

**CITY OF KIRKLAND**

Planning and Community Development Department  
123 Fifth Avenue, Kirkland, WA 98033 (425) 587-3225  
[www.ci.kirkland.wa.us](http://www.ci.kirkland.wa.us)

**CITY OF KIRKLAND  
NOTICE OF DECISION****DECEMBER 15, 2010**

**Permit application:** Parkplace Mixed Use Project, File No. DRC09-00002

**Location:** 457 Central Way

**Applicant:** Touchstone Corporation

**Project description:** Design Response Conference for redevelopment of Parkplace Center. Mixed use project including 7 buildings up to 8 stories high and containing approximately 1.8 million sq ft of office, retail, hotel, sports club & supermarket. Also including public open space and parking in below-grade parking garage. Existing buildings will be removed. The City's Planning Director shall review the project to determine whether it meets the criteria as a Planned Action in accordance with the State Environmental Policy Act.

This project was approved with conditions by the Design Review Board on December 13, 2010.

Affected property owners may request a change in valuation for property tax purposes notwithstanding any program of revaluation.

**HOW TO APPEAL:** *Only the applicant or those persons who previously submitted written or oral testimony or comments to the Design Review Board are entitled to appeal this decision. Only those persons who file an appeal, the applicant, and the Design Review Board Chair (or designee) may participate in the appeal hearing.* The appeal must be in the form of a letter of appeal and must be delivered, along with any fees set by ordinance, to the Planning Department by **5:00 pm, December 29, 2010**. For information about how to appeal, contact the Planning Department at (425) 587-3225. An appeal of this project decision would be heard by the City's Hearing Examiner.

For additional information on this project, please contact **Angela Ruggeri**, City of Kirkland Planning Department at [aruggeri@ci.kirkland.wa.us](mailto:aruggeri@ci.kirkland.wa.us) or (425) 587-3256. More information is also available at [http://www.ci.kirkland.wa.us/depart/Planning/DRB\\_Meeting\\_Information.htm](http://www.ci.kirkland.wa.us/depart/Planning/DRB_Meeting_Information.htm).



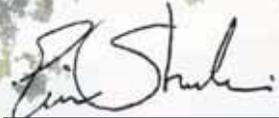
# KIRKLAND PARKPLACE MIXED USE DEVELOPMENT

Adopted by the City Council pursuant to  
Kirkland Municipal Code, O-4172.  
Updated December 16, 2008.

Attest:

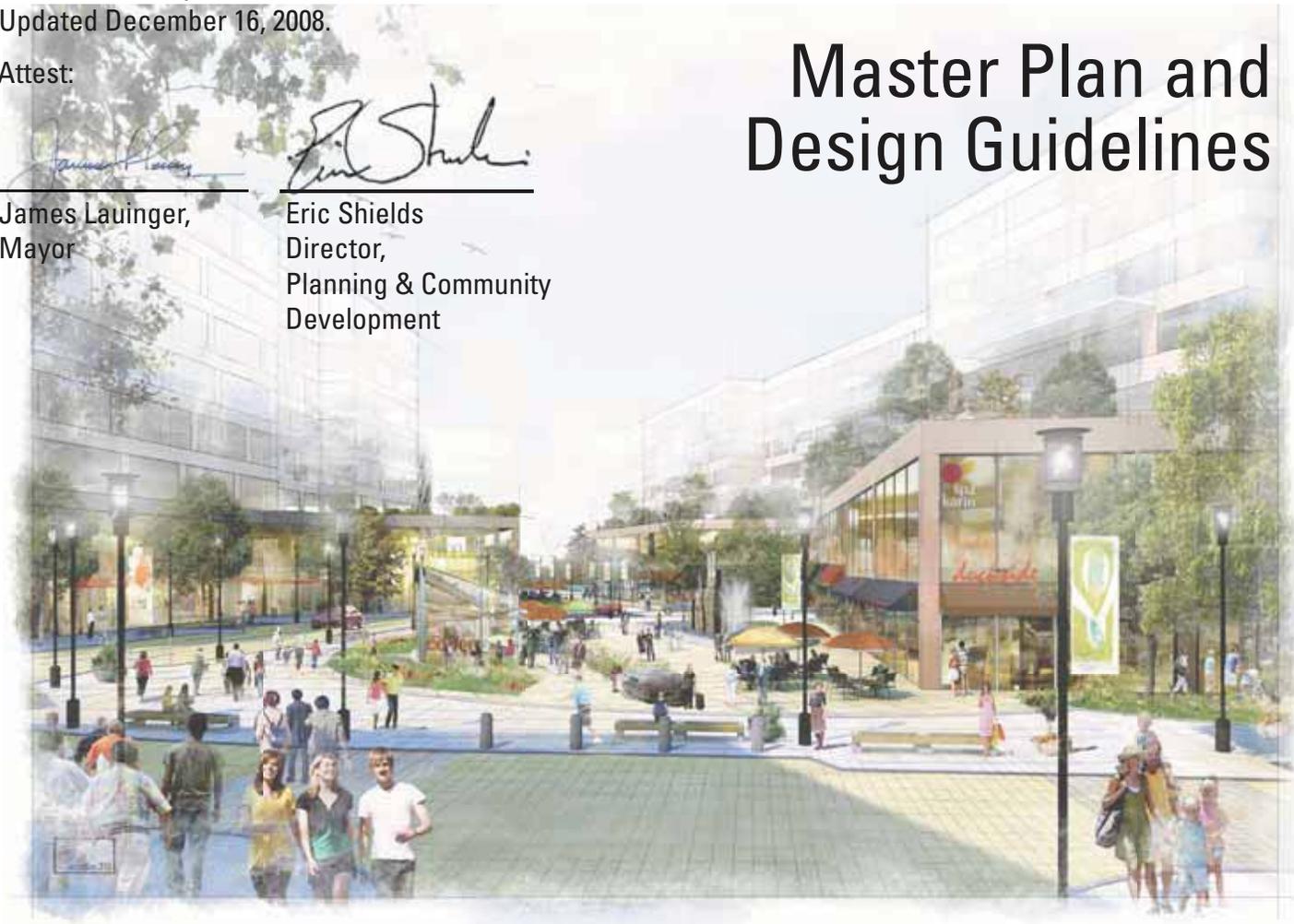


James Lauinger,  
Mayor



Eric Shields  
Director,  
Planning & Community  
Development

## Master Plan and Design Guidelines





### Master Plan Organization

This document is comprised of the following sections:

<b>POLICY OVERVIEW</b>	<ul style="list-style-type: none"> <li>1. Introduction</li> <li>2. Vision</li> <li>3. Application</li> <li>4. Determining Compliance</li> <li>5. Modifications</li> <li>6. Phasing</li> <li>7. Comprehensive Plan Design Direction</li> <li>8. Design Intent</li> </ul>
<b>DEVELOPMENT STANDARDS</b>	<ul style="list-style-type: none"> <li>9. Program Requirements</li> <li>10. Public Access and Amenities                             <ul style="list-style-type: none"> <li>a. Pedestrian Access</li> <li>b. Retail Frontages</li> <li>c. Activated Open Space</li> </ul> </li> <li>11. Street Classifications</li> </ul>
<b>DESIGN GUIDELINES</b>	<ul style="list-style-type: none"> <li>12. All District</li> <li>13. District Specific                             <ul style="list-style-type: none"> <li>a. Gateway</li> <li>b. Central Way</li> <li>c. Park Interface</li> <li>d. Central Retail Hub</li> </ul> </li> </ul>

## 1. INTRODUCTION

Located along Central Way and 6th Street, Kirkland Parkplace has the potential to offer many great amenities to Kirkland's downtown. The proposed mixed-use center includes approximately 1.75 million square feet of development consisting of retail, office, hotel and sports club that are, in effect, an extension of the existing downtown. Parkplace provides components that meet the City's Comprehensive Plan, East Core Frame (2004, 2008) as described below:

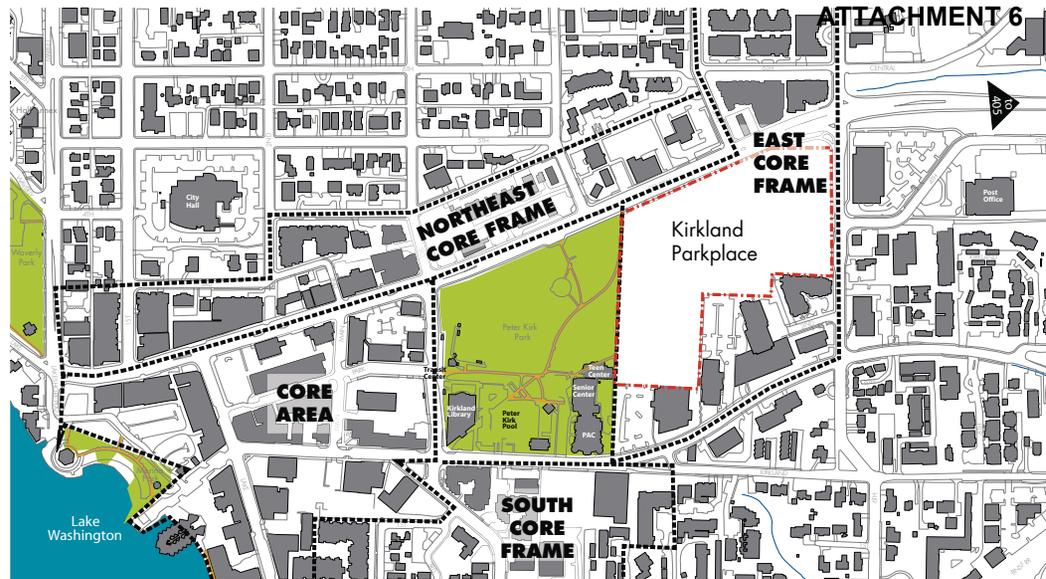
**CP Policy:** *Heights of up to eight stories are appropriate as an incentive to create a network of public open spaces around which is organized a dynamic retail destination.*

**Response:** Parkplace is an urban, open-air retail, restaurant, entertainment, office, hotel and sports club complex. (See page 7 for networks of open space, retail frontage and pedestrian connections.)

**CP Policy:** *Special attention to building design, size, and location should be provided at three key locations: at the intersection of Central Way and Sixth Street to define and enhance this important downtown gateway; along Central Way to respond to the context along the north side of street; and facing Peter Kirk Park to provide a transition in scale to downtown's central greenspace. Pedestrian connections to adjoining streets, Peter Kirk Park, and adjoining developments should be incorporated to facilitate the integration of the district into the neighborhood.*

**Response:** Specific design guidelines have been defined to encourage unique environments and experiences in each of these three locations.

**CP Policy:** *Because of the intensity of land use in 5A, the design of the buildings and site should incorporate aggressive sustainability measures, including low impact development measures, deconstruction, green buildings, and transportation demand management.*



**Response:** The compact development, pedestrian-friendly, mixed-use nature of the land use in 5A is fundamentally sustainable. It provides a live-work balance in downtown Kirkland and provides access to goods and services people need in proximity to where they live. Combined with a commitment to sustainable strategies in the design of the development, Kirkland Parkplace will significantly contribute to lowering carbon emissions and energy use relative to a suburban model of development.

## 2. VISION

Parkplace creates a new destination in Kirkland featuring tree lined streets, landscaped open spaces, offices overlooking public plazas, and a wide variety of shopping, dining, entertainment and recreation experiences. Parkplace's contemporary Northwest architecture evokes Kirkland and its environs with green design, appropriate massing, and orientation. Appropriate placement of trees, fountains, benches, street lamps, and decorative sidewalk treatments add a rich texture to Parkplace's plazas and streets.

The combination of pedestrian oriented streets, distinctive architecture, unique urban character, sensitive integration and progressive sustainable design strategies will make Kirkland Parkplace an attractive and valued gathering place for Kirkland's citizens for years to come.

**3. APPLICATION**

The Master Plan and Design Guidelines set forth in this document have been created to guide the development of Kirkland Parkplace to meet the intent of the vision for CBD-5A of the City of Kirkland. Compliance with this Master Plan and Design Guidelines document shall be required to allow increased height and reduced setbacks in exchange for providing a mixed-use center and public amenities. These Standards and Guidelines are to be used in addition to the standard zoning regulations for CBD-5A. These Standards and Guidelines are supplemental, not a substitution, to the City of Kirkland Municipal Code and its supporting documents.

**4. REVIEW PROCESS: DETERMINING COMPLIANCE**

This document establishes performance criteria and provides recommendations for achieving specific design objectives. Compliance with the Master Plan including: general standards, general public amenity and access locations and street dimensional requirements shall be determined by administrative review. Compliance and consistency with the Design Guidelines shall be determined by the Design Review Board in a Design Response conference, (refer to DRB process KMC 142.35.9). In the DRB’s review of the project, the Board shall respect the requirements and commitments established in this Master Plan.

Section	Review Process
Development Standards <ul style="list-style-type: none"> <li>• Program Requirements (Item 9)</li> <li>• Public Amenities and Access (Item 10)</li> <li>• Street Classifications (Item 11)</li> </ul>	Planning Official
Design Guidelines <ul style="list-style-type: none"> <li>• All Districts (Item 12)</li> <li>• District Specific (Item 13)</li> </ul>	Design Review Board

**ATTACHMENT 6**

**5. MODIFICATIONS**

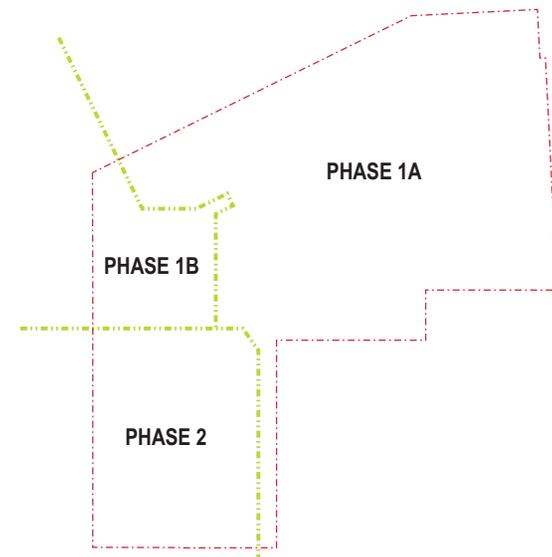
A major modification to the Master Plan is any proposal that would result in a change that would substantially alter the Plan’s proposed development such as: decrease in open space quantity, changes to locations of primary access/pedestrian streets, or changes in allowed use. Major modifications to the Master Plan shall require a staff review for consistency with the Comprehensive Plan and City Council Approval, (refer to KMC 3.30.040).

A minor modification to the Master Plan is any proposal that would result in a change that would not substantially alter the Plan’s proposed development such as: façade treatments, street design variation, character/design detail of public spaces, or minor variations in design of sidewalks, pathways, lighting and landscaping. The Design Review Board may grant a design departure or minor variation only if it finds that both of the following requirements are met:

- the variation is consistent with the intent of the guideline and results in superior design.
- the departure will not result in any substantial detrimental effect on nearby properties or the neighborhood.

**6. PHASING**

This development shall be staged in two major phases (1 and 2) with two minor stages in phase one (1A and 1B).



## 8. DESIGN INTENT

This Master Plan and Design Guidelines document was created using the identified 8 Guiding Principles for the project which were derived from input from the City staff, the Design Review Board, Planning Commission, various community groups and the residents of Kirkland.

### GUIDING PRINCIPLES OF INTENT

1. Emotional Ownership by the Community
  - Incorporate the project into the story of Kirkland
  - Enable meaningful community exchanges
  - Inspire unique experiences and discoveries
  - Promote the coalescence of Community, Culture and Commerce
  - Provide a ‘transforming experience’ vs. a ‘transaction experience’
  - Include neighborhood retail
2. Site Planning “Connections”
  - Include public spaces such as plazas
  - Create clear vehicular access and parking
  - Create strong emphasis on the streetscape
  - Support active public spaces
  - Provide clear and inviting public access
3. Places for People
  - Create easily accessible public spaces
  - Develop spaces that vary in size and offer choices for all ages
  - Provide safety and comfort
  - Integrate into the social life of downtown Kirkland
4. Enhance the Pedestrian Environment
  - Promote Walkability: network of internal and external pedestrian connections
  - Create visual interest for along the street
  - Incorporate rich variety of materials
  - Provide and enhance pedestrian circulation and retail continuity
5. Integrate Vehicular Access and Parking
  - Minimize the visual presence of parked cars
  - Allow parking to be utilized during nights/weekends for benefit of community and downtown
6. A Mix of Uses = A mix of Building Types
  - Create a variety of building types, scales, and materials
  - Express a three-dimensional quality to the public spaces
7. Appropriate Massing and Scale
  - Create pedestrian spaces with access to sun
  - Address surrounding edges
  - Consider scale, massing, and detail of individual buildings
  - Express human-scale, detailed street level building façades
8. Sustainability
  - Establish macro-scale/site sustainable strategies
  - Pursue building specific sustainable strategies
  - Encourage tenant-specific sustainable strategies

9. Program Requirements

- A. Pedestrian Space:
 

The development will include a variety of public open spaces that vary in size and character. A minimum of 10%, or 50,000 of the site shall be activated pedestrian-oriented space, in the form of courtyards, plazas, winter atrium, etc. See diagram (pg 7) for approximate locations and dimensional requirements of specific spaces. Definition of appropriate design treatments are found in the district specific design guidelines.
- B. Arts Commitment:
 

In an effort to encourage integrated art into the project, Parkplace is working in collaboration with representatives from the cultural council and local art community and will identify and create opportunities to integrate art into the project.
- C. Green Building Commitment:
  - 1. The following requirements will apply to the Kirkland Parkplace project:
    - a. All office buildings will be designed to achieve a LEED-CS Gold threshold. A USGBC LEED Pre-Certification application showing points meeting LEED-CS Gold will be included with permit submittals to show which points will be pursued.
    - b. The hotel will be designed to a LEED-CS Certified or LEED-NC Certified threshold, or to meet the sustainability program of the hotel operator.
    - c. The applicant shall encourage all potential tenants for Kirkland Parkplace to pursue LEED-CI. To accomplish this, the applicant will create and distribute to tenants a set of Tenant Design Guidelines to show strategies tenants can use to achieve LEED-CI certification. These Tenant Design Guidelines will be made available to the City of Kirkland to inform their ongoing sustainability programs.
    - d. At the end of all tenant build-outs on the office, the applicant will prepare an executive summary for the City of Kirkland, outlining what sustainability measures were incorporated in the tenant build-outs (unless otherwise restricted by tenant confidentiality).
    - e. In addition, the applicant will strive to make design choices in its Core and Shell buildings that are conducive to the achievement of LEED-CI by tenants.

- 2. In the interest of promoting a holistic sustainability approach, The applicant will strive to integrate site-specific strategies identified as focus areas, such as:
  - a. Energy efficiency strategies, like centralized cooling options and heat recovery.
  - b. Low Impact Development (LID) strategies like stormwater planters, vegetated roofs, and bioswales.
  - c. Materials and Resource strategies, like recycled materials, regional materials, and FSC certified wood.
- D. Community Serving Retail and Services:
 

Include neighborhood serving retail and services such as: grocery, childcare, bookstore, drugstore, dry cleaner, movie theatre, barbershop, shoe repair, etc.



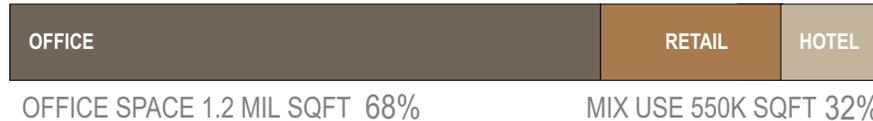
SITE AREA BREAKDOWN



OPEN SPACE BREAKDOWN



BUILDING GROSS SQUARE FOOTAGE BREAKDOWN



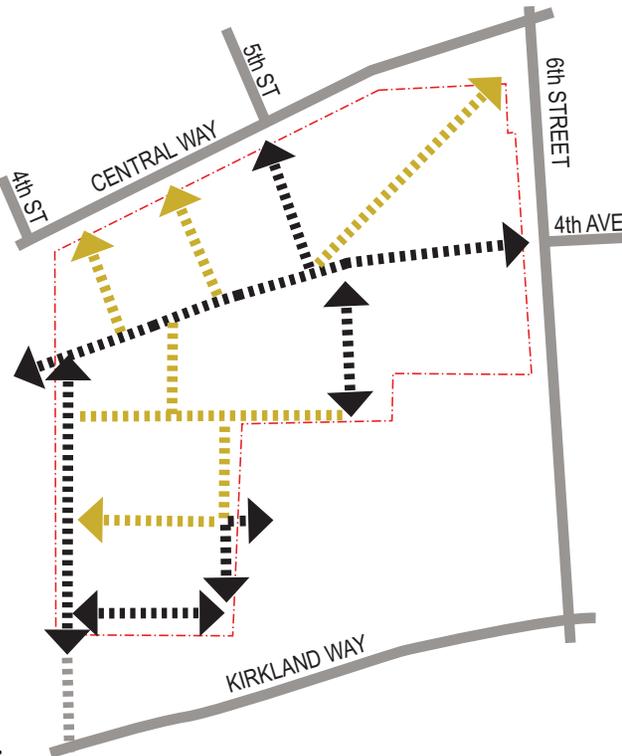
# 10. PUBLIC AMENITIES AND ACCESS

## PEDESTRIAN CONNECTIONS

*Intent: To create a network of identifiable linkages into and through the project site for pedestrians.*

The diagram below shows approximate pedestrian connections. Darker lines indicate primary connections required by the Comprehensive Plan. Lighter lines show secondary pedestrian connections linking to existing and proposed streets as well as Peter Kirk Park. These connections are for public use.

-  primary pedestrian connections
-  secondary pedestrian connections

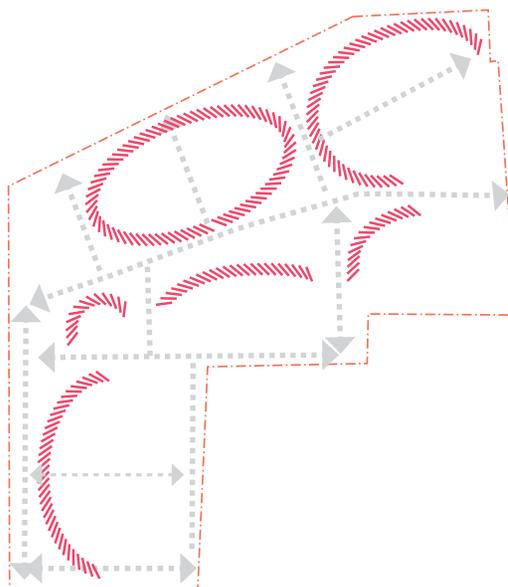


## RETAIL/RESTAURANT FRONTAGE

*Intent: To encourage and contribute to the liveliness and activation of pedestrian-oriented streets and spaces by providing retail and activating uses at the ground level.*

Predominant retail uses including shops, restaurants, grocery, and a movie theatre are required along pedestrian-oriented streets and public spaces. Additional activating uses are encouraged on the ground level throughout the development where feasible.

 retail/restaurant frontage



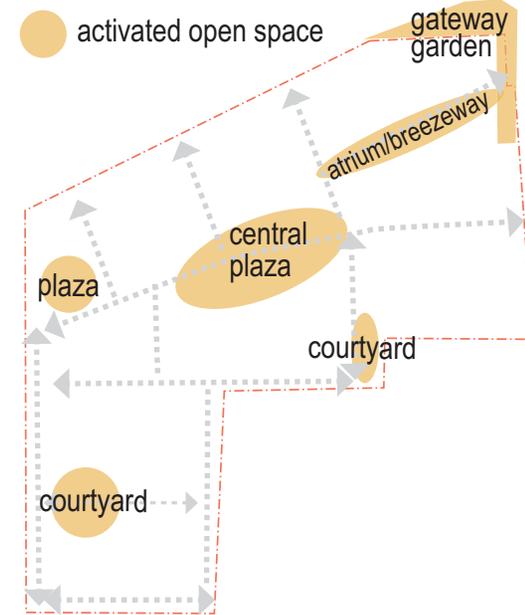
## PEDESTRIAN SPACE

*Intent: To provide a functional and diverse pedestrian environment by creating a variety of usable pedestrian open spaces.*

The following types of public/ pedestrian space are to be provided at a minimum of 10% of the total lot area, or 50,000 sf\*. Locations are approximate and not limited to those shown on the diagram below.\*

- central plaza:** shall have a minimum area of 15,000 square feet with a minimum average width of 70 feet
- courtyard/plaza:** shall have a minimum area of 2,500 square feet each
- atrium/breezeway:** shall have a minimum 35 foot wide separation between office floor plates
- roof top terraces:** shall provide a minimum of 10,000 sf total of publicly accessible rooftop terraces in one or more locations

\*See district specific guidelines for design parameters of public space (ex. central plaza, pg 27).



### 11. STREET CLASSIFICATION

*Intent: To create a street and sidewalk network that responds to the existing Kirkland grid pattern, creates a pedestrian oriented environment and allows direct interaction with Peter Kirk Park.*

**Adjacent Street Improvements**

- Central Way
- 6th Street

**Access Streets**

- A.1 Central and 5th Street Connection
- A.2 6th Street and 4th Avenue Connection
- A.3 6th Street access to service alley (minor)
- A.4 Central Way and 4th Street Connection

**Pedestrian Streets**

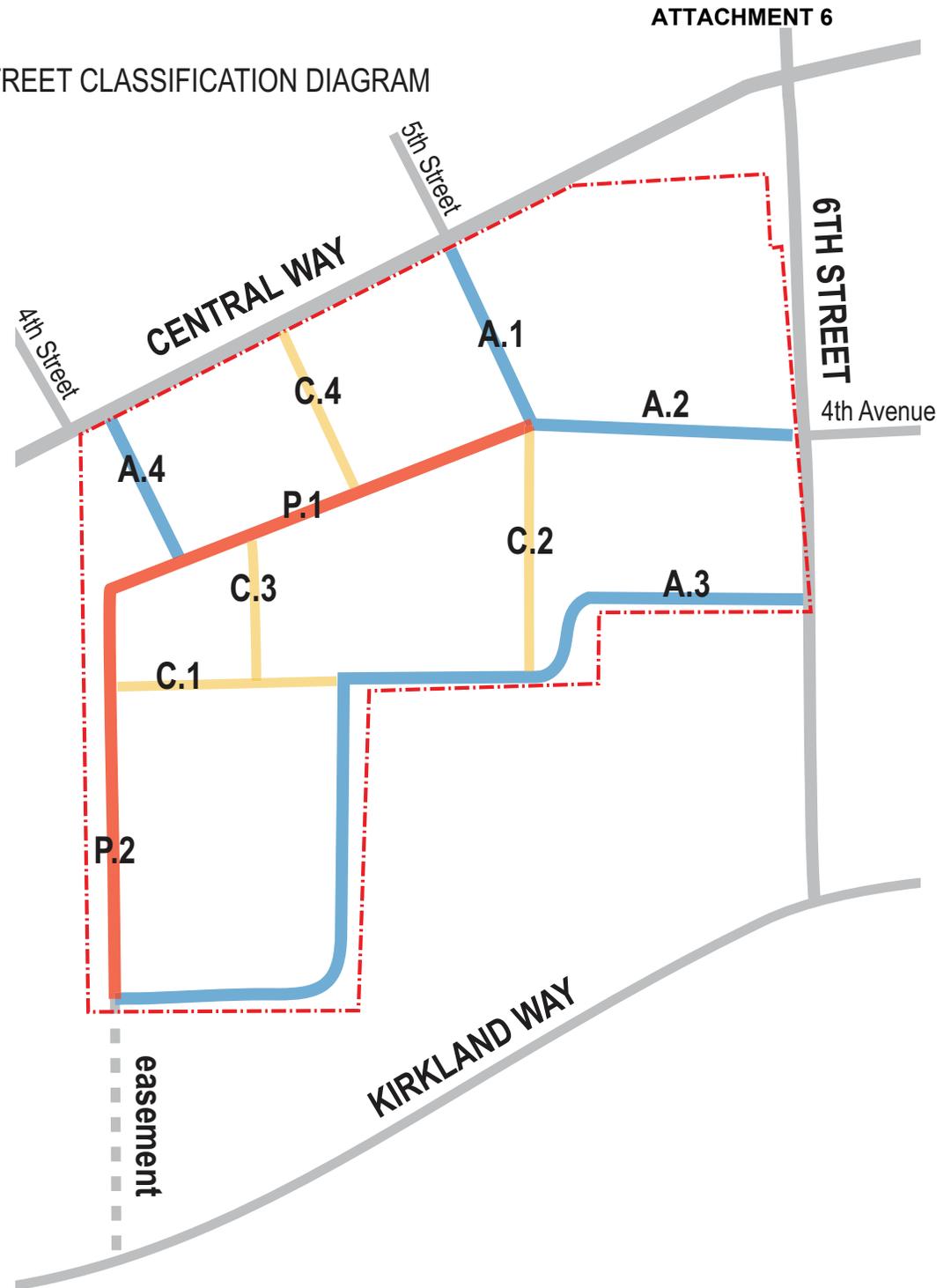
- P.1 Main Street
- P.2 Park Promenade

**Secondary Connections**

- C.1 Service Alley/Park Promenade
- C.2 Service Alley /Main Street Connection
- C.3 Main Street/C.1 Connection (ped only)
- C.4 Central Way Mid-Block Connection (right in, right out)

The following street classifications and diagrams represent the various types of streets anticipated in the project. Final location and classification of streets may be adjusted in the final design to include such design techniques as: tight turning radii to calm traffic, curb bulb outs, textured crossings, etc. Access shall be in compliance with city codes and policies for public improvements and emergency access.

STREET CLASSIFICATION DIAGRAM

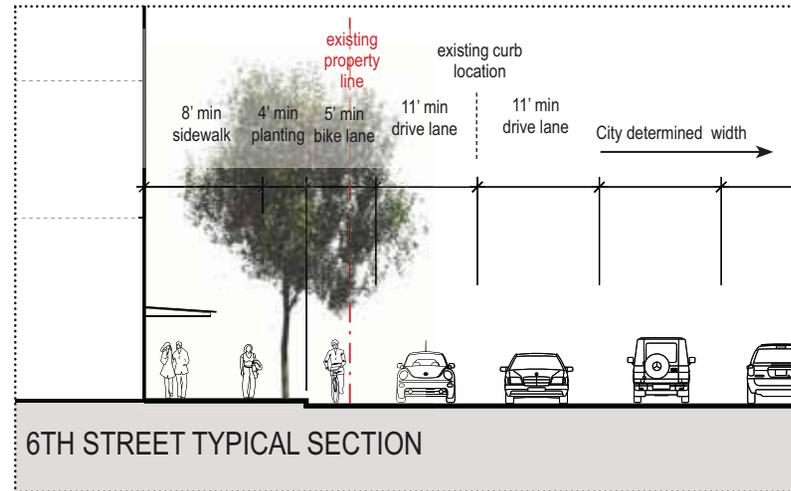
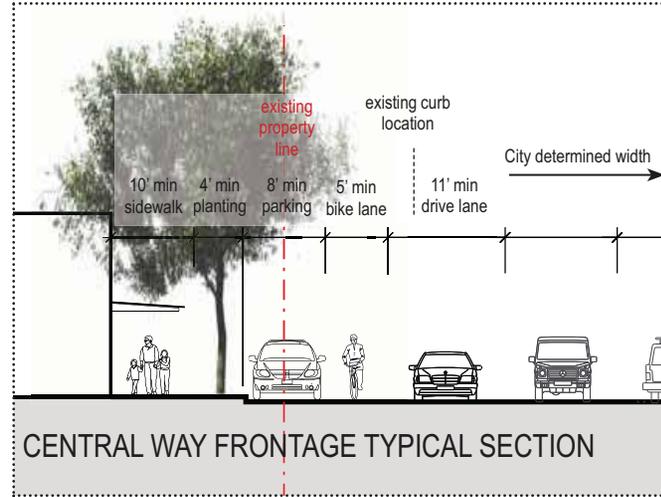
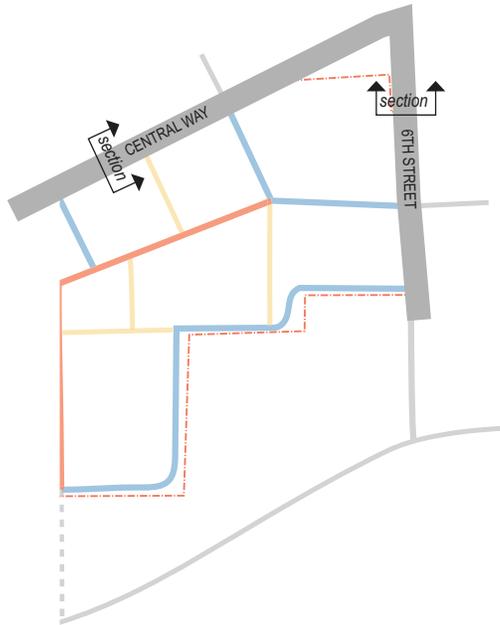


# 11. STREET CLASSIFICATION

## Adjacent Street Improvements

Central Way  
6th Street

Street classifications are meant to be typical sections of the roadway. Slight variations may be necessary to accommodate driveways, varied landscaping techniques, street furniture, structural constraints, etc.

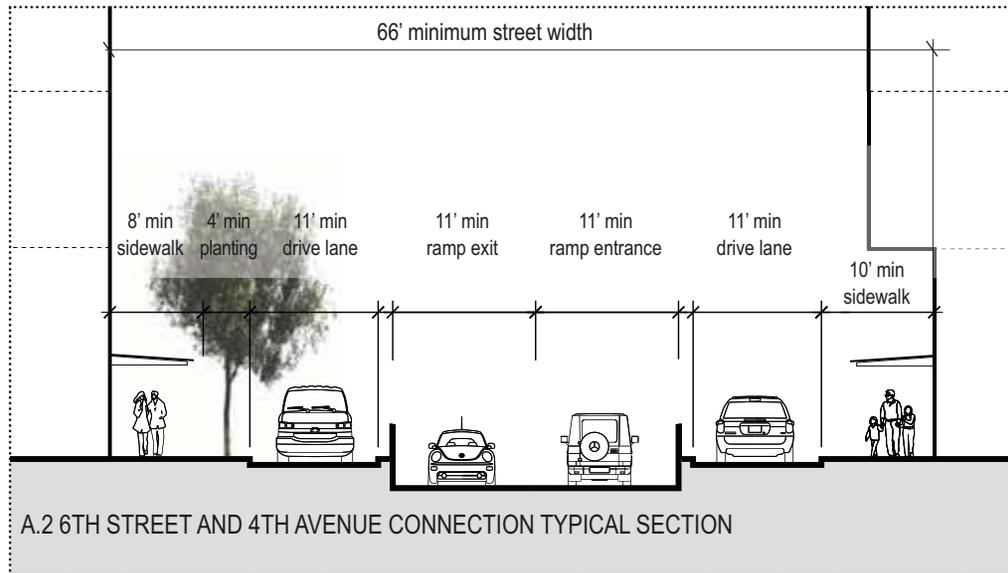
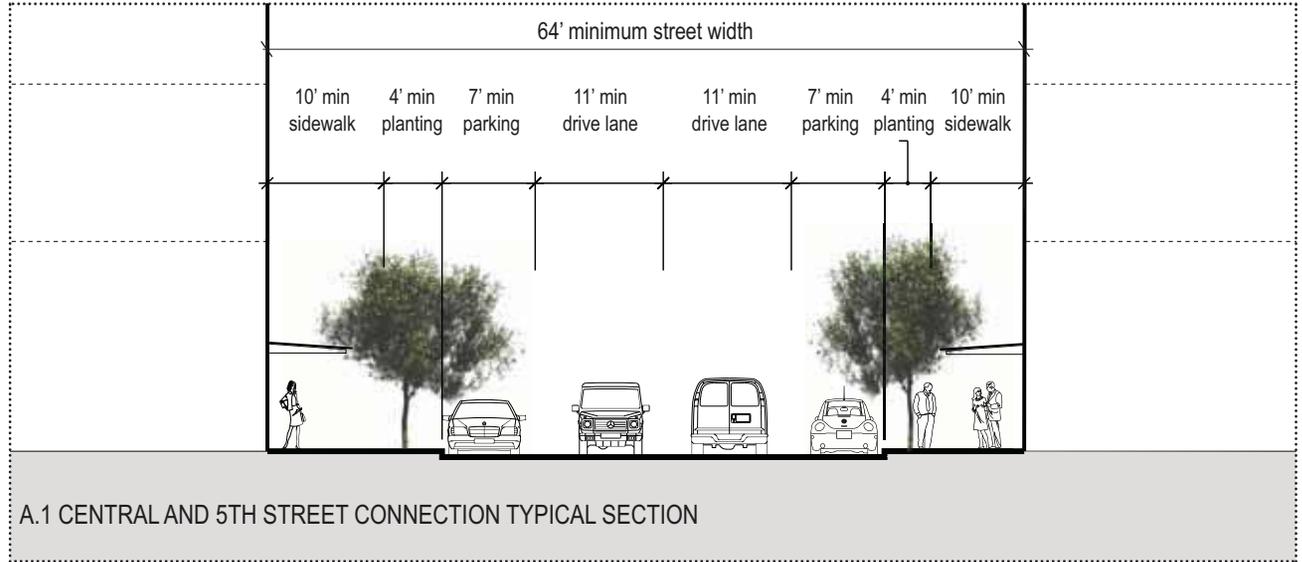
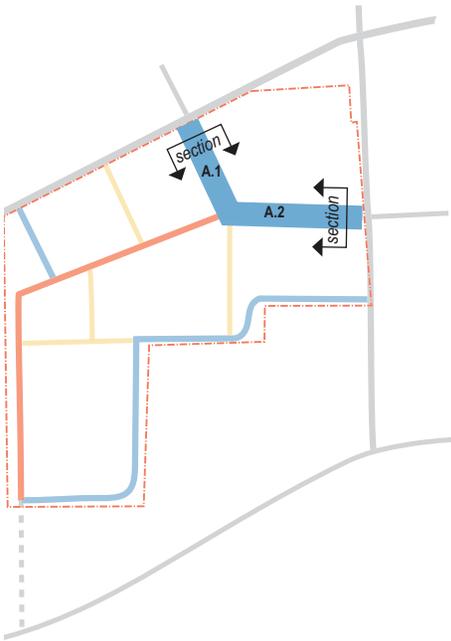


11. STREET CLASSIFICATION

Access Streets

- A.1 Central and 5th Street Connection
- A.2 6th Street and 4th Avenue Connection

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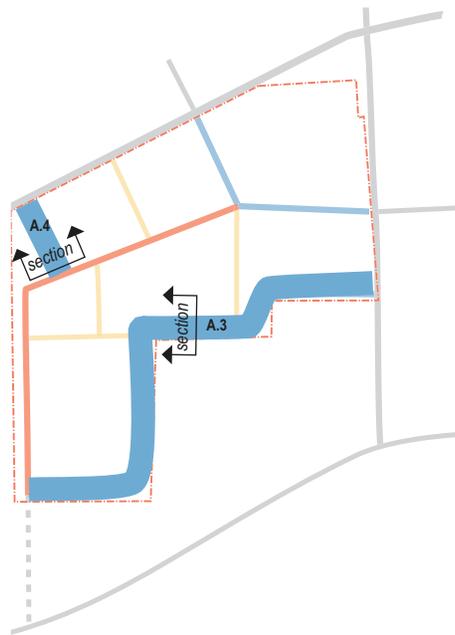


# 11. STREET CLASSIFICATION

## Access Streets

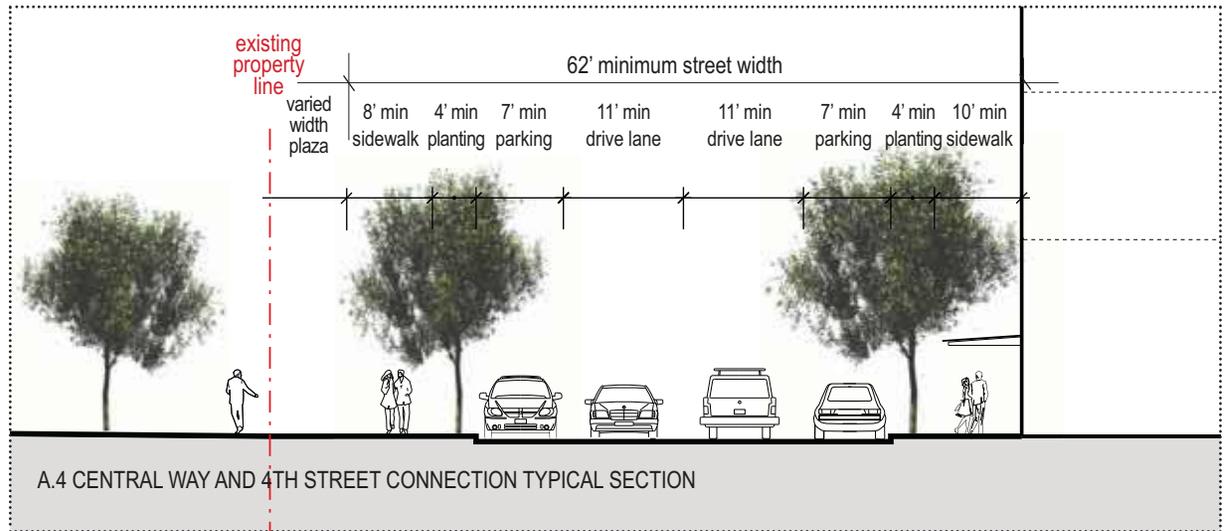
- A.3 6th Street access to service alley (minor)
- A.4 Central Way and 4th Street Connection

Street classifications are meant to be typical sections of the roadway. Slight variations may be necessary to accommodate driveways, varied landscaping techniques, street furniture, structural constraints, etc.



\* a landscape or architectural screen should be incorporated along south east property line to buffer property from the adjacent the residential use, (see design guideline on page 27 for exact location).

\*\* an 8' pedestrian path is required along the established pedestrian connections on the southeast portion of the street.

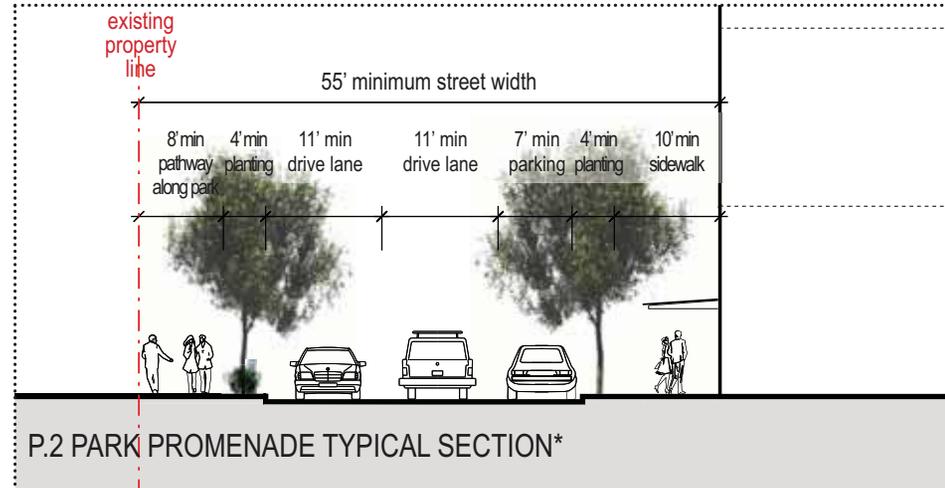
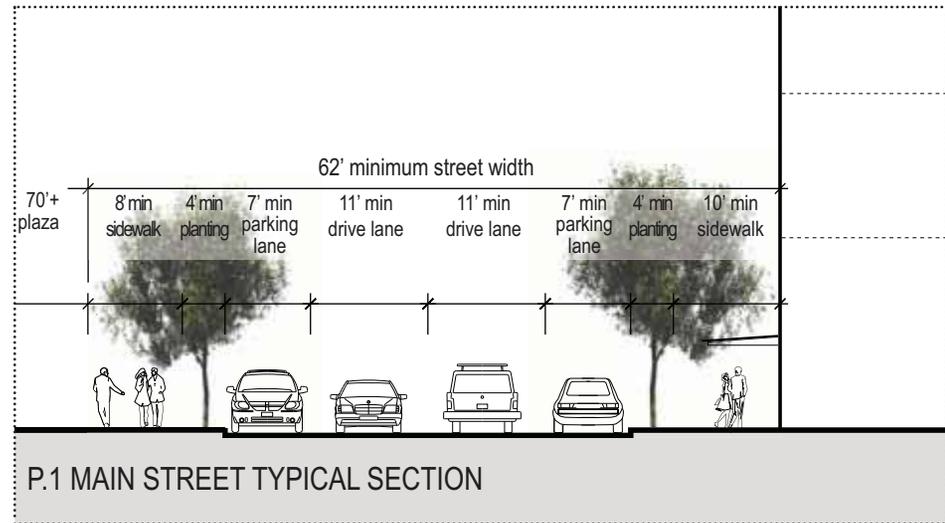
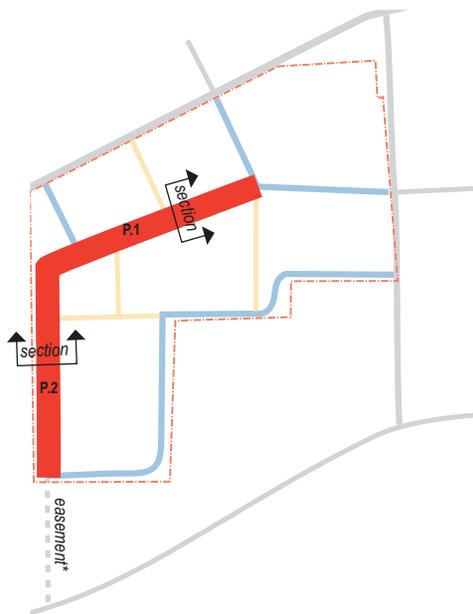


11. STREET CLASSIFICATION

**Pedestrian Streets**

- P.1 Main Street
- P.2 Park Promenade

Street classifications are meant to be typical sections of the roadway. Slight variations may be necessary to accommodate driveways, varied landscaping techniques, street furniture, structural constraints, etc.



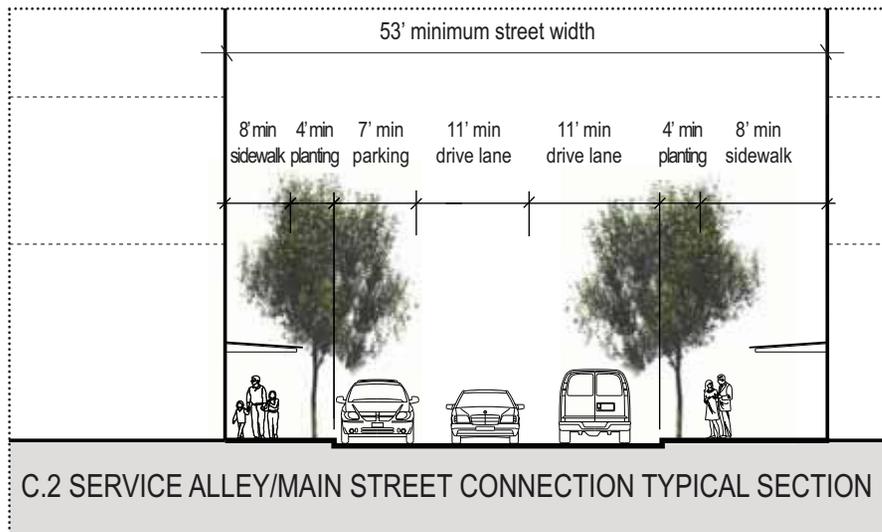
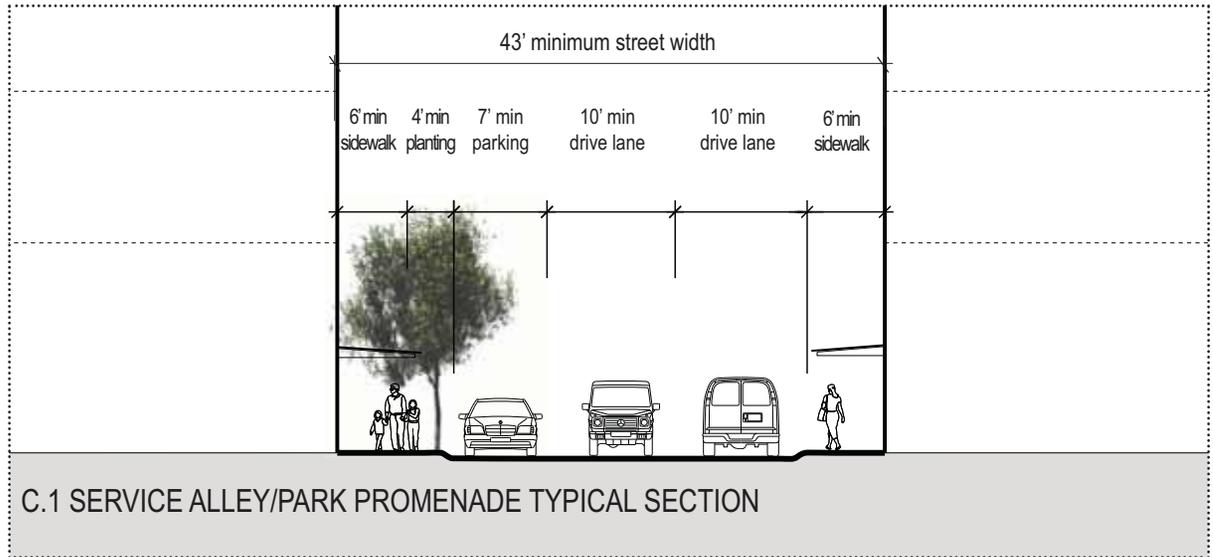
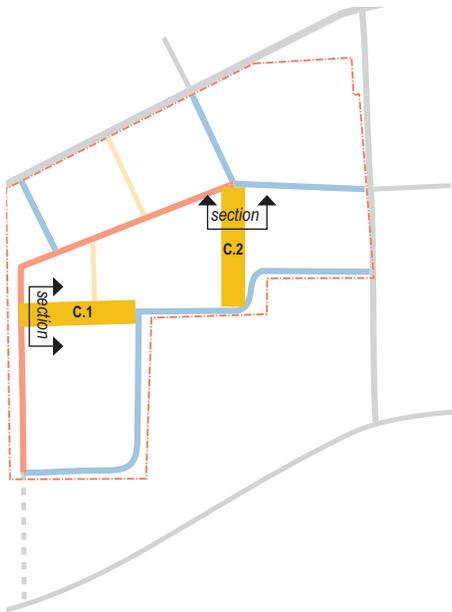
\* The existing easement to the south shall include a pedestrian sidewalk connecting the Park Promenade with Kirkland Way.

# 11. STREET CLASSIFICATION

## Secondary Connections

- C.1 Service Alley/Park Promenade
- C.2 Service Alley /Main Street Connection

Street classifications are meant to be typical sections of the roadway. Slight variations may be necessary to accommodate driveways, varied landscaping techniques, street furniture, structural constraints, etc.

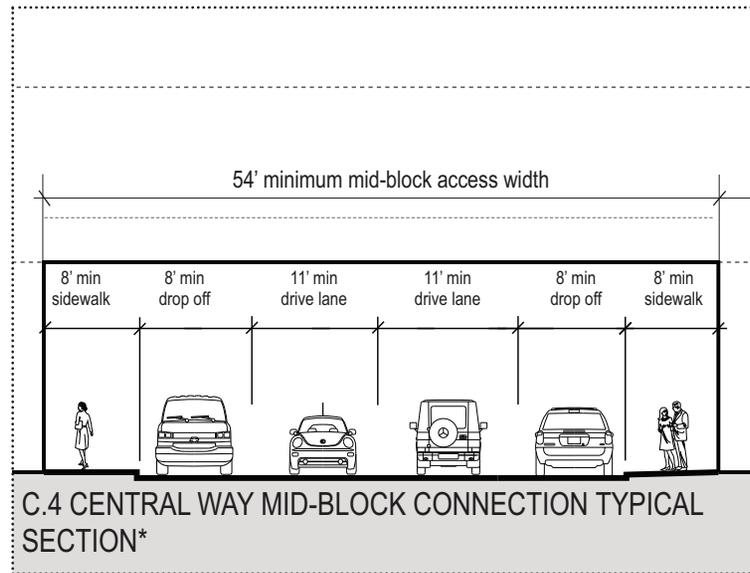
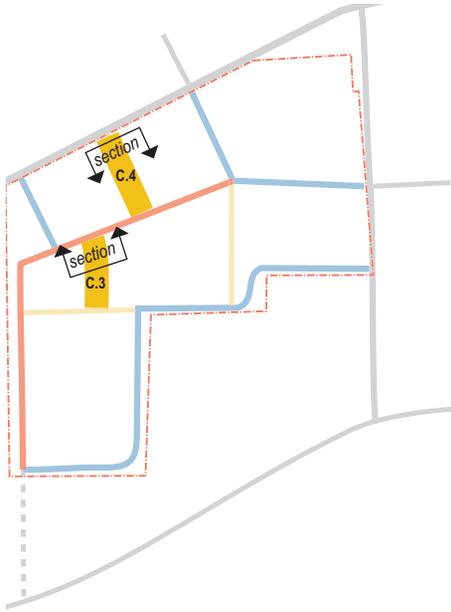
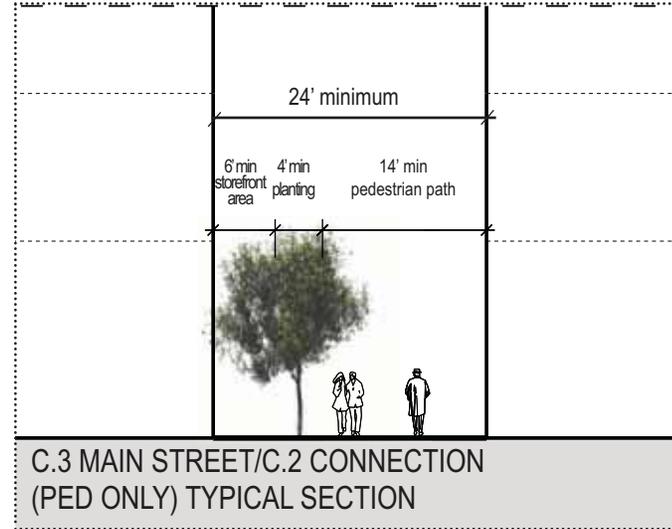


11. STREET CLASSIFICATION

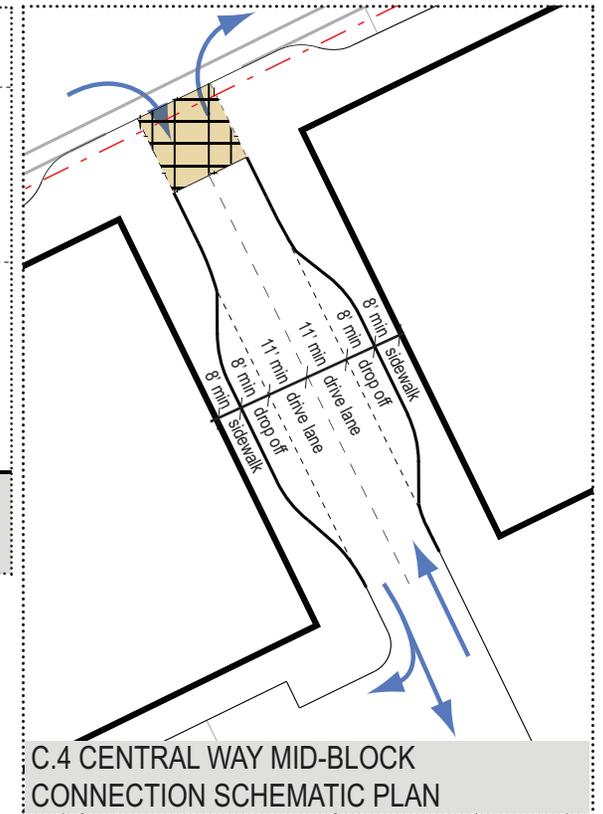
Secondary Connections

- C.3 Main Street/C.2 Connection (ped only)
- C.4 Central Way Mid-Block Connection

Street classifications are meant to be typical sections of the roadway. Slight variations may be necessary to accommodate driveways, varied landscaping techniques, street furniture, structural constraints, etc.



\* The connection to Central Way will be a right in, right out per City of Kirkland street standards CK-R.22)



## 12. ALL DISTRICTS

### Overall Intent:

To create a rich pedestrian-oriented environment and successful mixed-use center.

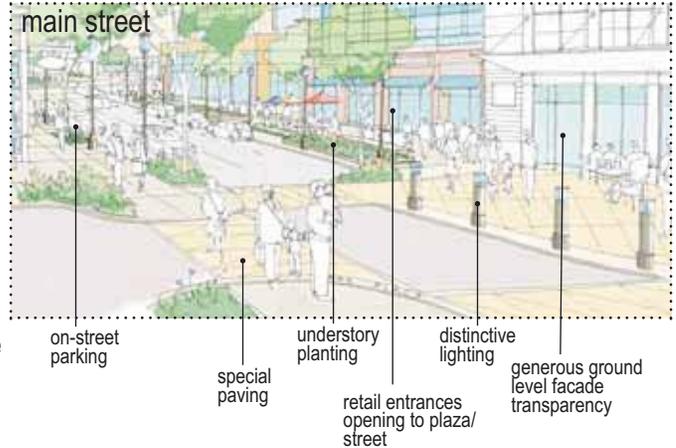
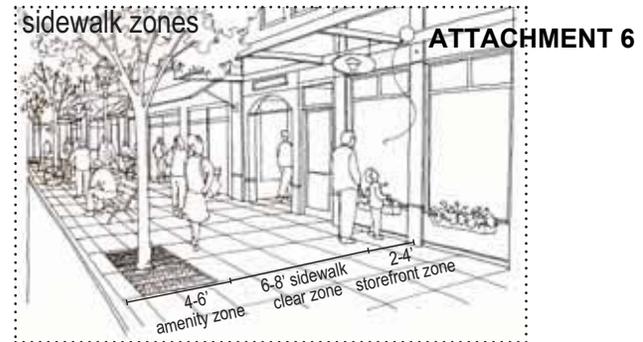
### SITE PLANNING

#### 1. Streetscape.

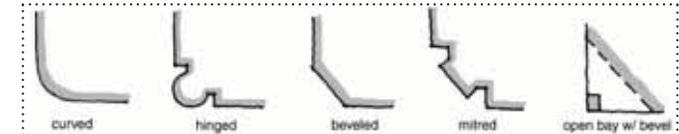
**Intent: To maintain a continuous and safe streetscape with a pedestrian-friendly character.**

- Sidewalks should maintain at least a 6-8ft clear zone for pedestrian travel.
- All streets should contribute to the physical safety and comfort of pedestrians. Provide both of the following where feasible to help define the sidewalk space:
  - On-street parking, (see street classifications, pgs 8-14)
  - A well-defined amenity zone set to the curb for understory planting, street trees\*, and other street furniture such as benches, trash receptacles, signs
  - where restaurants are anticipated the sidewalk should be wide enough to accommodate outdoor seating.
- Use design elements such as separate storefronts, pedestrian-oriented signs, exterior light fixtures, awnings and overhangs to add interest and give a human dimension to street-level building facades.
- In general, buildings should be set as close as possible to sidewalk to establish active, lively uses. Maintain a continuous street wall, limiting gaps to those necessary to accommodate vehicular and pedestrian access.
- Encourage recessed main building and/or shop entrances consistent with a traditional "main street" design that is inviting and promotes streetscape continuity.
- The corners of buildings located at street intersections may recess to promote visibility and allow for a collection of people.
- Allow larger buildings to recess from the sidewalk edge to allow for entry fore-courts, provided street continuity is not interrupted along the majority of the block.

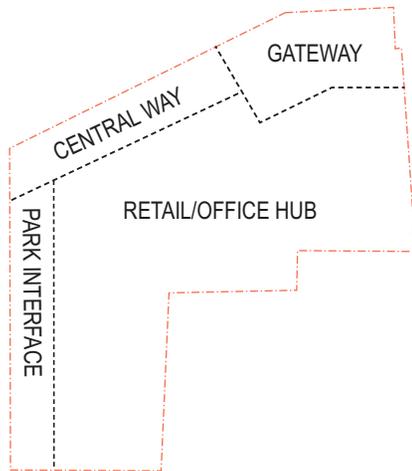
\*Minor deviations for street trees and major planting spaces may be necessary in some spaces due to structural constraints.



street level faced with recessed entrances, pedestrian oriented signs, and street trees



corner treatments



12. ALL DISTRICTS

**Overall Intent:**

To create a rich pedestrian-oriented environment and successful mixed-use center.

**SITE PLANNING**

**2. Public Spaces: Plazas, Courtyards and Seating Areas**

*Intent: To provide a friendly pedestrian environment by creating a variety of usable and interesting public and semi-public open spaces within private development*

- a. Make plazas and courtyards comfortable for human activity and social interaction – standing, sitting, talking, eating.
- b. Define and contain outdoor spaces through a combination of building and landscape; oversized spaces that lack containment are discouraged.
- c. Establish pedestrian pathways that link public spaces to other public spaces and streets.
- d. Plazas and courtyards should include the following:
  - Planters and trees to break up space.
  - Seating, such as benches, tables, or low seating walls.
  - Special paving, such as integral colored/stained concrete, brick, or other unit pavers.
  - Specialty pedestrian scale bollards or other types of accent lighting.
 And at least one of the following:
  - Public art.
  - Water feature.
- e. Design spaces to allow for variety and individualization of temporary installations such as: lighting, banners, artwork, etc.

**3. Environmental Considerations.**

Consider environmental conditions such as sun, shade and prevailing winds when positioning courtyards and outdoor seating areas. Provide features and amenities to encourage and enhance pedestrian and bicycle access through out the project.



contained outdoor space with special paving, landscaping, seating and pedestrian linkages



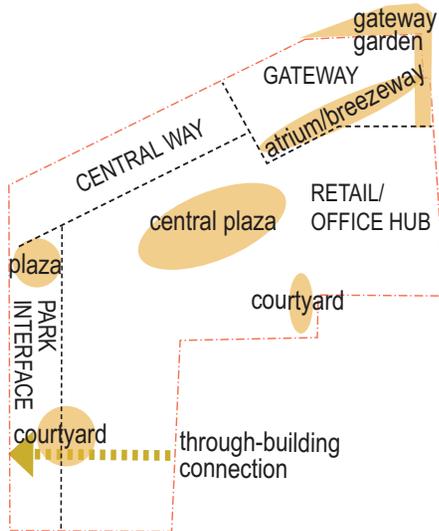
plaza space with seating and landscaping



courtyard with seating and water features



outdoor space encouraging bike and pedestrian use

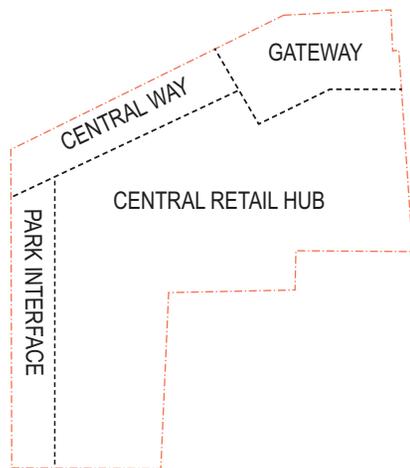


FINAL

## 12. ALL DISTRICTS

### Overall Intent:

To create a rich pedestrian-oriented environment and successful mixed-use center.



## SITE PLANNING

### 4. Pedestrian Connections and Wayfinding

**Intent: To create a network of safe, attractive, and identifiable linkages for pedestrians.**

- Clearly defined pedestrian connections shall be provided at locations specified in the Street Classification sections (pgs 8 -14).

### 5. Lighting

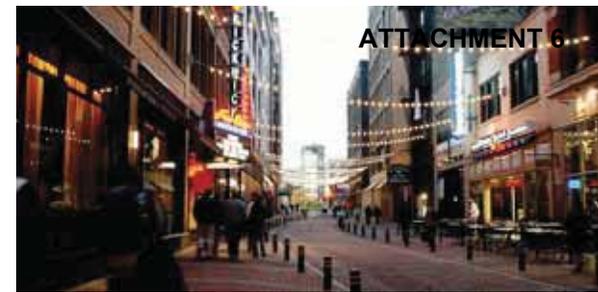
**Intent: To ensure that lighting contributes to the character of the project, provides personal safety, and does not disturb adjacent developments and residences**

- Use City-approved fixtures for street lighting along the city streets.
- Lighting elements throughout the project and on adjoining rights of way should be coordinated, including public open spaces, accent lighting, and streets.
- Accent lighting along public right of way should be soft in character and enrich the pedestrian street life.
- Accent lighting within the central pedestrian space should be congruous with the character of the project and the arts and pedestrian space commitments (see page 6) .
- Lighting should include non-glaring design solutions, such as cut off fixtures that avoid light spilling over onto other properties.
- Flood lighting of entire building facades is discouraged.
- Lighting on upper levels should be sensitive to residences and drivers.

### 6. Screening of Trash and Service Areas

**Intent: To screen trash and service areas from public view.**

- All service, loading and trash collection areas shall be screened by a combination of planting and architectural treatment similar to the design of the adjacent building.
- Avoid where ever possible locating service, loading and trash collection facilities in pedestrian-oriented areas.



passageway with retail and pedestrian-scale lighting



clear pedestrian connection alley with retail and landscaping



pedestrian-scaled lighting



artful and expressive lighting

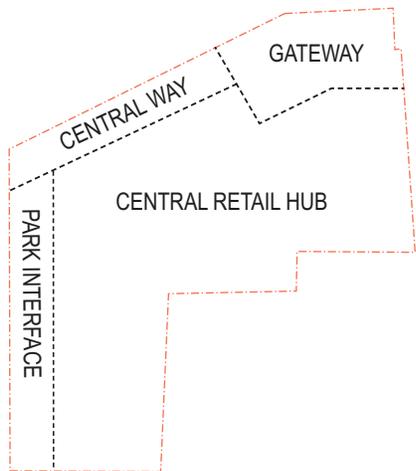


service screening

12. ALL DISTRICTS

**Overall Intent:**

*To create a rich pedestrian-oriented environment and successful mixed-use center.*



FINAL

**SITE PLANNING**

**7. Signs:** A Master Sign Plan will be created with the City that is in keeping with the following design objectives:

*Intent: To create signs that are creative, engaging and effective for a variety of user groups and respond to a variety of spaces.*

- a. Signage should be complementary and integrated with the unique character of the specific districts and/or buildings where they are located.
- b. Signage should be high quality and consistent with the contemporary urban/downtown character of comparable developments in similar regions.
- c. The design of buildings should identify locations, sizes and general design for future signage.
- d. The Master Sign Plan should include a hierarchy of elements based on use and function, such as:
  - site signage for entries, wayfinding, Parkplace identity
  - building signage for addressing and landmarking
  - tenant signage to encourage expressive individualization.



signage integrated with the building design



unique character of pedestrian-oriented retail signage

## 12. ALL DISTRICTS

### Overall Intent:

To create a rich pedestrian-oriented environment and successful mixed-use center.

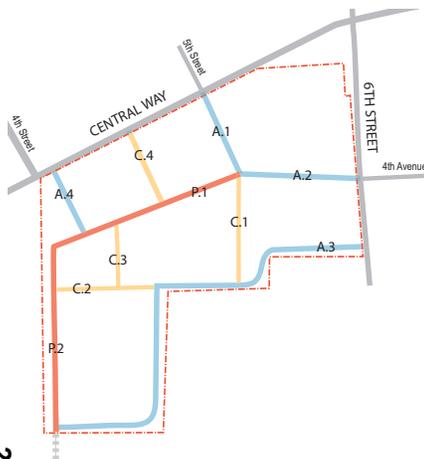
### BUILDING DESIGN

#### 1. Orientation to the Street

**Intent: Ensure that buildings contribute to the liveliness of Parkplace's public spaces, and overall community character.**

The following design treatments should apply to areas with required retail frontages, (see diagram on page 7):

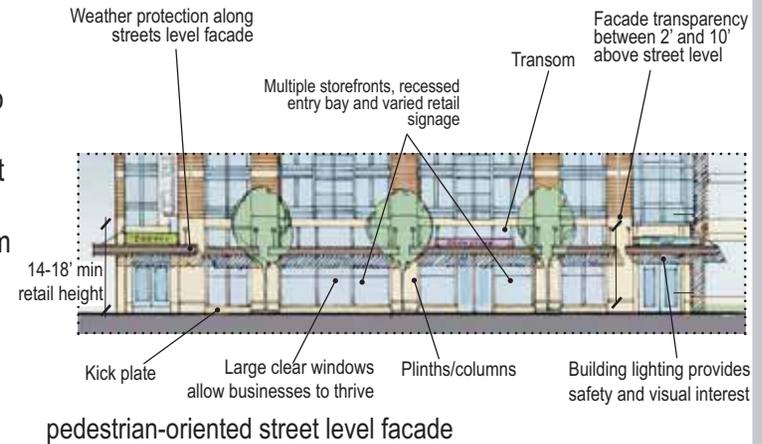
- Streets and public spaces should be enlivened by storefronts, windows, merchandise and other activity. Buildings should be designed with frequent entrances to encourage multi-tenant occupancy and walk-in traffic.
- Ground level retail heights should be between 14-18 feet in height.
- Entrances: Principal building entry should be visible from the street and public space and marked by large entry doors, canopy/portico/overhang.
- Transparency: To provide a visual connection between activities, ground floor façades should provide the following minimum standards
  - windows of clear vision glass (i.e. transparent) beginning no higher than 2' above grade to at least 10' above grade
  - 60% minimum of facade length along Central Way, P.1, P.2 should provide transparency
  - 50% minimum of facade length along A.1, A.4 should provide transparency.
- Weather Protection: To provide pedestrians cover from weather, canopies or awnings should be:
  - a minimum of 5 feet in width unless in conflict with vehicles
  - at least 75% of facades along required retail frontages constructed of permanent, durable various materials
  - allowed to vary in design
  - encouraged to have continuity, minimizing gaps.



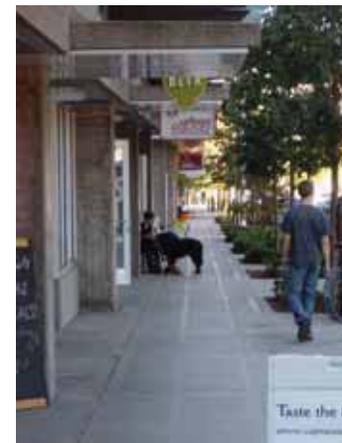
street level emphasis



ATTACHMENT 6



pedestrian-oriented street level facade



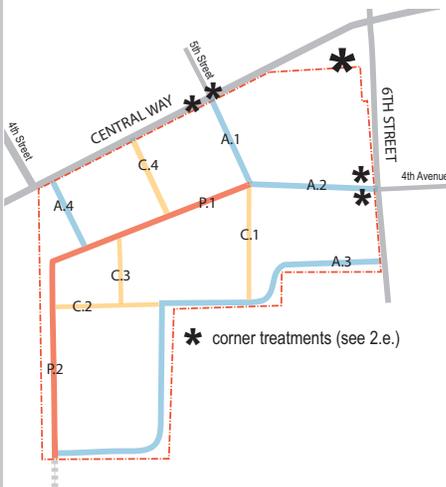
building design that enhances the activity on the street with multiple storefronts, and a variety of signage, awnings and merchandise displayed.



12. ALL DISTRICTS

**Overall Intent:**

To create a rich pedestrian-oriented environment and successful mixed-use center.



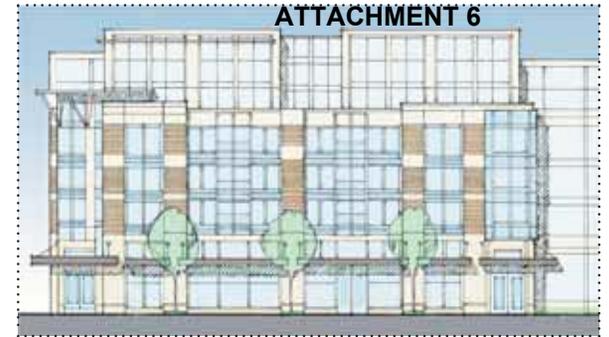
FINAL

**BUILDING DESIGN**

**2. Massing/Articulation**

**Intent:** To create a variety of form and massing through articulation and use of materials to maintain a pedestrian scale.

- a. In general, break down the scale and massing of buildings into smaller and varied volumes.
- b. All building faces should be responsive to the context of the surrounding environment and neighboring buildings,
- c. All sides of the building shall be designed with care, ie there should be no “backside” of a building.
- d. Buildings should distinguish a “base” using articulation and materials. Include regulating lines and rhythms which may include cornice lines, belt lines, doors and windows, etc to create a pedestrian-scaled environment.
- e. Provide clear pattern of building openings. Windows, balconies and bays should unify a building’s street wall and add considerably to a façade’s three-dimensional quality.
- f. The use of ribbon windows and extensive use of mirrored glass is discouraged.
- g. Employ major architectural expressions into the façade, roof form, massing and orientation, such as tower forms, over-sized windows and entrances to demarcate important gateways and intersections; strong corner massing can function as a visual anchor at key locations within the project area. See diagram (left) for encouraged key locations.
- h. Building modulation should be employed to break up long facades and create a visual interest unique to each building in the project. The type of modulation should be determined by the overall design concept of each building, using dimensions from window sizes, column spacing, rain screen paneling, etc to a determine a distinct design solution.
- i. Roof Silhouettes:
  - Express roofs in varied ways.
  - Give consideration to potential views of the roof top from adjacent buildings.
  - Avoid monotonous design
- j. Rooftop Equipment. Locate and/or screen rooftop equipment so that it is not visible from streets and other public spaces. Use methods of rooftop screening that are integral to the building’s form.



window patterns, articulation, building modulation



window patterns, articulation architectural expression



corner treatments

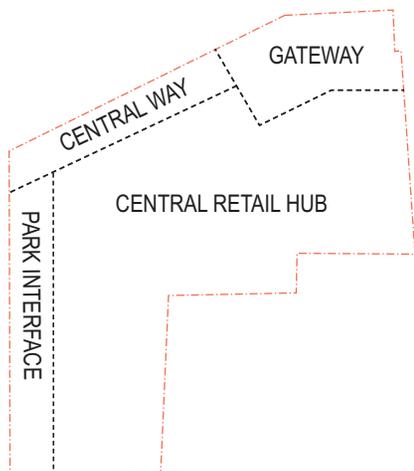


roof forms

## 12. ALL DISTRICTS

### Overall Intent:

To create a rich pedestrian-oriented environment and successful mixed-use center.



## BUILDING DESIGN

### 3. Blank Wall Treatments

**Intent:** To reduce the visual impact of blank walls by providing visual interest.

- a. Although blank walls are generally not encouraged along public streets and pedestrian spaces, there may be a few occasions in which they are necessary for functional purposes. Any blank walls in these locations that are longer than 20 feet should incorporate two or more of the following:
  - Vegetation, such as trees, shrubs, ground cover and vines adjacent to the wall surface.
  - Artwork, such as bas-relief sculpture, murals, or trellis structures.
  - Seating area with special paving and planting.
  - Architectural detailing, reveals, contrasting materials or other special visual interest.

### 4. Encourage High-Quality Design

**Intent:** To ensure that all buildings in the project area are constructed as a quality addition to the Kirkland Community.

- a. Exterior architectural design and building materials should exhibit permanence and quality appropriate to an urban setting.

### 5. Building Diversity

**Intent:** To ensure that buildings in the project are distinct and respond to the unique character of their specific district.

- a. Buildings should be designed to integrate with each other, while demonstrating architectural diversity. Buildings should be responsive to each specific district and its site conditions.
- b. Materials should be selected to integrate with each other, while allowing a richness of architectural diversity.
- c. Windows should incorporate variation in patterning between buildings.



columns, trellis, art and varied materials offer visual appeal on blank walls



a green wall can soften an otherwise unwelcoming street level facade

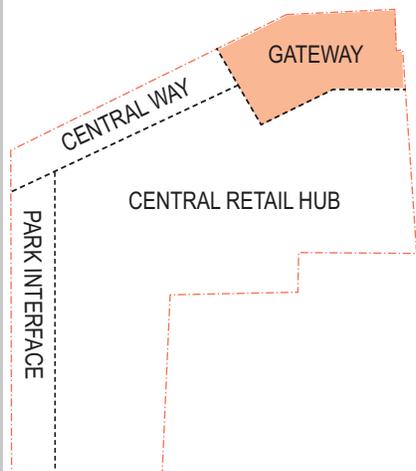


buildings using high quality materials at the street level

13a. GATEWAY DISTRICT

**INTENT:**

To create a welcoming feature to the Parkplace development and downtown Kirkland. This area should create an inviting entryway that is representative of the community through the use of art, landscape and architecture.



**SITE PLANNING**

**1. Incorporation of Triangular Lot “Gateway Garden”**

Incorporate the northeast triangular lot (excess right-of-way) into the project design to create a distinct gateway entrance that is integrated with the Parkplace development. Include:

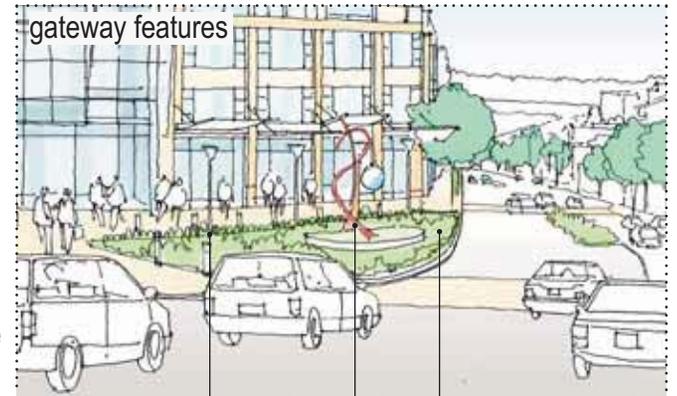
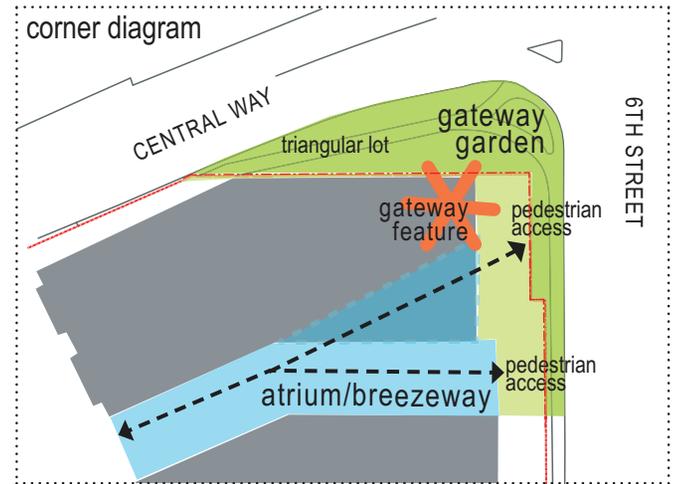
- a. **Public Access:** Public access into the site should be visible and accessible from the corner of 6th Street and Central Way.
- b. **Hardscape / Vegetation:** Paving and landscaping materials should identify pedestrian spaces and access.
- c. **Trees and Other Planting:** Landscaping should be of appropriate scale and species to make a significant gateway gesture. Trees should be selected to provide visibility of businesses, and maintained to encourage proper growth and height.
- d. **Signage** (downtown entry): Incorporate wayfinding signage directing visitors to: Downtown, Peter Kirk Park, Waterfront/Marina, City Hall, and Civic District.

**2. Public Space Connecting to Triangular Lot**

Design of additional public space should be integrated with the triangular lot to provide a congruous pedestrian environment.

- a. **Public Access:** Connect pedestrian access to the gateway garden, adjacent streets and public open spaces.
- b. **Hardscape / Vegetation:** Paving and landscaping materials should identify pedestrian spaces and access.
- c. **Seating:** Incorporate seating along pedestrian pathways and gathering spaces.
- d. **Artwork:** Incorporate public art in an appropriate scale to distinguish the significance of this corner.

**ATTACHMENT 6**



lighting      public art      unique landscaping



a gateway building and public open space can together shape a welcoming gathering space at this important corner

## 13a. GATEWAY DISTRICT

### INTENT:

To create a welcoming feature to the Parkplace development and the City. This area should create an inviting entryway that is representative of the community through the use of art, landscape and architecture.

### SITE PLANNING

#### 4. Atrium/Breezeway Space

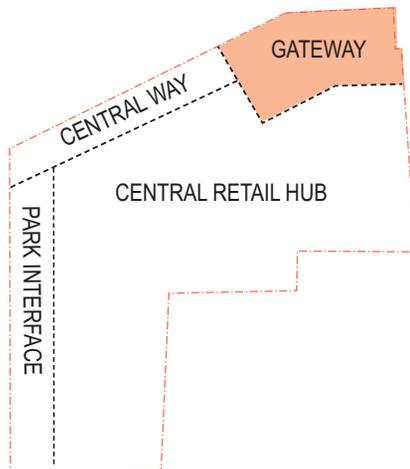
Create a pedestrian connection, visually open, from the corner of 6th and Central into the heart of the project, (see standards on page 7). The atrium/breezeway space will include the following:

- Covered walkway
- Public connection from 6th to central plaza open during regular operating hours
- Pedestrian lighting
- Seating

and may consider including:

- Enclosed public space
- Retail / restaurant uses
- Covered play /activity space.

- Buildings should be separated from or differentiated from each other at this corner so that they are not perceived as one building.



possible atrium/breezeway treatments:

ATTACHMENT 6



galleria accessing restaurants and landscaped public seating areas



open air lattice covered atrium with outdoor cafe seating



breezeway between buildings

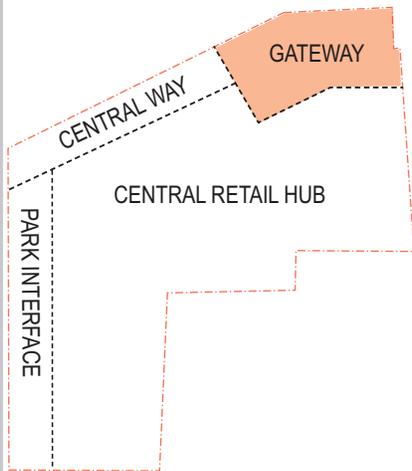


conceptual rendering of corner buildings on 6th and Central showing ground level setbacks and change of expression for upper levels

13a. GATEWAY DISTRICT

**INTENT:**

To create a welcoming feature to the Parkplace development and the City. This area should create an inviting entryway that is representative of the community through the use of art, landscape and architecture.



FINAL

**BUILDING DESIGN**

**1. Ground Level Treatment**

- a. **Setbacks from Streets** - The ground floor levels of the corner building should be permitted to set back to allow for cut away view and obvious pedestrian connection into the site.
- b. **Retail / Restaurant Uses** - Design for retail and restaurant uses along ground floor of the corner building.
- c. **Details Visible at Different Movement Speeds** - Incorporate details in the building along the corner that bring visual interest at the pedestrian level, as well as for vehicular traffic entering Kirkland.

**2. Upper Levels**

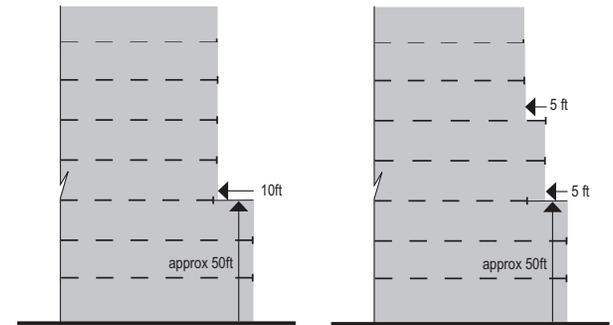
- a. **Change of Expression: Material Choices** A clear visual division between upper and lower floors should be incorporated through a change in materials, colors, and forms.
- b. **Step backs:** A modulated step back should be incorporated after the third level (approximately 50') on building facade along Central Way. This step back can vary in depths from 0-10 feet, so long the upper levels of building appear to be receding from the base. Step backs are measured from the exposed face of the building above grade, not from any property line.
- c. **Top Floor / Roof Edge** - Should have a distinct profile against the sky through elements such as projections, overhangs, cornices, step backs, trellises, changes in material or other elements.
- d. **Accent Lighting:** The innovative use of accent lighting incorporated into the building facade is encouraged.
  - Lighting should include non-glaring design solutions, such as cut off fixtures that avoid light spilling over onto other properties.
  - Flood lighting of entire building facades is discouraged.

gateway corner approaches

ATTACHMENT 6



conceptual rendering of corner buildings on 6th and Central showing ground level setbacks and change of expression for upper levels



possible upper level step backs



example of 10' step back modulation



accent and pedestrian lighting

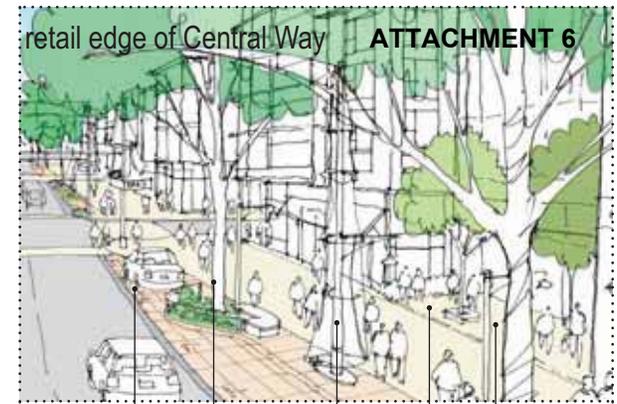
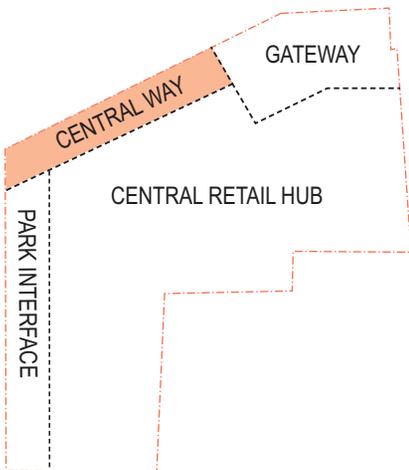
## 13b. CENTRAL WAY DISTRICT

### INTENT:

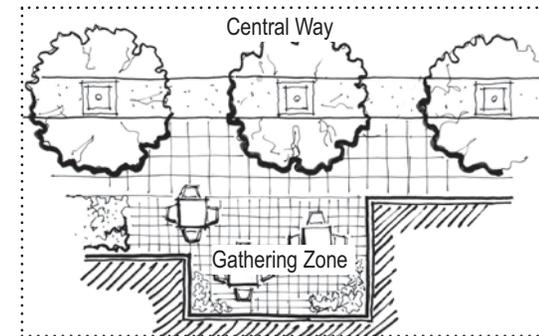
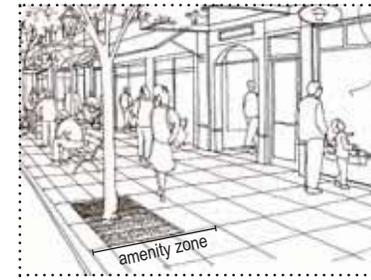
To respond to Central Way as a major arterial that links downtown Kirkland with the areas east and beyond, Parkplace must take advantage of this traffic volume and activity to help create a multi-functioning, pedestrian-scale shopping street.

### SITE PLANNING

1. Encourage and activate the street edge by incorporating:
  - on-street parking along Central Way
  - buildings located up to the edge of the sidewalk
  - storefront and hotel entrances
  - generous sidewalk amenity zone (trees, lights, benches, see section on pg 9)
  - street tree selection and spacing that provide visual continuity, buffers pedestrians from the busy street, and allows visibility of retail
  - pedestrian signage.
2. Reduce the length of the street wall by pulling back portions of the building at the ground level from the street edge in key locations, provided street continuity is not interrupted.
3. The limited vehicular access to mid-block connection may be accessed from Central Way and into the interior of the project, (per C.4 section on pg 14). Pedestrian access along this route should include pedestrian-scaled lighting and a clear connection to the streetscape/plaza space on the opposite side.



on-street parking    ped-scaled light    vehicular-scaled light    small courtyard    large tree species



courtyard and gracious entry along Central Way



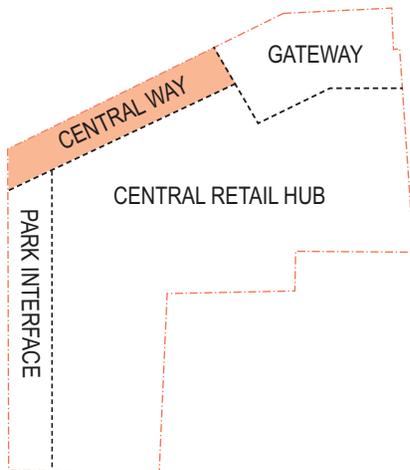
building set to sidewalk with on-street parking

FINAL

## 13b. CENTRAL WAY DISTRICT

### INTENT:

*To respond to Central Way as a major arterial that links downtown Kirkland with the areas east and beyond, Parkplace must take advantage of this traffic volume and activity to help create a multi-functioning, pedestrian-scale shopping street.*



FINAL

### BUILDING DESIGN

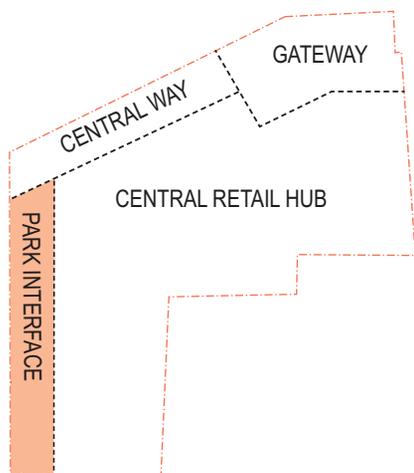
1. Reduce apparent bulk of buildings along Central Way by incorporating a 20 foot upper level step back after the third (3rd) story along the majority of the facade. However in places, step backs can vary in depths from 0-20 feet, so long as the overall upper levels of building appear to be receding from the base. Step backs are measured from the exposed face of the building above grade, not from any property line.
2. Facades that are stepped back should be distinguished by a change in elements such as window design, railings, trellises, details, materials and/or color so that the result is a richly organized combination of features that face the street.
3. Balconies, terraces and landscaping features are encouraged in upper level step backs.



examples of varied step backs

**INTENT:**

To create a strong connection from the park and downtown core that allows for clear pedestrian flow to and into the site by incorporating engaging building frontages and other design treatments.

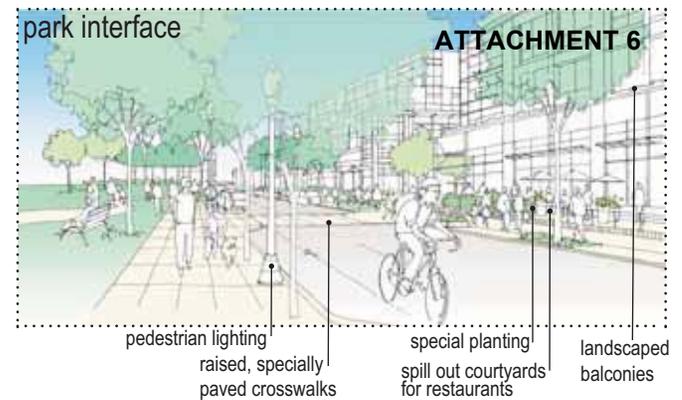


**SITE PLANNING**

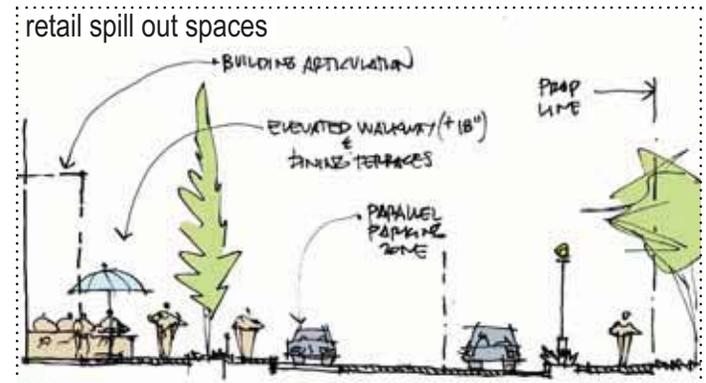
1. Incorporate ample landscaping and distinctive lighting.
2. Incorporate raised crosswalks 20' minimum in width and special paving to promote pedestrian priority along the promenade (see street section on page 12)
3. Encourage retail spill out spaces and landscaped courtyards along the building edge. Bring the “indoor” out and the “outdoor” in by spilling retail spaces onto the sidewalk and creating small gathering spaces along building edges.
4. Create a visual barrier for drivers between the drive lane and pedestrian walkway along the Peter Kirk Park edge using one or more elements such as: plantings, bollards, small seating walls, stone artwork, etc. (see section on page 12).

**BUILDING DESIGN**

1. Buildings shall address park and promenade street by incorporating:
  - terraces and balconies
  - entrances to retail along promenade
  - greater transparency at ground floor
  - street front courtyards
  - retail spill-out spaces.
2. Where feasible, provide rooftop terraces on lower roof levels as gathering spaces that include such amenities as:
  - seating
  - landscaping
  - canopies or coverings for weather protection
  - public access open during regular operating hours.



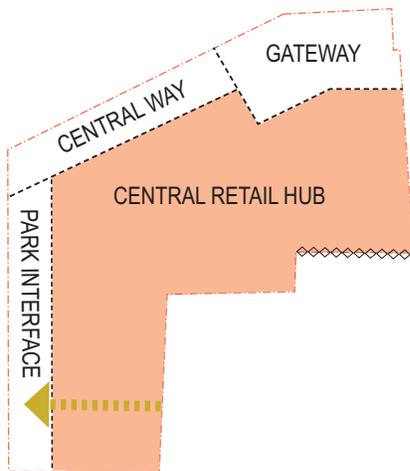
buildings addressing promenade and providing street fronting courtyards



13.d CENTRAL RETAIL HUB

**INTENT:**

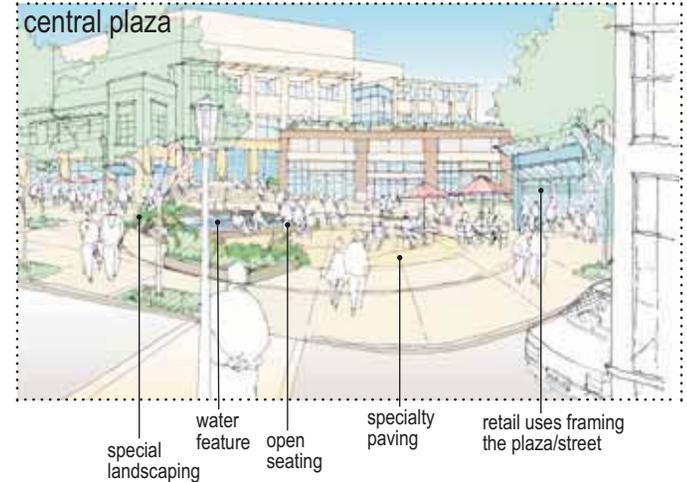
To establish a vibrant Central Retail Hub with activated public space and retail/window shopping experience with mix of uses overlooking a common central plaza.



FINAL

**SITE PLANNING**

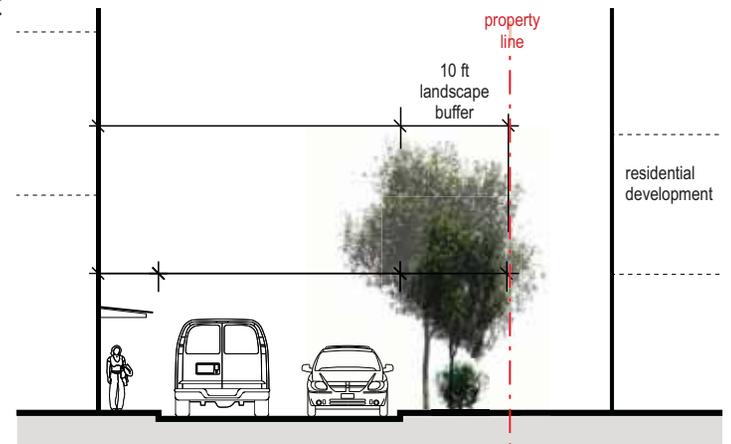
1. The central plaza space (see pedestrian space standards, pg 7) should be a significant gathering and activity space by incorporating the following:
  - special paving
  - water feature
  - special landscaping
  - seating- covered and open
  - distinct lighting
  - access to sunlight
  - accommodations for concerts/performances.
2. The plaza space should be supported as an important activity space by being surrounded by active public-oriented amenities such as ground floor retail, restaurants and cafes.
3. Locate plaza at or near street grade to promote physical and visual connection to the street and adjacent buildings and their entrances.
4. Design outdoor space with safety in mind; public plazas should promote visibility from the street and provide architecturally compatible lighting to enhance night time security.
5. A 10 foot permanent landscaped edge along the southeast property line adjacent to residential uses should be incorporated within the street design, (see section on page 11 and diagram to the left as shown: ◊◊◊◊◊◊).
6. This district should also consider providing:
  - small retail pavilion
  - children’s interactive feature.
7. A through-building pedestrian connection on the southeastern portion of the site should be provided and include:
  - through public access during normal business hours
  - gracious entries on both sides of the building
  - the design of the interior space should feel public and accommodating, so users do not feel that they are intruding into private space.



large plaza space with distinctive lighting and interactive water feature



plaza space with special paving and seating and small retail pavilion



landscaped edge along adjacent residential use

## 13.d CENTRAL RETAIL HUB

### INTENT:

To establish a vibrant Central Retail Hub with activated public space and retail/window shopping experience with a mix of uses overlooking a common central plaza.

### BUILDING DESIGN

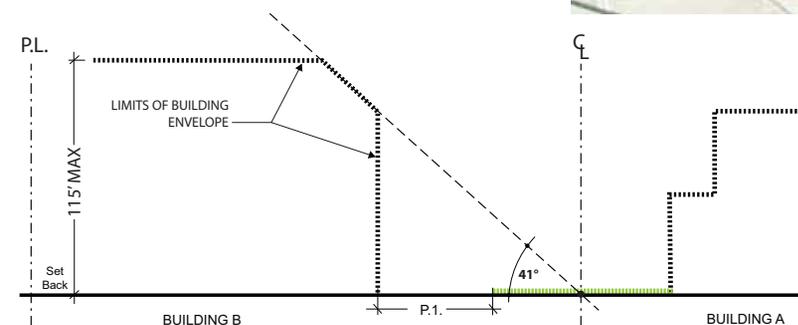
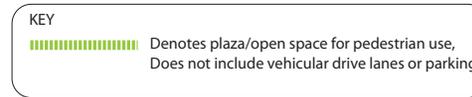
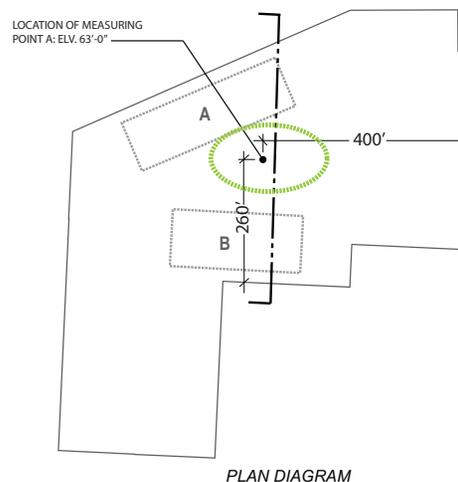
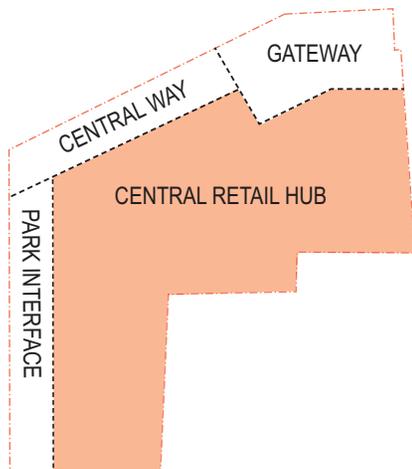
1. Lower level facades with predominantly retail uses should locate entrances at the sidewalk or edge of public space to frame pedestrian spaces in key locations.
2. Where feasible, provide rooftop terraces on lower roof levels as gathering spaces that include such amenities as:
  - seating
  - landscaping
  - canopies or coverings for weather protection
  - public access open during regular operating hours.
3. In order to maximize the amount of sunlight in the central plaza, building B as depicted in the diagram below should be contained under a line at a 41 degree angle measured from the center of the plaza, per diagrams below.
4. Buildings located in the southern most portion of the site should provide generous and substantial modulation in response to their proximity to neighboring buildings, including:
  - creating varied edges and visual interest on long and tall buildings
  - employing modulation to visually break up long facades
  - providing patterns of windows, bays and/or balconies that emphasize changes in modulation.



publicly accessible roof top terrace



retail uses framing pedestrian courtyards and patios



SCHEMATIC SECTION LOOKING WEST



**DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS**

Section 50.38	USE ↓ REGULATIONS ↓	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARDS (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.010	Mixed Use Development Containing Office, Retail and Restaurant Uses. See Spec. Regs. 1, 2, 3 and 4.	D.R., Chapter 142 KZC. See Spec. Reg. 1.	None	See Plate 5, Chapter 180 KZC.			100%	See Spec. Reg. 5 and Plates 6 and 7, Chapter 180 KZC.	None	E See Spec. Reg. 6.	See Spec. Reg. 7.	<ol style="list-style-type: none"> <li>1. Development under this use shall be pursuant to the Parkplace Master Plan and Design Guidelines contained in Chapter 3.30 KMC. Compliance with the Master Plan and Design Guidelines shall be determined through DR, Chapter 142 KZC.</li> <li>2. The gross floor area of retail and restaurant uses in this zone shall be equal to or greater than 25 percent of the gross floor area of office uses in this zone. Retail uses may include accessory short term drop-off children's play facilities.</li> <li>3. The following additional uses are allowed subject to restrictions listed:                             <ol style="list-style-type: none"> <li>a. Hotel or Athletic Club. Accessory retail or restaurant uses shall be included as retail uses under Special Regulation 2, provided they are open to the public.</li> <li>b. Movie theater. This use may be included as a retail use under Special Regulation 2; provided, that the gross floor area of this use shall not count toward more than 10 percent of the required minimum gross floor area of retail and restaurant uses.</li> <li>c. Private Lodge or Club; Church; School, Day-care Center, or Mini-School or Day-care Center; Public Utility, Government Facility, or Community Facility; Public Park.</li> <li>d. Assisted Living Facility (including a nursing home if part of the facility); Stacked or Attached Dwelling Units; provided, that the gross floor area of these uses does not exceed 10 percent of the total gross floor area for the Master Plan.</li> </ol> </li> <li>4. The following uses are prohibited:                             <ol style="list-style-type: none"> <li>a. Any retail establishment exceeding 70,000 square feet.</li> <li>b. At grade drive-through facilities.</li> <li>c. The outdoor storage, sale, service and/or rental of motor vehicles, sail-boats, motor boats, and recreational trailers.</li> </ol> </li> <li>5. Rooftop appurtenances may exceed the applicable height limitation by a maximum of 16 feet if the area of all appurtenances and screening does not exceed 25 percent of the total area of the building rooftop. All other regulations for rooftop appurtenances in Chapter 115 KZC shall apply.</li> <li>6. Prior to installation of permanent signs, the development must submit and receive approval of a Master Sign Plan pursuant to Chapter 100 KZC.</li> </ol>

REGULATIONS CONTINUED ON NEXT PAGE

Section 50.38

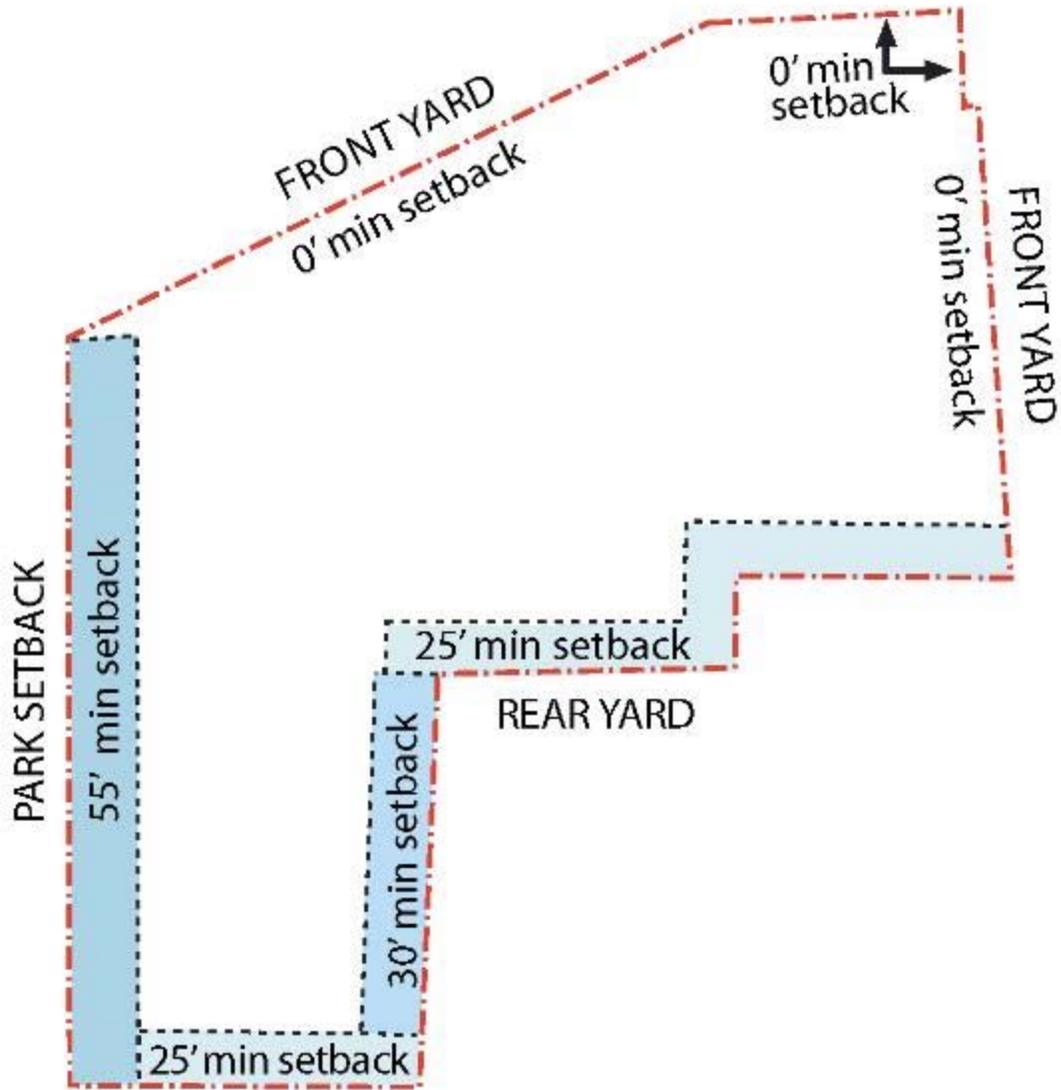
Zone  
CBD-5A

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 50.38		Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARDS (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.010	Mixed Use Development Containing Office, Retail and Restaurant Uses (continued)										REGULATIONS CONTINUED FROM PREVIOUS PAGE  7. The following establishes the number of parking spaces required: a. Residential uses must provide 1.7 parking spaces for each dwelling unit and one parking space for each assisted living unit. b. Restaurants and taverns must provide one parking space for each 125 square feet of gross floor area. c. All other uses must provide one parking space for each 350 square feet of gross floor area.  A mix of uses with different peak parking times makes a project eligible for applying a shared parking methodology to parking calculations. Further parking reductions may be appropriate through a transportation management plan (TMP) and parking management measures. The development may propose and the Planning Official may permit a reduction in the required number of parking spaces based on a demand and utilization study prepared by a licensed transportation engineer. The study shall include an analysis of shared parking demonstrating that the proposed parking supply is adequate to meet the peak parking demand of all uses operating at the same time. A TMP and parking management measures shall be incorporated into the analysis. An analysis of the effectiveness of the TMP and parking management measures shall be provided for City review. The City's transportation engineer shall approve the scope and methodology of the study as well as the effectiveness of the TMP and parking management measures.	

PLATE 5  
CBD 5A Required Yards

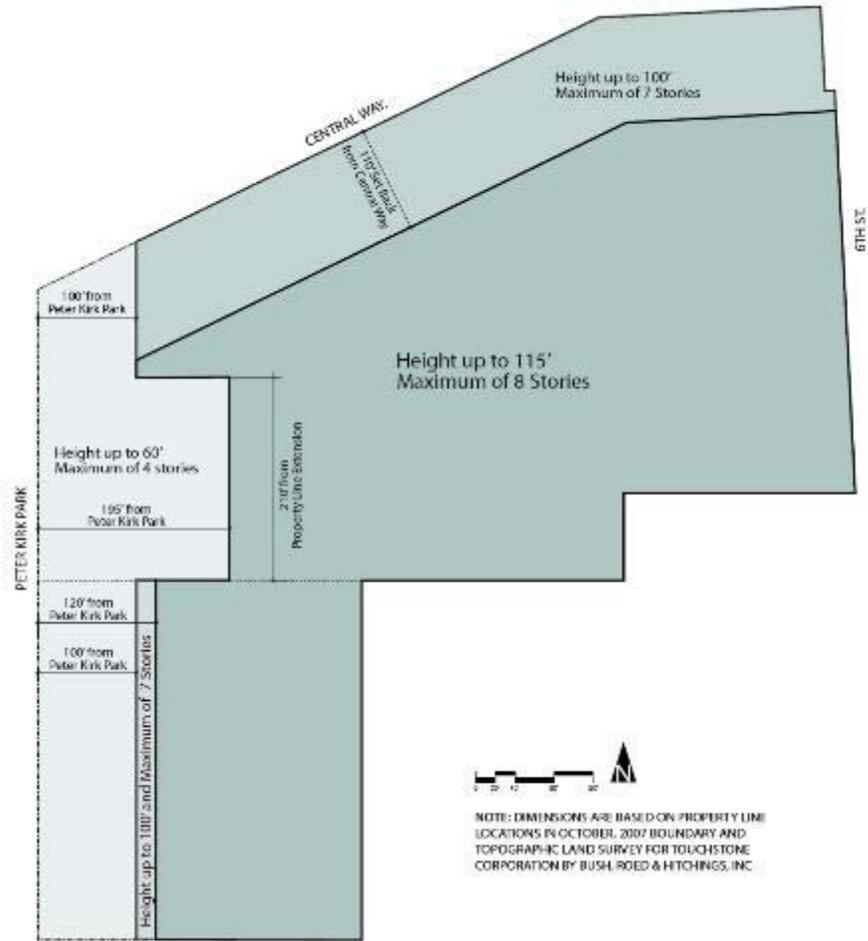
ATTACHMENT 8





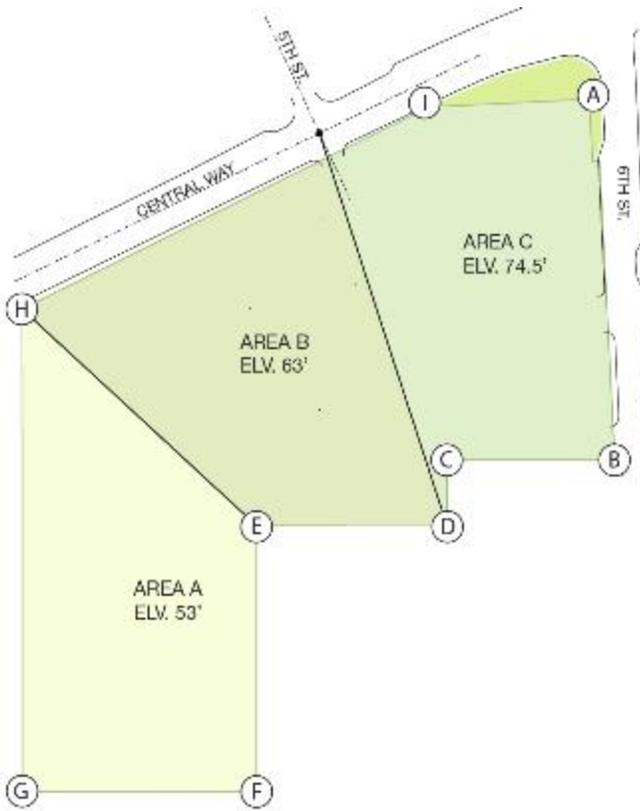
**CBD 5A Maximum Building Heights**

Building height and story maximums shall be measured from elvation points established by Plate 7





**PLATE 7 ATTACHMENT 10**  
**CBD 5A Maximum Building Heights and Stories Measurement Points**



**Building Height & Number of Stories: Measurement Points**

**GENERAL NOTES:**

1. Where a minimum of 75% of the Gross Floor Area of a building is located in area "A", the Building Measuring Point will be elevated on 53.0 feet above sea level.
2. Where a minimum of 75% of the Gross Floor Area of a building is located in area "B", the Building Measuring Point will be elevated on 63.0 feet above sea level.
3. Where a minimum of 75% of the Gross Floor Area of a building is located in area "C", the Building Measuring Point will be elevated on 74.5 feet above sea level.

Area A: That portion of property area that lies west and south of a line between Property Corner H and Property Corner E.

Area B: That portion of property area that lies east of a line between Property Corner H and Property Corner E and west of a line from the centerline of the intersection of 5th Street and Central Way and property corner D.

Area C: That portion of property area that lies east of a line from the centerline of the intersection of 5th Street and Central Way and property corner D and west of 5th Street.

note: Based on the Boundary and Topographic Survey for Park Place Center by Bledy, Road & Holdings, P.C., dated October 2007.



