with the performance standards contained in 85.25 KZC and 85.45 KZC.
 - c. ~~Structures must be clustered and located so that they will not significantly impact slope stability, drainage patterns, erosion or landslide hazards, and steep ravine areas on the subject property or adjacent property.~~
 - d. ~~Roadways must be located away from areas that may significantly impact slope stability, drainage patterns, and erosion or landslide hazards on the subject property or adjacent property and outside of steep ravine areas.~~
 - e. ~~Hillsides with the steepest slopes and or ravines may be required to be undisturbed in a natural condition and retained as permanent natural open space through the creation of a greenbelt easement or dedication.~~
 - f. ~~A covenant which indemnifies and holds harmless the City for any damages resulting from slope instability shall be required to be recorded on the property.~~
 - d. ~~Vegetative cover shall be retained to the maximum extent possible to stabilize slopes. Vehicular access points shall be limited and consolidated to reduce the number of vehicular access points along Lake Washington Blvd.~~
 - g.e. c. The City may require traffic control devices, shared access points, right of way realignment, or limit development if necessary to further reduce traffic impacts.
 - h.f. d. Development must ensure that the City has the ability to access and provide necessary emergency services.
4. May also be regulated under the Shoreline Master Program, refer to KZC Chapter 83.

****Note the existing PLA 3A section 60.19 will be replaced with this new 60.19 PLA 3C**

USE ZONE CHARTS Section 60.22

Use: ~~Detached Dwelling Unit or Two-Unit Home~~ Special Regulations 1 and 5 *****Note: staff added a separate attached dwelling unit listing below.***

Required Review Process: ~~Process I, KZC Chapter 145~~None

Minimums:

Lot Size: 12,500 sq. ft. See Special Regulation 1, 2, and 3
~~(6 or 7) dwelling units.~~

~~Minimum lot size per dwelling unit is 5,000 sq. ft. See Special Regulation 1, 2 and 5~~

Required Yards:

Front: 20' See Special Regulation 5

Side: ~~For detached units minimum 5' but 2 sides must equal at least 15'.~~

~~For two-unit homes 5' but 2 sides must equal 20' see Special Regulation 4~~

Rear: ~~For detached units minimum 10'.~~

~~For two-unit homes see Special Regulation 6~~

Maximums:

Lot Coverage: 50%.

Height of Structures: 25' above average building elevation.

Landscape Category: E

Sign Category: A

Required Parking: 2.0 per dwelling unit.

Special Regulations:

1. Maximum dwelling units per acre is: (6 or 7) dwelling units. Not more than one dwelling unit may be on each lot regardless of the size of the lot. ****Please note: The specific density figure will be determined after the public hearing.*

2. Within a subdivision or short plat the minimum lot size is 5,000 sq. ft.

~~1. For this use only one dwelling unit may be on each lot regardless of the size of the lot.~~

3. Road dedication and vehicular access easements or tracts may not be included in the density calculation or in the minimum lot size per dwelling unit.

~~2.4.~~ For lots containing less than 7,200 sq. ft., the Floor Area Ratio (FAR) requirements of KZC Section 115.42 shall apply. The maximum Floor Area Ratio is 50% of the lot size. See KZC 115.42 Floor Area Ratio (FAR) calculation for Detached dwelling Units in Low Density Residential Zones for additional information.

~~3.5.~~ On corner lots with two required front yards, one may be reduced to the average of the front yards for the two adjoining properties fronting the same street as the front yard to be reduced. The applicant may select which front yard will be reduced (see Plate 24).

4.6. Chapter 115 KZC contains regulations regarding home occupations and other accessory uses, facilities and activities associated with this use.

Use: Attached Dwelling Units

Required Review Process: Process I, KZC Chapter 145

Minimums:

Lot Size: See Special Regulation 1, 2 and 3

Required Yards:

Front: 20' See Special Regulation 6

Side: 10' See Special Regulation 7

Rear: 10' See Special Regulation 7

Maximums:

Lot Coverage: 50%.

Height of Structures: 25' above average building elevation.

Landscape Category: E

Sign Category: A

Required Parking: 2.0 per dwelling unit.

Special Regulations:

1. Maximum dwelling units per acre is: (6 or 7) dwelling units. Not more than one dwelling unit may be on each lot regardless of the size of the lot. ****Please note: The specific density figure will be determined after the public hearing.*
2. Within a subdivision or short plat the minimum lot size is 5,000 sq. ft.
3. Road dedication and vehicular access easements or tracts may not be included in the density calculation or in the minimum lot size per dwelling unit.
4. No more than two units may be attached to each other.
5. For lots containing less than 7,200 sq. ft., the Floor Area Ratio (FAR) requirements of KZC Section 115.42 shall apply. The maximum Floor Area Ratio is 50% of the lot size. See KZC 115.42 Floor Area Ratio (FAR) calculation for Detached dwelling Units in Low Density Residential Zones for additional information.
6. On corner lots with two required front yards, one may be reduced to the average of the front yards for the two adjoining properties fronting the same street as the front yard to be reduced. The applicant may select which front yard will be reduced (see Plate 24).
7. The side or rear yard may be reduced to zero feet if the side or rear of the dwelling unit is attached to a dwelling unit on an adjoining lot within the short plat or subdivision. If one side of a dwelling unit is so attached and the opposite side is not, the side that is not attached must provide a minimum side yard of 10 feet with a total of 20 feet for both lot side yards.

- 8. Attached dwelling units must be designed to look like a detached single family house using such techniques as limiting the points of entry on each façade, providing pitched roofs and covered porches.
- 9. Chapter 115 KZC contains regulations regarding home occupations and other accessory uses, facilities and activities associated with this use.

Section:

Use: Church

Required Review Process: Process IIA, Chapter 150 KZC

Minimums:

Lot Size: 12,500 sq. ft.

Required Yards:

Front: 20'

Side: 20' on each side

Rear: 20'

Maximums:

Lot Coverage: 50%.

Height of Structures: 25' above average building elevation. See General Regulations.

Landscape Category: C

Sign Category: B

Required Parking: 1 for every 4 people based on maximum occupancy load of any area of worship. See Special Reg. 1

Special Regulations:

1. No parking is required for day-care or school ancillary to the use.
2. See General Regulations regarding other development standards.
3. The property must be served by a collector or arterial street.

Section:

Use: School or Daycare Center

Required Review Process: Process IIA, Chapter 150 KZC.

Minimums:

Lot Size: 12,500 sq. ft.

Required Yards:

If this use can accommodate 50 or more students or children, then: 50' front 50' on each side 50' rear

If this use can accommodate 13 to 49 students or children, then: 20' front 20' on each side 20' rear

Maximums:

Lot Coverage: 50%

Height of Structures: 25' above average building elevation. See General Regulations.

Landscape Category: D

Sign Category: B

Required Parking: See KZC 105.25

School Special Regulations:

1. May locate on the subject property only if:
 - a. It will not be materially detrimental to the character of the neighborhood in which it is located.
 - b. Site and building design minimizes adverse impacts on surrounding residential neighborhoods.
 - c. The property is served by a collector or arterial street.
2. A six-foot-high fence along the side and rear property lines is required only along the property lines adjacent to the outside play areas.
3. Hours of operation and maximum number of attendees at one time may be limited to reduce impacts on nearby residential uses.
4. Structured play areas must be setback from all property lines as follows:
 - a. 20 feet if this use can accommodate 50 or more students or children.
 - b. 10 feet if this use can accommodate 13 to 49 students or children.
5. An on-site passenger loading area must be provided. The City shall determine the appropriate size of the loading area on a case-by-case basis, depending on the number of attendees and the extent of the abutting right-of-way improvements. The location of parking and passenger loading areas shall be designed to reduce impacts on nearby residential uses.
6. Electrical signs shall not be permitted.
7. May include accessory living facilities for staff persons.

Section:

Use: Mini School or Mini Day Care Center

Required Review Process: Process I, Chapter 145 KZC.

Minimums:

Lot Size: 12,500 sq. ft.

Required Yards:

Front: 20'

Side: 5' but 2 side yards must equal at least 15'

Rear: 20'

Maximums:

Lot Coverage: 50%.

Height of Structures: 25' above average building elevation.

Landscape Category: E

Sign Category: B

Required Parking: See KZC 105.25

Special Regulations:

1. May locate on the subject property if:
 - a. It will not be materially detrimental to the character of the neighborhood in which it is located.
 - b. Site design must minimize adverse impacts on surrounding residential neighborhoods.

2. A six-foot-high fence is required along the property lines adjacent to the outside play areas.
3. Hours of operation and maximum number of attendees may be limited by the City to reduce impacts on nearby residential uses.
4. Structured play areas must be setback from all property lines by five feet.
5. An on-site passenger loading area may be required depending on the number of attendees and the extent of the abutting right-of-way improvements.
6. The location of parking and passenger loading areas shall be designated to reduce impacts on nearby residential uses.
7. Electrical signs shall not be permitted. Size of signs may be limited to be compatible with nearby residential uses.
8. May include accessory living facilities for staff persons.

Section:**Use: Public Utility**Required Review Process: Process IIA, Chapter 150 KZC**Minimums:**

Lot Size: None

Required Yards:

Front: 20'

Side: 20' on each side

Rear: 20'

Maximums:

Lot Coverage: 50%.

Height of Structures: 25' above average building elevation. See General Regulations

Landscape Category: ASign Category: BRequired Parking: See KZC 105.25**Special Regulations:**

1. Site and building design minimizes adverse impacts on surrounding residential neighborhoods.
2. Landscape Category A or B may be required depending on the type of use on the subject property and the impacts associated with the use on the nearby uses.

Section:**Use: Government Facility Community Facility**Required Review Process: Process IIA, Chapter 150, KZC**Minimums:**

Lot Size: None.

Required Yards:

Front: 20'

Side: 10' on each side

Rear: 10'

Maximums:

Lot Coverage: 50%.

Height of Structures: 25' above average building elevation. See General Regulations

Landscape Category: C See special regulation 2

Sign Category: B

Required Parking: See KZC 105.25

Special Regulations:

1. Site and building design minimizes adverse impacts on surrounding residential neighborhoods.
2. Landscape Category A or B may be required depending on the type of use on the subject property and the impacts associated with the use on the nearby uses.

Section:

Use: Public Park

Development standards will be determined on a case-by-case basis. See chapter 49 KZC for required review process.

DRAFT

Chapter 92 – DESIGN REGULATIONS

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92.05 INTRODUCTION

1. General – This chapter establishes the design regulations that apply to development in Design Districts including the Central Business District (CBD), Market Street Corridor (MSC), Juanita Business District (JBD), Rose Hill Business District (RHBD), Totem Lake Neighborhood (TLN), North Rose Hill Business District (NRHBD), Totem Center (TC), and in areas indicated on the use zone charts for PLA 5C. (Yarrow Bay Business Dist)
(YBI)

Special provisions that apply to a particular Design District are noted in the section headings of the chapter.

2. Applicability – The provisions of this chapter apply to all new development. The provisions of Chapters 142 and 162 KZC regarding Design Review and nonconformance establish which of the regulations of this chapter apply to developed sites. Where provisions of this chapter conflict with provisions in any other section of the code, this chapter prevails. For more information on each Design District refer to the Design Guidelines applicable to that Design District adopted by reference in Chapter 3.30 KMC.
3. Design Review Procedures – The City will use Chapter 142 KZC to apply the regulations of this chapter to development activities that require Design Review approval.
4. Relationship to Other Regulations – Refer to the following chapters of the Zoning Code for additional requirements related to new development on or adjacent to the subject property.
 - a. Landscaping – Chapter 95 KZC describes the installation and maintenance of landscaping requirements on the subject property.
 - b. Installation of Sidewalks, Public Pedestrian Pathways and Public Improvements – Chapter 110 KZC describes the regulations for the installation of public sidewalks, major pedestrian sidewalks, pedestrian-oriented sidewalks, or other public improvements on or adjacent to the subject property in zones subject to Design Review. Plate 34 in Chapter 180 KZC provides the location and designation of the sidewalk, pedestrian walkways, pathways or other required public improvements within each Design District.
 - c. Pedestrian Access to Buildings, Installation of Pedestrian Pathways, Pedestrian Weather Protection – Chapter 105 KZC describes the requirements for pedestrian access to buildings and between properties, through parking areas and requirements for pedestrian weather protection. See also Plate 34 in Chapter 180 KZC.
 - d. Parking Area Location and Design, Pedestrian and Vehicular Access – Chapter 105 KZC describes the requirements for parking lot design, number of driveways, or pedestrian and vehicular access through parking areas.
 - e. Screening of Loading Areas, Outdoor Storage Areas and Garbage Receptacles – Chapter 95 KZC describes the location and screening requirements of outdoor storage. Chapter 115 KZC describes the screening of loading areas, waste storage and garbage disposal facilities.
5. Dedication – The City may require the applicant to dedicate development rights, air space, or an easement to the City to ensure compliance with any of the requirements of this chapter.
6. Design Districts in Rose Hill Business District – Various places in this chapter refer to the three Design Districts in the Rose Hill Business District: Regional Center, Neighborhood Center and East End. Figure 92.05.A below describes where these are located. For a more detailed description of each area, see the Design Guidelines for the Rose Hill Business District adopted by reference in Chapter 3.30 KMC.

92.10 SITE DESIGN, BUILDING PLACEMENT AND PEDESTRIAN-ORIENTED FACADES

This section contains regulations which establish the location of a building on the site in relationship to the adjacent sidewalk, pedestrian pathway or pedestrian-oriented elements on or adjacent to the subject property.

1. Building Placement in JBD – All buildings must front on a right-of-way or through-block pathway (see Plate 34).
2. Pedestrian-Oriented Facades Defined for RHBD and TLN – To meet the definition of a pedestrian-oriented facade (see Figure 92.10.A):
 - a. The building's primary entrance must be located on this facade and facing the street. For purposes of this chapter, "primary entrance" shall be defined as the primary or principle pedestrian entrance of all buildings along that street. The primary entrance is the entrance designed for access by pedestrians from the sidewalk. This is the principal architectural entrance even though customers or residents may use a secondary entrance associated with a garage, parking area, driveway or other vehicular use area more frequently.
 - b. Transparent windows and/or doors must occupy at least 75 percent of the facade area between two and seven feet above the sidewalk.
 - c. Weather protection feature(s) at least five feet wide must be provided over at least 75 percent of the facade. This could include awnings, canopies, marquees, or other permitted treatments that provide functional weather protection.

3. Building Placement In RHBD and TLN *AND YBD*

- a. Building Location Featuring Pedestrian-Oriented Facades in RHBD, and TLN Zones *and YBD* – Buildings may be located adjacent to the sidewalk of any street (except west of 124th Avenue NE), if they contain a pedestrian-oriented facade along that street frontage pursuant to the standards in subsection (2) of this section. As part of the Design Review process, required yards, setbacks or other development standards may be modified along the street frontage. Buildings not featuring a pedestrian-oriented facade along a street must provide a building setback of at least 10 feet from any public street (except areas used for pedestrian or vehicular access) landscaped with a combination of trees, shrubs, and ground-cover per the requirements of supplemental landscape standards of KZC 95.41(2).

on RHBD

and in YBD (except for Lake Washington Blvd and Northup Way)

6. Achieving Human Scale in All Zonesa. General

- 1) CBD – Except as provided in subsection (6)(a)(3) of this section, the applicant shall use at least two of the elements or techniques listed in subsection (6)(b) of this section in the design and construction of each facade of a building facing a street or public park.
- 2) JBD, NRHBD, RHBD, MSC, TC and TLN ^{YBD} – Except as provided in subsection (6)(a)(3) of this section, the applicant shall use at least one of the elements or techniques listed in subsection (6)(b) of this section in the design and construction of each facade of a one-story building facing a street or through-block pathway, and at least two of the elements or techniques for a two-story building facing a street or through-block pathway (see Plate 34 in Chapter 180 KZC).
- 3) All Zones – The applicant shall use at least three of the elements or techniques listed in subsection (6)(b) of this section in the design and construction of any facade of a building facing a street, through-block pathway or public park, if:
 - a) The facade has a height of three or more stories; or
 - b) The facade is more than 100 feet long.

b. Techniques To Achieve Human Scale in All Zones – The techniques to be used in the design and construction of building facades under subsection (6)(a) of this section are listed below. As an alternative, the applicant may propose other techniques, elements or methods which provide human scale to the building and are consistent with the applicable design guidelines and the Comprehensive Plan.

- 1) On each story above the ground floor, provide balconies or decks, at least six feet wide and six feet deep.
- 2) On each story above the ground floor, provide bay windows that extend out at least one foot, measured horizontally, from each facade of the building.
- 3) Provide at least 150 square feet of pedestrian-oriented space in front of each facade (see KZC 92.15(2)(c)(2)).
- 4) Provide at least one-half of the window area above the ground floor of each facade consistent with all of the following criteria (see Figure 92.30.J):
 - a) The windows must have glazed areas with dimensions less than five feet by seven feet.
 - b) The windows must be surrounded by trim, molding and/or sill at least two inches wide.
 - c) Individual window units must be separated from adjacent window units by at least six inches of siding or other exterior finish material of the building.
- 5) Provide at least one-half of the window area above the ground floor of each facade facing a street or public park in panes with dimensions less than two feet by three feet and with individual panes separated by window mullions (see Figure 92.30.K).

100.50

100.50 Designated Corridors

1. General – KZC 100.45 contains limitations on sign area along the following designated corridors:
 - a. Market Street between Central Way and N.E. 106th Street.
 - b. State Street, between N.E. 68th Street and 2nd Avenue South.
 - c. Lake Washington Boulevard and Lake Street South between N.E. 38th Street and 3rd Avenue South.
2. Electrical Signs Prohibited – Electrical signs shall not be located along designated corridors.

100.52 CBD and JBD – Certain Signs Prohibited

Cabinet signs shall be prohibited in all Central Business District (Chapter 50 KZC) and Juanita Business District zones (Chapter 52 KZC).

Yarrow Bay Business District

100.55 Development Containing Uses in More Than One Sign Category

If a subject property contains a mix of commercial and residential uses, the residential uses must comply with Sign Category A and the commercial uses must comply with the sign category assigned to the commercial uses that predominate on the subject property. Within mixed use projects, residential uses may have electrical signs (except on designated corridors) only if the electrical signs are attached to areas of the building associated with the commercial uses.

In all other cases, if the subject property contains uses assigned to different sign categories, the signs for the entire development must comply with the sign category assigned to the uses that predominate on the subject property.

100.60 Allocation of Sign Area within a Development with More Than One Use or Tenant

The owner(s) of a development with more than one use or tenant must submit to the City a letter allocating the allowable sign area for the development to the various uses or leasable area in the development or to sign(s) which identify the development. The owner(s) must agree in the letter to include the specified sign allocation in all leases, rental agreements, condominium by-laws and similar documents.

100.65 Sign Height and Dimensions

The permitted height of signs for each type of sign is listed below:

1. Wall-Mounted and Marquee Signs:

Shall not project above the roofline of the building to which they are attached.

2. Under Marquee Signs:

Shall not extend further from a building facade than the marquee or canopy to which they are attached.

3. Pedestal Signs:

- a. Shall not exceed five feet above average ground elevation.
- b. Must conform to the dimensional standards shown on Plate 12.

110.45 Minor Arterial Streets

The Public Works Director shall determine the extent and nature of other improvements required in minor arterial streets on a case-by-case basis. See also KZC 110.65 through 110.75 for other requirements that apply to improvements in the right-of-way.

110.50 Principal Arterial Streets

The Public Works Director shall determine the extent and nature of improvements required in principal arterial streets on a case-by-case basis. See also KZC 110.65 through 110.75 for other requirements that apply to improvements in the right-of-way.

110.52 Sidewalks and Other Public Improvements in Design Districts

1. This section contains regulations that require various sidewalks, pedestrian circulation and pedestrian-oriented improvements on or adjacent to properties located in Design Districts subject to Design Review pursuant to Chapter 142 KZC such as CBD, JBD, TLN, TC, RHBD, and NRHBD zones. YBD

The applicant must comply with the following development standards in accordance with the location and designation of the abutting right-of-way as a pedestrian-oriented street or major pedestrian sidewalk shown in Plate 34 of Chapter 180 KZC. See also Public Works Pre-Approved Plans manual for public improvements for each Design District. If the required sidewalk improvements cannot be accommodated within the existing right-of-way, the difference may be made up with a public easement over private property; provided, that a minimum of five feet from the curb shall be retained as public right-of-way and may not be in an easement. Buildings may cantilever over such easement areas, flush with the property line in accordance with the International Building Code as adopted in KMC Title 21. (See Figure 110.52.A and Plate 34).

2. Pedestrian-Oriented Street Standards – Unless a different standard is specified in the applicable use zone chart, the applicant shall install a 10-foot-wide sidewalk along the entire frontage of the subject property abutting each pedestrian-oriented street. (See Figure 110.52.A).

Insert: and attached dwelling unit in PLA 3C

115.42 Floor Area Ratio (F.A.R.) Calculation for Detached Dwelling Units in Low Density Residential Zones

Insert: and attached dwelling units in PLA 3C

1. Gross floor area for purposes of calculating F.A.R. and maximum floor area for detached dwelling units in low density residential zones does not include the following:
 - a. Attic area with less than five (5) feet of ceiling height, as measured between the finished floor and the supporting members for the roof.
 - b. Floor area with a ceiling height less than six (6) feet above finished grade. The ceiling height will be measured to the top of the structural members for the floor above. The finished grade will be measured along the outside perimeter of the building (see Plate 23).
 - c. On lots less than 8,500 square feet, the first 500 square feet of an accessory dwelling unit or garage contained in an accessory structure, when such accessory structure is located more than 20 feet from and behind the main structure (see KZC [115.30](#) for additional information on the required distance between structures); provided, that the entire area of an accessory structure, for which a building permit was issued prior to March 6, 2007, shall not be included in the gross floor area used to calculate F.A.R. For purposes of this section, "behind" means located behind an imaginary plane drawn at the back of the main structure at the farthest point from, and parallel to, the street or access easement serving the residence.
 - d. On lots greater than or equal to 8,500 square feet, the first 800 square feet of an accessory dwelling unit or garage contained in an accessory structure, when such accessory structure is located more than 20 feet from and behind the main structure (see KZC [115.30](#) for additional information on the required distance between structures); provided, that the entire area of an accessory structure, for which a building permit was issued prior to March 6, 2007, shall not be included in the gross floor area used to calculate F.A.R.
 - e. Uncovered and covered decks, porches, and walkways.

2. Floor area with a ceiling height greater than 16 feet shall be calculated as follows:
 - a. The first 100 square feet of such floor area, in aggregate, shall be calculated only once toward allowable F.A.R.;
 - b. Floor area in excess of the first 100 square feet shall be calculated at twice the actual floor area toward allowable F.A.R.

3. *This section is not effective within the disapproval jurisdiction of the Houghton Community Council.*

Insert: except for those lots in PLA 3C that are less than 7200 sq. ft. or lots that have less than the minimum lot size created through the small lot provisions of Subdivision 22.28.042.

- 2) Any development in the following zones within the NE 85th Street Subarea: RH 8, PR 3.6, RM, PLA 17A.
 - 3) Any development in the MSC 1, MSC 2, and MSC 4 zones located within the Market Street Corridor.
2. Administrative Design Review (A.D.R.) – All other development activities not requiring D.B.R. review under subsection (1) of this section shall be reviewed through the A.D.R. process pursuant to KZC 142.25.
 3. Exemptions from Design Review – The following development activities shall be exempt from either A.D.R. or D.B.R. and compliance with the design regulations of Chapter 92 KZC:
 - a. Any activity which does not require a building permit; or
 - b. Interior work that does not alter the exterior of the structure; or
 - c. Normal building maintenance including the repair or maintenance of structural members; or
 - d. Any development listed as exempt in the applicable Use Zone Chart.

142.25 Administrative Design Review (A.D.R.) Process

1. Authority – The Planning Official shall conduct A.D.R. in conjunction with a related development permit pursuant to this section.

The Planning Official shall review the A.D.R. application for compliance with the design regulations contained in Chapter 92 KZC. In addition, the following guidelines and policies shall be used to interpret how the regulations apply to the subject property:

- a. Design guidelines for pedestrian-oriented business districts, as adopted in KMC 3.30.040.
 - b. Design guidelines for the Rose Hill Business District (RHBD) and the Totem Lake Neighborhood (TLN) ^{and Yarrow Bay Business District (YBD)} as adopted in KMC 3.30.040.
 - c. For review of attached or stacked dwelling units within the NE 85th Street Subarea and the Market Street Corridor, Appendix C, Design Principles for Residential Development contained in the Comprehensive Plan.
2. Application – As part of any application for a development permit requiring A.D.R., the applicant shall show compliance with the design regulations in Chapter 92 KZC by submitting an A.D.R. application on a form provided by the Planning Department. The application shall include all documents and exhibits listed on the application form, as well as application materials required as a result of a pre-design conference.
 3. Pre-Design Conference – Before applying for A.D.R. approval, the applicant may schedule a pre-design meeting with the Planning Official. The meeting will be scheduled by the Planning Official upon written request by the applicant. The purpose of this meeting is to provide an opportunity for an applicant to discuss the project concept with the Planning Official and for the Planning Official to designate which design regulations apply to the proposed development based primarily on the location and nature of the proposed development.
 4. A.D.R. Approval
 - a. The Planning Official may grant, deny, or conditionally approve the A.D.R. application. The A.D.R. approval or conditional approval will become conditions of approval for any related

application for the proposed development. No development permit for the subject property requiring D.B.R. approval will be issued until the proposed development is granted D.B.R. approval or conditional approval. The terms of D.B.R. approval or conditional approval will become a condition of approval on each subsequent development permit and no subsequent development permit will be issued unless it is consistent with the D.B.R. approval or conditional approval. The Planning Official shall send written notice of the D.B.R. decision to the applicant and all other parties who participated in the conference(s) within 14 calendar days of the approval. If the D.B.R. is denied, the decision shall specify the reasons for denial. The final D.B.R. decision of the City on the D.B.R. application shall be the date of distribution of the written D.B.R. decision or, if the D.B.R. decision is appealed, the date of the City's final decision on the appeal. Notwithstanding any other provision of this code, if an applicant submits a complete application for a building permit for the approved D.B.R. development within 180 days of the final D.B.R. decision, the date of vesting for the building permit application shall be the date of the final D.B.R. decision.

Additional Approval Provision for TL 2 and TL 5 – The Notice of Approval for a Conceptual Master Plan (CMP) shall set thresholds for subsequent D.B.R. or A.D.R. review of projects following approval of a CMP in TL 2 or TL 5. The Notice of Approval shall also include a phasing plan for all improvements shown or described in the CMP.

Additional Approval Provision for RHBD – The Design Review Board shall determine the thresholds for subsequent D.B.R. or A.D.R. review of projects following approval of a Conceptual Master Plan (CMP) in the RHBD. The Notice of Approval for the CMP will state the thresholds for future review of projects and also include a phasing plan for all improvements shown or described in the CMP.

142.37 Design Departure and Minor Variations

1. General – This section provides a mechanism for obtaining approval to depart from strict adherence to the design regulations or for requesting minor variations from requirements in the following zones:
 - a. In the CBD: ^{and YBD} minimum required yards; and
 - b. In the Totem Center: minimum required yards, floor plate maximums and building separation requirements; and
 - c. In the RHBD and the TLN: minimum required yards, landscape buffer and horizontal facade requirements; and
 - d. In the MSC 1 and MSC 4 zones of the Market Street Corridor: minimum required front yards and horizontal facade requirements; and
 - e. In the MSC 2 zone of the Market Street Corridor: height (up to an additional five feet), minimum required front yards and horizontal facade requirements; and
 - f. In the MSC 3 zone of the Market Street Corridor: horizontal facade requirements.

This section does not apply when a design regulation permits the applicant to propose an alternate method for complying with it or the use zone chart allows the applicant to request a reduced setback administratively.

2. Process – If a design departure or minor variation is requested, the D.R. decision, including the design departure or minor variation, will be reviewed and decided upon using the D.B.R. process.

Plate 34L: PEDESTRIAN CIRCULATION IN YBD

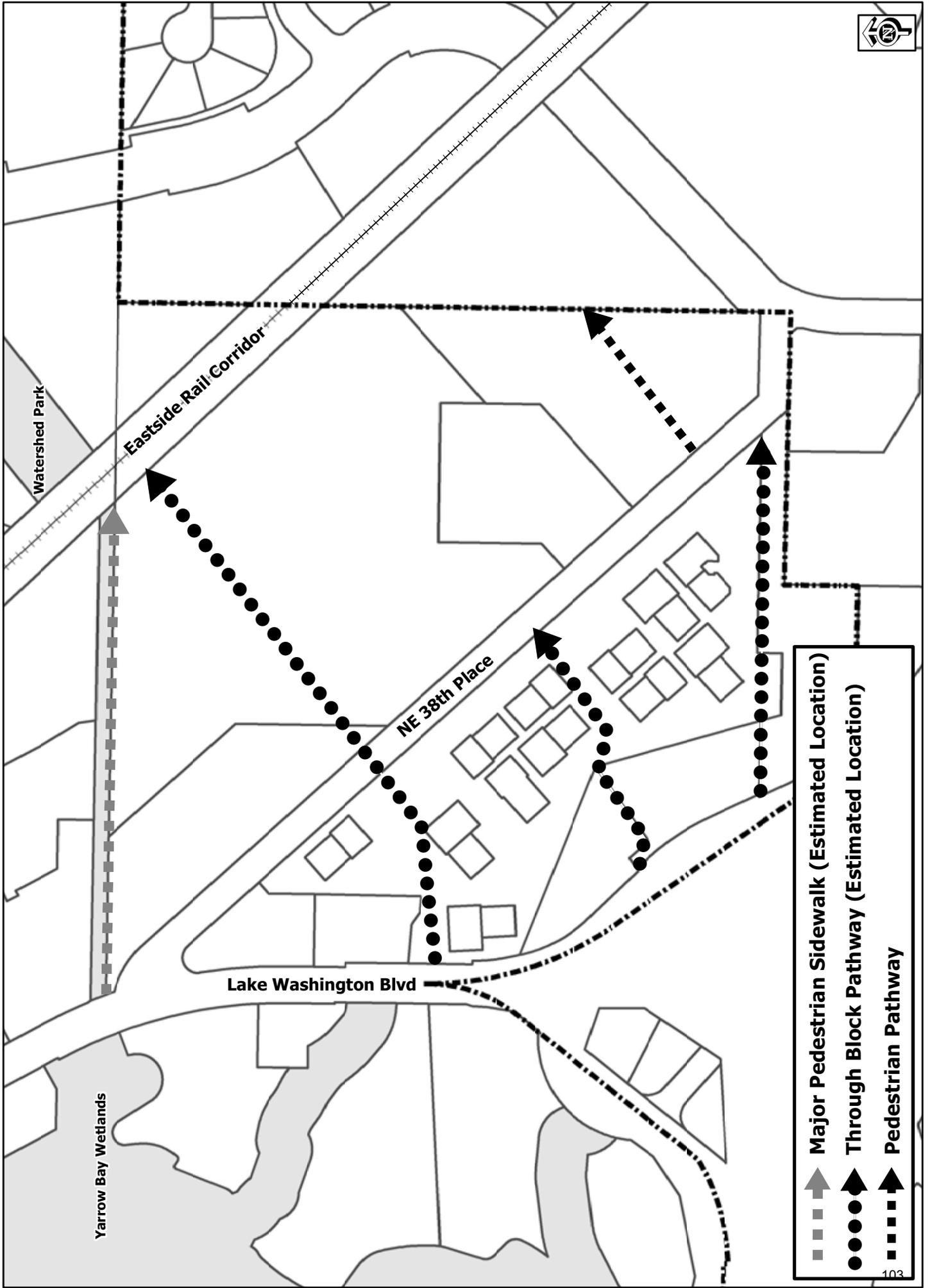
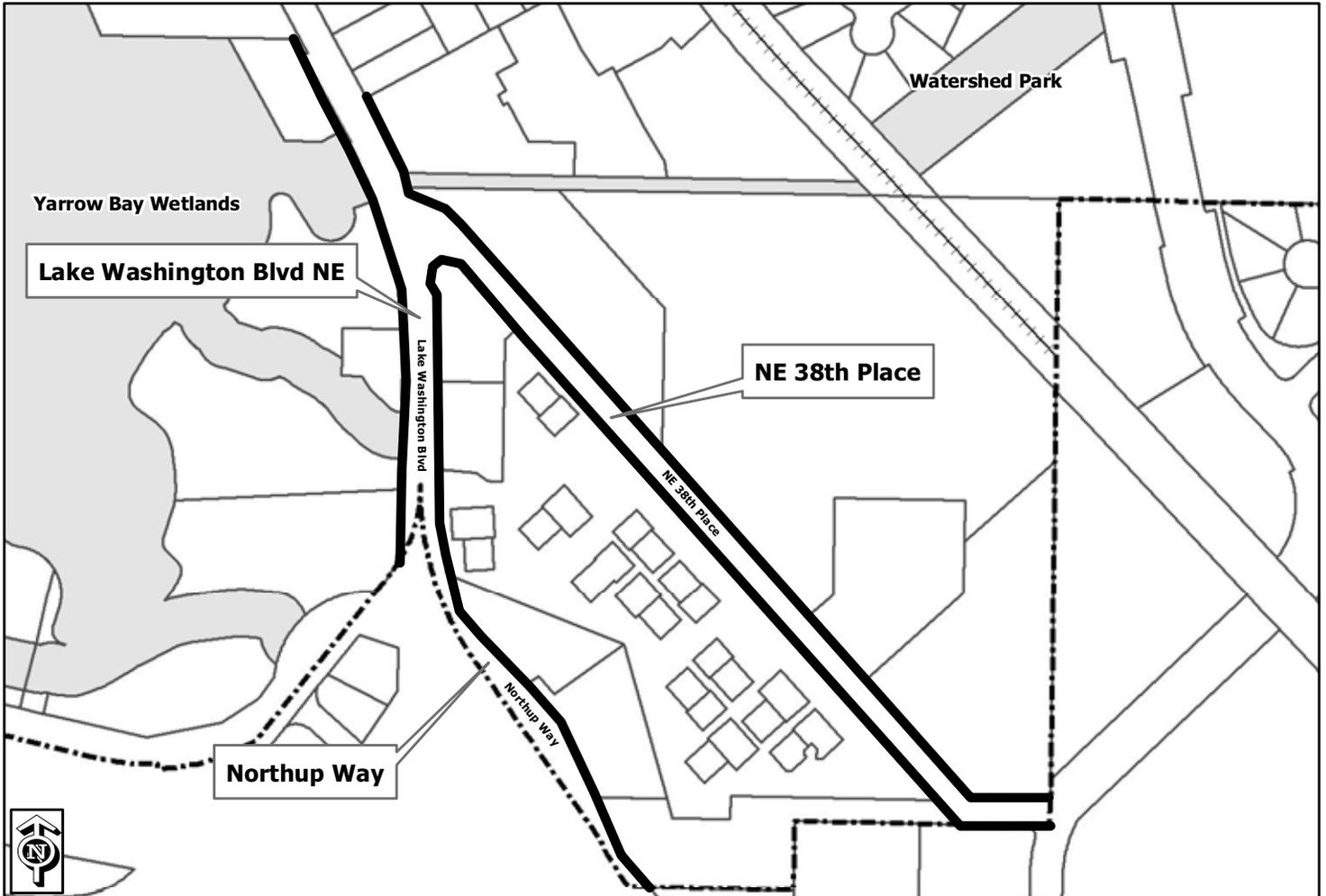


Plate 34M: Street Improvements in YBD



Required street improvements for NE 38th Pl, Lake Washington Blvd NE, and Northup Way in the Yarrow Bay Business District:

NE 38th Pl:

**70-80 feet of public right of way
10 foot wide sidewalks with street trees in landscape strip or tree grates on both sides of street and decorative street light fixtures**

Lake Washington Blvd NE:

**60 – 80 feet of public right of way
10 foot wide sidewalks with street trees in landscape strip or tree grates on both sides of street and decorative street light fixtures**

Northup Way:

5 foot wide sidewalk with 4.5 foot wide landscape strip with street trees.

Note: The precise right of way specifications may vary and shall be determined by the Public Works Director

22.28.010

Chapter 22.28

DESIGN REQUIREMENTS

Sections:

- 22.28.010 Applicability.
- 22.28.020 Provision for public and semipublic lands.
- 22.28.030 Lots—Size.
- 22.28.040 Lots—Lot averaging.
- 22.28.042 Lots—Small lot single-family.
- 22.28.048 Lots—Historic preservation.
- 22.28.050 Lots—Dimensions.
- 22.28.060 General layout.
- 22.28.070 Blocks—Maximum length.
- 22.28.080 Access—Required.
- 22.28.090 Access—Right-of-way—Adjacent to plat.
- 22.28.100 Access—Right-of-way—Within plats.
- 22.28.110 Access—Vehicular-access easement or tract.
- 22.28.130 Vehicular-access easement or tract—Standards.
- 22.28.140 Vehicular-access easement or tract—Additional requirements.
- 22.28.150 Vehicular-access easement or tract—Engineering standards for vehicular access.
- 22.28.160 Vehicular-access easement or tract—Modifications.
- 22.28.170 Access—Walkways.
- 22.28.180 Preservation of natural features—Compliance with Zoning Code.
- 22.28.190 Preservation of natural features—Land adjacent to Lake Washington.
- 22.28.200 Preservation of natural features—Land adjacent to streams, lakes or wetlands.
- 22.28.210 Preservation of natural features—Significant vegetation.
- 22.28.220 Preservation of natural features—Easements.

22.28.010 Applicability.

The provisions of this chapter apply to each plat and short plat within the city. For the purposes of this chapter, the terms “subdivision” and “plat” also mean “short subdivision” and “short plat.” (Ord. 3705 § 2 (part), 1999)

22.28.020 Provision for public and semipublic lands.

The city may require the applicant to make land available, by dedication, for school sites, parks and open space, rights-of-way, utilities infrastructure, or other public or semipublic uses of land if this is reasonably necessary as a result of the subdivision. (Ord. 3705 § 2 (part), 1999)

22.28.030 Lots—Size.

All lots within a subdivision must meet the minimum size requirements established for the property in the Kirkland Zoning Code or other land use regulatory document. If a property is smaller than that required for subdivision by an amount less than or equal to ten percent of the minimum lot size for the zoning district as shown on the Kirkland zoning map or as indicated in the Kirkland Zoning Code, subdivision may still proceed as long as the shortage of area is spread evenly over all of the lots in the subdivision. In cases where an existing structure or other physical feature (sensitive area, easement, etc.) makes even distribution of the size shortage difficult, an exception to the even distribution may be made.

If a property is smaller than that required for subdivision by an amount greater than ten percent and less than or equal to fifteen percent of the minimum lot size for the zoning district as shown on the Kirkland zoning map or as indicated in the Kirkland Zoning Code, subdivision may also proceed, as long as:

(a) The shortage of area is spread evenly over all of the lots in the subdivision (unless an existing structure or other physical feature such as a sensitive area or easement makes even distribution of the size shortage difficult); and

(b) All lots have a minimum lot width at the back of the required front yard of no less than fifty feet (unless the garage is located at the rear of the lot or the lot is a flag lot); and

(c) In zoning districts for which the Zoning Code establishes a floor area ratio (FAR) limitation, a covenant is signed prior to recording of the plat ensuring that building on the new lots will comply with an FAR restriction at least ten percentage points less than that required by the zoning district as shown on the Kirkland zoning map; and

(d) If any lot is smaller than the minimum lot size for the zoning district by an amount greater than five percent of the minimum lot size, the subdivision shall be reviewed and decided using process IIB described in Chapter 152 of Title 23 of this code. In

addition to meeting the decisional criteria found in Chapter 152 of Title 23 of this code, approval of the application may only be recommended if the new lots are compatible, with regard to size, with other lots in the immediate vicinity of the subdivision.

A covenant must also be signed prior to recording of the plat to ensure that the garage will be located at the rear of the lot in cases where this option is chosen under subsection (b) of this section. (Ord. 4196 § 2 (Exh. B) (part), 2010; Ord. 3705 § 2 (part), 1999)

Insert: or PLA 3C

22.28.040 Lots—Lot averaging.

In multiple lot subdivisions not located in an RSA zone and not subject to Section 22.28.030, the minimum lot area shall be deemed to have been met if the average lot area is not less than the minimum lot area required of the zoning district in which the property is located as identified on the zoning map. Under this provision, either:

(a) Not more than two of lots in a subdivision and one of the lots in a short plat may contain an area less than the prescribed minimum for this zoning district. In no case shall any lots be created which contain an area more than ten percent less than the prescribed minimum for this zoning district; or

(b) Up to seventy-five percent of the number of lots in a subdivision or short plat may contain an area less than the prescribed minimum for this zoning district if the lots which would be created contain an area no more than five percent less than prescribed.

These smaller lots shall be located so as to have the least impact on surrounding properties and public rights-of-way.

Using process IIA, Chapter 150 of Title 23 of this code, and the applicable sections of Chapter 22.12 or 22.20 of this title, additional lot averaging may be achieved. Through process IIA, not more than thirty percent of the number of lots in a subdivision, and two of the lots in a short plat, may contain an area less than the prescribed minimum for this zoning district as long as the average lot area is not less than the minimum lot area required for the zoning district in which the property is located as identified on the zoning map. In no case shall any lots be created through this process which contain an area more than fifteen percent less than the prescribed minimum for this zoning district. The smaller lots shall be located so as to have the least impact on surrounding properties and public rights-of-way. In addition, the plat or short plat must meet the following criteria:

Insert: and Lakeview (except for lots located in the PLA 3C zone and RS 12.5 zone),

705 § 2 (part), 1999

(1) The averaging is necessary because of special circumstances regarding the size, shape, topography, or location of the subject property, or the location of a preexisting improvement on that subject property; and

(2) The averaging will not be materially detrimental to the property or improvements in the area of the subject property or to the city in part or as a whole; and

(3) Existing significant trees and vegetation will be preserved where feasible to buffer the adjacent properties from the smaller lots in the subject subdivision.

Additional lot averaging may only be addressed and obtained through the provisions of Chapter 125, Planned Unit Development, of Title 23 of this code and the applicable sections of Chapter 22.12 or 22.20 of this title. (Ord. 4196 § 2 (Exh. B) (part), 2010;

22.20.042 Lots—Small lot single-family.

In the Market and Norkirk neighborhoods, as defined in the comprehensive plan, for those subdivisions not subject to the lot size flexibility provisions of Sections 22.28.030 and 22.28.040 and historic preservation provisions of Section 22.28.048, the minimum lot area shall be deemed to be met if at least one-half of the lots created contain no less than the minimum lot size required in the zoning district in which the property is located. The remaining lots may contain less than the minimum required lot size; provided, that such lots meet the following standards:

(a) Within the RS 6.3 and RS 7.2 zones, the lots shall be at least five thousand square feet.

(b) Within the RS 8.5 zone, the lots shall be at least six thousand square feet.

(c) The portion of any flag lot that is less than thirty feet wide, and used for driveway access to the buildable portion of the lot may not be counted in the lot area.

(d) The floor area ratio (FAR) shall not exceed thirty percent of lot size; provided, that FAR may be increased up to thirty-five percent of the lot size if the following criteria are met:

(1) The primary roof form of all structures on the site is peaked, with a minimum pitch of four feet vertical to twelve feet horizontal; and

(2) All structures are set back from side property lines by at least seven and one-half feet.

(e) The FAR restriction shall be recorded on the face of the plat.

(f) Accessory dwelling units are prohibited. This restriction shall be recorded on the face of the plat. (Ord. 4102 § 1(A), 2007)

22.28.048 Lots—Historic preservation.

In the Market and Norkirk neighborhoods, as defined in the comprehensive plan, for those subdivisions not subject to the lot size flexibility provisions of Sections 22.28.030, 22.28.040, and the small lot single-family provisions of Section 22.28.042, the minimum lot area shall be deemed to be met if no more than two lots are created that contain less lot area than the minimum size required in the zoning district in which the property is located, and if an "historic residence" is preserved on one of the lots, pursuant to the process described in Chapter 75 of the Kirkland Zoning Code. The lots containing less than the minimum required lot area shall meet the following standards:

(a) Within the RS 6.3 and RS 7.2 zones, the lots shall be at least five thousand square feet.

(b) Within the RS 8.5 zone, the lots shall be at least six thousand square feet.

(c) Within the WDII zone, the lots shall be at least seven thousand two hundred square feet.

(d) The portion of any flag lot that is less than thirty feet wide, and used for driveway access to the buildable portion of the lot, may not be counted in the lot area.

(e) Accessory dwelling units are prohibited. The restriction shall be recorded on the face of the plat.

Lots containing historic residences shall also meet the following standards:

(f) If a historic residence is destroyed, damaged, relocated, or altered inconsistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties (Rehabilitation) (Code of Federal Regulations, 36 CFR Part 68), the replacement structure shall be reconstructed in accordance with the criteria established in Section 75.105 of the Kirkland Zoning Code. The replacement restriction shall be recorded on the face of the plat.

(g) As part of subdivision approval, the city may allow the following modifications to regulations in the Kirkland Zoning Code regarding minimum required yards, maximum lot coverage, and floor area ratio on the lot containing the historic residence if the modifications are necessary to accommodate the historic residence.

(1) Required yards may be two feet less than required by the zoning district as shown on the Kirkland zoning map.

(2) Floor area ratio may be five percentage points more than allowed by the zoning district as shown on the Kirkland zoning map.

(3) Lot coverage may be five percentage points more than allowed by the zoning district as shown on the Kirkland zoning map.

(h) At the time of recording the plat, a notice of applicable restrictions for the lot containing the designated historic residence shall be recorded. (Ord. 4102 § 1(B), 2007)

22.28.050 Lots—Dimensions.

Lots must be of a shape so that reasonable use and development may be made of the lot. Generally, the depth of the lot should not be more than twice the width of the lot. In no case shall a lot be less than fifteen feet in width where it abuts the right-of-way, vehicular-access easement or tract providing vehicular access to the subject lot. For lots smaller than five thousand square feet in size located in "low density zones" as defined in the Zoning Code, the lot width at the back of the required front yard shall not be less than fifty feet unless the garage is located at the rear of the lot or the lot is a flag lot. A covenant shall be signed prior to the recording of the plat to ensure that the garage will be located at the rear of the lot if this option is chosen. (Ord. 4122 § 1 (part), 2008; Ord. 3705 § 2 (part), 1999)

22.28.060 General layout.

The plat must be designed to allow for reasonable subdivision and use of adjoining properties. While the plat should generally conform to the grid pattern, innovative layouts will be considered based on the general requirements of this chapter. (Ord. 3705 § 2 (part), 1999)

22.28.070 Blocks—Maximum length.

Generally, blocks should not exceed five hundred feet in length. Blocks that are more than seven hundred fifty feet in length should allow for midblock pedestrian access pursuant to Section 22.28.170 of this chapter. (Ord. 3705 § 2 (part), 1999)

22.28.080 Access—Required.

(a) All lots must have direct legal access as required by the Zoning Code, including Section 115.80, Legal Building Site, and Section 105.10,

Chapter 3.30

DESIGN REVIEW BOARD

Sections:

- 3.30.010 Membership—Appointment—Compensation—Removal.**
- 3.30.020 Qualifications.**
- 3.30.030 Powers and duties.**
- 3.30.040 Design guidelines adopted by reference.**
- 3.30.050 Conflict of interest.**

3.30.010 Membership—Appointment—Compensation—Removal.

The design review board shall be composed of seven appointed members. In addition, the director of planning and community development shall sit on the design review board (“DRB”) as a nonvoting member for purposes of advising the board on regulatory and urban design issues. Members shall be appointed by a majority vote of the city council, without regard to political affiliation. The members of the DRB shall serve without compensation. Each member shall be appointed to a four-year term; provided, that as to the two positions added in 2003, one new member’s initial term shall expire March 31, 2005, and the other new member’s initial term shall expire March 31, 2007. Any vacancy shall be filled for the remainder of the unexpired term of the vacant position. When a member misses three or more consecutive meetings not excused by a majority vote of the DRB, the DRB will consider recommending removal of that member. The board shall recommend removal if the absences have negatively affected the board’s abilities to perform its duties. The recommendation will be forwarded to city council. Members finding themselves unable to attend regular meetings are expected to tender their resignations. A member may be removed by a majority vote of the city council. (Ord. 3901 § 1, 2003; Ord. 3683A § 1 (part), 1999)

3.30.020 Qualifications.

Members of the design review board shall include design professionals and building/construction experts, and residents of Kirkland capable of reading and understanding architectural plans and knowledgeable in matters of building and design. The board shall at all times have a majority composition of professionals from architecture, landscape architecture, urban design/planning, or similar disciplines. In selecting members, professionals who are residents and/or whose place of business is within Kirkland will be preferred. (Ord. 3683A § 1 (part), 1999)

3.30.030 Powers and duties.

The design review board shall have the responsibilities designated in the Zoning Code. In addition, the design review board shall perform such advisory functions related to design issues as designated by the city council. (Ord. 3683A § 1 (part), 1999)

3.30.040 Design guidelines adopted by reference.

The design review board in combination with the authority set forth in Chapter 142 of the Zoning Code shall use the following design guidelines documents to review development permits:

(1) The document entitled “Design Guidelines for Pedestrian Oriented Business Districts” bearing the signature of the mayor and the director of the department of planning and community development dated August 3, 2004, is adopted by reference as though fully set forth herein. The city council shall consult with the planning commission prior to amending this document.

(2) The document entitled “Design Guidelines for the Rose Hill Business District” bearing the signature of the mayor and the director of the department of planning and community development dated January 3, 2006, is adopted by reference as though fully set forth herein. The city council shall consult with the planning commission prior to amending this document.

(3) The document entitled "Design Guidelines for the Totem Lake Neighborhood" bearing the signature of the mayor and the director of the department of planning and community development dated June 6, 2006, is adopted by reference as though fully set forth herein. The city council shall consult with the planning commission prior to amending this document.

(4) The document entitled "Kirkland Parkplace Mixed Use Development Master Plan and Design Guidelines" bearing the signature of the mayor and the director of the department of planning and community development, dated December 16, 2008, is adopted by reference as though fully set forth herein. The city council shall consult with the planning commission prior to amending this document.

(5) The document entitled "Design Guidelines for the Yarrow Bay Business District ~~X~~Zone" bearing the signature of the mayor and the director of the department of planning and community development dated X, is adopted by reference as though fully set forth herein. The city council shall consult with the planning commission and the Houghton community council prior to amending this document.

(5) Text Amended. The following specific portions of the text of the design guidelines are amended as set forth in Attachment A attached to Ordinance 4106 and incorporated by reference. (Ord. 4172 § 1, 2008; Ord. 4106 § 1, 2007; Ord. 4052 § 1, 2006; Ord. 4038 § 1, 2006; Ord. 4031 § 1, 2006)

3.30.050 Conflict of interest.

If a member of the design review board is an applicant or a paid or unpaid advocate, agent, or representative for an applicant on a design review application, the member shall not participate in a decision on that design review application. (Ord. 3683A § 1 (part), 1999)

INSERT
YBD

Yarrow Bay Business District Design Guidelines

Revised Draft 6-10-2011



Design Guidelines for Yarrow Bay Business District

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Introduction

This document sets forth a series of Design Guidelines, adopted by Section 3.30 of the Kirkland Municipal Code that will be used by the City in the design review process for development in the Yarrow Bay Business District located in the Lakeview Neighborhood. The Yarrow Bay Business District includes the YBD 1, YBD 2, YBD 3 and PR 8.5 zones. Other documents that should be referred to during design review are the YBD (Chapter 56) and PR (Chapter 25) Use Zone Charts found in the Kirkland Zoning Code.

*****Note: Design Guidelines unique to YBD 1 will be inserted throughout this document after adoption.***

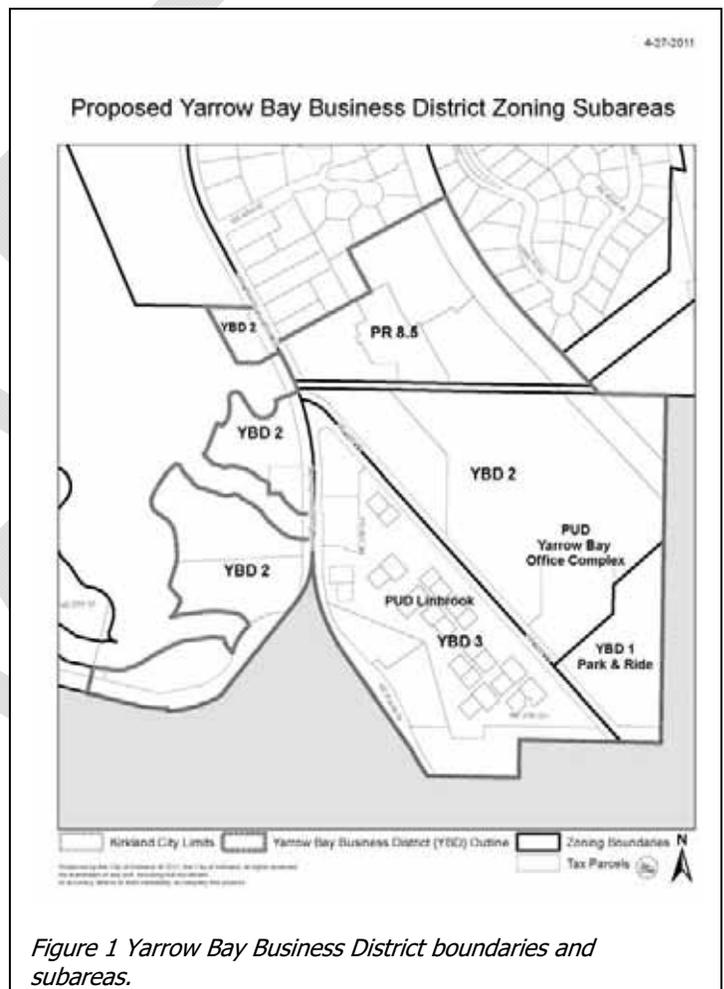
Purpose of the Design Guidelines

The Design Review Board will use these guidelines to evaluate development proposals during the design review process. The Design Guidelines are intended to establish a greater sense of quality, unity, and conformance with Kirkland's physical assets and civic identity. These guidelines are not intended to slow or restrict development, but rather to add consistency and predictability to the permit review process.

Urban Design Goals and Objectives

The key design objectives promoted in the Lakeview Neighborhood Plan for the Yarrow Bay Business District include:

- *Promote quality architectural and site design ~~by establishing design standards that apply to commercial and multifamily development.~~*
- *~~Establish-Encourage~~ architectural vertical and horizontal modulation ~~guidelines~~ along all street frontages and perimeter of district.*
- *Preserve public scenic views and natural features that contribute to Lakeview's visual identity.*



- Provide interconnected street and pedestrian improvements throughout the district that tie ~~uses the district~~ together, contribute to a sense of identity and enhance visual quality. Included in this concept are pedestrian linkages ~~between uses~~ on site, to adjacent properties, and to transit facilities ~~and the Transit-Oriented Development at the South Kirkland Park and Ride~~. Provide directional signs that indicate path locations.
- Enhance streetscapes distinctive to the neighborhood along Lake Washington Blvd., Northup Way and NE 38th PI with wide sidewalks, street trees, decorative pedestrian lighting, benches, or other street furniture.
- Incorporate gateway features to the neighborhood to strengthen neighborhood identity at the locations identified in the Lakeview Neighborhood Plan.
- Especially along retail uses and streets promote using pedestrian oriented design techniques such as ~~minimizing blank walls~~, ~~providing~~ generous ground floor window treatments, awnings, superior building materials, open space plazas, and pedestrian amenities. ~~especially around retail uses and along streets~~. and by minimizing blank walls
- Locate development away from streams and wetlands. Enhance stream corridors for both habitat and as a natural amenity.

Vision for the Yarrow Bay Business District

The Lakeview Neighborhood Plan vision for the Yarrow Bay Business District is to transform the large suburban style office park development into a more integrated, mixed use residential and commercial district. Several strategies will help achieve this vision such as allowing a broader range of uses, and improving pedestrian connections between properties, businesses, the Transit Oriented Development at the South Kirkland Park and Ride facility and the Eastside Rail Corridor. Incorporating public plazas, green spaces and pedestrian amenities into new development will help create an inviting environment for employees, residents and visitors. New design standards and design review for development will ensure quality architecture, site design and identity for the district.

The Lakeview Neighborhood Plan envisions improvements to NE 38th PI, Lake Washington Blvd. NE and Northup Way to upgrade the streets with wider sidewalks, street trees and decorative pedestrian lighting, directional signs, benches and varying pavement textures. On-street parking is encouraged along ~~should be provided along portions of~~ NE 38th PI where there is that contains ~~to stimulate support~~ pedestrian-oriented uses or retail frontage. ~~such as near the South Kirkland Park and Ride Transit-Oriented Development.~~

Larger sites within the Yarrow Bay Business District provide opportunities for present ~~opportunities for master planning to provide~~ coordinated development. Within YBD 2 and YBD

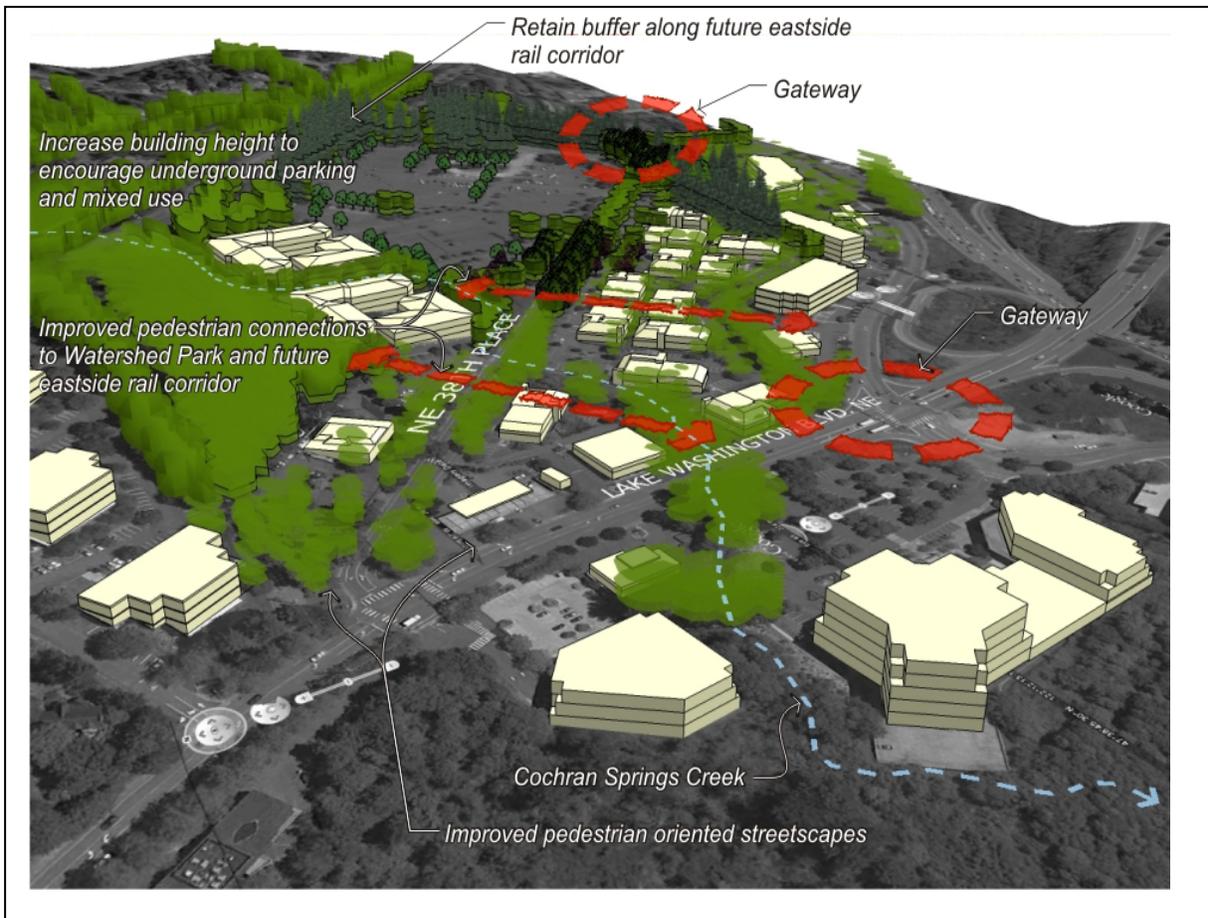


Figure 2 illustrates the future urban design concept for the Yarrow Bay Business District

3, for example, mixed-use developments combining retail, office and residential uses with ~~Property development can provide an~~ attractive face along the major traffic corridors or provide their own interior vehicular and pedestrian pathways and open space as focal points for pedestrians. Focal points ~~These~~ may include plazas surrounded by shops, offices, services or wide sidewalk areas along an interior access street.

Buildings ~~are encouraged to~~ should front along NE 38th Pl. and orient toward Lake Washington Blvd. Storefronts may be clustered around major entry points to the development to ~~providing~~ a welcoming entry. ~~Buildings are encouraged to~~ Use of a variety of materials and colors and modulated walls and rooflines is encouraged to reduce ~~their~~ architectural scale. Residential ~~uses are encouraged to~~ buildings should feature prominent building entries and individual balconies. Orienting R residential buildings ~~should be clustered~~ around a courtyards, small parkplazas, or natural features also is encouraged.

Vision for YBD 1

***Insert text for YBD 1 after adoption

Design Guidelines

The following design guidelines for the Yarrow Bay Business District (YBD) are intended to help guide the future development toward the vision described in the Lakeview Neighborhood Plan and in this document.

1. Building Location and Orientation

Objectives

- To enhance the character and identity of the Yarrow Bay Business District.
- To upgrade the appearance of streets in the Yarrow Bay Business District.
- To enhance pedestrian circulation.
- To create focal points, particularly on large sites.
- To coordinate development with adjacent property where desirable.



Figure 3. Encourage buildings to orient to the street and locate parking lots to the side, rear, or provide structured parking to as accomplished here.

Guidelines

- Locate and orient buildings toward sidewalks along streets, plazas, common open spaces or major internal pedestrian pathways.
- Where buildings are located at the sidewalk with direct pedestrian access, provide pedestrian oriented building façade treatments described in the [Provide pedestrian entrances along the sidewalk. Provide windows along sidewalks. Pedestrian Friendly Facades Section 9.](#)
- Where buildings are not located at ~~zero setbacks from the~~ sidewalks, provide landscaping, plazas or building façade treatments to enhance the pedestrian experience. In general, buildings that have less pedestrian orientation will merit more landscaping and façade treatments to prevent blank walls.
- ~~b.d.~~ Locating parking to the side and/or rear of buildings is preferred.
- ~~c.e.~~ Configure development to provide focal points and opportunities for coordinated pedestrian and vehicular access. Where there are no current opportunities for coordinated access, provide the opportunity for future coordination should adjacent site redevelop in the future.
- ~~d.f.~~ Where buildings are oriented to an interior open space or courtyard, orient primary building entries to the open space provided there is direct pedestrian access and visibility into the open space from the street sidewalk.

2. Parking Lots and Vehicular Circulation

Objectives

- To minimize the impact of parking facilities on the fronting street, pedestrian environment, and neighboring properties.
- To enhance pedestrian and vehicular safety.
- To maintain traffic flow on streets.
- To promote shared parking.
- To provide attractive and connected vehicular circulation routes.

Discussion

Parking lots can detract from the pedestrian and visual character of a commercial area. The adverse impacts of parking lots can be mitigated through sensitive design, location, and configuration. Large parking lots can be confusing unless vehicle and pedestrian circulation patterns are well organized and marked.

Guidelines

Driveways

- a. Minimize the number of driveways into a development along Lake Washington Blvd, NE 38th Pl. and Northup Way. To the extent possible, adjacent developments should share driveways.

Parking Lot Location and Design

- a. Surface parking lots are discouraged. Where they are provided, locate parking to the side or rear of buildings so they do not occupy a majority of the site's frontage.
- b. Avoid parking layouts that visually dominate a development. Design parking lots to be attractive to pedestrian's walking by and to break up large parking lots into smaller ones.
- c. Provide a clear and well organized parking lot design. Space should be provided for pedestrians to walk safely in all parking lots.



Figure 4 A good example of incorporating trees between parking lot and along pedestrian paths in front of uses.



Figure 5 An example of interior parking lot landscaping.

Parking Lot Landscaping and Screening

- a. Integrate landscaping into parking lots to reduce their visual impact. Provide planting beds with a variety of trees, shrubs, and ground cover to provide visual relief, summer shade, and seasonal interest.
- b. Provide low level perimeter landscaping where parking is adjacent to sidewalks in order to maintain a visual screen and reduce clutter. Use screening methods that maintain visibility at eye level between the street and parking area.
- c. Provide extensive screening and landscaping between parking lots, residential uses, and open spaces. A combination of a screen wall with a landscape buffer is preferred.

3. Parking Structures

Objective

- To mitigate the visual impacts of parking structures in the urban environment.

Guidelines

- a. Structured parking garages are preferred over surface parking lots provided they can be designed to mitigate the intrusive qualities of parking garages along streets, pedestrian pathways and in pedestrian areas using the following design techniques:

- Locate parking structures, service areas, and storage away from the street edge and so they are not visible from the street or sidewalks.
- Provide intervening-Incorporate ground-level commercial uses incorporated-space, oriented to the adjacent street, into parking structures.
- Use landscaping to screen the parking garage façade.
- Design and locate parking garage entries to complement, not subordinate the pedestrian entry. Where possible, locate the parking entry away from the primary street, to either the side or rear of the building.
- Use architectural forms, materials, and/or details to integrate a parking structure with the design of other buildings on the propertydevelopment.
- Locate and design parking structures to obscure the view of parked cars from adjacent properties.



Figure 6. This parking garage includes streetfront retail space and landscaped trellises to mitigate visual impacts

4. Architectural Scale

Objectives

- To encourage an architectural scale of development desired for each zone within the Yarrow Bay Business District.
- ~~To implement the planning concepts or the distinct design districts within the Yarrow Bay Business District.~~
- To add visual interest to buildings.

Discussion

“Architectural scale” means the size of a building relative to the buildings or elements around it. When the buildings in a neighborhood are about the same size and proportion, we say they are “in scale.” The vision and development regulations for the Yarrow Bay Business District provide for larger buildings than currently exist. Care must be taken to design buildings so they appropriately respond to the evolution of the District from the current low rise condition to its vibrant mixed use future. For example, a new project need not step down to a one story edge condition to acknowledge an existing one story building on an adjoining site, but it can incorporate horizontal and vertical modulation that allow it to “fit” with the existing context and provide cues for future development of the adjoining site.

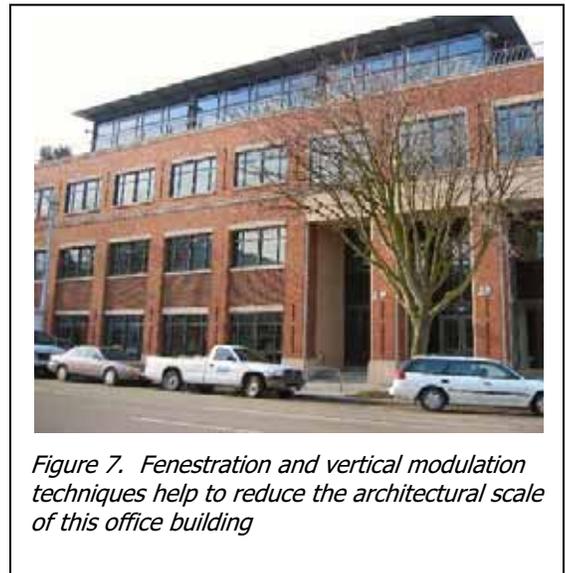


Figure 7. Fenestration and vertical modulation techniques help to reduce the architectural scale of this office building

Guidelines

A combination of techniques is desirable to reduce the architectural scale of buildings. In general the following techniques should be included at intervals of 70 feet for office uses and 30 feet for residential uses. Alternatives will be considered if they meet the objectives.

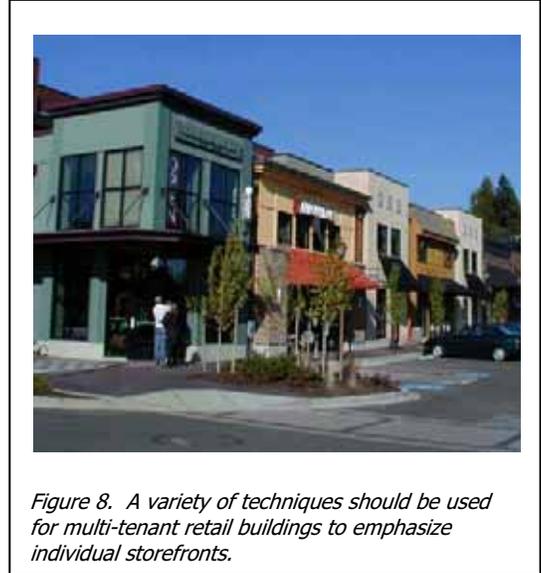
- Incorporate fenestration techniques proportionate in size and pattern for the scale of the building. ~~that indicate the scale of the building. The size, location, and number of windows in an urban setting create a sense of interest that relies on a mixture of proportions and patterns.~~—This is particularly important on upper floors, where windows should be divided into individual units with each window unit separated by a visible mullion or other element. “Ribbon windows” (continuous horizontal bands of glass) or “window walls” (glass over the entire surface) do little to indicate the scale of the building and are thus discouraged, except in special circumstances where they serve as an accent element.
- Encourage vertical modulation on multi-story buildings to add variety, and to make large buildings appear to be an aggregation of smaller buildings.—Vertical modulation may be

particularly effective for tall buildings adjacent to a street, plaza, or residential area to provide compatible architectural scale and to minimize shade and shadow impacts.

- c. Incorporate horizontal building modulation techniques to reduce the architectural scale of the building and add visual interest. Horizontal building modulation is the horizontal articulation or division of an imposing building façade through upper story setbacks, awnings, balconies, roof decks, eaves, and banding of contrasting materials. Elevations that are modulated with horizontal elements appear less massive than those with sheer, flat surfaces.

Recommended horizontal building modulation techniques include:

- Roofline modulation and a change in building materials.
 - Step back building facades, generally above the second floor.
 - For residential uses, provide horizontal building modulation based on individual unit size, use roofline modulation, and changes in color and/or building materials. The depth and width of the modulation should be sufficient to meet the objectives of the guidelines. Avoid repetitive modulation techniques, since they may not be effective when viewed from a distance. Larger residential buildings will require greater horizontal modulation techniques to provide appropriate architectural scale.
- d. Break up long continuous walls with a combination of horizontal building modulation, change in fenestration, and/or change in building materials. This is especially important for office buildings.
 - e. Encourage a variety of roofline modulation techniques such as hipped or gabled rooflines and modulated flat rooflines. As a general rule, the larger the building or unbroken roofline, the bigger the modulation should be. In determining the appropriate roof type and amount of modulation, consider the distance from which the building can be viewed. For example, a large commercial building adjacent to a parking lot is capable of being viewed from a relatively large distance and will consequently necessitate greater roofline modulation. .



5. Human Scale

Objectives

- To encourage the use of building components that relate to the size of the human body pedestrian activity.
- To add visual interest to buildings.

Discussion

The term "human scale" is generally used to indicate a building's size in proportion to pedestrians, relative to a person, but the actual size of a building is often not as important as its perceived size. A variety of design techniques may be used to make a building less imposing and to make people feel comfortable using and approaching it.

How the pedestrian interacts with the building at street level, along store fronts and portions of the building that are within view and reach of the pedestrian are most important factors. Upper story setbacks can also prevent taller structures from overwhelming the pedestrian scale at the street level. Special elements in a building facade create a distinct character in an urban context. The use of materials, and detailing, and transparency of windows along a building facade are important techniques. A bay window suggests housing, while an arcade suggests a public walkway with retail frontage. Each element must be designed for an appropriate urban setting and for public or private use. A building should incorporate special features that enhance its character and surroundings. Such features give a building a better defined "human scale."

Guidelines

- a. Encourage a combination of architectural elements that give buildings a human scale. Examples include arcades, balconies, bay windows, roof decks, trellises, landscaping, awnings, cornices, friezes, art concepts, - street front courtyards and plazas outside of retail spaces. Window fenestration techniques described in Section 4 can also be effective, in giving humans clues as the size of the building. -Consider the distances from which buildings can be viewed (from the sidewalk, street, parking lot, open space, etc.).



Figure 9. Use of building modulation, window patterns, brick, balconies and awnings help lend this building a human scale.

6. Pedestrian Connections

Objectives

- To provide convenient pedestrian access.
- To reduce vehicle trips.
- To encourage pedestrian activity.

Guidelines

- a. Provide convenient pedestrian access between the street, bus stops, buildings, parking areas, and open spaces.
- b. Provide direct pedestrian access from buildings to abutting public sidewalks and major internal pathways.
- c. Provide paved walkways through large parking lots. Separate walkways from vehicular parking and travel lanes by use of contrasting paving material which may be raised above the vehicular pavement and by landscaping.
- d. Provide safe and convenient pedestrian connections east to west through the business district consistent with Plate 34 of the Zoning Code.
- e. Consider installing a public trail along the stream corridor as a pedestrian connection and natural amenity.



7. Natural Features

Objectives

- Establish a "greenway" corridor extending in an east/west direction across the business district from the Yarrow Bay wetlands and along stream corridors to the Houghton slope.

Guidelines

- a. Configure buildings and site features to preserve and enhance stream corridors. Consider these natural features as open space amenities.
- b. Use wooded slopes as a natural site amenity and buffer by using and retaining native vegetation.
- c. Encourage buildings and rooflines to step down or be tucked against hillsides to roughly follow the slope of the existing terrain.



8. Blank Walls

Objectives

- To minimize visible blank walls.
- To enhance public safety along sidewalks and pathways.
- To encourage design elements that enhance the character of buildings at all perceived distances.

Discussion

Blank walls deaden the pedestrian environment and break the continuity of ground floor activity along a street or pathway. Blank walls can also create a safety problem, particularly where adjacent to pedestrian areas, as they don't allow for natural surveillance of those areas.

Guidelines

a. Avoid blank walls near sidewalks, major internal walkways, parks, and pedestrian areas. Use the following treatments to mitigate the negative effects of blank walls (in order of preference):

- Configure buildings and uses to avoid blank walls exposed to public view.
- Provide a planting bed with plant material to screen most of the wall.
- Install trellises with climbing vines or plant materials to cover the surface of the wall. For long walls, use trellises to avoid monotony.
- Provide artwork on the wall surface.
- Provide architectural techniques that add visual interest at a pedestrian scale, such as a combination of horizontal building modulation, change in building materials and/or color, and use of decorative building materials.
- Provide decorative lighting fixtures.



Figure 12. An example of treatment for blank wall or parking structure.

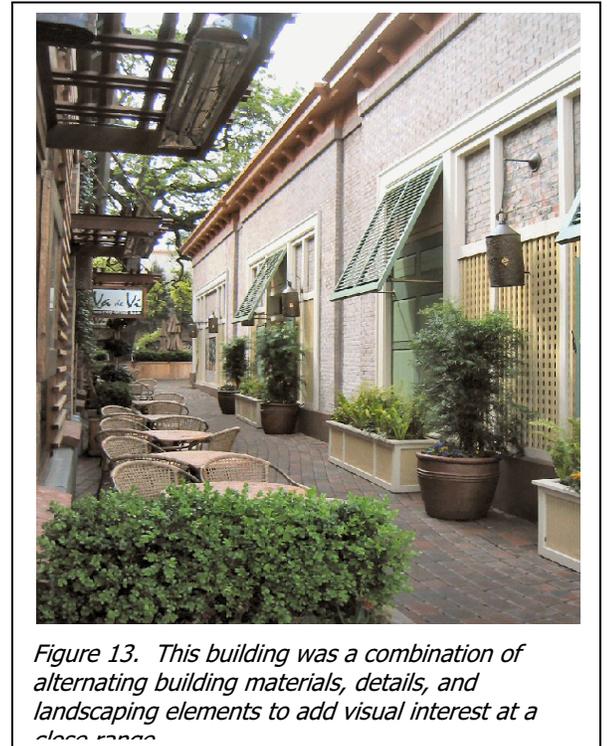


Figure 13. This building was a combination of alternating building materials, details, and landscaping elements to add visual interest at a pedestrian scale.

9. Pedestrian-Friendly Building Fronts

Objectives

- To enhance the pedestrian environment.
- To create safe and active sidewalks and pathways.

Guidelines

- Incorporate transparent windows, pedestrian entrances, and weather protection along all non-residential facades adjacent to a sidewalk or internal pathway. Weather protection features could include awnings, canopies, marquees, or other similar treatments.
- Where buildings are not located at the sidewalk, provide incorporate landscaping, building façade treatment or a pedestrian plaza or open space between the building and the sidewalk or provide building façade treatment.

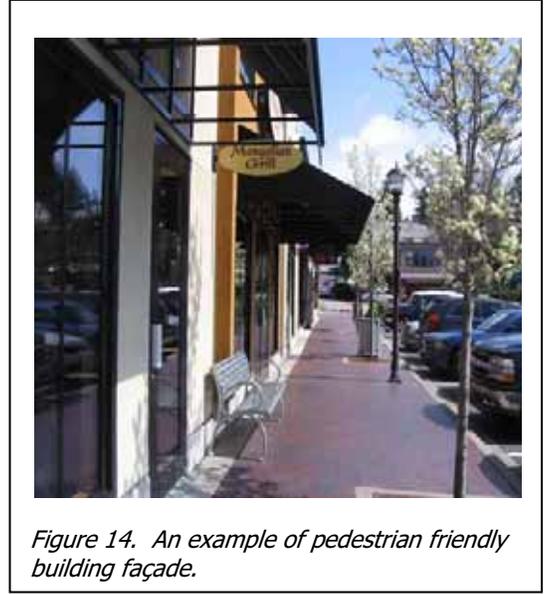


Figure 14. An example of pedestrian friendly building façade.

10. Pedestrian Plazas

Objectives

- To provide a variety of pedestrian-oriented areas to attract shoppers and employees to commercial areas and enrich the pedestrian environment.
- To create gathering spaces for the community.
- To configure buildings to encourage pedestrian activity and pedestrian focal points.

Discussion

Pedestrian plazas serve as open space and places for people to gather.

Guidelines

- Provide pedestrian plazas in conjunction with building and site spaces that are accessible to the general public, residents and transit users.

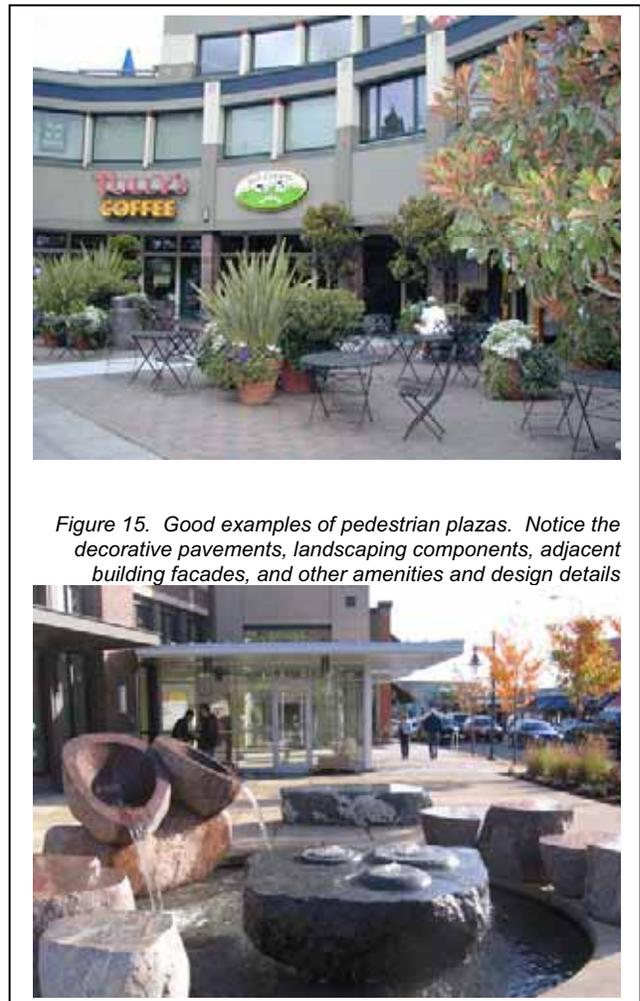


Figure 15. Good examples of pedestrian plazas. Notice the decorative pavements, landscaping components, adjacent building facades, and other amenities and design details

- b. Position plazas in locations adjacent to and visible from major streets, such as along NE 38th Pl, major internal circulation routes, or where there are strong pedestrian flows on neighboring sidewalks. For large sites, development should be configured to create one or more focal plazas. To enhance visibility and accessibility, plazas usually should be no more than 3' above or below the adjacent sidewalk or internal pathway.
- c. Locate building entrances that open on to plazas.
- d. Provide landscaping elements that add color and seasonal interest. This can include trees, planting beds, potted plants, trellises, and hanging plants.
- e. Incorporate pedestrian amenities, as described in Section 12.
- f. Locate plazas in sunny locations.
- g. Provide transitional zones along building edges to allow for outdoor seating areas and a planted buffer.

11. Residential Open Space

Objectives

- To create useable space that is suitable for leisure activities for residents.
- To create open space that contributes to the residential setting.

Guidelines

- a. Incorporate common open space for use by residents. ~~In some developments, multiple smaller spaces may be more useful than one, larger space.~~
Guidelines for common open space include:

- Design space as a focal point of the residential development.
- Space may be provided in one large area or in multiple smaller spaces, provided that each space is large enough to provide functional leisure or recreational activity. For example, long narrow spaces rarely, ~~if ever, can function~~ function as usable common space.
- Provide space for a range of activities and age groups. Children's play areas should be visible from dwelling units and positioned near pedestrian activity.
- Separate common space from ground floor windows, streets, service areas, and parking lots with landscaping and/or low-level fencing.

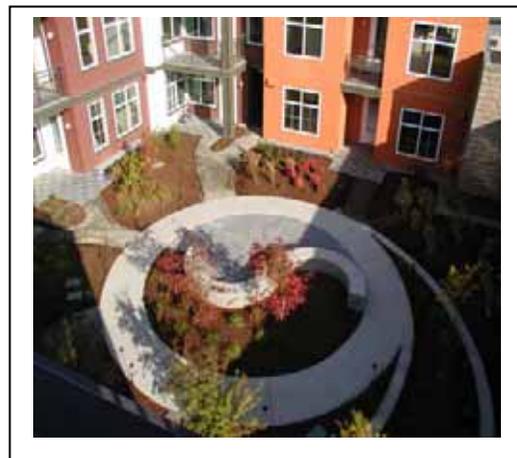


Figure 16. Good examples of common open space, including internal courtyard (above), a children's play area (below).

However, care should be used to maintain visibility from dwelling units towards open space for safety.

- b. Provide private open space for individual residential units. For townhouses and other ground-based housing units, provide patios, decks, and/or landscaped front or rear yards adjacent to the units. For all other units, provide balconies large enough for usable space for sitting, outdoor cooking and eating etc.~~to allow for human activity.~~

12. Pedestrian Amenities

Objectives

- To provide amenities that enrich the pedestrian environment.
- To increase pedestrian activity.

Discussion

Site features and pedestrian amenities, such as lighting, benches, paving, waste receptacles, and other site elements, are an important aspect of a business district's character. These elements reduce apparent walking lengths and unify the district's visual character.

Guidelines

Provide pedestrian amenities along all sidewalks, interior pathways and within plazas and other open spaces. Examples include:

- Pedestrian-scaled lighting less than 15' above the ground.
- Seating space such as benches, steps, railings and planting ledges. Ideal heights are between 12" to 18". An appropriate seat depth ranges from 6" to 24".
- Pedestrian furniture such as trash receptacles, consolidated newspaper racks, and drinking fountains.
- Planting beds and/or potted plants.
- Unit paving such as stones, bricks, or tiles.
- Decorative pavement patterns and tree grates.
- Water features.
- Informational kiosks.



Figure 17. Consolidated newspaper racks



Figure 18. Bicycle racks



Figure 19. Potted plants

- Transit shelters.
- Decorative clocks.
- Artwork.
- Bicycle racks.



Figure 21. Decorative pavement patterns (top), benches and pedestrian-scale lighting (middle), and informational kiosk



Figure 20. This example combines a sculptural water feature with landscaping

13. Pedestrian Coverings

Objectives

- To provide shelter for pedestrians.
- To provide spatial enclosure and add design interest to a retail or office streetscapes.

Discussion

The design and width of pedestrian coverings should be determined by their function, the building's use and the type of street.

As a general rule, the more traffic an entry is expected to accommodate, the larger the covered area at the entry should be.

The width of the sidewalk should also be considered when sizing the pedestrian covering (wider sidewalks can accommodate wider pedestrian coverings). Canopies and awnings should be appropriately dimensioned to allow for tree growth, where applicable. The architecture of the building and the spacing of individual storefronts should help determine the appropriate placement and style of the canopy or awning. Continuous, uniform awnings or canopies, particularly for multi-tenant retail buildings, can create a monotonous visual environment and are discouraged.

Guidelines

- a. Provide weather protection along the primary exterior entrance of all businesses, residential units, and other buildings.
- b. Design weather protection features to provide adequate width and depth at building entries.
- c. Pedestrian covering treatments may include: covered porches, overhangs, awnings, canopies, marquees, recessed entries or other similar features. A variety of styles and colors should be considered and be compatible with the architectural style of the building and the ground floor use.
- d. Back lit, plastic awnings are not appropriate.



Figure 22. Wider pedestrian coverings allow for outdoor dinina

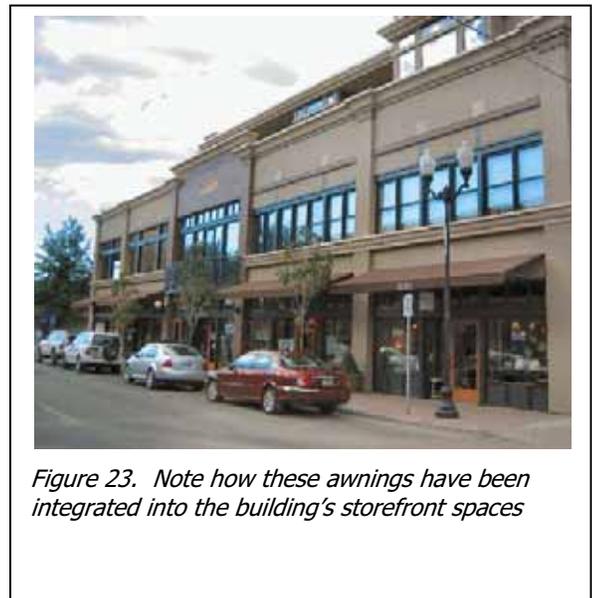


Figure 23. Note how these awnings have been integrated into the building's storefront spaces

14. Building Details and Materials

Objectives

- To use building and site design details that add visual interest to buildings/sites at a pedestrian scale.
- To use a variety of quality building materials such as brick, stone, glass, timber, and metal appropriate to the Pacific Northwest climate.

Guidelines

- a. Encourage the integration of ornament and applied art with structures and site environments. For example, significant architectural features should not be hidden, nor should the urban context be overshadowed.

Emphasis should be placed on highlighting building features such as doors, windows, eaves, and ~~on materials such as wood siding and~~ ornamental masonry. Ornament may take the form of traditional or contemporary elements. Original artwork or hand-crafted details should be considered in special areas. ~~Ornament and applied art can be used to emphasize the edges and transition between public and private space, and between walls to and ground, roofs to and sky, and architectural features to and adjacent elements.~~ Ornament may consist of raised surfaces, painted surfaces, ornamental or textured banding, changing of materials, or lighting.

- b. Use a variety of quality building materials such as brick, stone, timber, and metal to add visual interest to the buildings and reduce their perceived scale. Use masonry or other durable materials - especially near the ground level.
- c. Avoid use of concrete block and large expansive tilt up concrete facades.



Figure 24. Consider changes in building materials with modulation techniques

Undesirable



Desirable



Figure 25. A combination of materials is preferred

15. Entry Gateway Features

The Lakeview Neighborhood Plan calls for gateway features at two key entry points into neighborhood and the Yarrow Bay Business District:

- Intersection of SR 520 and Lake Washington Blvd. NE
- Intersection of 108th Avenue NE and NE 38th PL at the Transit Oriented Development
(Note: Guidelines for this gateway in YBD 1 will be added to this section when SKPR review is complete).

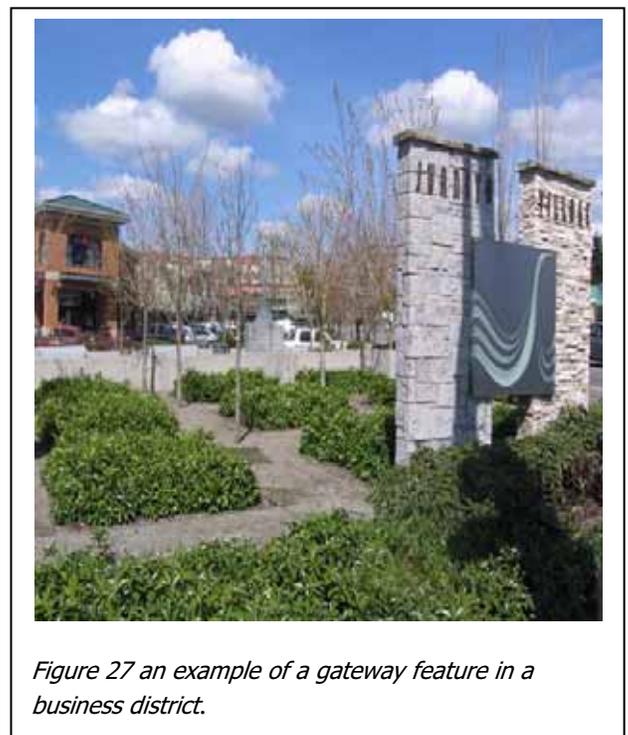
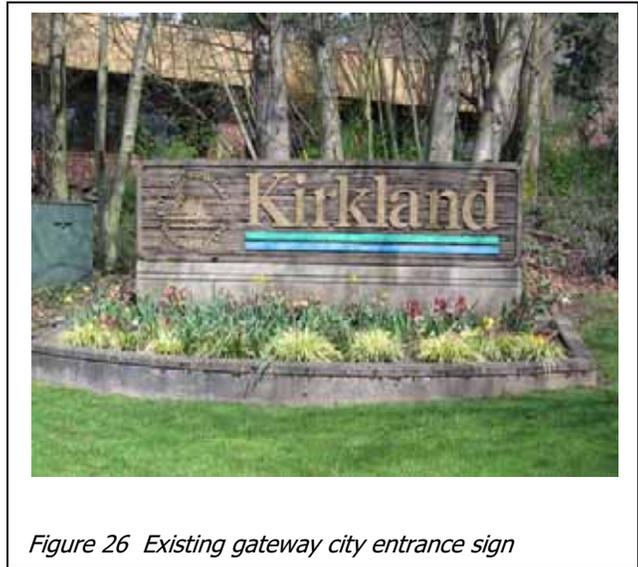
Objectives

- To enhance the character and identity of the Lakeview Neighborhood.
- To provide a welcoming statement for visitors entering the City.

Guideline

Incorporate entry gateway features in new development in the vicinity of gateways/nodal intersections identified in the Lakeview Neighborhood Plan. Locate and provide a new design for a gateway sign on Lake Washington Blvd. Gateway features may include some or all of the following:

- a. Distinctive landscaping.
- b. Artwork (e.g. vertical sculpture incorporating historical information about the Lakeview Neighborhood).
- c. Decorative lighting elements.
- d. Distinctive architectural features that are unique to the neighborhood or provide open space.
- e. Incorporation of the Cochrane Springs Creek crossing into a gateway feature as a soft, green entrance to the City.



16. Sidewalk and Pathway Widths

Objectives

- To provide wide sidewalks and pathways that accommodate pedestrian movement and provide a pleasing pedestrian experience.

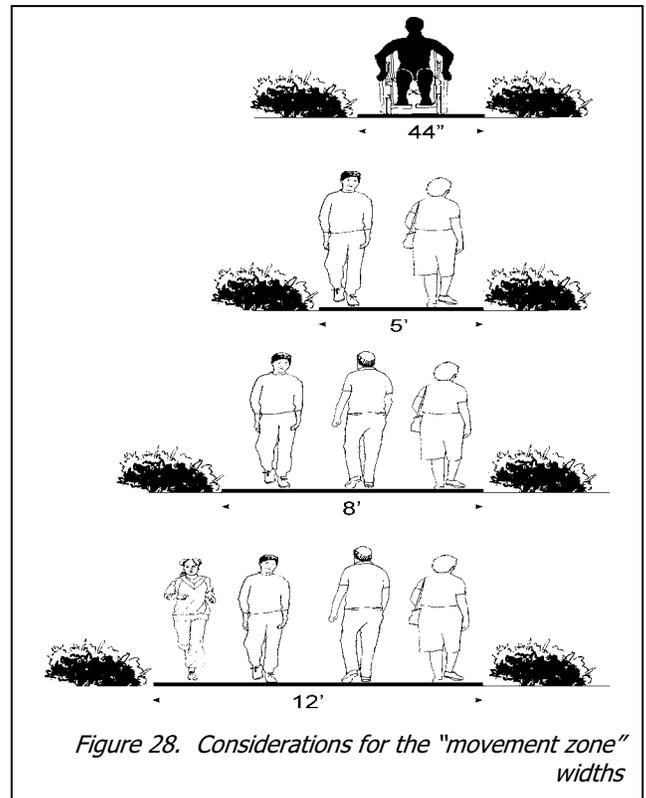
Discussion

Sidewalks have three overlapping parts with different functions: the curb zone, the movement zone, and the storefront or activity zone. A well-sized and uncluttered movement zone allows pedestrians to move at a comfortable pace.

Sidewalks or pathways adjacent to moving vehicular traffic need generous buffers to make them safer and more inviting. Landscaping elements are particularly important physical and visual buffers between walkways and streets or other vehicle access areas. As a general rule, the higher the travel speed, the greater the buffer should be between moving cars and pedestrians.

Guidelines

- a. Integrate a "curb zone" into the sidewalk or pathway width to separate the pedestrian from the street. This space should include street trees in a landscape strip or tree grates. Subtle changes in paving patterns between the curb zone and the movement zone can be effective and should be considered.
- b. Design sidewalks and pathways to support a variety and concentration of activities and provide a separation for the pedestrian from the busy street. Provide decorative pedestrian lighting and amenities described in the pedestrian amenities section below.
- c. For the movement or storefront activity zone design sidewalks to be wide enough to allow for pedestrians to pass those window shopping or seated at sidewalk cafes.



17. Street Trees

Objectives

- To utilize street trees to upgrade the character and identity of the Yarrow Bay Business District.
- To enhance the pedestrian environment in the Business District.
- To use trees that provide seasonal interest.
- To use trees that will not obscure views of businesses from the street.

Discussion

The repetition of trees bordering streets, internal roadways, and pathways can unify the District. Trees can add color, texture, and form to the urban environment and provide a respite from the weather.

Guidelines

- a. Incorporate street trees along all streets, internal access roads, and pathways.
- b. Encourage street trees to be used as a unifying features for the District.
- c. Select and maintain tree species that will accommodate pedestrian and vehicular traffic, and maintain visibility into and through sites for safety purposes.

18. Landscaping

Objective

- To enhance the visual quality of the urban environment.
- [To incorporate greenery into the urban environment.](#)

Discussion

Landscaping can soften the hard edges and improve the visual quality of the urban environment. Landscaping treatment in the urban environment should focus on the automobile, pedestrian, and building landscapes.

Along high speed and high volume traffic areas, raised planting strips can be used to protect pedestrians from traffic. The pedestrian landscape should offer variety at the ground level through the use of shrubs, ground cover, and trees. Pedestrian circulation, complete with entry and resting points, should be emphasized. Landscaping around buildings particularly along blank walls can reduce scale and add diversity through pattern, color, and form.



Figure 30. Provide street trees along all streets and internal access roads

Examples of how landscaping is used to soften and enhance the visual quality of the urban environment include:

- Screening of parking lots;
- Tall cylindrical trees to mark an entry;
- Continuous street tree plantings to protect pedestrians;
- Clusters of dense trees along long building facades;
- Cluster plantings at focal points;
- Parking lots with trees and shrubs planted internally as well as on the perimeter.



Guidelines

- a. Design landscaping for the purpose and context in which it will be located. The auto oriented landscaping requires strong plantings of a structural nature to act as buffers or screens for pedestrians. The pedestrian landscape should emphasize the subtle characteristics of the plant materials. The building landscape should use landscaping that complements the building's qualities and screens service areas or blank walls while not blocking views of the business or signage.
- b. Encourage a colorful mix of drought tolerant and low maintenance trees, shrubs and perennials. Except in special circumstances, ivy ~~and grass lawn~~ should be avoided.
- c. Consider the on-site topography to hide parking and enhance views.
- d. Use wooded slopes and streams as a natural site amenity and to screen unwanted views, where applicable.

19. Service Areas

Objectives

- To mitigate adverse impacts of service areas.
- To locate and design site service and storage areas to promote ease of use, safety, and visual cohesion.

Guidelines

- a. Locate and design service and storage areas (such as refuse, recycling, loading or mechanical equipment areas) to minimize visibility from public pedestrian spaces and adjacent properties.
- b. Locate service elements where they are accessible to service vehicles and convenient for tenant use.

- c. Design service enclosures to be compatible with the design of adjacent buildings. This may be accomplished by the use of similar building materials, details, and architectural styles. Such enclosures should be made of masonry, ornamental metal, heavy wood timber, or other durable materials.
- d. Locate roof-mounted mechanical equipment so as not to be visible from the street, public open space, parking areas, or from the ground level of adjacent properties. Equipment screening should blend with the architectural character of the building.
- e. Consider the location and screening of mechanical equipment and service areas early in building and site design.

20. Lighting

Objectives

- To enhance safety.
- To create inviting pedestrian areas.
- To provide adequate lighting without creating excessive glare or light levels.

Discussion

Overpowering and uniform illumination from commercial uses creates glare and destroys the quality of night light, especially for adjacent residential areas. Well placed light fixtures will form individual pools of light and maintain sufficient lighting levels for security and safety purposes.

Guidelines

- a. Provide adequate lighting levels in all areas used by pedestrians and automobiles, including building entries, walkways, parking areas, circulation areas, and open spaces.
Recommended minimum light levels:
 - Building entries: 4 foot candles
 - Primary pedestrian walkway: 2 foot candles
 - Secondary pedestrian walkway: 1-2 foot candles
 - Parking lot: .60 -1 foot candle
 - Enclosed parking garages for common use: 3 foot candles

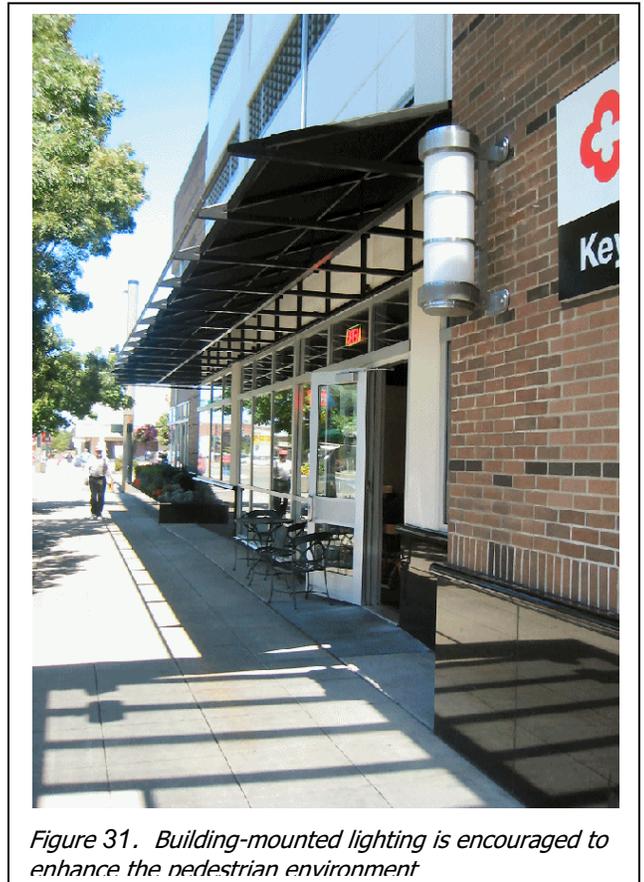


Figure 31. Building-mounted lighting is encouraged to enhance the pedestrian environment

- b. Provide lighting for walkways and sidewalks through building mounted lights, canopy or awning mounted lights, and display windows. Building-mounted light fixtures are encouraged to give visual variety.
- c. Provide parking lot light fixtures that are non-glare. Lower level lighting fixtures are preferred to maintain a human scale. Lights up to 20' in height may be used for safety, when needed.
- d. Prohibit flood illumination of entire building facades

21. Signs

Objectives

- To encourage the use of creative, well-crafted signs that will contribute to the character of the district while providing adequate identification for buildings and tenants.

Discussion

Kirkland’s Zoning Code regulates signs throughout the city in order to create a high-quality urban environment. The type and design of a sign will vary, depending on if it is geared toward the passing motorist, pedestrians or a commercial center. Signs should be an integral part of a building’s façade or site design. The location, architectural style, and mounting of signs should conform to a building’s architecture and not cover up or conflict with its prominent architectural features. A sign’s design and mounting should be appropriate for the setting.

Guidelines

- a. Provide pedestrian oriented signs on all commercial facades where adjacent to a sidewalk or walkway. This includes signs located within 15’ of the ground plane, such as “blade” signs which hang below canopies. Small signs located on canopies or awnings are also effective along building facades at the street. Sculpted signs and signs that incorporate artwork add interest.
- b. Prohibit internally lit cabinet signs. Neon signs are appropriate when integrated with the building’s architecture.
- c. For ground mounted signs provide substantial sign bases in proportion to the sign face and install low level landscaping around the sign base.
- d. Use mounting supports for signs that reflect the materials and design character of the building or site elements or both. Too much variety, too much uniformity though unified by common design elements, signs can still express the individual character of businesses.



Figure 32 good example of a sign geared to automobiles for a multi use development

- e. Provide master sign plans for larger commercial centers to combine signage for the whole complex that describes the general location for signs, complements the architectural design of the center and signs oriented to automobile traffic.

The Seattle Times

Winner of Eight Pulitzer Prizes

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Living in a slide zone

Landslides are a fact of life in the rainy Northwest, but homeowners are often in the dark when it comes to knowing if they're at risk.

By Chris Winters

Special to The Seattle Times



Heavy rain in the hilly Puget Sound region often means landslides.

Sometimes they are merely inconvenient, such as the April 12 slide that blocked Highway 4 near Longview or March slides that blocked the railroad tracks between Seattle and Everett. Sometimes they are a tragedy, such as the Perkins Lane slide in the Magnolia neighborhood about 14 years ago that sent several houses tumbling toward the beach.

This year, severe rains in January led to flooding, landslides and mudslides, prompting President Obama to sign federal disaster declarations for seven Washington counties, including King County. More than 70 landslides were reported in Seattle alone this past winter.

Mike Wayte is no stranger to landslides. He lives in the Alki neighborhood on a vertiginous hillside that's listed as one of the two most slide-prone areas in Seattle.

Yet when he bought his house in 1992, there was no recent history of slides in the area. And he'd lived in Seattle for 30 years.

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But the winter of 1996-97 was incredibly wet, and slides were reported all over the region. The Perkins Lane houses had slid downhill that winter. One day in March 1997 Wayte was outside talking to his neighbor.

"All of a sudden we heard a noise like popcorn popping," he said.

He looked up the hill behind his house to see the blackberry bushes on the slope coming down.

The slide stopped before it reached Wayte's house, but his troubles were just beginning.

Wayte and his neighbors pooled their money to put up a retaining wall, although at one place on his property crossed by a sewer easement, he could put up only large concrete blocks instead of a solid wall.

A few months later, another slide came down. The blocks on the easement were pushed downhill, but otherwise the wall on Wayte's property held.

The slide, however, hit his next-door neighbor's house. It caused an electrical short and the house caught fire.

Another round of construction followed, this time higher up the hill because the cause of the slides turned out to be an uphill neighbor's downspouts, which dumped runoff right onto the hillside instead of into the city storm sewer system.

Wayte had to refinance to pay for his share — along with four other property owners — of the \$400,000 retaining wall construction.

Knowledge is power

For Seattle residents living in a house in hilly terrain or thinking of buying one, the city maintains an online page of resources (see accompanying sidebar), as well as survey maps showing areas having a 40 percent or greater slope.

But it's up to the homeowner to research and, if needed, take preventive measures, including hiring a geotechnical engineer for a site survey.

"If there's evidence of some previous slide, it's to their advantage to hire an private professional to evaluate the slope," said Bryan Stevens, public-information officer for Seattle's Department of Planning and Development.

The city holds informational sessions on landslides every fall before heavy rains start, Stevens said.

He added that city codes have been revised to prohibit construction during the rainy season unless Seattle's own geotechnical engineers are involved.

Laurel Harrington, manager of drainage and dam safety for Seattle Public Utilities, said the law gives the city some leeway to take preventive measures on private property.

"If (homeowners) have water going down their slope in an unsafe manner and there's a potential for causing damage to someone else's property, at that point we can go in and require that the homeowner do something about the drainage," Harrington said.

"Generally we don't do that unless there's a complaint," she added.

Outside Seattle, resources are scarcer.

Tom McFarlane, clearing and grading supervisor in Bellevue's Development Services Department, said the city doesn't offer much additional guidance other than what is already in the code regarding construction.

"What we tell people, if they ask, is don't dump your stormwater on the slope, or especially at the top of the slope," McFarlane said.

"If they need specific geologic information, they'll need to hire their own professional for that," he added.

It's a similar situation in surrounding cities. Eric LaFrance, Sammamish's senior stormwater engineer, said that while the city has its own codes and standards, as well as maps showing slide areas, most questions are referred to "the great mothership, King County."

'Difference in conditions'

There's the additional complication of insurance. Landslides aren't covered under standard homeowners insurance policies, a fact that all homeowners should know.

The only way to get coverage for landslides is through what's called a "difference in conditions," or DIC, policy, said Karl Newman, president of the Northwest Insurance Council.

These catchall policies cover things like landslides, mudslides (those that happen in stream beds), earthquakes and other earth-movement damage.

"We find that a majority of people are not aware of what is and what is not covered as part of their homeowners policy or standard business policy," Newman said.

DIC policies are sold through specialty brokers called surplus lines carriers, most of which are small shops serving this niche market. The largest underwriter of DIC policies in the state is Lloyd's of London.

Most homeowners can contact their regular insurance agent for a referral to a surplus lines carrier.

Costs of DIC policies can be all over the map. A minimum policy could range from \$300-\$500 per month, said Mike Calovich of Countrywide Brokerage Services, a surplus lines carrier in Edmonds.

But, Calovich added, by way of example, a \$500,000 1930 brick-veneer frame house on Queen Anne Hill could cost up to \$2,000 a month to insure against slides, once you factor in loss of use and the contents.

"People will often be surprised that they will pay as much for this specialty coverage as they will for their homeowners (policy)," Calovich said.

"But depending on where they live, it's sleep insurance."

Still, uptake of DIC policies is low. Calovich said that "one out of five would be high," and blames

a general lack of awareness among homeowners.

Larry Palmer, a surplus lines carrier with The Insurance Store in Woodinville, said there's another reason: "The 'Yeah, but it won't happen to me' effect."

Palmer saw the same mentality at work when he was revising policies for homes near the Howard Hansen Dam.

"As soon as they saw it was going to cost them more than \$50, they weren't going to buy it," Palmer said.

Every rainy season, many people make inquiries about slide policies, Palmer said. "But they wouldn't lay the money out. They roll the dice."

Ounce of prevention

Yet another factor is that some people don't see the need for a specific slide policy.

"Slide insurance I usually tell people is worthless," said Bernie Hedeem, of Seattle-based General & Marine Construction. That's because usually just the house is insured, and not the property. And most slides stop when they get to the house.

"You spend all this money on insurance for the house, and the hill is the problem," said Hedeem, who was Wayte's contractor.

Hedeem's services are not cheap. Repairing slides — and Hedeem estimates he's worked on close to 300 since he started slide work in 1982 — can run \$50,000 to \$200,000, typically, but one Medina slide a few years ago, in which a section of hillside 300 feet long by 200 feet wide and 20 feet deep failed, amounted to a \$1.2 million cleanup job. No homes were affected by that slide, he said.

Prevention by means of retaining walls is still regarded as a better route to go.

"As we say in my business, we don't want any repeat customers," Hedeem said.

A report the city commissioned from the engineering firm Shannon & Wilson and released in 2000 emphasized the need for prevention.

The report said 84 percent of documented slides showed some human influence, such as improperly routing a downspout down a hill.

If his neighbor had not done so, Mike Wayte could have been spared a world of grief.

Just south of Wayte's house on Beach Drive Southwest is another slide, where a hillside came down in 2007. Jersey barriers keep a tangled mess of soil, rock and uprooted trees and bushes from covering the road.

Wayte and his wife, Jacqueline Baker are two of 47 property owners listed as plaintiffs in a suit filed May 19 against the city of Seattle and the owner of a house on Atlas Place Southwest above Beach Drive that they blame for causing the 2007 slide.

Wayte said the city tends to make rosy projections when it comes to developments like those on Beach and Atlas Drive, and doesn't consider potential problems.

"They probably shouldn't have built any of those lots," Wayte said. "Now everyone is on the hook to pay for it."

But Wayte said he doesn't worry anymore, not after all the money and work he's invested in his retaining walls and regarding the hillside.

"Doesn't concern me, because I believe I have the safest house on the block," Wayte said.

April 28, 2011

Houghton Community Council

I thought I should follow up with a written summation of the points I was attempting to make at the April 25th HCC meeting....

I'd like to preface the "history" with a comment at our Lakeview Advisory Group from Planning Commissioner, Jay Arnold: "Gosh, NO neighborhood ever wants to increase density"! That begs the question: What makes this neighborhood "different"??

The "history" of the Density issue has significance:

- World Café comments in October 2009, in response to "What do you like best about the Lakeview neighborhood?" --- LOW DENSITY, SINGLE FAMILY. And to "What character would you like to have in 10-20 years?" --- NO INCREASE IN DENSITY.
- Letter in August 11, 2010 Packet File ZON07-00032 – Ms Mackle, on the Lakeview Advisory Group, wrote in 2008: "help existing property owners SELL...and allow new owners to put in new, more desirable homes."
- August 2009 letters from 4558 & 4604 Lake Washington Blvd. request to change zoning from 12,500 to 8500..."a more reasonable city density"(quote 4604 LWB owner).
- At April 2010 Advisory Group meeting, one member & 4604 LWB owner requested 8500 or 7200...(were pleased to find that 7200 was an option)...they even invited every Advisory Group member to visit the area to see how 7200 would be the designation of choice.
- Two months later the density advocate group grew to several and advocated for RM3600 -- and asked REPEATEDLY, at the next several meetings: "help us sell", "upkeep is too difficult", "taxes are too high".
- The November 2010 "walk of the area", when Betsy Pringle asked Ms. Mackle (while we were in her backyard), "...so you'd put one unit here in the back yard & one in the front?" -- Response: "No. I won't develop. I plan to sell."
- The Density advocates are now requesting 5000 sq.ft. lots, (or 9 units per acre) – or TRIPLE the current designated 3 units per acre.

Do these property owners have the best interests of the Lakeview Neighborhood? My complex shares the property line the entire East side of the PLA3C and we are opposed to such an "unpredictable" and unprecedented up-zone. 6 units per acre (equivalent to RS 7.2), or Doubling the current density, is even MORE than the Urban Growth mandate, but we understand the need to accept some growth....something more 'reasonable'. The density advocates stating that only a few object....I'd hardly say that 66 units, or 120+ citizens in Yarrow Hill, plus the 26 Lots within the PLA3C area who DID NOT sign the latest petition, are "just a few" who oppose.

Ms. Mackle sent an email stating "one owner has SEVERAL lots" (but did not say how many 'several' was).

I showed a photo of a “Moving Sale” (not a ‘yard sale’ or ‘garage sale’) at 4500 LWB that I took on Saturday, April 16th.....could this be why these advocates “magnanimously” want to increase density? Will they continue to live here?

At one of the last HCC study sessions, a Councilmember said “there’s not that much difference between 7200 & 6300 sq.ft. lots” ----- I don’t agree:

@ 7200 sq.ft. (6 units per acre) there could be 95 units in PLA3C
@ 6300 sq.ft. (7 units per acre) “ “ “ 123 units

28 more units

(going from 7200 to 6300 sq.ft., in itself, is MORE than 50% over the current # of 50 lots).

Please try to envision 95 or 123 houses where NOW there are 39 units on those 50 lots....

In both the current Lakeview Comp Plan and in the new Lakeview Draft Plan, “Houghton Slope should be maintained as an important visual amenity.....as a visual Open Space”. “Any development should maintain most of the existing vegetation not only to help stabilize the slope but for other utilitarian and amenity purposes.” OVER-densification of the Houghton Slope, known for its instability, is, in my opinion, unwise.

Kirkland’s Policy NE-4.2, regarding regulations for geologic hazard areas in light of the **new watershed conservation plan**, once it is has been completed: For many years, Kirkland has regulated and mapped geologic hazard areas based on available geologic and soils information. Landslides are highly probable in some steep slope areas...these areas have been designated as “unstable slopes.” Landslides may be triggered by grading operations, land clearing...land surface modifications should be limited.

Policy NE-4.3: Significant vegetation as cover on hazard slopes (is) important; (it) impacts water quality and slope stabilization. Vegetated ravines also provide habitat linkages for wildlife (just a few days ago, several deer crossed my backyard into the PLA3C area....great to see.) Avoiding disturbance of steep slopes and their vegetative cover should be a high priority for the City. An increased effort to establish Natural Growth Protection Easements in such areas will be key.

The South Houghton Slope with all its vegetative cover is an extremely valuable asset. Over densification would destroy a significant amount of natural vegetation; the tree canopy will be compromised (remember those Tree Regulations?); and if 50% lot coverage with IMPERVIOUS surfaces is allowed on MANY 5000 sq.ft. lots, what “unintended consequences” might result.....as stated in Policies NE-4.2 & 3.

Please give careful consideration to all the possible ramifications of allowing TOO MUCH densifying of PLA3C area. Many of us “neighbors”, who plan to continue to live in Lakeview, believe, as stated in the Kirkland Comp Plan Vision/Framework Goal FG-3: “An essential part of diversity is maintaining the integrity of existing single-family neighborhoods”...I think allowing for some increase in density is smart, but more than Doubling flies in the face of development that would be considered PREDICTABLE.

Thank you.
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