



MEMORANDUM

DATE: February 22, 2012

To: Planning Commission

FROM: Jeremy McMahan, Planning Supervisor
Eric Shields, AICP, Planning Director

SUBJECT: Commercial Codes KZC Amendments, File No. ZON11-00042

RECOMMENDATION

Provide staff with direction on revised development standards for commercial codes. Based on Planning Commission direction, staff will prepare draft codes for consideration at a public hearing.

BACKGROUND

The Planning Commission has conducted four study sessions to scope the amendments and provide preliminary direction. The current scope of the amendments directed by the Planning Commission is as follows:

1. KZC – Commercial Codes:
 - Measuring Ground Floor Commercial (BN, BNA, BC 1, BC 2, BCX, MSC 2)
 - Defer to later phase – BC,¹ MSC 3, RH 8, NRH 1A, NRH 1B, RH 1A, RH 3, RH 5A, RH 5B, RH 7
 - Review Development Standards and Consider Density Limits (BN, BNA, MSC 2)
 - Decide if revised standards have applicability to BCX, BC 1, BC 2 zones
2. Comprehensive Plan, Moss Bay Neighborhood Residential Market:
 - No Comprehensive Plan changes anticipated at this time
3. KZC - Miscellaneous Minor Commercial Code Amendments:
 - Codify provisions for encroachment of structural columns in parking spaces in garages
 - Use consistent terminology for gas stations and auto repair uses
 - Correct special regulations for mini-schools and mini-daycares that reference out of date statutes
 - Clarify land use buffer, required yards, and minimum lots size requirement in mixed use zones (including RM) to accommodate use changes in tenant spaces over time
 - Allow coffee shop/deli retail/restaurant uses in PR zone

¹ BC was deferred to pending implementation of the Houghton Neighborhood Plan zoning for the Houghton/Everest BC area

The current Commercial Codes work plan is included as Attachment 1.

Development Standards

The Commission began to work through specific development standards at the previous study session and provided the direction shown in the matrix included as Attachment 2. To assist in completing the matrix, staff would recommend that the Commission address the following key topics:

1. **Residential Market.** Do the potential changes for the BN zone residential market implement the Comprehensive Plan? The Plan's definition of residential market can be considered in the following three components:
 - Individual store or very small, mixed-use building/center
 - Focused on local pedestrian traffic
 - Residential scale and design are critical to integrate these uses into the residential area

2. **Density for BNA.** For the BNA zones, King County allowed a base density of 8 units per acre with bonuses up to 16 units per acre. On February 23, the Commission recommended limiting the density to 16 units per acre (1 unit per 2,723 sf of land). Staff seeks clarification on two remaining issues:
 - a. Staff is recommending that we use Kirkland's 1 unit/2,400 square feet rather than the County's units/acre.
 - b. Kirkland's density restricted zones have affordable housing requirements and associated density bonuses. Should the 1 unit/2,400 square feet be the maximum density after affordable housing bonuses or should affordability bonuses be above this base density?

3. **Residential On Ground Floor.** The Commission initially indicated that residential use should be prohibited on the ground floor, but later discussed imposing a commercial frontage requirement. With the commercial frontage requirement, staff recommends allowing residential and parking on the ground floor behind the specified minimum commercial depth.

4. **Maximum Store Size.** The Commission discussed options for more restrictive store sizes for the residential market designated properties and asked for additional examples of typical store sizes for neighborhood-serving retail establishments. Based on the following examples, staff recommends a limit of 3,000 square feet (similar to the RM zoned residential market) to 4,000 square feet (similar to MSC 2) for the BN zoned residential market area. This would appear to accommodate appropriately scaled neighborhood commercial services that would likely locate to this area. Larger stores would likely require a broader, more auto-oriented customer base. Commissioners are encouraged to contact staff in advance of the meeting if additional examples are desired.

Store Size Examples	
Small Food Service	Subway <ul style="list-style-type: none"> • 85th Street – 1,150 sf • Finn Hill – 1,500 sf

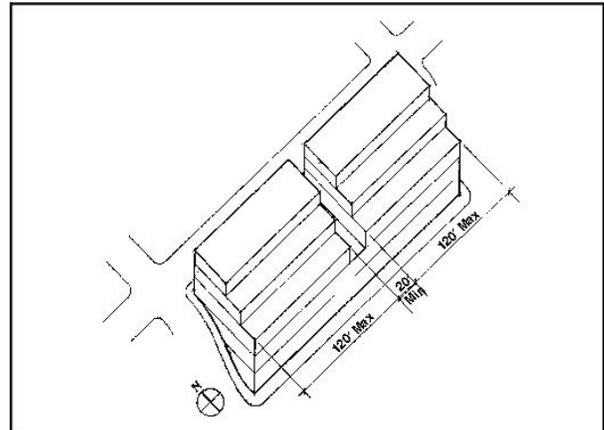
	<ul style="list-style-type: none"> Bridle Trails – 1,600 sf Spud’s – 1,500 sf Finn Hill Teriyaki – 1,900 sf
Dry Cleaners	South Rose Hill – 1,200 sf Market Street – 1,400 sf Finn Hill – 1,520 sf Juanita – 4,500 sf (retail & wholesale)
Hair & Nails	Finn Hill Nail Expo – 700 sf South Rose Hill Nail Salon – 750 sf Finn Hill Hair Masters – 1,500 sf
Dentist (office use)	South Rose Hill – 1,786 sf Market – 2,700 sf
Coffee Shop	Starbucks <ul style="list-style-type: none"> Park Lane – 1,572 sf Bridle Trails – 1,950 sf Houghton – 2,225 sf Juanita Village – 2,533 sf
Convenience Store	Market St. Zip Mart 2,400 sf Juanita Super Foods – 2,688 sf Lake Wa. Blvd. Super 24 – 3,100 sf
Drug Store	Central Way Remedies – 2,500 sf Bartell’s <ul style="list-style-type: none"> Houghton – 5,500 sf Finn Hill – 7,930 sf Bridle Trails – 11,692 sf Kingsgate – 12,250 sf Totem Lake Rite Aid – 11,000 sf
Small Grocery	Trader Joe’s – 9,500 sf
Medium Grocery	Red Apple – 27,390 sf Finn Hill QFC – 27,400 sf Metropolitan Market – 28,500 sf

5. **Maximum Building Length/Size.** The Commission requested a copy of the design standards for the Market Street Corridor to discuss whether those standards would address remaining building size concerns. Development in the Market Street Corridor is subject to Administrative Design Review (ADR) rather than Design Board Review (DBR), so a copy of the Design Regulations (KZC 92) is included as Attachment 3. Sections applicable to MSC 2 are highlighted. Note that many of the more substantial massing regulations (not highlighted) apply to larger office buildings and mixed use buildings in other design districts. While design guidelines and regulations can assist with arrangement and articulation of building mass, staff recommends that any substantive massing requirements be codified in specific regulations.

Following the previous study session, Commissioner Pascal requested additional examples of regulations that might limit the mass of buildings above the ground floor to implement residential market objectives. Staff provides the following for consideration by the Commission.

In either example, staff would recommend that the provision apply to upper stories. This would allow continuity of the commercial frontage and more efficient structured parking.

- a. Limit building length. This approach combines a maximum façade length with a minimum building separation. This method is currently in place for the CBD 6 zone with maximum 120' façade length and a minimum 20' separation. A 20' separation is common in the KZC where the intent is to create distinct building masses. The key to this method is determining an appropriate maximum façade length. One of the following approaches could be used:



- Divide the structure into increments based on the length of the site (e.g. – two building masses). The residential market BN property is 265' in length along Lake Street South. With a 20' setback to the north and a 10' setback to the south, the maximum façade length would be 235'. If two building masses with a 20' separation were desired, the maximum façade length would be 107.5'.
 - Limit based on neighborhood context. Attachment 4 illustrates a sample of approximate façade lengths in the immediate vicinity of the BN zone. In this area, façade lengths range from approximately 62' to 165'.
- b. Limit maximum floor plate size. The key to this method is determining appropriate scale. One of the following approaches could be used:
- Establish a floor plate ratio. This approach would restrict the size of each floor plate above the ground floor to a percentage of the total parcel size. The result limits building massing but allows the developer more flexibility in the arrangement than the building length concept above. Attachment 5 provides an example with graphic illustrations of various building prototypes and floor plate ratio limitations². While these examples may not illustrate a desired BN building prototype, they do show how a potential method of restricting the size of the floor plate on upper stories. The residential market BN zone contains approximately 53,601 square feet. After deducting 20' front and 10' side setbacks, the maximum floor plate would be approximately 41,100 square feet or approximately 77% of the property. If the presumption is that this is too large, then a lesser percentage is in order.
 - Establish a maximum floor plate size. This approach would prescribe an appropriate scale for individual floor plates, requiring multiple separate buildings (above the first floor). Using the example above, dividing the current maximum floor plate of 41,100 in half would yield a maximum floor plate of 20,500 square feet, requiring two buildings. However, to create two separate building masses would require an additional provision for minimum building separation (e.g. – 20') so the actual floor plate would be less than 20,500 square feet.

² Hawaii Community Development Authority

By way of example, Bellevue applies a maximum 28,000 square foot floor size limit in certain zones to portions of the building taller than 40'.

6. **Decide on Review Process.** The Commission was leaning toward a design review process. For areas where public involvement is desired, the review should be Design Board Review (DBR) rather than Administrative Design Review (ADR) because DBR requires public notice and public meetings. Staff would need to prepare appropriate design guidelines for adoption with the design review process.
7. **Ground Floor Commercial (BCX, BC 1, and BC 2 zones).** As illustrated on the attached matrix (Attachment 2), staff is recommending replacing the 75% commercial ground floor requirement with a minimum commercial FAR approach combined with a commercial frontage requirement. This results in preserving a comparable amount of commercial space to existing (see Attachment 6). It also allows other uses to locate on the ground floor provided the commercial orientation to the street is preserved. Staff also recommends duplicating the Commission's commercial orientation direction for BN zones of minimum commercial heights and grade orientation.

Public Comment

Attachment 7 provides copies of all public comment received since the February 23rd study session. These emails were also forwarded directly to Planning Commissioners for review.

Attachments

1. Commercial Codes Work Plan
2. Development Standards Matrix
3. Design Regulations
4. Façade Length Examples
5. Floor Plate Ratio Examples
6. FAR Map
7. Public Comment

COMMERCIAL CODES AMENDMENTS WORK PLAN (FILE ZON11-00042)*Draft 3/1/2012***Scope:**

1. KZC – Commercial Codes:
 - Measuring Ground Floor Commercial (BN, BNA, BC 1, BC 2, BCX, MSC 2)
 - Defer to later phase – BC, MSC 3, RH 8, NRH 1A, NRH 1B, RH 1A, RH 3, RH 5A, RH 5B, RH 7
 - Review Development Standards and Consider Density Limits (BN, BNA, MSC 2)
 - Decide if revised standards have applicability to BCX, BC 1, BC 2 zones
2. Comprehensive Plan, Moss bay Neighborhood Residential Market:
 - No Comprehensive Plan changes anticipated at this time
3. KZC - Miscellaneous Minor Commercial Code Amendments:
 - Make rules for residential and assisted living lobbies consistent (where residential use is limited/prohibited on the ground floor)
 - Make regulations for ground floor assisted living uses consistent with other residential use regulations
 - Codify provisions for encroachment of structural columns in parking spaces in garages
 - Use consistent terminology for gas stations and auto repair uses
 - Correct special regulations for mini-schools and mini-daycares that reference out of date statutes
 - Clarify land use buffer, required yards, and minimum lots size requirement in mixed use zones (including RM) to accommodate use changes in tenant spaces over time
 - Allow coffee shop/deli retail/restaurant uses in PR zone

Schedule:

- | | |
|-----------|--|
| 10/27/11 | Planning Commission Study #1 |
| 12/8/2011 | Planning Commission Study #2 |
| 12/12/11 | Council directs Planning Commission to review BN zoning and Lake St. S BN Comprehensive Plan |
| 1/3/12 | Council hearing on whether to extend BN moratorium |
| 1/12/12 | Brief Planning Commission on Council direction and results of 1/3/12 hearing |
| 2/9/12 | Planning Commission Study #3 |
| 2/23/12 | Planning Commission Study #4 |

- 3/8/12 Planning Commission Study #5
- 3/__/12 Send draft amendments to Dept. of Commerce
- 3/__/12 SEPA Issued
- 4/12/12 Planning Commission Public Hearing**
- 4/26/12 Planning Commission Study #6 (Recommendation)
- 5/15/12 City Council Review
- 5/15/12 City Council Adoption
- 5/15/12 BN Moratorium Ordinance expires (6 months post adoption)
- 5/18/12 Send Adopted Regulations to Dept. of Commerce

Development Standards for Neighborhood Business Family of Zones

(key differences between zones are **bolded**, Planning Commission recommendations from 2/23 are shown in red, staff recommendations are shown in blue)

	BN (current)	BN (amendments)	BN (1) (current)	BN (1) (amendments)	BNA (current)	BNA (amendments)	MSC 2 (current)	MSC 2 (amendments)	Options (examples used in other zones)
Residential Density	None	No change	None	No change	None	Revert to prior County max (1 unit/2,400 sf rather than 16 units/acre)	None	No change	<ul style="list-style-type: none"> None Medium density (1 unit per 3,600 sf) High density (1/2,400¹, 1/1,800, 1/900²)
Minimum Commercial Floor Area	75% of ground floor	Minimum commercial frontage	75% of ground floor	Minimum commercial frontage	75% of ground floor	Residential square feet not to exceed 50% of the site's total square feet of floor area	75% of ground floor	Minimum commercial frontage	<ul style="list-style-type: none"> No change Minimum commercial FAR Maximum residential FAR as percentage of commercial provided Minimum commercial frontage
Residential on Ground Floor of Structure	Prohibited	Prohibited, allow lobby Revisit for residential behind minimum comm. frontage	Prohibited	Prohibited, allow lobby Revisit for residential behind minimum comm. frontage	Prohibited	Allow, subject to 50% requirement above	Prohibited	Allow behind commercial frontage	<ul style="list-style-type: none"> No change Allow subject to commercial requirements
Commercial Orientation	Toward arterial or sidewalk	<ul style="list-style-type: none"> Toward arterial or sidewalk Minimum 13' ground floor height Specify commercial floor to be at grade with street/sidewalk 	Toward arterial or sidewalk	<ul style="list-style-type: none"> Toward arterial or sidewalk Minimum 13' ground floor height Specify commercial floor to be at grade with street/sidewalk 	Toward arterial or sidewalk	<ul style="list-style-type: none"> Toward arterial or sidewalk Minimum 13' ground floor height Specify commercial floor to be at grade with street/sidewalk 	Toward arterial or sidewalk	<ul style="list-style-type: none"> Toward arterial or sidewalk Minimum 13' ground floor height Specify commercial floor to be at grade with street/sidewalk 	<ul style="list-style-type: none"> No change Minimum 13' ground floor height Specify commercial floor to be at grade with street/sidewalk
Maximum Floor Area Ratio (FAR)	None	No change	<ul style="list-style-type: none"> No change Maximum x% (similar to single family bulk limits) 						
Maximum Height	30'	30' above ABE Max 3 stories above street	30'	30' above ABE Max 3 stories above street	35'	No change	30'	No change	<ul style="list-style-type: none"> No change Measure from street level (like CBD) Cap # of stories Lower
Maximum Lot Coverage	80%	No change	<ul style="list-style-type: none"> No change 60% (similar to medium density zones) 70% (similar to office zones) 						

¹ Similar to King County NB zone

² King County density adopted for BC 1 & BC 2 zones

Development Standards for Neighborhood Business Family of Zones (cont.)

	BN (current)	BN (amendments)	BN (1) (current)	BN (1) (amendments)	BNA (current)	BNA (amendments)	MSC 2 (current)	MSC 2 (amendments)	Options (examples used in other zones)
Required Yards³	20' front ⁴ 10' side & rear	<ul style="list-style-type: none"> 10' for ground floor commercial story No change to front for 2nd & 3rd stories 10' side & rear for all uses 	20' front 10' side & rear	<ul style="list-style-type: none"> 10' for ground floor commercial story No change to front for 2nd & 3rd stories 10' side & rear for all uses 	10' front 10' side & rear	No change to front 10' side & rear for all uses	20' front 10' side & rear	No change	<ul style="list-style-type: none"> No change 0' (similar to ped. oriented business districts) 10' (similar to BNA) Reduce for ground floor only (similar to CBD 3 & 7) Make office and retail consistent Increase
Land Use Buffer	Retail=15' adjoining SF or MF Office=15' adjoining SF, 5' adjoining MF	15' for all commercial uses adjoining residential	Retail=20' adjoining SF, 15' adjoining MF Office=20' adjoining SF, 5' adjoining MF ⁵	15' for all commercial uses adjoining residential	Retail=15' adjoining SF or MF Office=15' adjoining SF, 5' adjoining MF	15' for all commercial uses adjoining residential	Retail=15' adjoining SF or MF Office=15' adjoining SF, 5' adjoining MF	15' for all commercial uses adjoining residential	<ul style="list-style-type: none"> No change Make Retail & Office buffers consistent to allow change in use of tenant spaces <ul style="list-style-type: none"> Increase office to 15' Decrease retail to 5'
Maximum Retail/Restaurant Store Size	10,000 s.f. per establishment	5,000-9,000 (find examples of neighborhood services) 4,000 per establishment	10,000 s.f. per establishment	No change	10,000 s.f. per establishment, excludes grocery, drug, hardware...	No change	4,000 s.f. per establishment	No change	<ul style="list-style-type: none"> No change 4,000 s.f. (similar to MSC 2 zone) 3,000 s.f. (similar to RM zone) <p><i>Examples:</i></p> <ul style="list-style-type: none"> Totem Lake Rite Aid = 11,000 s.f. Brown Bag Café = 4,900 s.f. Super 24 = 3,100 s.f. Spud's - 1,500 s.f.
Use Limitations	Use Zone Charts	Prohibit non-pedestrian oriented uses	Use Zone Charts	No change	Use Zone Charts	No change	Limited in Use Zone Charts	No change	<ul style="list-style-type: none"> No change Prohibit non-pedestrian oriented⁶ <ul style="list-style-type: none"> Vehicle service station Drive-thru Limit office uses

³ Note that office has 5' minimum side (15' combined)

⁴ Required yard along Lake St S or LWB increased 2' for each 1' that the structure exceeds 25' (applies to RM along Boulevard as well)

⁵ 20' landscaped berm/topographic change required by (1) suffix

⁶ These uses are prohibited in the MSC 2 zone

Development Standards for Neighborhood Business Family of Zones (cont.)

	BN (current)	BN (amendments)	BN (1) (current)	BN (1) (amendments)	BNA (current)	BNA (amendments)	MSC 2 (current)	MSC 2 (amendments)	Options (examples used in other zones)
Maximum Building Length⁷	None	Determine if addressed through design guidelines or regulations	None	Determine if addressed through design guidelines or regulations	None	Determine if addressed through design guidelines or regulations	See design guidelines	No change	<ul style="list-style-type: none"> • No change • Maximum 120' • Maximum 70' • Maximum 50'
Maximum Building Size	None	Determine if addressed through design guidelines or regulations	None	Determine if addressed through design guidelines or regulations	None	Determine if addressed through design guidelines or regulations	See design guidelines	No change	<ul style="list-style-type: none"> • No change • Select a desirable size (this type of regulation is not currently in use in Kirkland)
Review Process	None	Design Review, bring back Design Guidelines/regulations for MSC 2 for consideration	Process IIA	Design Review, bring back Design Guidelines/regulations for MSC 2 for consideration Incorporate Comp Plan criteria into special regulations	None	Design Review, bring back Design Guidelines/regulations for MSC 2 for consideration	Administrative Design Review	No change	<ul style="list-style-type: none"> • None • Zoning Permit (with established standards & criteria) <ul style="list-style-type: none"> ○ Process I ○ Process IIA ○ Process IIB • Design Review (with established guidelines/regulations) <ul style="list-style-type: none"> ○ Administrative ○ Design Review Board

⁷ Used in Design Regulations. Depending on Business District, regulations may require full building separation, a significant modulation break, or change in building definition and materials

Ground Floor Commercial Development Standards for Community Business (BC) Family of Zones

	BC (current)	BC (amendments)	BCX (current)	BCX (amendments)	BC 1 (current)	BC 1 (amendments)	BC 2 (current)	BC 2 (amendments)	Options
Minimum Commercial Floor Area	75% of ground floor	defer	75% of ground floor	Minimum commercial FAR of 20% for new mixed use	75% of ground floor	Minimum commercial FAR of 20% for new mixed use	75% of ground floor	Minimum commercial FAR of 20% for new mixed use	<ul style="list-style-type: none"> No change Minimum commercial FAR Maximum residential FAR as percentage of commercial provided Minimum commercial frontage
Residential on Ground Floor of Structure	Prohibited	defer	Prohibited	Allowed, but must have intervening commercial frontage along street	Prohibited	Allowed, but must have intervening commercial frontage along street	Prohibited	Allowed, but must have intervening commercial frontage along street	<ul style="list-style-type: none"> No change Allow subject to commercial requirements
Commercial Orientation	Toward arterial or sidewalk	defer	Toward arterial or sidewalk	<ul style="list-style-type: none"> Toward arterial or sidewalk Minimum 13' ground floor height Specify commercial floor to be at grade with street/sidewalk 	Toward arterial or sidewalk	<ul style="list-style-type: none"> Toward arterial or sidewalk Minimum 13' ground floor height Specify commercial floor to be at grade with street/sidewalk 	Toward arterial or sidewalk	<ul style="list-style-type: none"> Toward arterial or sidewalk Minimum 13' ground floor height Specify commercial floor to be at grade with street/sidewalk 	<ul style="list-style-type: none"> No change Minimum ground floor height (13'-15') Specify commercial floor to be at grade with street/sidewalk

Chapter 92 – DESIGN REGULATIONS

92.05 Introduction

1. General
2. Applicability
3. Design Review Procedures
4. Relationship to Other Regulations
5. Dedication
6. Design Districts in Rose Hill Business District
7. Design Districts in the Totem Lake Neighborhood

92.10 Site Design, Building Placement and Pedestrian-Oriented Facades

1. Building Placement in JBD
2. Pedestrian-Oriented Facades Defined for RHBD and TLN
3. Building Placement In RHBD and TLN
4. Multi-Story Buildings on Sites Adjacent to a Low Density Zone in RHBD and TLN
5. Multifamily Buildings Located in TLN
6. Building Location at Street Corners in the RHBD and TLN Zones
7. Building Location at Street Corners in CBD

92.15 Pedestrian-Oriented Improvements on or Adjacent to the Subject Property

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2. Pedestrian-Oriented Space and Plazas in TC, CBD, NRHBD, RHBD and TLN Zones
3. Blank Wall Treatment
4. Parking Garages

92.30 Architectural and Human Scale

1. Techniques To Moderate Bulk and Mass in the CBD
2. Horizontal Definition in All Zones
3. Techniques To Moderate Bulk and Mass in the RHBD and TLN Zones
4. Techniques To Achieve Architectural Scale in All Zones
5. Techniques To Achieve Architectural Scale in the RHBD and the TLN Zones
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92.35 Building Material, Color and Detail

1. Required Elements
2. Prohibited Materials – All Zones
3. Metal Siding – All Zones
4. Concrete Block – All Zones
5. Awnings – All Zones
6. Covering of Existing Facades – All Zones
7. Building Cornerstone or Plaque – All Zones
8. Required On-Site Improvements – All Zones

92.05 Introduction

1. General – This chapter establishes the design regulations that apply to development in Design Districts including the Central Business District (CBD), Market Street Corridor (MSC), Juanita Business District (JBD), Rose Hill Business District (RHBD), Totem Lake Neighborhood (TLN), North Rose Hill Business District (NRHBD), Totem Center (TC), and in areas indicated on the use zone charts for PLA 5C.

Special provisions that apply to a particular Design District are noted in the section headings of the chapter.

2. Applicability – The provisions of this chapter apply to all new development. The provisions of Chapters [142](#) and [162](#) KZC regarding Design Review and nonconformance establish which of the regulations of this chapter apply to developed sites. Where provisions of this chapter conflict with provisions in any other section of the code, this chapter prevails. For more information on each Design District refer to the Design Guidelines applicable to that Design District adopted by reference in Chapter 3.30 KMC.
3. Design Review Procedures – The City will use Chapter [142](#) KZC to apply the regulations of this chapter to development activities that require Design Review approval.
4. Relationship to Other Regulations – Refer to the following chapters of the Zoning Code for additional requirements related to new development on or adjacent to the subject property.
 - a. Landscaping – Chapter [95](#) KZC describes the installation and maintenance of landscaping requirements on the subject property.
 - b. Installation of Sidewalks, Public Pedestrian Pathways and Public Improvements – Chapter [110](#) KZC describes the regulations for the installation of public sidewalks, major pedestrian sidewalks, pedestrian-oriented sidewalks, or other public improvements on or adjacent to the subject property in zones subject to Design Review. Plate 34 in Chapter [180](#) KZC provides the location and designation of the sidewalk, pedestrian walkways, pathways or other required public improvements within each Design District.
 - c. Pedestrian Access to Buildings, Installation of Pedestrian Pathways, Pedestrian Weather Protection – Chapter [105](#) KZC describes the requirements for pedestrian access to buildings and between properties, through parking areas and requirements for pedestrian weather protection. See also Plate 34 in Chapter [180](#) KZC.
 - d. Parking Area Location and Design, Pedestrian and Vehicular Access – Chapter [105](#) KZC describes the requirements for parking lot design, number of driveways, or pedestrian and vehicular access through parking areas.
 - e. Screening of Loading Areas, Outdoor Storage Areas and Garbage Receptacles – Chapter [95](#) KZC describes the location and screening requirements of outdoor storage. Chapter [115](#) KZC describes the screening of loading areas, waste storage and garbage disposal facilities.
5. Dedication – The City may require the applicant to dedicate development rights, air space, or an easement to the City to ensure compliance with any of the requirements of this chapter.
6. Design Districts in Rose Hill Business District – Various places in this chapter refer to the three Design Districts in the Rose Hill Business District: Regional Center, Neighborhood Center and East End. Figure 92.05.A below describes where these are located. For a more detailed description of each area, see the Design Guidelines for the Rose Hill Business District adopted by reference in Chapter 3.30 KMC.

Design Districts within the Rose Hill Business District



FIGURE 92.05.A

7. Design Districts in the Totem Lake Neighborhood – Various places in this chapter refer to either the Totem Center (TC) Design District or the larger Totem Lake Neighborhood (TLN). Figure 92.05.B below describes where the Totem Center Design District is located within the larger Totem Lake Neighborhood. For more information on the design guidelines for each area see the Totem Lake Neighborhood Design Guidelines and the Guidelines for Pedestrian-Oriented Business Districts that apply in the Totem Center adopted by reference in Chapter 3.30 KMC.

Totem Center within the Totem Lake Neighborhood

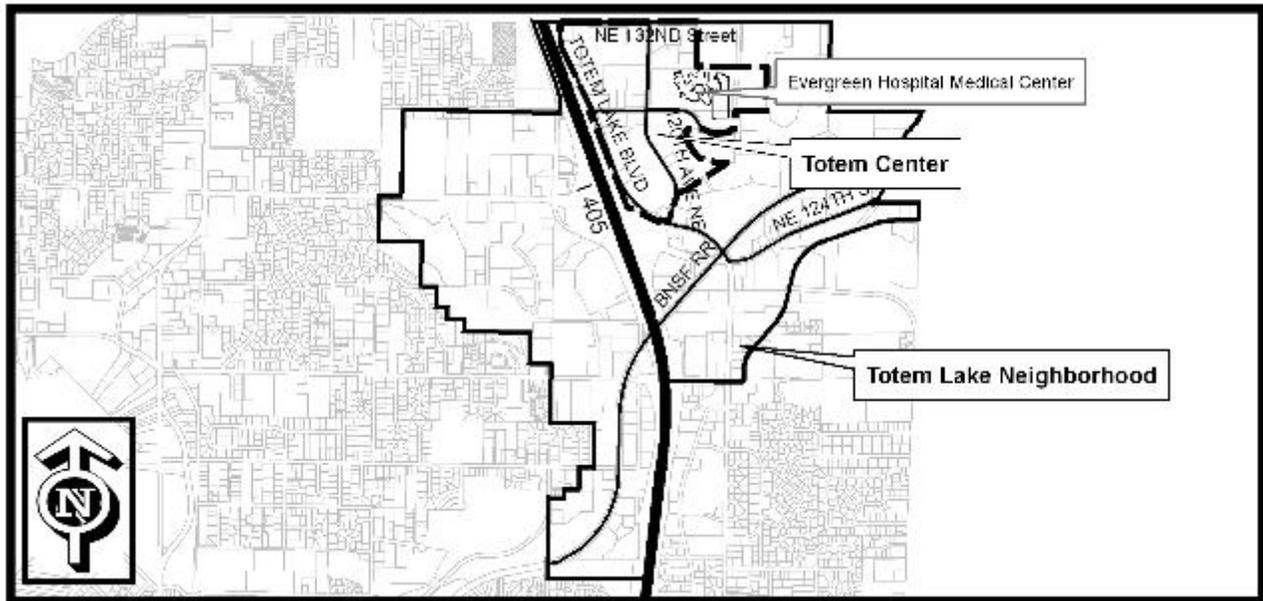


FIGURE 92.05.B

92.10 Site Design, Building Placement and Pedestrian-Oriented Facades

This section contains regulations which establish the location of a building on the site in relationship to the adjacent sidewalk, pedestrian pathway or pedestrian-oriented elements on or adjacent to the subject property.

1. Building Placement in JBD – All buildings must front on a right-of-way or through-block pathway (see Plate 34).
2. Pedestrian-Oriented Facades Defined for RHBD and TLN – To meet the definition of a pedestrian-oriented facade (see Figure 92.10.A):
 - a. The building's primary entrance must be located on this facade and facing the street. For purposes of this chapter, "primary entrance" shall be defined as the primary or principle pedestrian entrance of all buildings along that street. The primary entrance is the entrance designed for access by pedestrians from the sidewalk. This is the principal architectural entrance even though customers or residents may use a secondary entrance associated with a garage, parking area, driveway or other vehicular use area more frequently.
 - b. Transparent windows and/or doors must occupy at least 75 percent of the facade area between two and seven feet above the sidewalk.
 - c. Weather protection feature(s) at least five feet wide must be provided over at least 75 percent of the facade. This could include awnings, canopies, marquees, or other permitted treatments that provide functional weather protection.
3. Building Placement In RHBD and TLN
 - a. Building Location Featuring Pedestrian-Oriented Facades in RHBD and

TLN Zones – Buildings may be located adjacent to the sidewalk of any street (except west of 124th Avenue NE), if they contain a pedestrian-oriented facade along that street frontage pursuant to the standards in subsection (2) of this section. As part of the Design Review process, required yards, setbacks or other development standards may be modified along the street frontage. Buildings not featuring a pedestrian-oriented facade along a street must provide a building setback of at least 10 feet from any public street (except areas used for pedestrian or vehicular access) landscaped with a combination of trees, shrubs, and groundcover per the requirements of supplemental landscape standards of KZC [95.41\(2\)](#).

Pedestrian-Oriented Facade

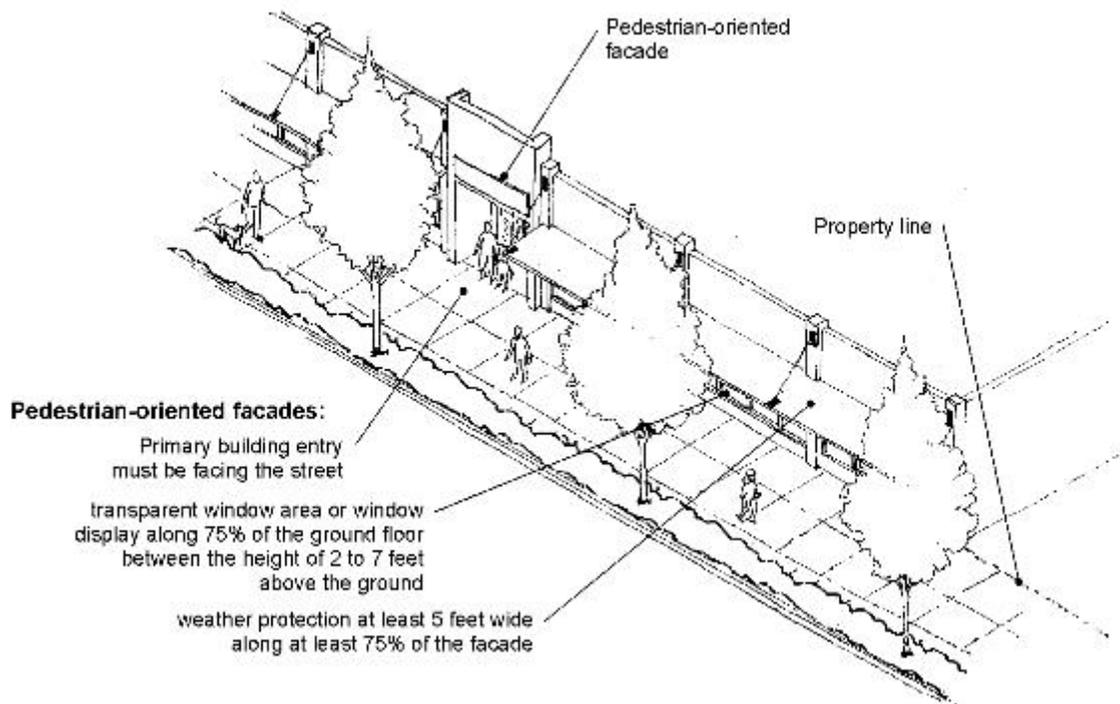


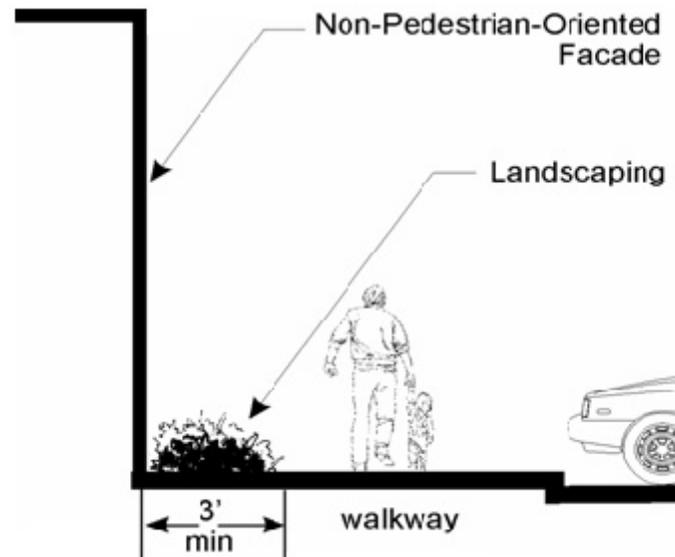
FIGURE 92.10.A

- b. For All Other Building Facades in RHBD and TLN Zones (Non-Pedestrian-Oriented Facade) – Building facades not featuring a pedestrian-oriented facade described in subsection (2) of this section must provide at least three feet of landscaping between any vehicular access area or walkway and the building. (See Figure 92.10.B.)

Exceptions:

- 1) Alleys and other areas generally not visible to the public, as determined by the City;
- 2) Other design options may be considered through the Design Review process, provided they meet the intent of the guidelines.

Interior Pedestrian Pathway Shall Be Separated from Non-Pedestrian-Oriented Facades by Landscaping

**FIGURE 92.10.B**

- c. Neighborhood Center Frontage – At least 50 percent of the NE 85th Street property frontage must contain pedestrian-oriented facades located directly on the sidewalk. Vehicle sales uses are exempt as long as their showroom faces the street and is sited within 10 feet of the sidewalk.
- d. Vehicle Sales Showrooms in RHBD and TLN Zones – Vehicle sales uses are encouraged to locate their showrooms toward the street (and toward NE 85th Street in RHBD) with parking to the side or rear.
- e. RHBD East End – NE 85th Street Building Frontage Options and Preferences
 - 1) Preferred Option: Buildings may be located adjacent to the sidewalk on NE 85th Street if they contain a pedestrian-oriented facade (see Figure 92.10.A);
 - 2) Second Option: Locate and orient building towards the sidewalk on NE 85th Street. In this option, the development features a 10-foot minimum landscaped front yard, a clear pathway between the sidewalk and the building, and a building entry and windows facing the street.
 - 3) Least Preferred Option: Locate the building at the rear of the property with parking between NE 85th Street and the building as long as the following standards are applied:
 - a) Provide a perimeter parking landscape buffer between the sidewalk and parking area per Chapter [95](#) KZC.
 - b) Provide clear pedestrian access from the sidewalk to the building entry.
 - c) Provide a walkway along the building facade meeting through-block pathway standards as described in KZC [105.19](#).

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- f. RHBD East End – Rear Yard Building Placement – Pursuant to KZC [95.40](#) through [95.45](#), in most cases, commercial uses shall install a required landscaped buffer adjacent to single-family properties. By requesting a modification to these provisions, the property owners may negotiate an agreement to reduce the landscape buffer/setback in a way that can benefit both parties.

Where buildings are sited towards the rear of the property, the applicant must utilize one of the following standards to minimize impacts to adjacent residential areas (see Figure 92.10.C and options below):

- 1) Meet the required landscape buffer pursuant to KZC [95.42](#).
- 2) Provide a blank wall no taller than 15 feet in height with no openings placed at the rear property line (building itself serves as a wall, uses are inside the building, shielded from adjacent residential uses). To qualify for this method, the treatment must be agreed to by the adjoining property owners per the modifications section of Chapter [95](#) KZC.
- 3) Provide a combination of both methods above. For example, provide a blank wall no taller than 15 feet in height between zero and 15 feet from the property line and landscape the applicable area between the building and the property line. In addition, an unfenced design option would effectively enlarge the adjacent homeowners' rear yard (a mutually beneficial arrangement). To qualify for these methods, the treatment must be agreed to by the adjoining property owners per the landscape buffer modifications section of Chapter [95](#) KZC.

Rear Yard Building Placement Options in the RHBD

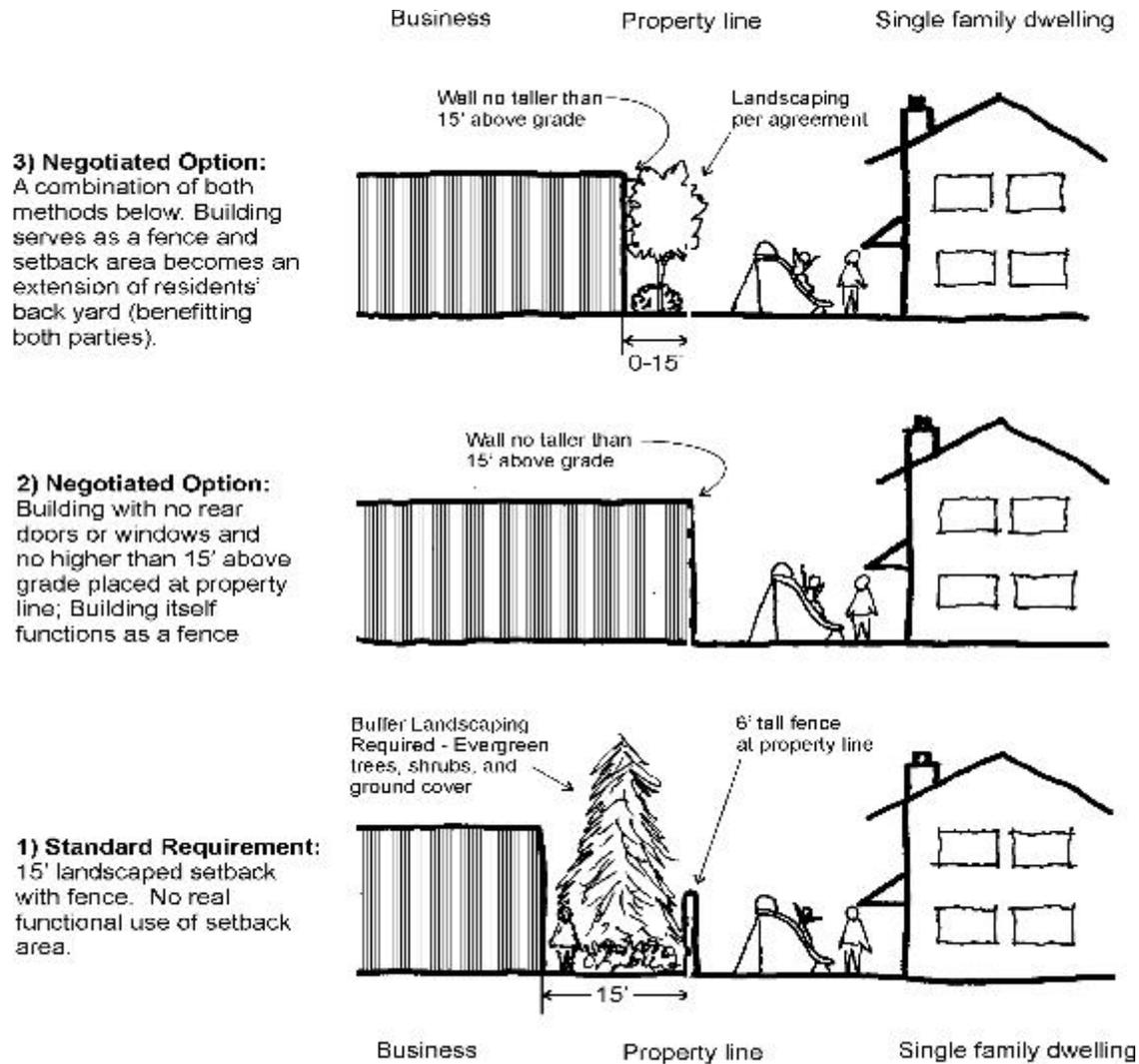


FIGURE 92.10.C

4. Multi-Story Buildings on Sites Adjacent to a Low Density Zone in RHBD and TLN – Multi-story buildings on sites adjacent to a low density zone in RHBD and TLN shall be configured and designed to minimize privacy impacts on adjacent low density uses. For example, a development may meet this requirement by orienting upper floors towards the street and/or towards interior courtyards.
5. Multifamily Buildings Located in TLN – Multifamily buildings located in TLN adjacent to NE 120th Street must be oriented toward this street. To meet this requirement, common and/or individual unit entries must face the street. The building must include windows that face the street. Parking areas between the building and the street are prohibited. Alternative configurations may be considered in the Design Review process.
6. Building Location at Street Corners in the RHBD and TLN Zones
 - a. General Standards – For development at street corner sites, the applicant must incorporate one or more of the following site treatments:

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- 1) Locate and orient the building towards the street corner (within 10 feet of corner property line). To qualify for this option, the building must have direct pedestrian access from the street corner. Exception: Properties in the RHBD Regional Center must provide a 10-foot minimum setback between NE 85th Street and any building.
 - 2) Provide an architectural feature that adds identity or demarcation of the area. Such an architectural element may have a sign incorporated into it (as long as such sign does not identify an individual business or businesses) (see Figure 92.10.D).
 - 3) Provide a “pedestrian-oriented space” at the corner leading directly to a building entry or entries (see KZC [92.15](#) and Figure 92.10.D).
 - 4) Install substantial landscaping (at least 30-foot by 30-foot or 900 square feet of ground surface area with trees, shrubs, and/or ground cover).
- b. RHBD Properties Located at the 124th, 126th, and 128th Avenue NE Intersections – Buildings must be located at the street corner and provide pedestrian-oriented facades along both streets. Exceptions:
- 1) Setbacks will be allowed only where the space between the sidewalk and the building meets the definition of a pedestrian-oriented space. An example is shown in Figure 92.10.D.
 - 2) Vehicle sales and properties on the west side of the 124th Avenue NE are exempt from this standard because of transmission line easement limitations.

Building located directly on a street corner with direct pedestrian access and pedestrian-oriented facades.

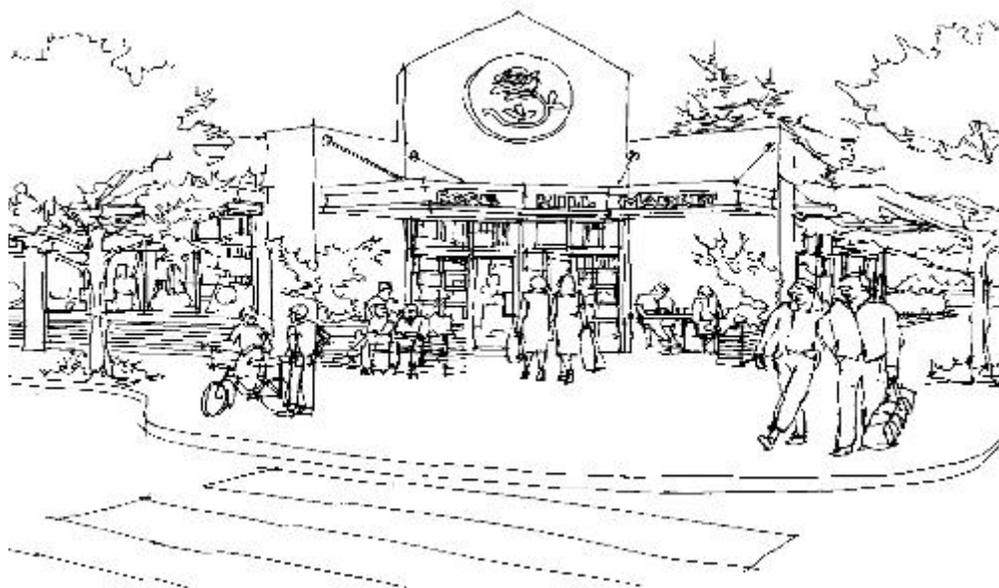


FIGURE 92.10.D

7. Building Location at Street Corners in CBD
- a. Building Corners in the CBD – If the subject property is adjacent to the intersection of two streets, at least one of which is a pedestrian-oriented street, the applicant shall use one or more of the following elements or treatments in the design and construction of the corner of the building facing the intersection of the streets which includes the pedestrian-oriented street. As an alternative, the applicant may propose other techniques, elements or treatments in the design of the corner which are consistent with the design guidelines and the provisions of the Comprehensive Plan.
- 1) Provide at least 100 square feet of sidewalk area or pedestrian-oriented open space in addition to the area required to produce a 10-foot-wide sidewalk as required under KZC [110.52](#), pedestrian-oriented street (see Figure 92.10.E).
 - 2) Provide an entranceway to a store, building atrium or lobby, exterior courtyard or pedestrian-oriented open space (see Figure 92.10.F).
 - 3) Provide a pedestrian pathway, at least eight feet in width, that connects to another street, public feature or building (see Figure 92.10.F).
 - 4) Provide one or more of the elements listed below on both sides of an axis running diagonally through the corner of the building and bisecting the angle formed by the two building facades (see Figure 92.10.G):
 - a) A bay window or turret.
 - b) A roof deck.
 - c) Balconies above the ground floor.
 - d) A building corner setback notch or curved facade surface.
 - e) Sculpture or artwork, either bas-relief or figurative.
 - f) Distinctive use of facade materials.
 - 5) Provide special or unique treatment, other than the use of fabric or vinyl awnings, for pedestrian weather protection at the corner of the building.

Options for Corner Setback Configurations

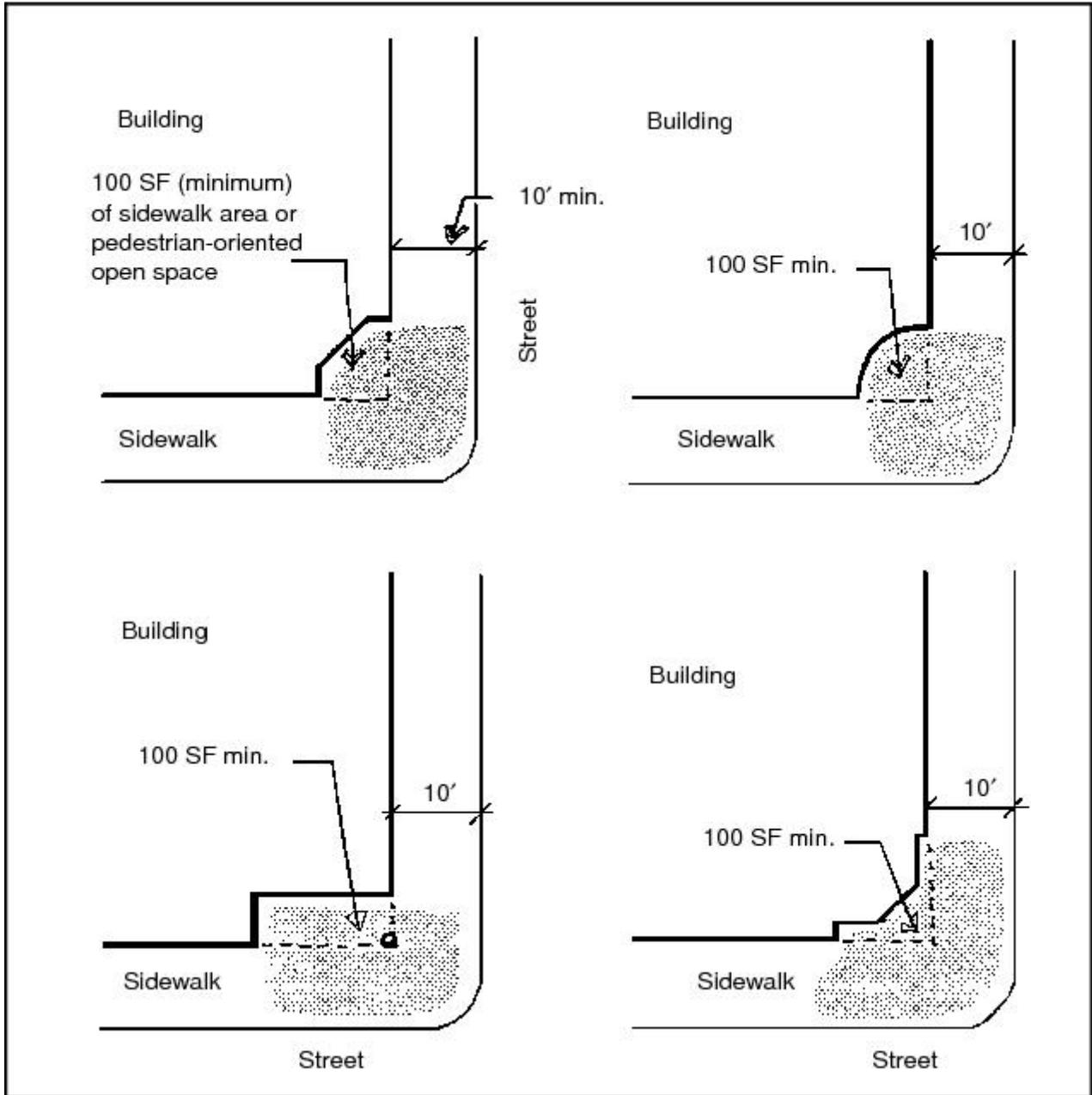


FIGURE 92.10.E

Options for Corner Entry Elements

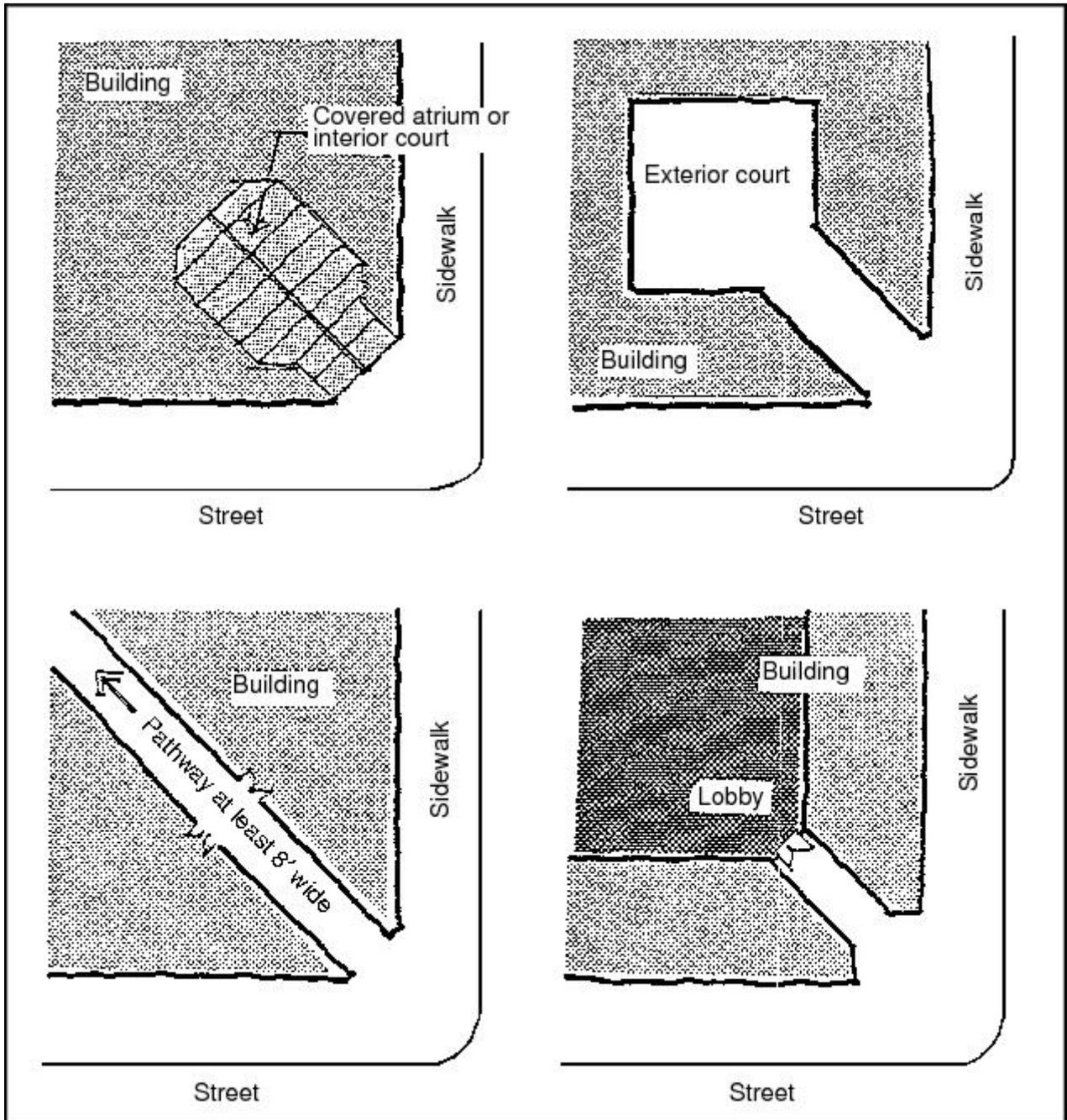


FIGURE 92.10.F

Architectural Elements for Corners

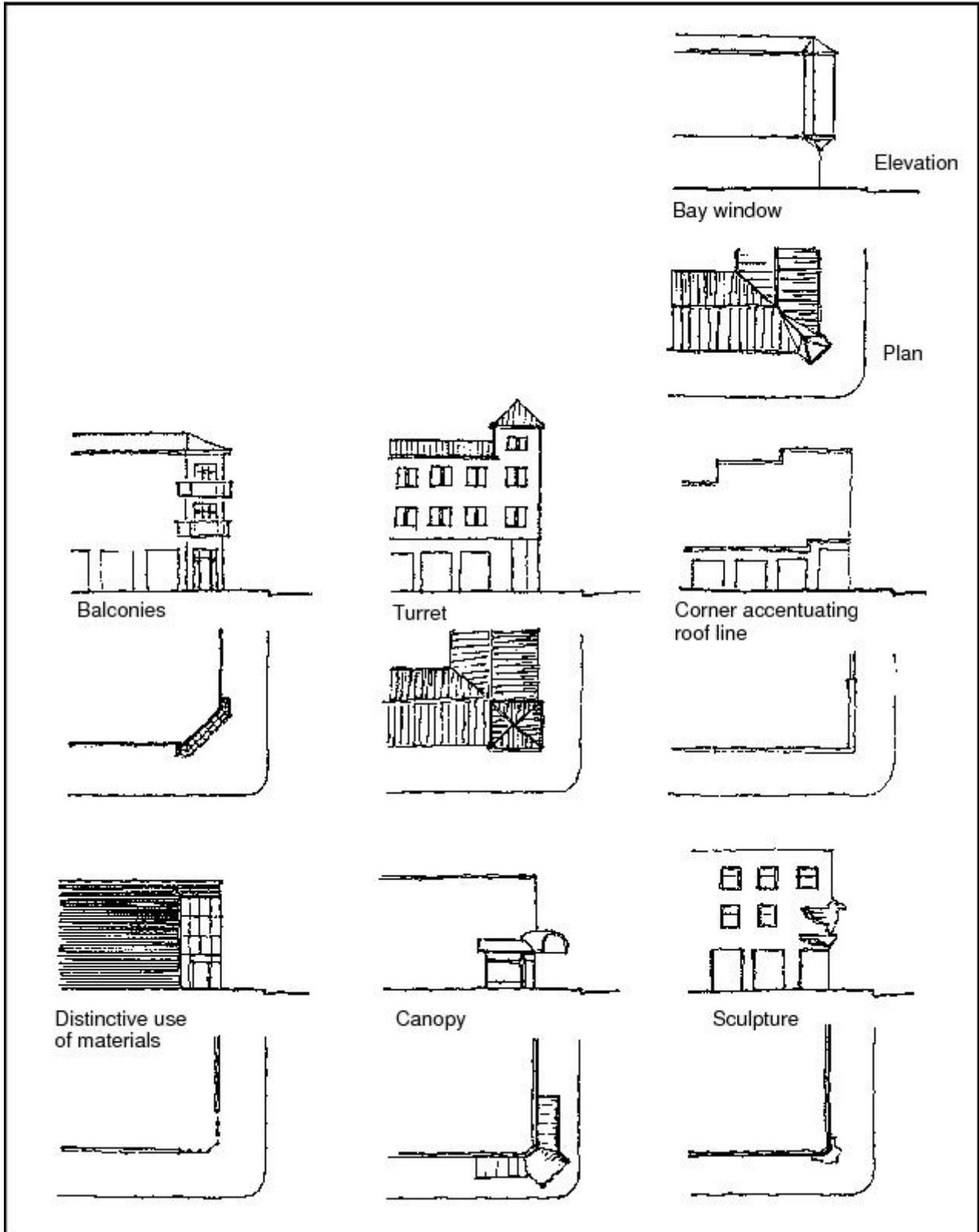


FIGURE 92.10.G

92.15 Pedestrian-Oriented Improvements on or Adjacent to the Subject Property

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1. All Zones – Pedestrian-Oriented Space and Plazas in Parking Areas – The applicant must provide at least 175 square feet of pedestrian-oriented space at the main building entrance in a central location, or adjacent to a parking area. This area must be raised at least six inches above the parking lot surface and must be paved with concrete or unit pavers.
2. Pedestrian-Oriented Space and Plazas in TC, CBD, NRHBD, RHBD and TLN Zones
 - a. In the CBD or in TC – If the subject property abuts a pedestrian-oriented street (see Plate 34 in Chapter [180](#) KZC) or public park, the space, if any, between the sidewalk and the building must be developed consistent with the following criteria:
 - 1) Enhance visual and pedestrian access, including handicapped access, onto the subject property from the sidewalk.
 - 2) Contain paved walking surface of either concrete or approved unit pavers.
 - 3) Contain on-site or building-mounted lighting which provides adequate illumination.
 - 4) Contain two linear feet of seating area or one individual seat per 65 square feet of area between the sidewalk and the building.
 - 5) Contain landscaping such as trees, shrubs, trellises, or potted plants.
 - 6) It may not include asphalt or gravel pavement or be adjacent to an unscreened parking area, a chain link fence or a blank wall which does not comply with the requirements of subsection (3) of this section, Blank Wall Treatment.
 - 7) An alternative solution for the pedestrian-oriented space may be established through a Conceptual Master Plan in TL 2.
 - b. In the NRHBD Zones – If the subject property abuts a major pedestrian sidewalk on the southwest corner of NE 116th Street and 124th Avenue NE (see Plate 34 in Chapter [180](#) KZC), the space, if any, between the sidewalk and the building must be developed consistent with the following criteria:
 - 1) Enhance visual and pedestrian access, including handicapped access, onto the subject property from the sidewalk.
 - 2) Contain paved walking surface of either concrete or approved unit pavers.
 - 3) Contain on-site or building-mounted lighting which provides adequate illumination.
 - 4) Contain two linear feet of seating area or one individual seat per 65 square feet of area between the sidewalk and the building.
 - 5) Contain landscaping, such as trees, shrubs, trellises, or potted plants.

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- 6) In the alternative, the pedestrian-oriented space can be integrated with a pedestrian connection linking Slater Avenue NE and NE 116th Street, anywhere on the subject property, consistent with the criteria in subsections (2)(b)(1) through (5) of this section.
- c. In the RHBD and TLN Zones – All nonresidential uses must provide pedestrian-oriented space in conjunction with new development according to the formula below. For the purposes of this section, required pathways shall not count as pedestrian-oriented space. However, as part of the Design Review, the City may allow those portions of pathways widened beyond minimum requirements to count towards the required pedestrian-oriented space as long as such space meets the definition of pedestrian-oriented space.
 - 1) Size: One percent of the applicable lot area plus one percent of the nonresidential building gross floor area. (See Figure 92.15.A).
 - a) The City may exempt uses that are likely to generate very little customer/pedestrian activity and have few or no employees. These may include warehouse, storage, industrial, and other similar uses.

Pedestrian-Oriented Space Requirement for Large Nonresidential Buildings Served by Surface Parking

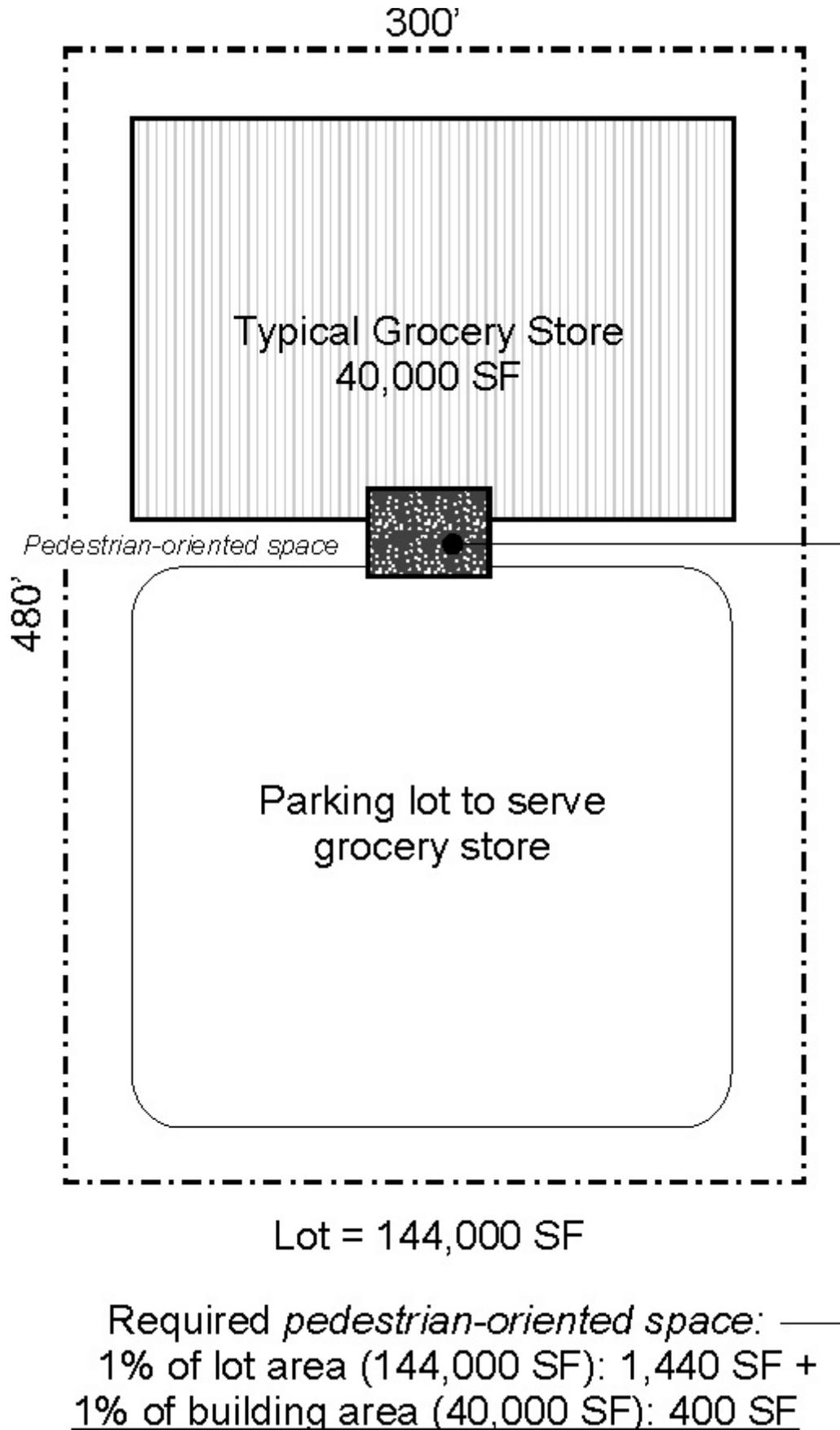
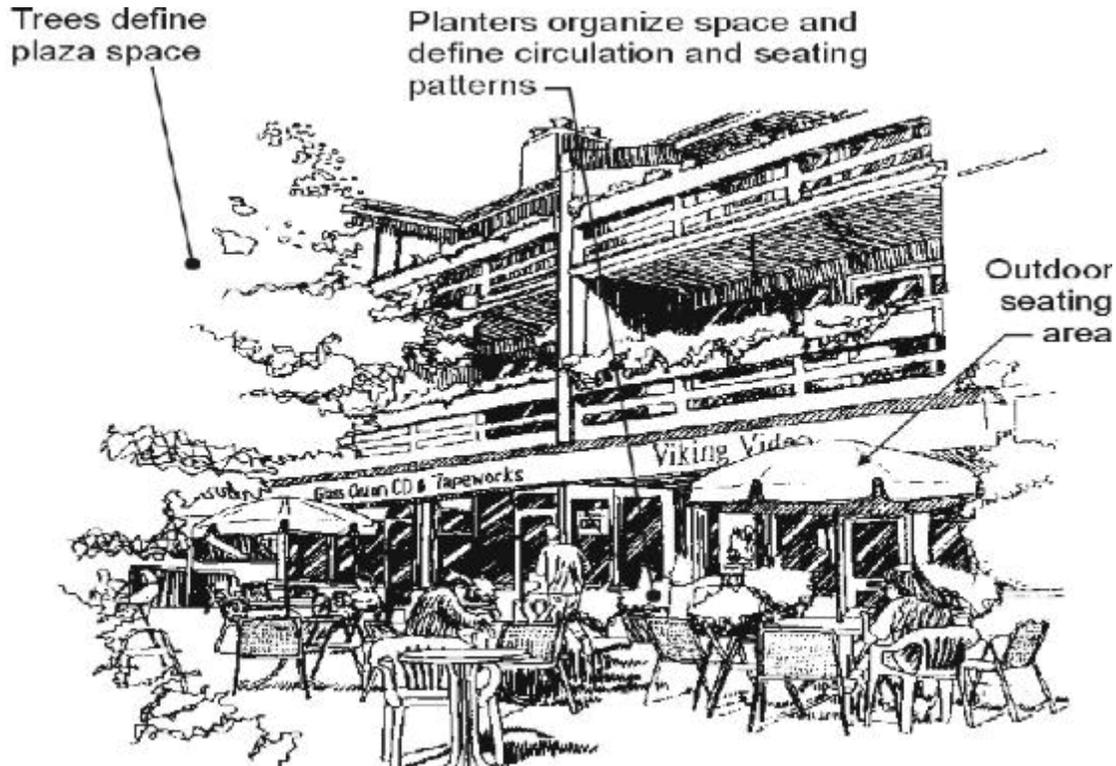


FIGURE 92.15.A

- 2) Design: To qualify as a pedestrian-oriented space, an area must have all of the following (see Figure 92.15.B):
 - a) Pedestrian access to the abutting structures from the street, private drive, or a nonvehicular courtyard.
 - b) Paved walking surfaces of either concrete or approved unit paving.
 - c) Pedestrian-scaled lighting (no more than 15 feet in height) at a level averaging at least two foot-candles throughout the space. Lighting may be ground- or building-mounted lighting.
 - d) Contain two linear feet of seating area or one individual seat per 65 square feet of area between the sidewalk and the building.
 - e) Spaces must be positioned in areas with significant pedestrian traffic to provide interest and security – such as adjacent to a building entry.
 - f) Landscaping covering at least 20 percent of the space (some of this may include potted plants). Such landscaping components must add seasonal interest to the space.
- 3) The following features are encouraged in a pedestrian-oriented space and may be required by the City:
 - a) Pedestrian amenities such as a water feature, a drinking fountain, tables, and/or distinctive paving or artwork.
 - b) Provide pedestrian-oriented facades on some or all buildings facing the space.
 - c) Consideration of the sun angle and the wind pattern in the design of the open space.
 - d) Transitional zones along building edges to allow for outdoor eating areas and a planted buffer.
 - e) Movable seating.
- 4) The following features are prohibited within pedestrian-oriented space:
 - a) Asphalt or gravel pavement.
 - b) Adjacent unscreened parking lots.
 - c) Adjacent chain link fences.
 - d) Adjacent “blank walls.”
 - e) Adjacent dumpsters or service areas.
 - f) Outdoor storage or retail sales that do not contribute to the

pedestrian environment.

An Example of a Pedestrian-Oriented Space



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FIGURE 92.15.B

3. Blank Wall Treatment

- a. Blank Wall Defined – All Zones – A blank wall is any wall or portion of a wall that meets either of the following criteria (see Figure 92.15.C):
 - 1) A wall or portion of a wall with a surface area of at least 400 square feet having both a length and a width of at least 10 feet without a window, door, building modulation at least one foot in depth or other architectural feature.
 - 2) Any wall or portion of a wall between four feet and 13 feet above ground level with a horizontal dimension longer than 15 feet without a window, door, building modulation at least one foot in depth or other architectural feature.
- b. Blank Wall Treatments – All Zones – Each blank wall that is visible from any right-of-way, internal access road, pedestrian-oriented space, or through-block pathway must be screened or treated in at least one of the ways listed in subsection (3)(c) of this section if it meets the criteria for a blank wall under subsection (3)(a) of this section. Internal roadways used primarily for service access and not visible from a street, pedestrian-oriented space or through-block pathways are exempt from this requirement.

Designating Blank Walls

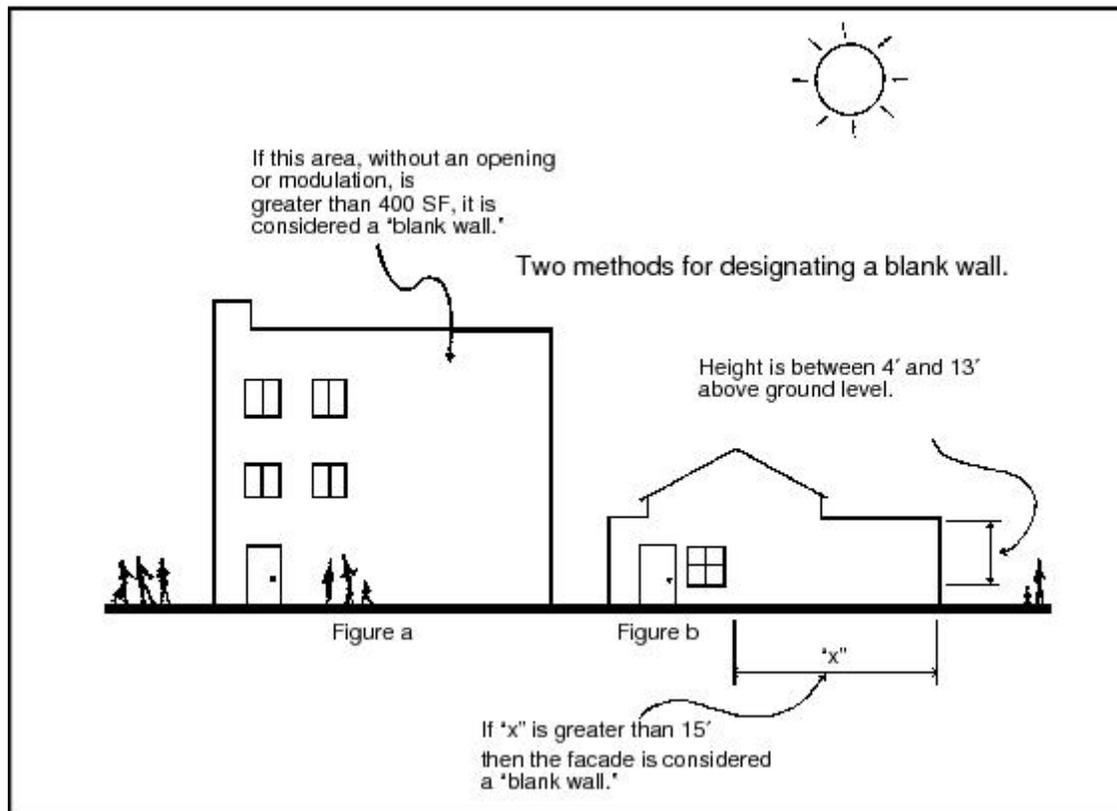


FIGURE 92.15.C

- c. Blank Wall Treatment Standards in All Zones – At least one of the following techniques must be used to treat or screen blank walls:
- 1) By the installation of a vertical trellis with climbing vines or plant material in front of the blank wall.
 - 2) By providing a landscaped planting bed at least five feet wide or a raised planter bed at least two feet high and three feet wide in front of the blank wall and planted with plant materials that will obscure or screen at least 50 percent of the blank wall within two years.
 - 3) By providing artwork, such as mosaics, murals, sculptures or bas-relief on the blank wall.
 - 4) By proposing alternative techniques as part of the Design Review process.
- d. All Zones – Modifications – The provisions of this subsection (3) may be modified or eliminated as part of the Design Review decision if they conflict with the International Building Code.

Pedestrian-Friendly Building Facade Requirements

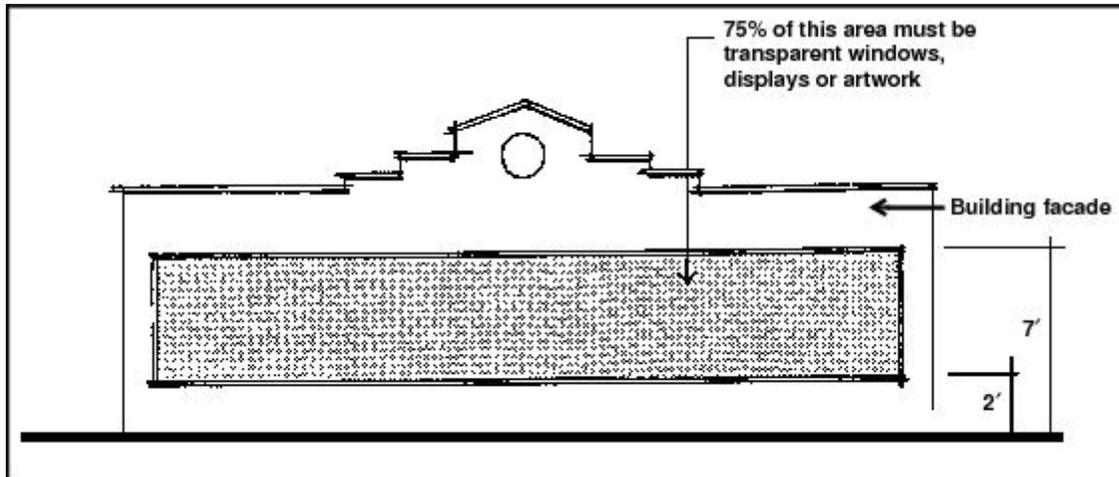


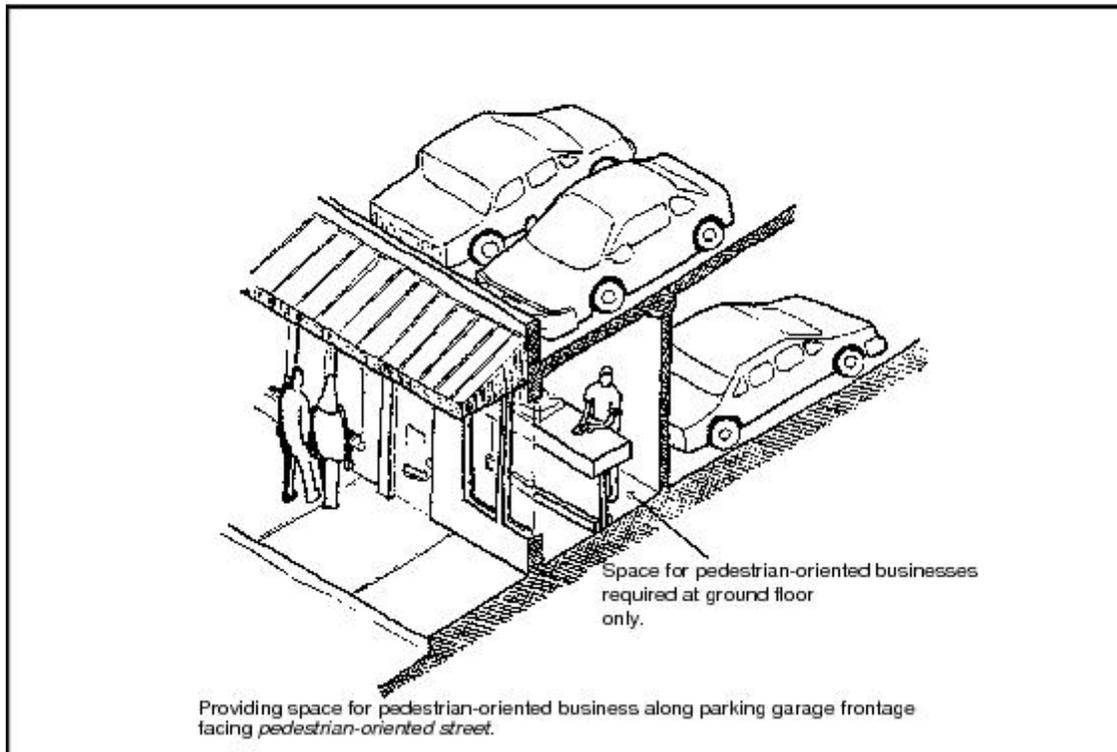
FIGURE 92.15.D

- e. Treatment of Building Facades in CBD – In the CBD, each facade of a building facing a pedestrian-oriented street or public park must contain or be treated with at least one of the following elements:
- 1) It must contain transparent windows or window displays comprising at least 75 percent of the area of the facade between two feet and seven feet above ground level (see Figure 92.15.D).
 - 2) It must contain sculptural, mosaic or bas-relief artwork comprising at least 75 percent of the area of the facade between two feet and seven feet above ground level (see Figure 92.15.D).
 - 3) The area next to the facade must be developed such that for every 10 linear feet of the facade, at least 20 square feet of this area must be developed with landscaping consistent with subsection (3)(c)(1) or (2) of this section, depending on the location, dimensions, and size of the area.

4. Parking Garages

- a. All Zones – Each facade of a garage or a building containing ground floor parking must either:
- 1) Provide and maintain a ground floor area of the garage or building extending along the entire facade of the garage or building (excluding vehicle access points) which is developed as and made available for pedestrian-oriented businesses (see Figure 92.15.E); or

Providing Space for Pedestrian-Oriented Business

**FIGURE 92.15.E**

- 2) Provide and maintain a pedestrian-oriented space, at least 10 feet in depth and extending along the entire facade of the garage or building (excluding vehicle access points); or
 - 3) Treat the facade consistent with subsection (3)(e)(1), (2) or (3) of this section, treatment of building facades; or
 - 4) A combination of methods described above.
- b. All Zones – There must be architectural screening or other treatment of openings above the ground level for the facades of parking garages along the Market Street Corridor, pedestrian-oriented streets, through-block pathways and major pedestrian sidewalks.
- c. RHBD and TLN Zones – Structures containing parking on the ground floor:
- 1) Parking structures on designated pedestrian-oriented streets shall provide space for ground-floor commercial uses along street frontages at a minimum of 75 percent of the frontage width. The entire facade facing a pedestrian-oriented street must feature a pedestrian-oriented facade.
 - 2) Parking structures adjacent to non-pedestrian-oriented streets may be located adjacent to a sidewalk where they provide space for ground-floor commercial uses along street frontages at a minimum of 75 percent of the frontage width and include a pedestrian-oriented facade along the applicable frontage.

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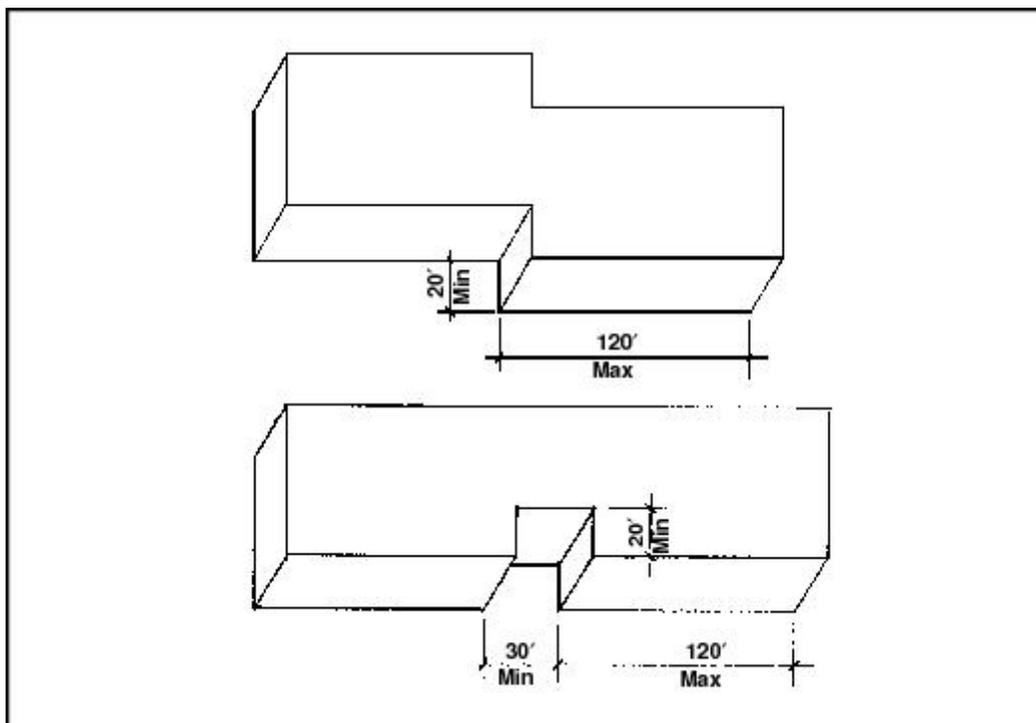
- 3) Parking structures adjacent to non-pedestrian-oriented streets and not featuring a pedestrian-oriented facade shall be set back at least 10 feet from the sidewalk and feature substantial landscaping between the sidewalk and the structure. This includes a combination of evergreen and deciduous trees (one per 20 lineal feet), shrubs (one per 20 square feet), and ground cover (sufficient to cover 90 percent of the area within three years). Other treatments will be considered in the Design Review process.
- 4) Parking garage entries shall be designed and sited to complement, not subordinate, the pedestrian entry. If possible, locate the parking entry away from the primary street, to either the side or rear of the building.
- 5) The design of structured parking at finished grade under a building shall minimize the apparent width of garage entries.
- 6) Parking within the building shall be enclosed or screened through any combination of walls, decorative grilles, or trellis work with landscaping.
- 7) Parking garages shall be designed to be complementary with adjacent buildings. Use similar forms, materials, and/or details to enhance garages.
- 8) Parking structure service and storage functions shall be located away from the street edge and generally not be visible from the street or sidewalks.

92.30 Architectural and Human Scale

1. Techniques To Moderate Bulk and Mass in the CBD
 - a. General – This section establishes required techniques to be used in the design and construction of building facades in specific areas of the CBD. The applicant shall comply with the techniques listed below in order to reduce the perceived bulk and mass of large structures by dividing the building mass into smaller-scale components. As an alternative, the City may approve other techniques, elements, or methods if consistent with the following criteria:
 - 1) The alternative is generally consistent with the downtown plan provisions of the Comprehensive Plan and the design guidelines.
 - 2) The alternative clearly provides superior moderation of the architectural bulk and mass than would result from strict application of the required techniques.
 - b. Vertical Definition – The applicant shall comply with the following requirements to moderate the horizontal scale of buildings:
 - 1) All CBD Zones – The maximum length of any facade facing a street is 70 feet without vertical definition. Vertical definition may be in the form of changes in color and materials, modulations of sufficient width and depth to define the vertical element, or some combination of these techniques. This vertical element should carry through all floors of the building.

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- 2) CBD 4, CBD 6, CBD 8 – Along First Street, Second Street South, First Avenue South, and Fifth Street, the maximum length of a facade is 120 feet. Any facade that exceeds 120 feet along the right-of-way shall comply with the following requirements (see Figure 92.30.A):
- Shall be divided by a 30-foot-wide modulation of the exterior wall so the maximum length of the facade is 120 feet without this modulation.
 - The modulation shall be 20 feet in depth and shall start at finished grade and extend through all floors.
 - Decks and roof overhangs may encroach up to three feet (per side) into the modulation.

Vertical Definition: CBD 4, 6, and 8**FIGURE 92.30.A**

- 3) CBD 6, CBD 8: Along the axes of all buildings which are predominantly east-west and/or most closely parallel to Central Way, Third Avenue, Fourth Avenue, or Sixth Avenue, the maximum length of a building is 120 feet. The following exceptions apply (see Figure 92.30.B):
- Portions of buildings which are below the elevation of Third Avenue, Fourth Avenue, or Sixth Avenue, as measured at the midpoint of the frontage of the subject property on the applicable right-of-way, may exceed the 120-foot limitation.
 - Portions of the building above Third Avenue, Fourth Avenue, or

Sixth Avenue shall be divided into two or more distinct building masses with a maximum length of 120 feet separated by at least 20 feet in width.

- c) Decks, bay windows, roof overhangs, and chimneys may encroach up to three feet (per side) into the separation.

Vertical Definition: CBD 6 and 8

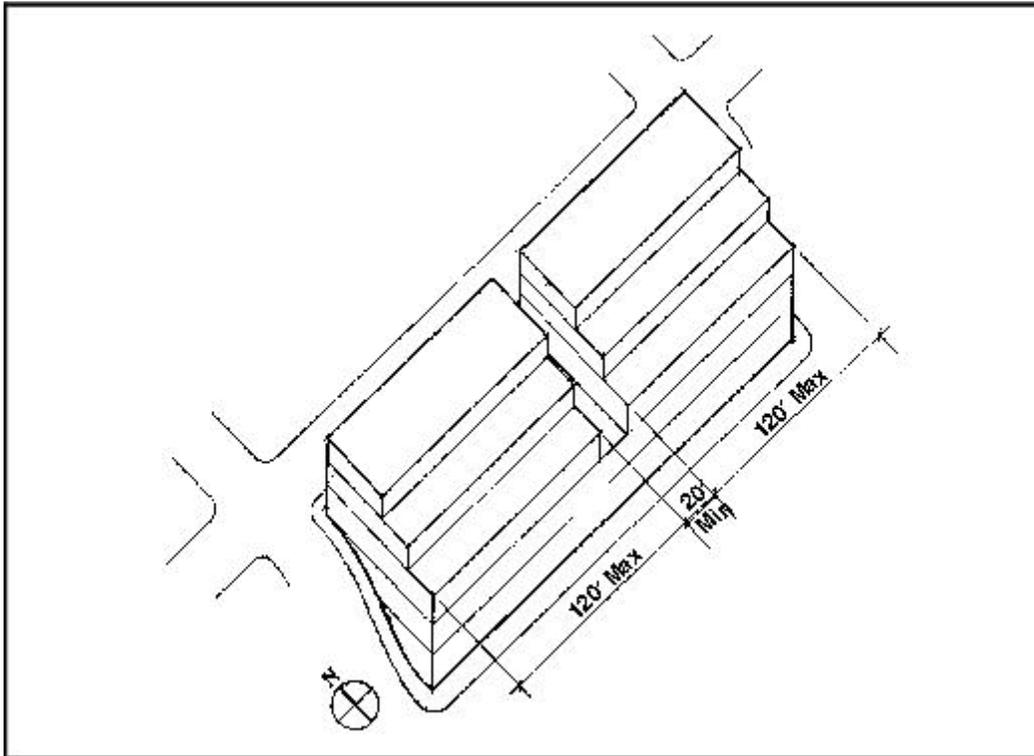


FIGURE 92.30.B

2. Horizontal Definition in All Zones – The applicant shall comply with the following requirements to moderate the vertical scale of buildings. All buildings shall include design techniques which clearly define the building's top, middle, and bottom (see Figure 92.30.C). The following techniques are suggested methods of achieving vertical articulation:
 - a. Top: Sloped roofs, strong eave lines, cornice treatments, horizontal trellises, or sunshades, etc.
 - b. Middle: Windows, balconies, material changes, railings, and similar treatments that unify the building design.
 - c. Bottom: Pedestrian-oriented storefronts, pedestrian-scale building details, awnings, arcades, "earth" materials such as concrete stone, stucco, etc.

Where appropriate, the applicant should coordinate the horizontal elements (i.e., cornices, window lines, arcades, etc.) in a pattern and height to reflect similar elements on neighboring buildings.

Horizontal Definition: Articulation of Buildings' Top, Middle and Bottom

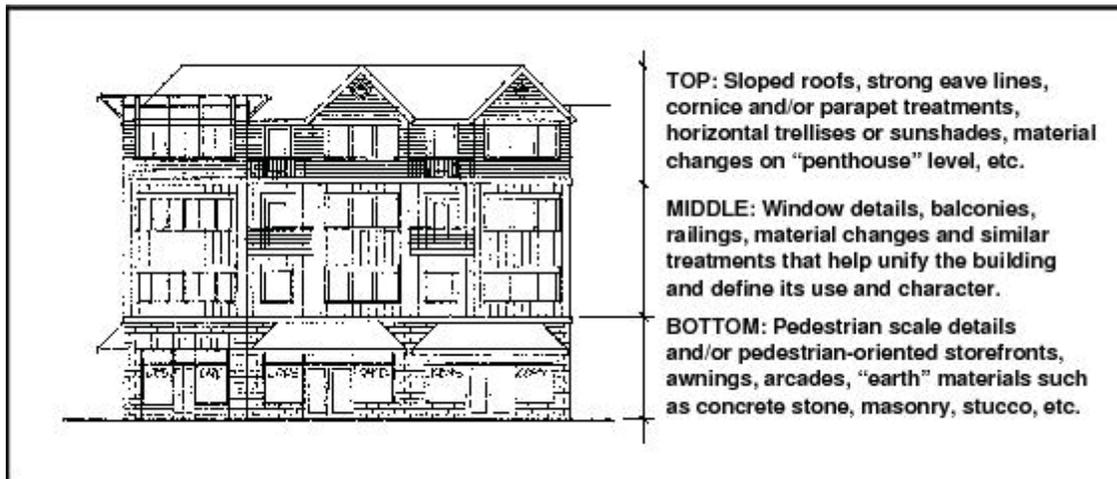


FIGURE 92.30.C

3. Techniques To Moderate Bulk and Mass in the RHBD and TLN Zones
 - a. Along all streets, through-block pathways, and public open spaces, the maximum length of a facade is 120 feet. Any facade that exceeds 120 feet along the right-of-way shall comply with the following requirements (see Figure 92.30.A):
 - 1) Shall be divided by a 30-foot-wide modulation of the exterior wall so the maximum length of the facade is 120 feet without this modulation.
 - 2) The modulation shall be 20 feet in depth and shall start at finished grade and extend through all floors.
 - 3) Decks and roof overhangs may encroach up to three feet (per side) into the modulation.
4. Techniques To Achieve Architectural Scale in All Zones – The applicant shall use at least two of the following elements and features in the design and construction of all buildings that are three or more stories or have a building footprint of more than 10,000 square feet. As an alternative, the applicant may propose slight variations from the required dimensions noted in the following techniques, or other methods to comply with the requirements of this subsection. The City may approve the proposal if it is consistent with the design guidelines and the Comprehensive Plan.
 - a. All stories above the second story must be set back at least 10 feet from the ground floor facade along at least two facades of the building.
 - b. Horizontal Building Modulation – On all building facades visible from a street or public park, provide horizontal modulation consistent with all of the following standards:
 - 1) The maximum allowable horizontal dimension of the facade between modulations is 70 feet;

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- 2) The minimum depth of each modulation, except balconies, is 10 feet; and
 - 3) The minimum width of each modulation, except balconies, is 15 feet.
- c. On all building facades visible from a street or public park, provide balconies which are consistent with the following standards:
- 1) Balconies must be placed on at least every other floor above the ground floor;
 - 2) The maximum distance between balconies, measured horizontally, is 100 feet; and
 - 3) The minimum amount of floor area for each balcony is 100 square feet.
- d. Change in Roofline – Provide vertical modulation of the roof line of all facades of the building adjoining a street or public park. For buildings with flat, gabled, hipped or similar roofs, the maximum length of any continuous roof line, with a slope of less than three feet vertical to 12 feet horizontal, is 50 feet without being modulated. If modulation is necessary, at least one of the following methods must be used (see Figure 92.30.D):
- 1) The height of the visible roof line must change at least eight feet if the adjacent roof segments are less than 50 feet in length.
 - 2) The height of the visible roof line must change at least 12 feet if the adjacent roof segments are greater than 50 feet in length.

Flat Roof Modulation Options

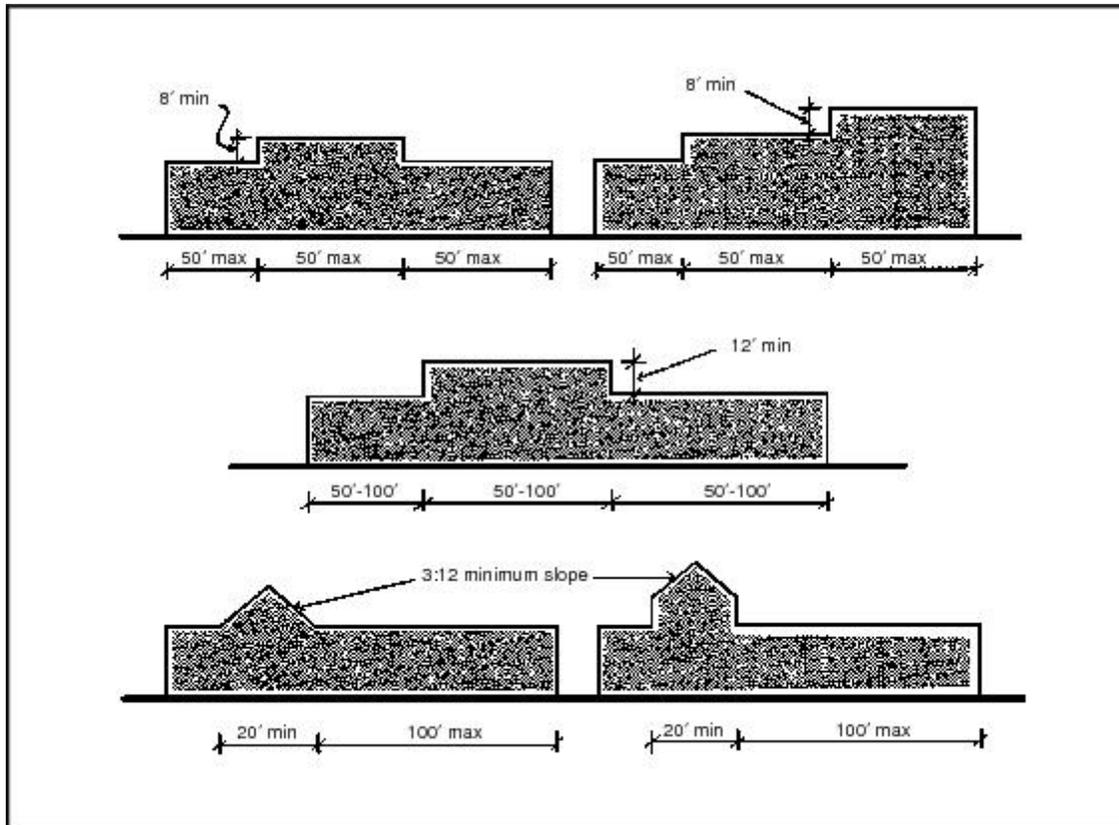


FIGURE 92.30.D

- 3) The length of a sloped or gabled roof line segment must be at least 20 feet. The minimum slope of the roof segment is three feet vertical to 12 feet horizontal.
 - e. Buildings with other roof forms, such as arched, gabled, vaulted, dormered or sawtooth, must have a significant change in slope or significant change in roof line at least every 100 feet.
5. Techniques To Achieve Architectural Scale in the RHBD and the TLN Zones
- a. The following standards supplement the required techniques described in subsection (4) of this section. Where there are similar techniques, the standards in this section shall apply. All buildings in the RHBD and TLN zones shall include at least three of the following modulation techniques at the articulation intervals described in subsection (5)(b) of this section along all facades containing the primary building entries (alley facades are exempt):
 - 1) Repeating distinctive window patterns at intervals less than the articulation interval;
 - 2) Horizontal Building Modulation – Minimum depth of modulation is two feet and minimum width for each modulation is four feet if tied to a change in color or building material and roof line modulation as defined below. Otherwise, minimum depth of modulation is 10 feet (except

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balconies) and minimum width for each modulation is 15 feet;

- 3) Providing a separate covered entry or separate weather protection feature for each articulation interval;
 - 4) Change of Roofline – To qualify for this measure, the maximum length of any continuous roofline shall not be less than the articulation interval and comply with the treatments below (see Figure 92.30.E):
 - a) For segments less than 50 feet in horizontal width, the height of visible roofline must change at least four feet if tied to horizontal building modulation and at least eight feet in other cases.
 - b) For segments more than 50 feet in horizontal width, the height of visible roofline must change at least six feet if tied to horizontal building modulation and at least 12 feet in other cases.
 - c) The length of sloped or gabled roof line segments must be at least 20 feet. The minimum slope of the roof segment is three feet vertical to 12 feet horizontal;
 - 5) Change in building material or siding style coordinated with horizontal building modulation and/or change in building color where appropriate;
 - 6) Providing lighting fixtures, trellis, tree, or other landscape feature within each interval;
 - 7) Alternative methods that achieve the desired architectural scale as approved by the City.
- b. Articulation Intervals – Modulation and/or articulation shall be provided at the following intervals:
- 1) No more than 30 feet for buildings containing residential uses on all floors above the ground floor;
 - 2) No more than 70 feet for nonresidential buildings (within RHBD, this applies to the Regional Center);
 - 3) RHBD – No more than 50 feet for nonresidential buildings in the Neighborhood Center;
 - 4) RHBD – No more than 30 feet for nonresidential buildings in the East End.

Building Articulation and Modulation Techniques

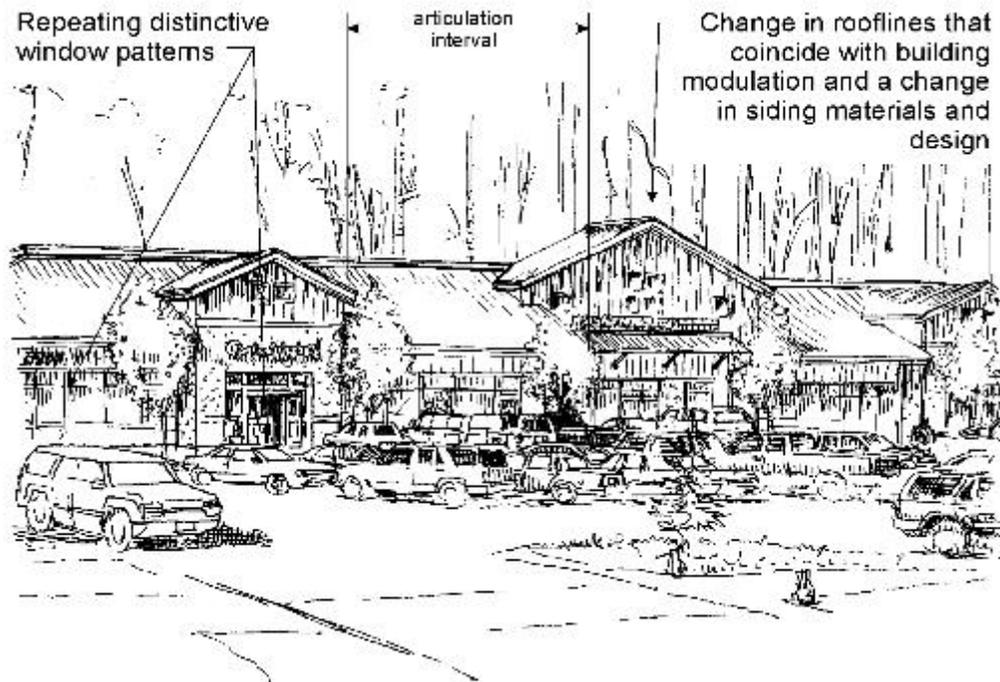


FIGURE 92.30.E

- c. Techniques To Achieve Architectural Scale for Office Buildings in the RHBD and in the TLN Outside of Totem Center
- 1) Office Building Design Standards for the TLN and the RHBD's Regional Center – These standards are intended to supplement other building design standards that apply to the Totem Lake Neighborhood and to the Regional Center. Where there is a conflict between standards, these standards shall apply as they are specific to office buildings.
 - a) Buildings must use design techniques to break up long continuous building walls, reduce the architectural scale of the building, and add visual interest. Specifically, any building facade longer than 120 feet in width must employ design techniques to limit the length of individual facades. To meet this requirement, buildings must utilize a combination of horizontal building modulation with a change in building materials or finishes, a clear change in building articulation and/or a change in fenestration technique (see Figure 92.30.F).

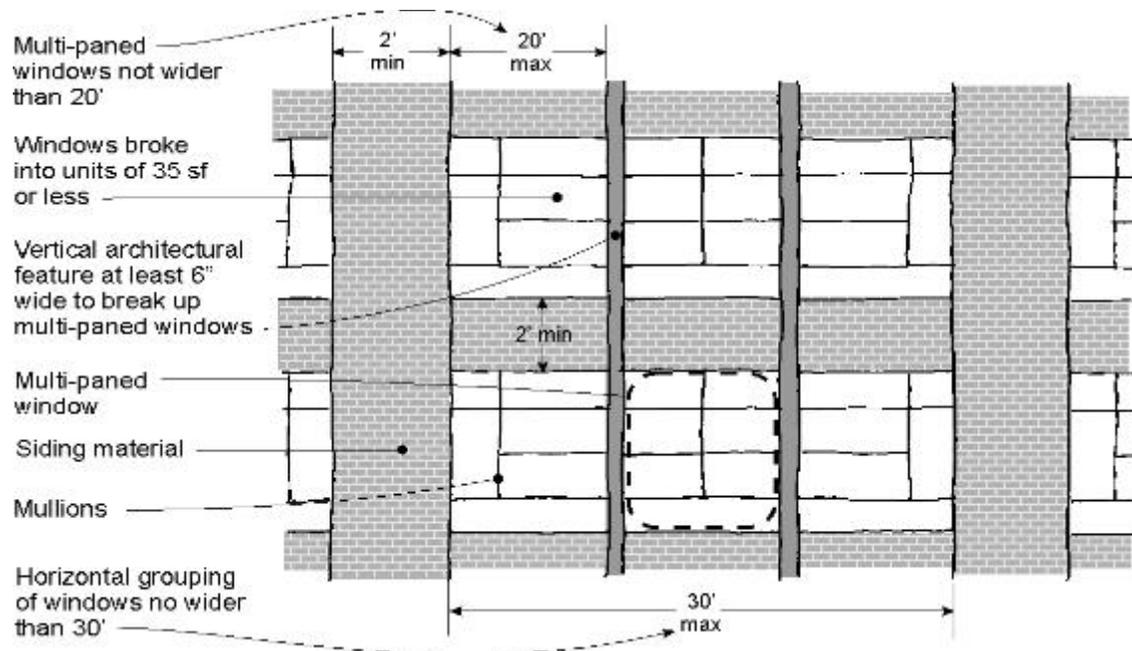
This building uses an angled window wall over the primary building entry to break up the width of the facade:



FIGURE 92.30.F

- b) Buildings must employ design techniques to divide windows into units that give the building an identifiable scale (see Figure 92.30.G). Specifically:
- 1) Windows must be broken into units of 35 square feet or less with each window unit separated by a visible mullion or other element.
 - 2) Multi-paned windows separated by mullions shall not exceed 20 feet in width and shall not exceed the height of individual floors.
 - 3) Horizontal groupings of windows shall not exceed 30 feet in width. At least one vertical architectural feature at least six inches wide shall be used within the grouping to break up individual multi-paned windows. Architectural features at least two feet in width shall separate such horizontal groupings of windows.
 - 4) Siding material at least two feet in height shall separate windows on each floor.
 - 5) Building facades shall employ techniques to recess or project windows at least two inches from the facade (see Figure 92.30.H).

Standards to divide windows into units that will give buildings an identifiable sense of scale.

**FIGURE 92.30.G**

Some or all of these standards may be relaxed through the Design Review process where other methods can be effectively used to divide windows into units and give the building an identifiable scale.

- c) Continuous window walls are prohibited, except where used as an accent facade element to break up long continuous building walls and/or emphasize a building entry. Such window walls should be modulated horizontally, by at least two feet, and should not exceed 20 feet in width.
- d) Mirrored glass and other highly reflective materials are prohibited (see Figure 92.30.I)

Recessed windows, mullions and trim**Continuous window walls are pro
used as an accent, such as in this:****FIGURE 92.30.H**

6. Achieving Human Scale in All Zones

a. General

- 1) CBD – Except as provided in subsection (6)(a)(3) of this section, the applicant shall use at least two of the elements or techniques listed in subsection (6)(b) of this section in the design and construction of each facade of a building facing a street or public park.

- 2) JBD, NRHBD, RHBD, MSC, TC and TLN – Except as provided in subsection (6)(a)(3) of this section, the applicant shall use at least one of the elements or techniques listed in subsection (6)(b) of this section in the design and construction of each facade of a one-story building facing a street or through-block pathway, and at least two of the elements or techniques for a two-story building facing a street or through-block pathway (see Plate 34 in Chapter 180 KZC).

- 3) All Zones – The applicant shall use at least three of the elements or techniques listed in subsection (6)(b) of this section in the design and construction of any facade of a building facing a street, through-block pathway or public park, if:

- a) The facade has a height of three or more stories; or
- b) The facade is more than 100 feet long.

- b. Techniques To Achieve Human Scale in All Zones – The techniques to be used in the design and construction of building facades under subsection (6) (a) of this section are listed below. As an alternative, the applicant may propose other techniques, elements or methods which provide human scale to the building and are consistent with the applicable design guidelines and the Comprehensive Plan.

- 1) On each story above the ground floor, provide balconies or decks, at

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least six feet wide and six feet deep.

- 2) On each story above the ground floor, provide bay windows that extend out at least one foot, measured horizontally, from each facade of the building.
- 3) Provide at least 150 square feet of pedestrian-oriented space in front of each facade (see KZC 92.15(2)(c)(2)).
- 4) Provide at least one-half of the window area above the ground floor of each facade consistent with all of the following criteria (see Figure 92.30.J):
 - a) The windows must have glazed areas with dimensions less than five feet by seven feet.
 - b) The windows must be surrounded by trim, molding and/or sill at least two inches wide.
 - c) Individual window units must be separated from adjacent window units by at least six inches of siding or other exterior finish material of the building.
- 5) Provide at least one-half of the window area above the ground floor of each facade facing a street or public park in panes with dimensions less than two feet by three feet and with individual panes separated by window mullions (see Figure 92.30.K).

Individual Windows Option

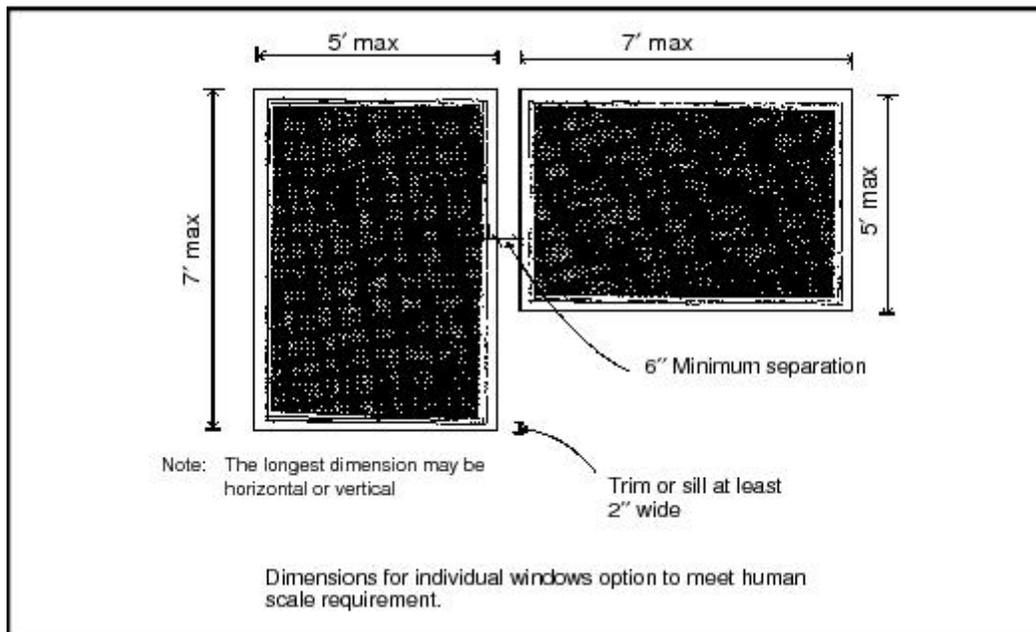


FIGURE 92.30.J

Multiple-Paned Fenestration Option

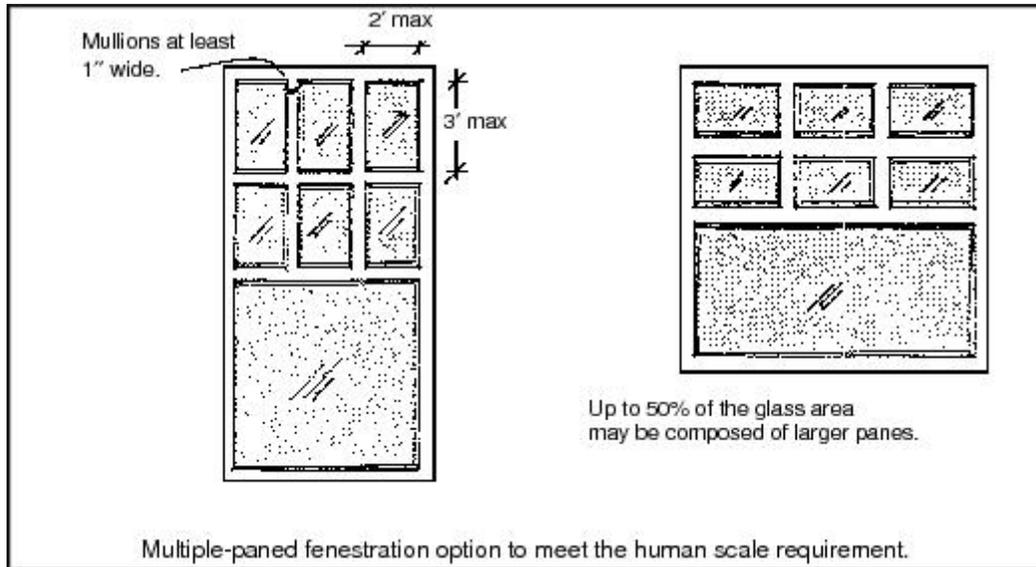


FIGURE 92.30.K

- 6) Provide a hipped or gable roof which covers at least one-half of the building footprint and has a slope equal to or greater than three feet vertical to 12 feet horizontal. To meet this requirement, the ridge width of a continuous roofline shall not extend more than 100 feet without modulation. This includes a gabled or other sloped roofline segment at least 20 feet in width.
 - 7) If the main entrance of the building is on the facade of the building facing a street, through-block pathway, or public park, provide a covered porch or entry on the subject property at the building's main entrance. Pedestrian weather protection required under KZC [105.18](#) may not be used to meet this requirement unless the required pedestrian weather protection covers an area at least 15 feet long by 15 feet wide and is available for outdoor display or outdoor vendors or contains pedestrian-oriented improvements or amenities beyond what is otherwise required.
 - 8) Provide one or more stories above the ground floor setback at least six feet from the ground floor facade facing the street, through-block pathway, or a public park.
 - 9) Compose smaller building elements near the entry of a large building (see Figure 92.30.L).
- c. Techniques To Achieve Human Scale in RHBD and TLN – In addition to the requirements of subsection (6)(b) of this section, Techniques to Achieve Human Scale in All Zones, nonresidential uses (office, retail, industrial, etc.) in the RHBD and TLN with over 40,000 square feet of floor area shall incorporate the following human scale features on the facade featuring the primary building entry:
- 1) Provide pedestrian-oriented space near the building entry. The minimum size of the area shall be no less than one percent of the floor area of the use (see Figure 92.15.A). This must include a covered area

Attachment 3

- at least 15 feet long by 15 feet wide and is available for outdoor display or outdoor vendors; and
- 2) Compose smaller building elements near the entry (see Figure 92.30.L).
 - 3) As an alternative, the applicant may propose other mechanisms for providing human scale to such buildings, consistent with the design guidelines.

Composing Smaller Building Elements Near the Entry

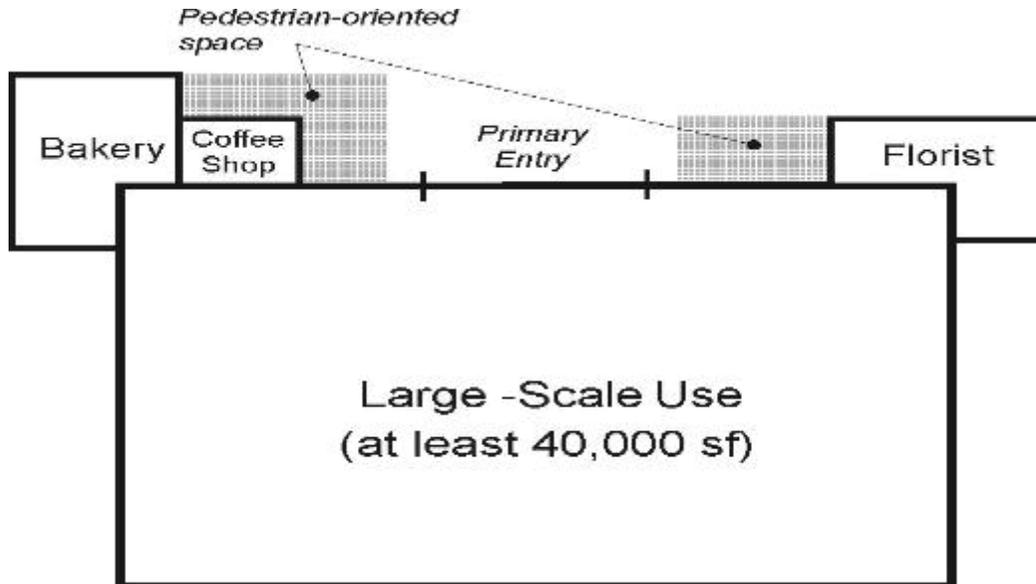


FIGURE 92.30.L

92.35 Building Material, Color and Detail

1. **Required Elements in All Zones** – The applicant shall incorporate at least three of the following elements on each facade of a building that faces a street, through-block pathway, pedestrian-oriented space or a public park. As an alternative, the applicant may propose other mechanisms for providing interesting visual detail to buildings, consistent with the design guidelines.
 - a. Decorative roof lines, including ornamental molding, frieze or other roof line devices visible from the ground. Linear features must be at least eight inches wide, measured vertically.
 - b. Decorative molding or framing details around all ground floor doors and windows. The molding or trim may have a traditional, contemporary, geometric or sculptural design.
 - c. Decorative glazing on all ground floor doors and windows, including stained glass, crystal cut glass, etched glass or similar individualized and permanent treatment, but excluding single-colored glass, opaque glass or plastic. On all ground floor windows, this decorative glazing must have a surface area of at least 30 square feet.

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- d. Railings, grill work, landscape guards or other similar elements including materials, design, configuration, embellishment or workmanship that exceeds the normal functional requirements for the element.
 - e. Trellises or arbors having an area of at least 100 square feet and planted consistent with the requirements of KZC 95.41 to achieve at least 30 percent coverage of the trellis or arbor with plant material within three years.
 - f. Decorative light fixture or fixtures, either one if one-of-a-kind or custom-built or one every 30 feet along the facade of the building if not one-of-a-kind or custom-built, that meet either of the following criteria:
 - 1) Includes a diffuse, visible light source, such as a globe.
 - 2) Contains a shade or mounting that includes some use of material, configuration, shape, embellishment or detail that exceeds the normal functional requirement for the shade or mounting.
 - g. Use of any of the following decorative materials:
 - 1) Any of the following decorative masonry elements:
 - a) Decorative masonry patterns, other than running bond pattern.
 - b) Bricks, tile, stone, cast stone or other masonry units of at least two colors installed in layers or tiers to form a geometric pattern.
 - c) Decorative bands of masonry, such as a soldier course of brick or multicolored ceramic tile band, in conjunction with another exterior surface material.
 - 2) Individualized wood patterns or continuous wood details, such as fancy butt shingles in a geometric pattern, decorative moldings, brackets, eave trim or lattice work.
 - 3) Ceramic tile, stone, glass blocks, camera glass or other similar materials incorporated into other compatible surface materials and used to form or create, or in conjunction with, a geometric pattern, distinctive shape, unusual surface treatment, special lighting or other decorative or textural element.
 - 4) Other materials with decorative or textural qualities, as demonstrated by architectural drawings and material samples, approved by the City as part of Design Review.
 - h. Decorative unit paving, including at least 50 square feet of multicolored tile, paver blocks, brick or other paving material in a decorative pattern, installed in a pedestrian-circulation area adjacent to the facade.
 - i. Artwork in the form of a mosaic mural, bas-relief sculpture, light sculpture, water sculpture, fountain, freestanding sculpture, art in pavement, murals, graphics or other forms, either freestanding in front of the facade or attached to the facade.
2. Prohibited Materials – All Zones – The following materials may not be used on

Attachment 3

any exterior surface which is visible from any area beyond the subject property:

- a. Mirrored glass and other highly reflective materials.
 - b. Corrugated fiberglass.
 - c. Chain link fencing, except for temporary purposes, such as during construction.
3. Metal Siding – All Zones – Corner and edge trim must be used to cover exposed edges of metal siding. If metal siding covers more than 25 percent of a building's facade, the following regulations apply:
- a. The siding must have a matted finish.
 - b. The siding must be in a neutral, earth tone or dulled color such as buff, grey, beige, tan, creme, white, barn-red, blue-grey, burgundy or ocher.
 - c. The facade must have visible window and door trim painted or finished in a color which is complementary to the siding color.
4. Concrete Block – All Zones – Any concrete block, masonry unit or cinder block wall which is visible from a street or public park must contain one or more of the following features or elements:
- a. Use of textured blocks with surfaces such as split-faced or grooved.
 - b. Use of colored mortar complementary to the color of the blocks.
 - c. Use of other surface material such as bricks, glass blocks or tile as a significant feature of the wall.
5. Awnings – All Zones – (See Chapter [105](#) for other pedestrian water protection requirements.)
- a. The design of awnings should complement the architecture of the building. Steel and glass, fabric, and other materials of a more permanent nature are encouraged. Vinyl or plastic awnings and awnings used predominantly for advertising are discouraged.
 - b. Translucent awnings shall not be backlit. Lights directed downward mounted from internal awning frames are permitted. Lights mounted above awnings and directed downward are permitted.
6. Covering of Existing Facades – All Zones – Existing brick or cast stone masonry facades may not be covered with metal siding, metal screening, plastic siding, fiberglass siding, plywood siding, or wood siding materials. Other existing facades may be covered if consistent with the provisions of this subsection (6). As part of Design Review for remodels, the City may require the removal of coverings.
7. Building Cornerstone or Plaque – All Zones – All commercial buildings designed for use by more than one tenant must have a building cornerstone or plaque, placed in a prominent location, consistent with the following standards:
- a. Building cornerstones must be constructed in carved stone, cast stone,

Attachment 3

carved masonry, terra cotta or other vandal-resistant material.

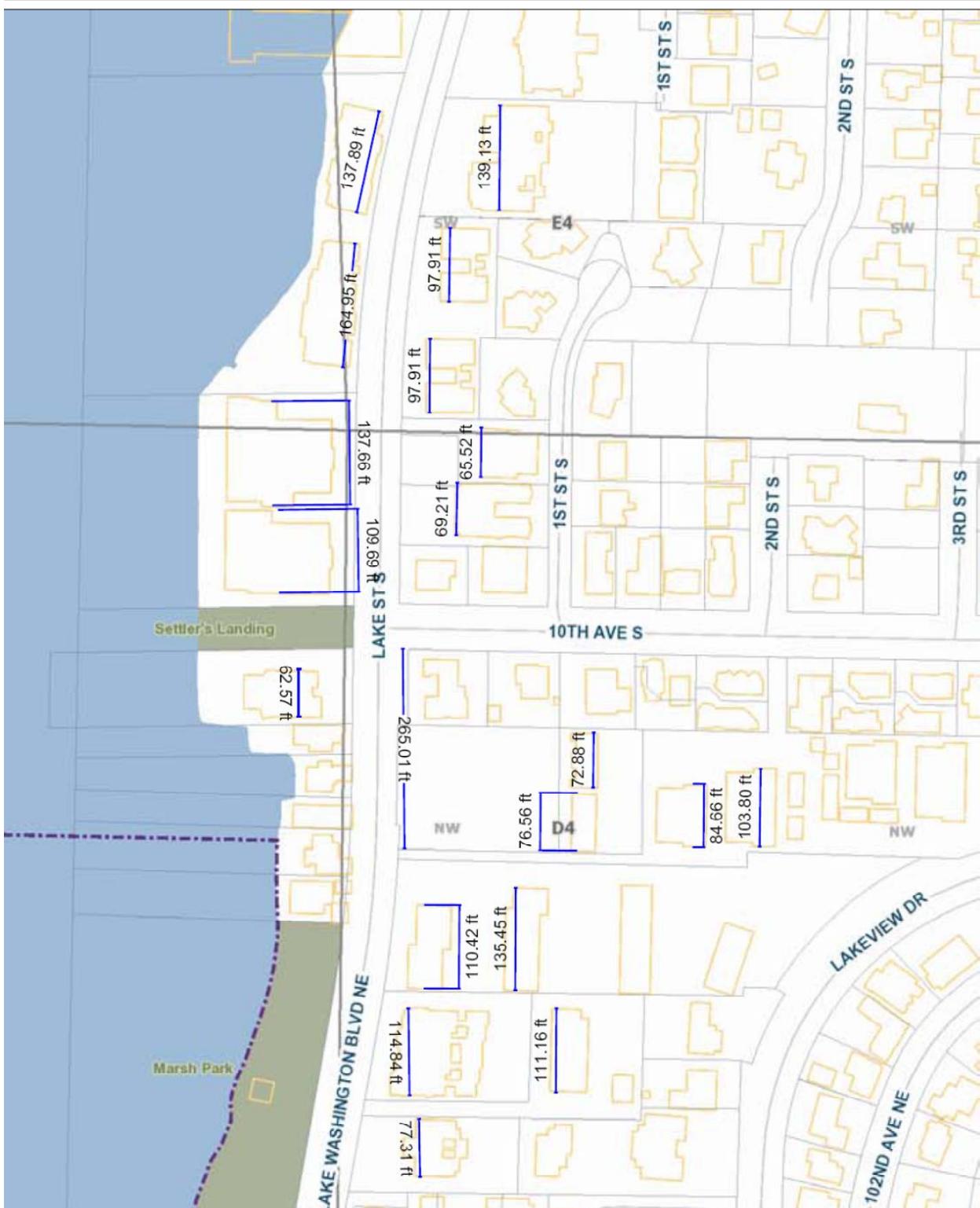
- b. Building plaques must be mounted no lower than two feet and no higher than 10 feet above ground and must be made of bronze, brass, anodized aluminum, porcelain enamel-covered steel or aluminum or other corrosion-resistant material.
 - c. Building cornerstones and plaques must indicate the name of the building and, if known, the date of construction and architect.
 - d. Building cornerstones and plaques may include the owner's name and other historical information.
8. Required On-Site Improvements – All Zones – Water spigots shall be provided on all building facades along sidewalks for cleaning and plant watering.

This page of the Kirkland Zoning Code is current through Ordinance 4320, passed September 6, 2011.

Disclaimer: The City Clerk's Office has the official version of the Kirkland Zoning Code. Users should contact the City Clerk's Office for ordinances passed subsequent to the ordinance cited above.

City Website: <http://www.kirklandwa.gov/>
City Telephone: (425) 587-3190
[Code Publishing Company](#)

Facade examples



**FIGURE BT.7
COURTYARD**

A. Lot Width

1. Maximum of 300 feet.

B. Pedestrian Access

1. Ground floor courtyard(s) shall be accessible from the street, through the frontage line, and through an open or covered passageway.
2. Raised courtyards shall be accessed through a lobby, accessed directly from the principal frontage.
3. The principal entrance to each ground floor unit shall be directly from the frontage line or from a courtyard.
4. Access to units above raised courtyards shall be through a lobby with direct access to each courtyard. Upper floor exterior corridors are limited to 25 feet in length. Longer corridors shall be enclosed.
5. All retail spaces should be accessed from the ground floor, single-tenant entry along a street, courtyard, or passageway.

C. Parking Design and Location

1. Parking shall be located in the Allowed Parking Zone (Figure 1.10-B).
2. Parking access shall be as per Section 15-217-63, Parking and Loading.
3. For above-ground garage, parking shall be concealed from view at the street frontage through a liner of habitable space; service streets and alleys excluded.

D. Open Space

1. At least 15% of the lot area shall be provided as open space in the form of one or more courtyards open to the sky.
2. The courtyard(s) may be located at-grade or on a podium, or combination thereof.
3. The minimum courtyard dimension shall be 30 feet on anyone side, not counting any porch, encroachment or projection provided within the courtyard.
4. Projections and encroachments into the open space are permitted on all sides, provided that the minimum 30 foot dimension is maintained.

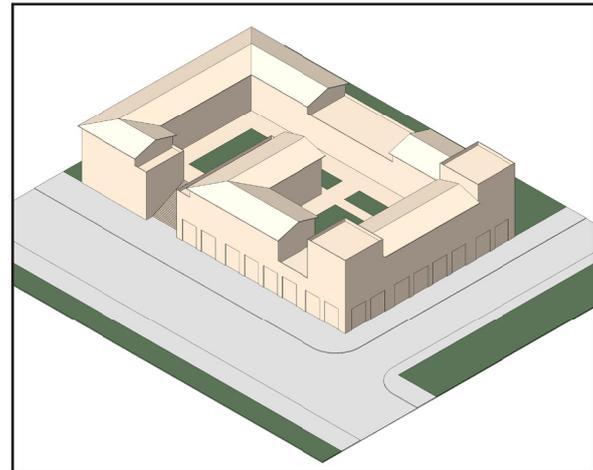
E. Landscape

1. Where there is a 20 foot build to line, one 25-gallon minimum size canopy tree shall be planted per 20 lineal feet of frontage line or fraction thereof.
2. Trees shall be a single species to match the species of street trees in the furnishing area.
3. Side yard trees shall be placed at a rate of one 25-gallon minimum size canopy tree per 30 lineal feet or fraction thereof.
4. One field stock specimen tree is required per courtyard and maybe provided in containers.
5. Six five-gallon size shrubs, 10 one-gallon size shrubs and turf or acceptable native or adapted ground cover is required for every required tree.

F. Frontage

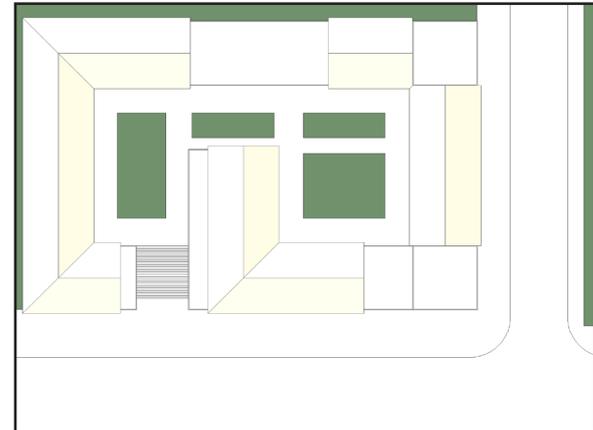
1. Permissible frontage types are: Stoop, Dooryard, Forecourt, Shopfront, Chinatown Shopfront, Raised Shopfront (as necessary for flood protection), Terrace Front, Gallery, Arcade and Kakaako Frontage.

AXONOMETRIC VIEW



For Illustrative Purposes Only

PLAN VIEW



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G. Building Massing

1. Maximum Floor Plate Ratios shall be as follows:

Table BT.7-1

Stories	Ratio of Each Story Allowed				
	1st Story	2nd Story	3rd Story	4th Story	5th Story
2 Stories	100%	100%	-	-	
3 Stories	100%	100%	65%	-	
4 Stories	100%	100%	55%	55%	
5 Stories	100%	100%	55%	55%	40%

FIGURE BT.8
URBAN BLOCK

A. Lot Width

1. Maximum of 300 feet.

B. Pedestrian Access

1. Entrances to upper floors shall be accessed through an interior lobby, which is accessed directly from the street.
2. On Promenade Streets, the principal entrance to each ground floor space shall be directly from the street and occur at a maximum interval of 60 feet. On all other thoroughfares, access to ground floor spaces may occur at the 60 foot interval or may be provided through a street level lobby.
3. All retail spaces should be accessed from a ground floor, single-tenant entry along a street, courtyard or passageway.

C. Parking Design and Location

1. Parking shall be located in the Allowed Parking Zone (Figure 1.10-B) for the first two stories.
2. Parking access shall be as per Section 15-217-63, Parking and Loading.
3. For above-ground parking garages, parking shall be concealed from view at the street frontage through a liner of habitable space for the first two stories of building height; service streets and alleys excluded.
4. Above-ground garages above two stories shall be screened from view at the street frontage by landscaping, green screens, cladding, or a liner of habitable space; service streets and alleys excluded.

D. Open Space

1. At least 15% of the lot area shall be provided as open space.
2. The open space may be located at-grade, on a podium, on a roof garden, or a combination thereof.
3. Open space shall have a minimum dimension of 40 feet on any one side.
4. Encroachments into the open space are permitted on all sides of the space, provided that the 40 foot minimum dimension is maintained.

E. Landscape

1. When front yards have a 20 foot build to line, a minimum of one field stock canopy tree shall be planted per 40 lineal feet of frontage line or fraction thereof. Trees within the frontage area shall be a single species to match the species of street trees in the furnishing area.
2. When side yards are present one 25-gallon minimum size canopy tree shall be planted per 30 lineal feet to protect privacy of neighbors.
3. Six five-gallon size shrubs, 10 one-gallon size shrubs and turf or acceptable native or dry climate ground cover is required for every required tree.

F. Frontage

1. Permissible Frontage Types are: Stoop, Dooryard, Forecourt, Shopfront, Chinatown Shopfront, Raised Shopfront (as necessary for flood protection), and Terrace Front, Gallery and Arcade.

G. Building Massing

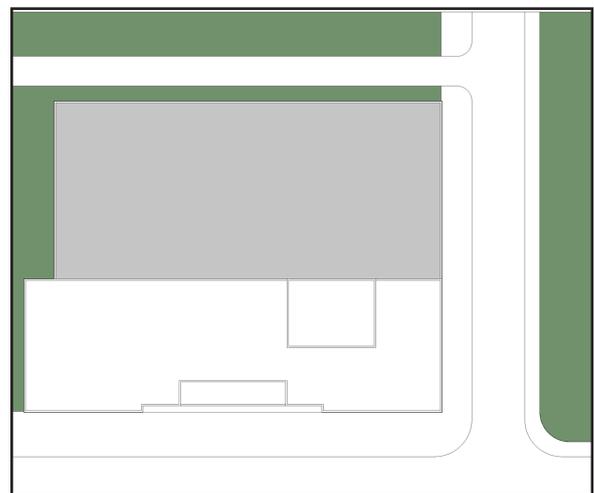
1. Facades shall have at least one encroaching element (such as porches or balconies) or a plane break that occupy at least 10% of the facade.

AXONOMETRIC VIEW



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PLAN VIEW



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2. Maximum Floor Plate Ratios shall be as follows:

Table BT.8-1

Stories	Ratio of Each Story Allowed					
	2nd + 3rd	4th Story	5th Story	6th Story	7-8 Stories	9+ Stories
2-3	100%	-	-	-	-	-
4-5	100%	100%	75%	-	-	-
6	100%	100%	Max Ratio for 5th story and above shall average 65%		-	-
7	100%	100%	Max Ratio for 5th story and above shall average 60%		-	-
8	100%	100%	Max Ratio for 5th story and above shall average 58%		-	-
9 +	100%	100%	Max Ratio for 5th story and above shall average 53%		-	-

**FIGURE BT.9
LEI BUILDING**

A. Lot Width

1. Maximum of 300 feet.

B. Pedestrian Access

1. On Promenade Streets, the entrance to each ground floor space shall be directly from the street and occur at a maximum interval of 60 feet. On all other thoroughfares, access to the ground floor spaces may occur at the 60 foot interval or may be through a street level lobby.
2. Circulation to all upper floors shall be through an interior corridor or lobby.
3. All retail spaces should be accessed from a ground floor, single-tenant entry along a street, courtyard, or passageway.

C. Parking Design and Location

1. Parking shall be located in the Allowed Parking Zone (Figure 1.10-B) for the first two stories.
2. Parking access shall be as per Section 15-217-63, Parking and Loading.
3. For above-ground garages, parking shall be concealed from view at street frontages through a liner of habitable space on at least three sides of the building; service streets and alleys excluded. Where exposed to the street, above-ground garages shall be screened from view at the street frontage by landscaping, green screens, or cladding; service streets and alleys excluded.

D. Open Space

1. At least 15% of the lot area shall be provided as open space and shall be open to the sky.
2. The open space may be located at-grade, on a podium, roof garden, or combination thereof.
3. Open space shall have a minimum dimension of 30 feet on any one side.
4. Projections into the open space are permitted on all sides of the space, provided that the 30 foot minimum dimension is maintained.

E. Landscape

1. When front yards have a 20' build to line, a minimum of one field stock canopy tree shall be planted per 40 lineal feet of frontage line or fraction thereof.
2. Front yard trees shall be a single species to match the species of street trees in the furnishing zone.
3. When side yards are present, one 25-gallon minimum size canopy tree per 30 lineal feet to protect privacy of neighbors.
4. Six five-gallon size shrubs, ten one-gallon size shrubs and turf or acceptable native or dry climate ground cover is required for every required tree.

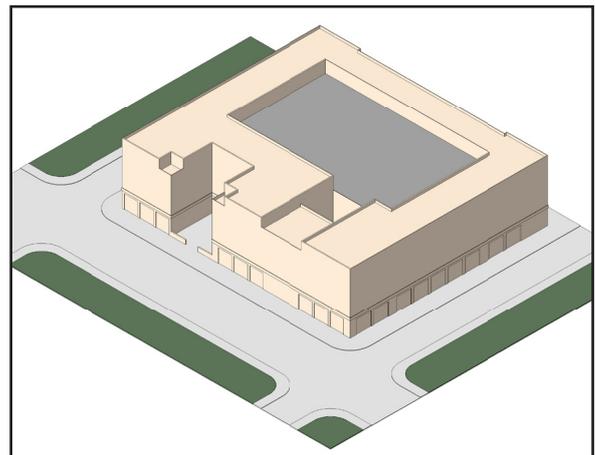
F. Frontage

1. Permissible Frontage Types are: Stoop, Dooryard, Forecourt, Shopfront, Chinatown Shopfront, Raised Shopfront (as necessary for flood protection), Terrace Front, Gallery and Arcade.

G. Building Massing

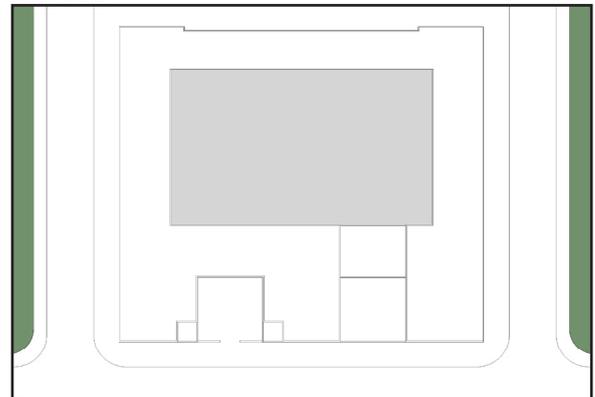
1. Front Facades shall have at least one encroaching element, such as porches, balconies, or a plane break that cumulatively occupy at least 10% of the facade.

AXONOMETRIC VIEW



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PLAN VIEW



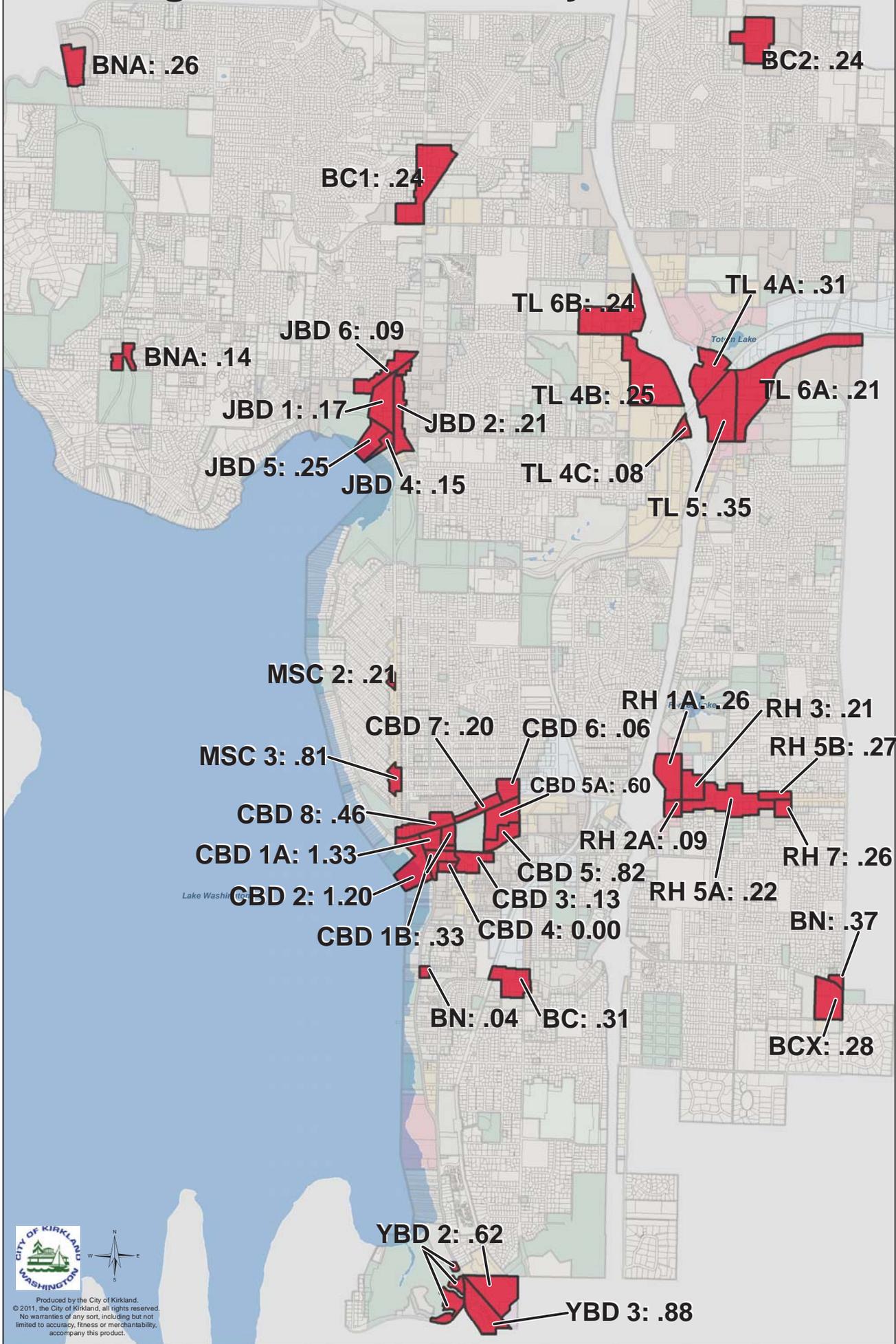
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2. Maximum floor plate ratios shall be as follows:

Table BT.9-1

Stories	Ratio of Each Story Allowed					
	2nd + 3rd	4th Story	5th Story	6th Story	7-8 Stories	9+ Stories
2-3	100%	-	-	-	-	-
4-5	100%	100%	75%	-	-	-
6	100%	100%	Max Ratio for 5th story and above shall average 65%		-	-
7	100%	100%	Max Ratio for 5th story and above shall average 60%		-	-
8	100%	100%	Max Ratio for 5th story and above shall average 58%		-	-
9 +	100%	100%	Max Ratio for 5th story and above shall average 53%		-	-

Existing Floor Area Ratio by Zone



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Jeremy McMahan

From: Uwkkg@aol.com
Sent: Friday, February 24, 2012 10:41 AM
To: Andrew Held; Byron Katsuyama; C Ray Allshouse; Eric Shields; George Pressley; Glenn Peterson; Jay Arnold; Jon Pascal; Karen Tennyson; Mike Miller; Paul Stewart; Jeremy McMahan
Cc: uwkkg@aol.com; neighboringproperties@gmail.com
Subject: BN Discussion last night

Hi all:

First... thank you for the thoughtfulness with which you carefully worked last night.

Second, in spite of the fact that you were working really hard ... and were extremely thoughtful in your discussion... well... I agree with Atis that you mostly moved in a direction opposite of the goal of making the Lake Street BN fit within the neighborhood and achieve the CP description of 1) least intense type of commercial, 2) Residential Mkt definition, 3) Comp Plan info specific to the site and problems with ingress and egress at 10th and Lake St S so the commercial development needed to be "LIMITED."

(A cap at 3 floors and no submerged building...were bright spots... and there were others...).

1) Why was lot coverage not given more consideration by the commission. How will a building that is 33% larger than the maximum build out of the surrounding sites not remain incompatible re: size and scale?

2) Why are you removing the density cap? While the city initially believed these caps have been removed, they have been unable to provide that documentation. Since our city direction of Ordinances is that they are local laws and can only be changed by a later ordinance... Therefore without some ordinance after 1977 and 1979 the cap on this density is currently 1 unit for the parcel or a maximum of 18/acre if 10% of the project. That information is on file and available.

There is likely neighbor support for an increase in the density on the BN parcel(s) to that of surrounding properties, if the lot coverage is not 33% bigger (and is only 60%) But the support goes away if it is a spot rezone completely different than all the other properties that were down-zoned by the same ordinances (and for the same reasons).

NOTE: Density does matter... it matters a bunch (not just re: traffic)
 If the density within a building didn't matter then why do we assign densities at all?
 If density within a structure doesn't make a difference why do residential properties have caps?

The fact is this... There are numerous negative impacts due to density... loss of privacy, light, sound ... there hundreds of consequences of density. We will provide a list of density impacts if that would be helpful.

The neighborhood will continue to argue before the commission, the council and the growth management board, etc (if necessary) that:

- 1) Uncapped density is not consistent with the lowest intensity use commercial designation, Res Mkt
- 2) Removing the density cap on that property without adjusting the other properties that were lowered in density by the same ordinances would be spot zoning (if the city is no longer worried about the impact of higher density along Lake St/LWB then their change of position needs to treat all in the same manner).
- 3) We will argue that providing a building footprint that is 33% bigger than maximum build out of any property within blocks cannot possibly achieve "A VERY SMALL MIXED USE BUILDING or be compatible.

Thanks for taking the time with this email.

Thank you for really thinking through the BNA zones (I know they'll appreciate that).

Please take more time to make sure you are moving in the direction of bringing the zoning of BN-Residential Market more in line with the small, low intensity prescribed in the Comp Plan rather than the opposite direction.

P.S. Eric and Jeremy, the commission often looks to you for guidance ... it is expected that since the city council members stated that 1) They felt that unlimited density was not intended , and 2) "sometimes you just know something is terribly wrong" we look to you to be the bridge between the two organizations. I believe that the commissioners would

feel frustrated if they were so hard on BN properties only to have the council vote in opposition to the recommendation since it missed the KCC intention.

Thank you,
Karen Levenson

Jeremy McMahan

From: Uwkkkg@aol.com
Sent: Friday, February 24, 2012 12:54 PM
To: Uwkkkg@aol.com; Andrew Held; Byron Katsuyama; C Ray Allshouse; Eric Shields; George Pressley; Glenn Peterson; Jay Arnold; Jon Pascal; Karen Tennyson; Mike Miller; Paul Stewart; Jeremy McMahan
Cc: neighboringproperties@gmail.com; uwkkkg@aol.com
Subject: BN - Residential Mkt - Evidence shows a tight density cap is in place

Eric and Jeremy (et al):

To date the most recent Ordinance to have dictated density at the BN Lake St site shows a very very restrictive density.

Since the Ordinances are cited by Kirkland as being the most binding of Council actions and only changeable by another ordinance, we've been asking to see any ordinance that was later passed to remove the cap.

We have now had this request before you, your staff and public records for nearly 6 months and have had the assistance of City Council members trying to help us get the information.

This leads me to believe that if it hasn't surfaced by now it doesn't exist.

That being said, the density cap on BN at Lake St S would be what is in the ordinance at 1 dwelling for the property or 18 per acre if it is less than 10% of the project.

Unless you suddenly find an ordinance after these 6 months, this is pretty much where we are currently...

Pls advise if something suddenly surfaces.

Thanks,
Karen Levenson

Jeremy McMahan

From: Eric Shields
Sent: Monday, February 27, 2012 8:18 AM
To: Jeremy McMahan
Subject: FW: From: J Danforth @ Shumway To: J Arnold & KPC

Eric Shields

From: LetterToKPC@aol.com [<mailto:LetterToKPC@aol.com>]
Sent: Saturday, February 25, 2012 5:04 PM
To: LetterToKPC@aol.com; Andrew Held; Byron Katsuyama; C Ray Allshouse; Eric Shields; George Pressley; Glenn Peterson; Jay Arnold; Jon Pascal; Karen Tennyson; Mike Miller; Tennysonkk@aol.com
Subject: Re: From: J Danforth @ Shumway To: J Arnold & KPC

Apologies...

The comment meant to be that the density seems very HIGH and the unit size seems very SMALL.

In a message dated 2/25/2012 7:55:30 P.M. Eastern Standard Time, LetterToKPC@aol.com writes:

From: Jack Danforth [<mailto:jackdanforth@gmail.com>]
Sent: Wednesday, April 13, 2011 9:32 AM
To: Teresa Swan
Subject: Proposed Residential Development

Hi Teresa

I am a member of the Board of Shumway and have become aware of the possibility of a large residential development on the Michaels Dry Cleaner lot. The proposed density seems very low and the units size, as explained to me, is very small, suggesting that this will adversely impact the nature and character of our core downtown neighborhood. I would urge you to reconsider your support of this development!

Secondly, as a past Board member of the Kirkland Performance Center, I would also observe that adding a high density apartment complex so near KPC would greatly strain an already stressed parking situation!

Thanks Jack

--
 Jack Danforth

219 5th Ave. S. Apt. F102
Kirkland, WA 98033
Phone: [425-576-9967](tel:425-576-9967)

Jeremy McMahan

From: Eric Shields
Sent: Monday, February 27, 2012 8:21 AM
To: Jeremy McMahan
Subject: FW: J Arnold & KPC - Sammamish BN Density 8 units/acre FAR 1/1
Attachments: SAMMAM~1.PDF

Eric Shields

From: LetterToKPC@aol.com [<mailto:LetterToKPC@aol.com>]
Sent: Saturday, February 25, 2012 6:03 PM
To: Andrew Held; Byron Katsuyama; C Ray Allshouse; Eric Shields; George Pressley; Glenn Peterson; Jay Arnold; Jon Pascal; Karen Tennyson; Mike Miller; Tennysonkk@aol.com
Subject: To: J Arnold & KPC - Sammamish BN Density 8 units/acre FAR 1/1

City of Sammamish Neighborhood Business zones maximum density 8 units/acre FAR 1/1

code publishing inc Search Bookmark Text S

Samamish Municipal Code

- + e 9 CRIMINAL CODE
- + e 10 DOMESTIC VIOLENCE
- + e 11 ANIMAL CONTROL
- + e 12 PUBLIC PEACE, MORALS, AND WELFARE
- + e 13 SURFACE WATER MANAGEMENT
- + e 14 PUBLIC WORKS AND TRANSPORTATION
- + e 14A PUBLIC FACILITIES
- + e 15 ENVIRONMENT
- + e 16 BUILDINGS AND CONSTRUCTION
- + e 17 FIRE
- e 18 (Reserved)
- e 19 SUBDIVISIONS
- + e 19A LAND DIVISION
- + e 20 ADMINISTRATIVE PROCEDURES/ENVIRONMENTAL POLICY
- + e 21 HISTORIC PRESERVATION
- + e 21A DEVELOPMENT CODE
- + e 21B TOWN CENTER DEVELOPMENT CODE
- + e 22 CRIMES AND INFRACTIONS – OTHER
- + e 23 CIVIL CODE COMPLIANCE
- + e 24 INTERIM COMPREHENSIVE PLAN
- + e 25 SHORELINE MANAGEMENT
- + e 26 RESTRAINING ORDERS AND TOBACCO
- e 27 (Reserved)

21A.25.040 Densities and dimensions – Commercial zones. A. Commercial Zones.

	Z O N E S	COMMERCIAL	
		NEIGHBORHOOD BUSINESS	COMMUNITY BUSINESS
STANDARDS		NB	CB
Maximum Density DU/Acre		8 du/ac (1)	18 du/ac (1)
Minimum Lot Area			
Maximum Lot Depth/Width Ratio			10 ft
Minimum Street Setback		10 ft (2)	10 ft (2)
Minimum Interior Setback (4)		20 ft (5)	20 ft (5)
Base Height (7)		35 ft 45 ft (3)	35 ft 60 ft (3)
Maximum Floor/Lot Ratio: Square Feet		1/1 (6)	1.5/1 (6)

Jeremy McMahan

From: Eric Shields
Sent: Monday, February 27, 2012 8:20 AM
To: Teresa Swan; Jeremy McMahan
Subject: FW: From: R Herberger To: J Arnold & KPC

Eric Shields

From: LetterToKPC@aol.com [<mailto:LetterToKPC@aol.com>]
Sent: Saturday, February 25, 2012 5:08 PM
To: Andrew Held; Byron Katsuyama; C Ray Allshouse; Eric Shields; George Pressley; Glenn Peterson; Jay Arnold; Jon Pascal; Karen Tennyson; Mike Miller; Tennysonkk@aol.com
Subject: From: R Herberger To: J Arnold & KPC

Robin Herberger, 6401 Lake Washington Blvd., NE, #403, Kirkland, WA 98033
 425-828-9668, Mediaworks1@frontier.com

I live about three blocks from the proposed Potala Village site, and will be directly, adversely and irrevocably impacted by this major construction proposal that is before you and the City of Kirkland, if it is approved.

To me, the significant impacts of this proposal would seem obvious to anyone without a vested economic interest in its being imposed on our community.

It is my contention that the proposed, 143-unit, 316-stall parking garage, 5-story complex called Potala Village does not provide “the widest range of beneficial uses of the environment without degradation.”

- *Height, bulk and scale*
 - The proposed design is, obviously, monstrously out-of-scale with the surrounding area. It is an out-of-place behemoth.
 - I’m sure others can offer valuable comments with professional, architectural expertise. But sometimes, you just have to take a step back, look at what’s in front of you, tap into your common sense and say, “This just doesn’t make sense.”
- *Residential density*
 - The parcel of land of the proposed site is zoned “Neighborhood Business (NB), which is to accommodate 12 to 14 units per acre. The proposal for Potala Village is 100 units per acre, or almost 9 times the allowable density.
 - Creating 143 new households on this relatively small amount of land in an already well-populated area is radically out of proportion and will significantly impact the quality of life for existing residents.
 - The Growth Management Act always gets thrown in the faces of opponents to every proposed new development. But the key to me is the word “management.” I understand Kirkland is going to grow, but the point of the GMA is to manage it. Sometimes it feels like cities are in league with developers, and use the GMA as a battering ram to destroy legitimate objections and hand over the keys to the city, no matter the reasonable objections.

- *Traffic and parking*
 - The environment will be degraded significantly from the impacts of all those additional cars, including emissions.
 - Such a sudden increase in traffic imposes increased hazard risks to motorists and pedestrians, alike.
 - The entrance and exit for the Potala Village garage are both on Lake Street, which imposes a major new impediment to traffic flow, and increasing the likelihood of more collisions.
 - Potala Village, which proposes office space as well as residential, will cause a significant scramble for street parking, since the garage will in all probability not be able to accommodate all residents and their visitors, and office workers and visitors.

Please listen to the people. Listen to the community. We care about our city. We respect it as our home and as a beautiful environment to share with all who come here.

I hope that in the end, the wishes of the people of Kirkland outweigh the greed of outside developers who want to make a quick buck at our expense. Just because they can, doesn't mean they should.

Please find a way to minimize the impact of the proposed Potala Village. If the City is determined to approve construction, please significantly decrease the number of rental units allowable – 143 is beyond any reasonable proportion for the size and location of the site.

This is a financial investment opportunity for Lobsang Dargey. He does not have to live with the **undesirable and unintended consequences** of his action. We do.

I hope the City of Kirkland says "NO" to the Village of Potala as proposed.

Thank you for the opportunity to offer my comments.

Sincerely,

Robin Herberger

Jeremy McMahan

From: Eric Shields
Sent: Monday, February 27, 2012 8:24 AM
To: Jeremy McMahan
Subject: FW: To: J Arnold & KPC

Eric Shields

From: LetterToKPC@aol.com [<mailto:LetterToKPC@aol.com>]
Sent: Monday, February 27, 2012 6:39 AM
To: Andrew Held; Byron Katsuyama; C Ray Allshouse; Eric Shields; George Pressley; Glenn Peterson; Jay Arnold; Jon Pascal; Karen Tennyson; Mike Miller; Tennysonkk@aol.com
Subject: Re: To: J Arnold & KPC

How are you making sure to meet the criteria

- 1) Very Small Mixed Use Building/Ctr - You cannot meet that without reducing lot coverag
- 2) Retail and Services serving neighborhood - If you don't require 50% of retail/svc, it will become apartments
- 3) Density does matter.
If you allow density you get a bigger building, period... This is contrary to "Residential Market"
Also:
 - a) More residential units will mean more noise from TVs, Stereos, fans, Air Conditioning units, etc
 - b) More residential units bring more windows facing neighbor properties and more loss of privacy as it becomes harder to stagger the windows and they end up looking into the neighbor windows, backyards and porches (Visual tresspass)
 - c) More residential units bring more windows and light spilling into the neighbor properties, robbing of the enjoyment of the night sky and washing out any remaining public views of the water or mountains on the horizon. (Light Tresspass)

Jeremy McMahan

From: Eric Shields
Sent: Monday, February 27, 2012 8:22 AM
To: Jeremy McMahan
Subject: FW: From: C&S Sibert To: J Arnold & KPC

Eric Shields

From: LetterToKPC@aol.com [<mailto:LetterToKPC@aol.com>]
Sent: Sunday, February 26, 2012 7:33 AM
To: Andrew Held; Byron Katsuyama; C Ray Allshouse; Eric Shields; George Pressley; Glenn Peterson; Jay Arnold; Jon Pascal; Karen Tennyson; Mike Miller; Tennysonkk@aol.com
Subject: Re: From: C&S Sibert To: J Arnold & KPC

Sending text... For some the transmission of the scanned letter may have failed:

=====

Casey and Sam Sibert
6610 Lake Washington Blvd NE
Kirkland 98033

City of Kirkland
Planning Department
c/o Teresa Swan

Dear Ms Swan,

Please accept this letter as a notice of concern regarding the development of parcels #082505-9233, 935490-0220 and 935490-0240. These are the parcels that are currently being proposed for 143 apartment units known as Potala Village. The surrounding Moss Bay and Lakeview neighborhoods have clearly restricted residential to 12 units per acre and the Moss Bay neighborhood plan describes “**Lands on the east side of Lake Washington Boulevard, south of 7th Avenue South and west of the midblock between First and Second Streets South, are also appropriate for multifamily uses at a density of 12 dwelling units per acre. This designation is consistent with permitted densities to the north and south along Lake Washington Boulevard.**”

We are usually supporters of growth and wish to see the city of Kirkland thriving and looking toward the future. We cannot, however, support growth that negatively impacts the quality of life that brings new business and residents to the community. The proposed development is simply too dense for its location along Lake Washington Blvd, a street that is already at capacity with regard to traffic. The addition of a possible 300 cars entering and leaving this property is not tolerable. The very atmosphere that attracts people to Kirkland is at risk if our park like boulevard must absorb so many new residents in so small a space.

Thank you

Casey & Sam Sibert

Jeremy McMahan

From: Eric Shields
Sent: Monday, February 27, 2012 8:23 AM
To: Teresa Swan; Jeremy McMahan
Subject: FW: From:Arlyn & Sharon Nelson To:J Arnold & KPC

Eric Shields

From: LetterToKPC@aol.com [<mailto:LetterToKPC@aol.com>]
Sent: Monday, February 27, 2012 6:26 AM
To: Andrew Held; Byron Katsuyama; C Ray Allshouse; Eric Shields; George Pressley; Glenn Peterson; Jay Arnold; Jon Pascal; Karen Tennyson; Mike Miller; Tennysonkk@aol.com
Subject: From:Arlyn & Sharon Nelson To:J Arnold & KPC

From: Sharon Nelson [<mailto:sharonjnelson@comcast.net>]

To whom it may concern:

Please consider this as our Formal Request to be a Parties of Record for the development (Potala Village – or any future name) – Parcels #082505-9233, 935490-0220 and 935490-0240.

Our concerns are with regard to (1) Comprehensive Plan, (2) Zoning, (3) Shoreline Master Plan, (4) SEPA, (5) Design Review, (6) Public Process and (7) Legal Ramifications:.

- **COMPREHENSIVE PLAN (Density):** The proposed project is not in line with the surrounding neighborhood of low/medium density residential and single family.
- **ZONING:** The site is the only site in the surrounding residential neighborhood zoned (BN) Commercial, not High Density Residential. 143 residential units on a parcel this size is high density.
- **SHORELINE MASTER PLAN:** Design Review. Mass, scale, density, view corridors, terracing. 600sf+ retail partially below grade??
- **SEPA:** Traffic Congestion & Parking for Lake Street AND 10th: 143 Units, some with 2 cars, most with guest requirements, particularly during summer. Since it appears that 10th is now the access for emergency vehicles and this is not a wide enough street to accommodate the potential parking issues and traffic, this is of great concern for public safety on all counts.
- **DESIGN REVIEW:** Mass, scale, density, view corridors, terracing. 600sf+ retail partially below grade?
- **PUBLIC PROCESS:**
- **LEGAL:** What are the legal ramifications of one mega building on parcels with different owners? Project should be hugely scaled back and broken in to a minimum of two buildings on separate parcels.

Sincerely,
 Arlyn & Sharon Nelson
 6736 Lake Washington Blvd NE #8
 Kirkland, WA 98033

[Arlyn Nelson 206.718.3612](tel:206.718.3612)

Arlyn.nelson@comcast.net

Sharon Nelson 425.260.3500
sharonjnelson@comcast.net