

ORDINANCE NO. 4097

AN ORDINANCE OF THE CITY OF KIRKLAND RELATING TO ZONING, PLANNING, AND LAND USE AND AMENDING ORDINANCE 3719 AS AMENDED, THE KIRKLAND ZONING ORDINANCE AMENDING PORTIONS OF CHAPTERS 5, 92, 95, 105, 110, 115, 142, 162, 180, USE ZONE CHARTS IN CHAPTERS 20, 48, 52, 53, 55, AND APPROVING A SUMMARY ORDINANCE FOR PUBLICATION, FILE NO. ZON07-00002.

WHEREAS, the City Council has received a recommendation from the Kirkland Planning Commission and the Houghton Community Council to amend certain sections of the text of the Kirkland Zoning Code, Ordinance 3719 as amended, all as set forth in that certain report and recommendation of the Planning Commission and as reviewed by the Houghton Community Council dated May 22, 2007 and bearing Kirkland Department of Planning and Community Development File No. ZON07-00002; and

WHEREAS, prior to making said recommendation, the Kirkland Planning Commission, following notice thereof as required by RCW 35A.63.070, on May 10, 2007 held a public hearing and was continued to May 24, 2007, on the amendment proposals and considered the comments received at said hearing; and

WHEREAS, prior to making said recommendation, the Houghton Community Council, following notice thereof as required by RCW 35A.63.070, on March 26, 2007, held a courtesy hearing, on the amendment proposals and considered the comments received at said hearing; and

WHEREAS, pursuant to the State Environmental Policy Act (SEPA), there has accompanied the legislative proposal and recommendation through the entire consideration process a SEPA Addendum to Existing Environmental Documents issued by the responsible official pursuant to WAC 197-11-600; and

WHEREAS, in regular public meeting the City Council considered the environmental documents received from the responsible official, together with the report and recommendation of the Planning Commission and Houghton Community Council; and.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Kirkland as follows:

Section 1. Zoning text amended: The following specified sections of the text of Ordinance 3719 as amended, the Kirkland Zoning Ordinance, be and they hereby are amended to read as follows:

As set forth in Attachment A attached to this ordinance and incorporated by reference.

Section 2. If any section, subsection, sentence, clause, phrase, part or portion of this ordinance, including those parts adopted by reference, is for any reason held to be invalid or unconstitutional by any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this ordinance.

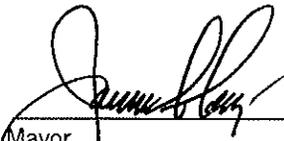
Section 3. To the extent the subject matter of this ordinance, pursuant to Ordinance 2001, is subject to the disapproval jurisdiction of the Houghton Community Council, this ordinance shall become effective within the Houghton Community Municipal Corporation only upon approval of the Houghton Community Council or the failure of said Community Council to disapprove this ordinance within 60 days of the date of the passage of this ordinance.

Section 4. Except as provided in Section 3, this ordinance shall be in full force and effect five days from and after its passage by the Kirkland City Council and publication, pursuant to Kirkland Municipal Code 1.08.017, in the summary form attached to the original of this ordinance and by this reference approved by the City Council, as required by law.

Section 5. A complete copy of this ordinance shall be certified by the City Clerk, who shall then forward the certified copy to the King County Department of Assessments.

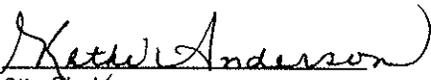
PASSED by majority vote of the Kirkland City Council in open meeting this 5th day of June, 2007.

SIGNED IN AUTHENTICATION thereof this 5th day of June, 2007.



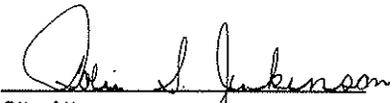
Mayor

Attest:



City Clerk

Approved as to Form:



City Attorney

PUBLICATION SUMMARY
OF ORDINANCE NO. 4097

AN ORDINANCE OF THE CITY OF KIRKLAND RELATING TO ZONING, PLANNING, AND LAND USE AND AMENDING ORDINANCE 3719 AS AMENDED, THE KIRKLAND ZONING ORDINANCE AMENDING PORTIONS OF CHAPTERS 5, 92, 95, 105, 110, 115, 142, 162, 180, USE ZONE CHARTS IN CHAPTERS 20, 48, 52, 53, 55, (FILE NO.ZON07-00002)

SECTION 1. Amends the following specific portions of the Kirkland Zoning Code Ordinance 3719, as amended as described in Attachment A to Ordinance 4097 and summarized below:

1. Adds new definitions to Chapter 5 Definitions related to design districts.
2. Amends text in Chapter 92 Design Regulations to reorganize and delete text to move to the other following chapters.
3. Amends text in Chapter 95 Tree Management and Required Landscaping related to parking lot landscaping.
4. Amends text in Chapter 105 Parking Areas, Vehicle and Pedestrian Access and Related Improvements related to pedestrian access improvements, bicycle parking, parking area design and drive through facilities.
5. Amends text in Chapter 110 Required Public Improvements to add sidewalk and other public improvement standards in design districts.
6. Amends text in Chapter 142 Design Review to delete and add new criteria for when Design Board Review and Administrative Design Review is required and changes to the administrative design review process.
7. Amends text in Chapter 162 Nonconformance to refer to Chapter 142 for when nonconformance's to Chapter 92 must be brought into conformance.
8. Amends Chapter 180 Plates to delete Plate 34, 35 and 36 and add new Plates 34A to 34K.
9. Amends Chapter 55 Totem Lake Zones to amend Sections 55.07 and 55.09 in TL1A, 55.13 and 55.15 in TL1B, 55.19 in TL2, 55.31 in TL4A,B,C, 55.37 in TL5, 55.43 in TL6A,6B, 55.73 in TL10B.
10. Amends Chapter 52 JBD 1 zone to amend Sections 52.10 and 52.12.
11. Amends Chapter 53 in RH3 zone to amend Section 53.32.
12. Amends Chapter 20 in RM zones to amend Section 20.08.
13. Amends Chapter 48 in LIT zones to amend Section 48.10.

SECTION 2. Provides a severability clause for the ordinance.

SECTION 3. Provides that the effective date of the ordinance is affected by the disapproval jurisdiction of the Houghton Community Council.

SECTION 4. Establishes certification by City Clerk and notification of King County Department of Assessments.

SECTION 5. Authorizes publication of the ordinance by summary, which summary is approved by the City Council pursuant to Kirkland Municipal Code 1.08.017 and establishes the effective date as five days after publication of summary.

The full text of this Ordinance will be mailed without charge to any person upon request made to the City Clerk for the City of Kirkland. The Ordinance was passed by the Kirkland City Council at its meeting on the 5th day of June, 2007.

I certify that the foregoing is a summary of Ordinance No. 4097 approved by the Kirkland City Council for summary publication.



City Clerk

New Chapter 5 Definitions

- Section 5.10.202 Design Districts – Use zones subject to the Design Review process described in Chapter 142 KZC.
- Section 5.10.647 Pedestrian Oriented Street – A street that is designed to encourage pedestrian movement and pedestrian orientation in relationship to buildings in Design Districts. Plate 34 of Chapter 180, designates the locations of pedestrian oriented streets.
- Section 5.10.649 Pedestrian Pathway – A public or private pedestrian way. Pedestrian pathways are designated in Plate 34 of Chapter 180, Chapter 105 or elsewhere in the Zoning Code, the Nonmotorized Transportation Plan, Design Guidelines, or the Comprehensive Plan.
- Section 5.10.495 Major Pedestrian Sidewalk – A public sidewalk in a Design District that is designated in Plate 34 of Chapter 180.
- Section 5.10.924 Through Block Pathway – A public or private pedestrian way located in a Design District. Through block paths are designated in Plate 34 of Chapter 180, Chapter 105 or elsewhere in the Zoning Code, the Nonmotorized Transportation Plan, Design Guidelines or the Comprehensive Plan.

Chapter 92 -- DESIGN REGULATIONS

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- 3. Design Review Procedures
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- 5. Dedication
- ~~6. Design Districts in Rose Hill Business District~~

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- ~~2. Through-Block Pathways~~ Pedestrian Oriented Facades Defined for RHBD and TLN
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- ~~4. Pedestrian Weather Protection~~
- ~~4.5. Multi Story Buildings Adjacent to Low Density Zones in RHBD and TLN~~
- ~~5. Building Frontage~~ Multi family Buildings in TLN
- ~~6. Access to Buildings~~
- ~~7. Building Location and Pedestrian-Oriented Facades~~
- ~~8. Pedestrian-Oriented Space and Plazas~~
- ~~6.9. Blank Wall Treatment~~ Building Location at Street Corners in RHBD and TLN
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92.20 ~~Public Improvements and Site Features~~ 630.26

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- ~~4. Internal Parking Lot Landscaping~~
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- 1. Techniques To Moderate Bulk and Mass in the CBD
- 2. Techniques To Moderate Bulk and Mass in the RHBD and TLN
- 3. Achieving Human Scale
- ~~3.4. Techniques To Achieve Architectural Scale in All Zones~~
- ~~4.5. Techniques To Achieve Architectural Scale in the RHBD and the TLN~~
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992.35 Building Material, Color and Detail.....

630.3550

- 1. Required Elements
- 2. Prohibited Materials
- 3. Metal Siding
- 4. Concrete Block
- 5. Awnings
- 6. Covering of Existing Facades
- 7. Building Cornerstone or Plaque
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- ~~8. Building Corners in the CBD~~
- ~~9. Street Corners in the RHBD and TLN~~

92.05 INTRODUCTION

1. General – This chapter establishes the design regulations that apply to development in Design Districts including the Central Business District (CBD), Juanita Business District (JBD), Rose Hill Business District (RHBD), Totem Lake Neighborhood (TLN), North Rose Hill Business District (NRHBD) and in Totem Center (TC).

Special provisions that apply to a particular Design District only the CBD, the JBD, the TLN, RHBD, NRHBD or Totem Center are noted in the margins and text section headings of the chapter.

2. Applicability – The provisions of this chapter apply to all new development. The provisions of Chapters 142 and 162 KZC regarding Design Review and nonconformance establish which of the regulations of this chapter apply to developed sites. Where provisions of this chapter conflict with provisions in any other section of the code, this chapter prevails. For more information on each design district refer to the Design Guidelines applicable to that Ddesign Ddistrict adopted by reference in Chapter 3.30 of the KMC.
3. Design Review Procedures – The City will use Chapter 142 KZC to apply the regulations of this chapter to development activities that require Design Review approval.
4. Relationship to Other Regulations – Refer to the following chapters of the Zoning Code for additional requirements related to new development on or adjacent to the subject property.

~~ALL~~ 4a. Landscaping – Chapter 95 describes Various places in this chapter require that landscaping be installed and maintained. The following provisions apply to the installation and maintenance of all landscaping requirements on the subject property, including street trees, installed under the provisions of this chapter unless otherwise specifically indicated.:

~~a. At the time of planting, deciduous trees must be three to four inches in diameter, as measured using the standard of the American Association of Nurserymen, and coniferous trees must be six to eight feet in height at the time of planting.~~

~~b. Shrubs must be 18 inches high at the time of planting.~~

~~c. Drought-tolerant plants are encouraged.~~

~~d. The City will review plant choice and specific plant location as part of the Design Review approval. The City may also require or permit modification to the required plant size as part of Design Review approval. Where appropriate, the City will apply the provisions of KZC 95.40(5)(b)(3) to require additional or more mature landscaping.~~

~~RHBD~~ e. Varieties of rose shrubs or ground cover, along with other plant materials, shall be included in the on-site landscaping.

b. Installation of Sidewalks, Public Pedestrian Pathways and Public Improvements – Chapter 110 KZC, describes the regulations for the installation of public sidewalks, major pedestrian sidewalks, pedestrian oriented sidewalks, or other public improvements on or adjacent to the subject property in zones subject to Design Review. Plate 34 in Chapter 180 provides the location and designation of the sidewalk, pedestrian walkways, pathways or other required public improvements within each Design District.

c. Pedestrian Access to Buildings, Installation of Pedestrian Pathways, Pedestrian Weather Protection– Chapter 105 KZC describes the requirements for pedestrian access to buildings and between properties, through parking areas and requirements for pedestrian weather protection. See also Plate 34 in Chapter 180.

7. Design Districts in the Totem Lake Neighborhood – Various places in this chapter refer to either the Totem Center (TC) design district or the larger Totem Lake Neighborhood (TLN). Figure 92.05.B below describes where the Totem Center design district is located within the larger Totem Lake Neighborhood. For a more information on the design guidelines for each area see the Totem Lake Neighborhood Design Guidelines and the Guidelines for Pedestrian Oriented Business Districts that apply in the Totem Center adopted by reference in Chapter 3.30 KMC.

Totem Center within the Totem Lake Neighborhood

Totem Center

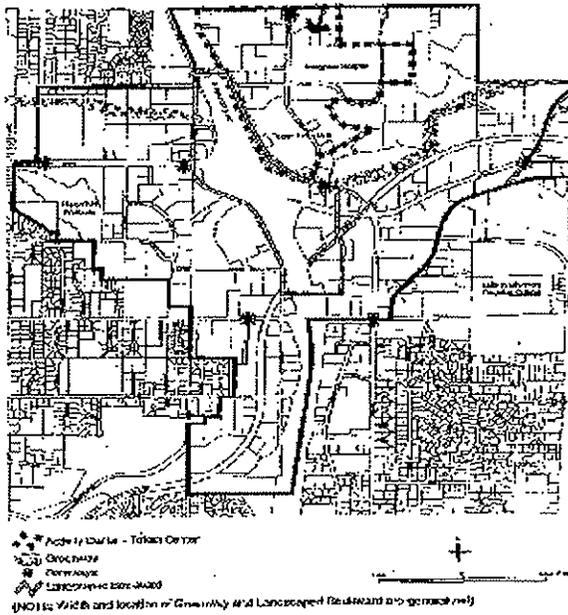


FIGURE 92.05.B

92.10 SITE DESIGN, BUILDING PLACEMENT AND PEDESTRIAN ORIENTED FACADES

This section contains regulations which establish the location of a building on the site in relationship to the adjacent sidewalk, pedestrian pathway or require various pedestrian-oriented elements on or adjacent to the subject property.

1. Building Placement in JBD - All buildings must front on a right-of-way or through-block pathway (See Plate 34).

4. Installation of Sidewalks

~~ALL a. Pedestrian-Oriented Street - The applicant shall install a sidewalk constructed of concrete or unit pavers, at least 10 feet in width (or as specified in the public improvement and site feature master plan), along the entire frontage of the subject property adjacent to each pedestrian-oriented street. If the required improvements cannot be accommodated within existing right-of-way, the difference may be made up with a public easement over private property. Buildings may cantilever over such easement areas, flush with the property line. (See Figures 92.10.A, B, C, D and E.)~~

~~RHBD b. Property Fronting NE 85th Street - The applicant shall install a 6.5-foot wide landscape strip planted with street trees located adjacent to the curb and a seven-foot wide sidewalk along the property frontage. Where the public right-of-way lacks adequate width to meet the previous standard, a 10-foot wide sidewalk with tree grates may be permitted or an easement established over private property. If the required improvements cannot be accommodated within existing right-of-way, the difference may be made up with a public easement over private property. Buildings may cantilever over such easement areas, flush with the property line.~~

~~ALL c. Major Pedestrian Sidewalks - If the subject property abuts a street designated to contain a major pedestrian sidewalk on Figure 92.10.A, 92.10.B, 92.10.C, 92.10.D, or 92.10.E, the applicant shall install that sidewalk on and/or adjacent to the subject property consistent with the following standards:~~

- ~~1) The major pedestrian sidewalk must be installed in the approximate location shown on Figures 92.10.A, 92.10.B, 92.10.C, 92.10.D and 92.10.E, and make the connections shown on the figures.~~
- ~~2) The major pedestrian sidewalk must be paved with concrete or unit pavers and have a minimum width of at least eight feet, unless otherwise noted in Figure 92.10.A. If the required improvements cannot be accommodated within the existing right-of-way, the difference may be made up with a public easement over private property. Buildings may cantilever over such easement areas, flush with the property line.~~
- ~~3) The major pedestrian sidewalk must have adequate lighting with increased illumination around building entrances and transit stops.~~
- ~~4) If parcels are developed in aggregate, then alternative solutions may be proposed.~~

~~ALL d. Pedestrian-Oriented Elements Provisions Supersede - If the provisions of subsections (1)(a) and (1)(c) of this section both apply to improvements within and/or adjacent to a street, the provisions of subsection (1)(a) of this section, and not subsection (1)(c) of this section, must be followed.~~

~~ALL e. - All other streets shall meet the standards specified in Chapter 140 KZC.~~

~~Pedestrian Circulation in the CBD~~

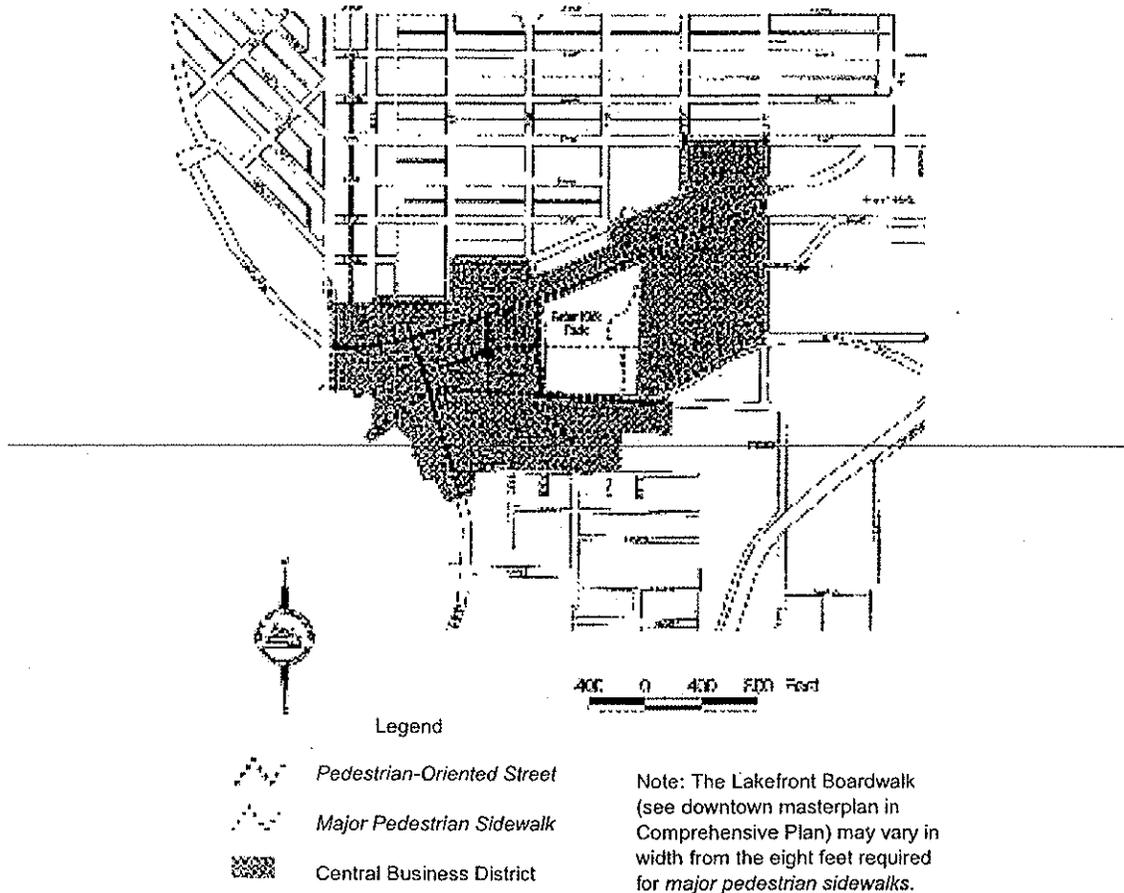


FIGURE 92.10.A

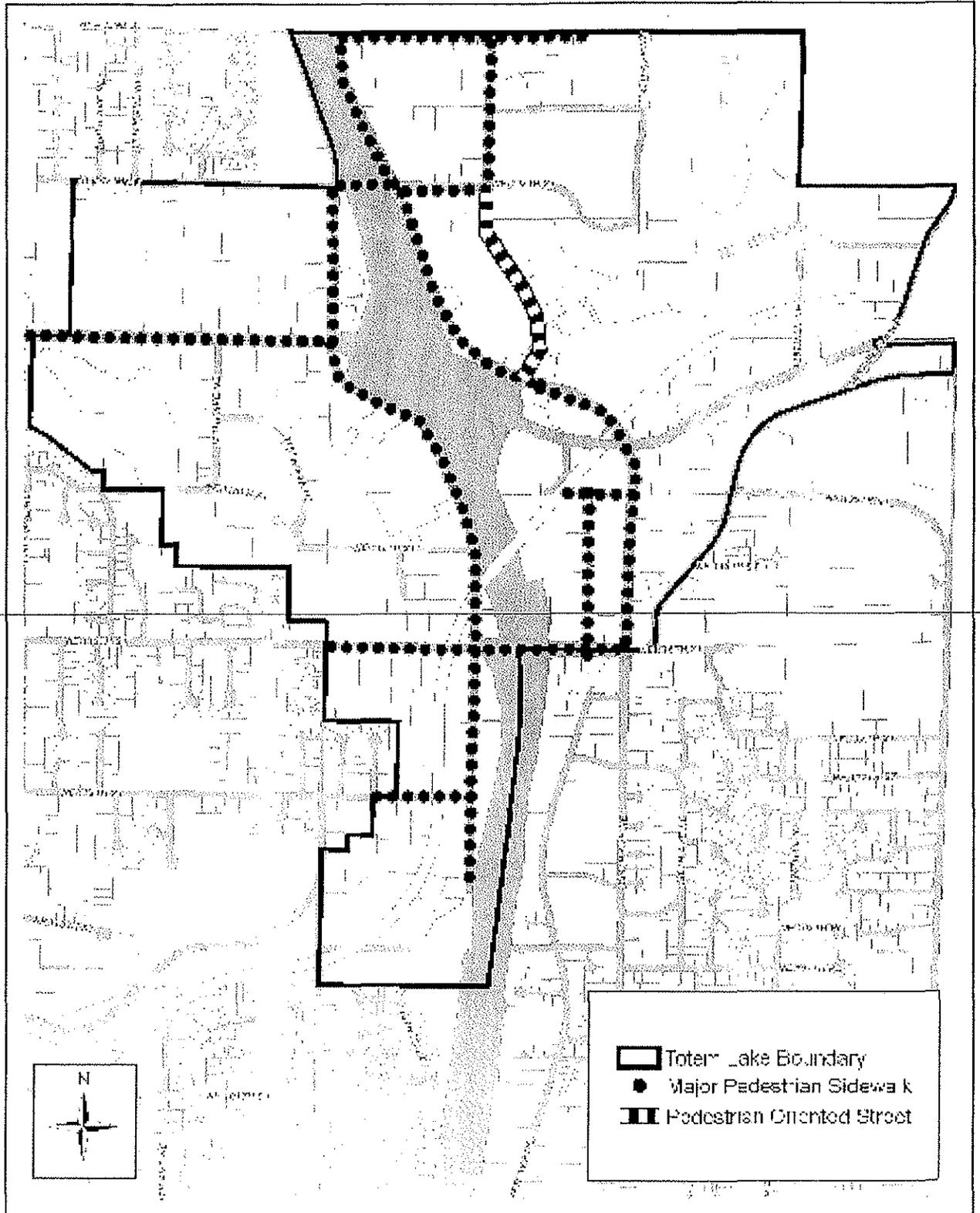


FIGURE 92.10.D

2 Required Sidewalk on Pedestrian-Oriented Streets and Major Pedestrian Sidewalks

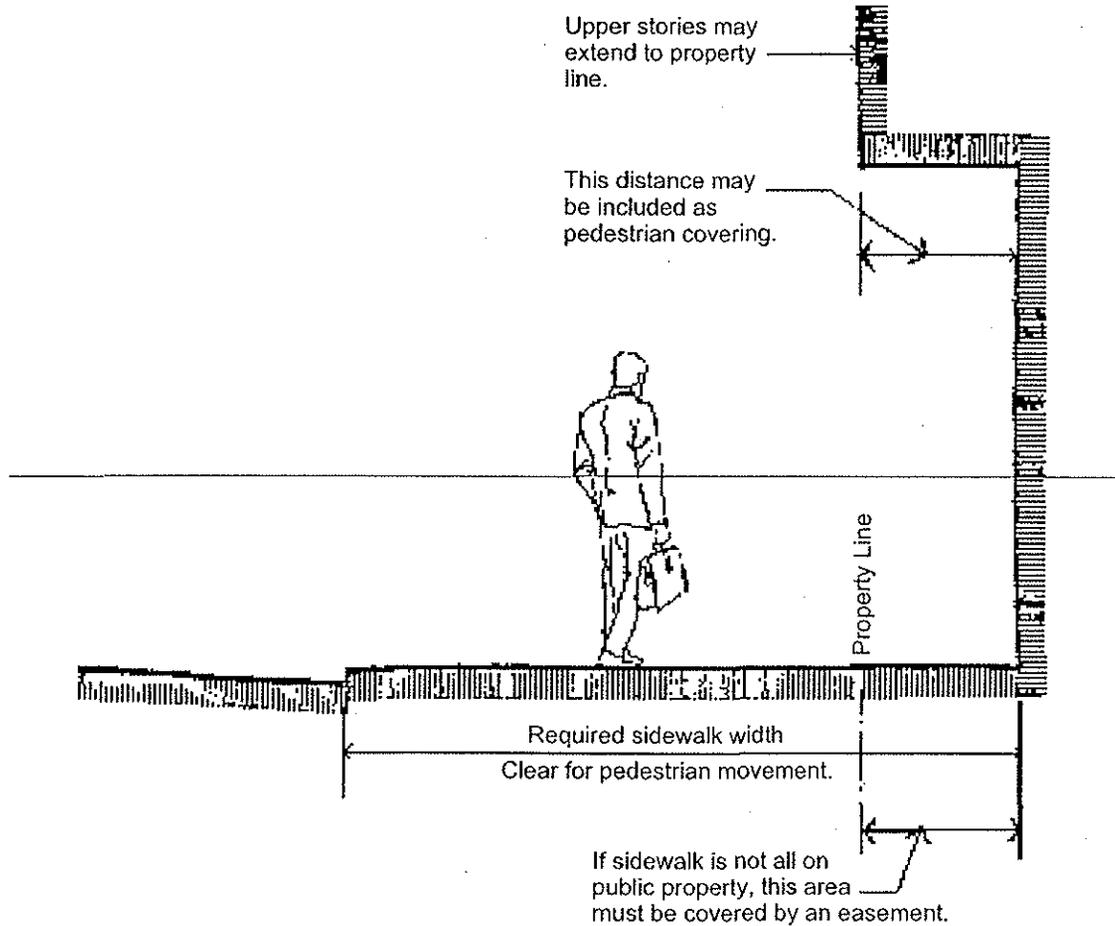


FIGURE 92.10.E

ALL 2. Through-Block Pathways

a. ~~Through-block pathways refer to interior on-site pedestrian walkways that are not located within a public right-of-way (but may be located on public property (i.e., in CBD)). The alignment of these pathways, where required, shall take into account pedestrian connections shown in the Comprehensive Plan, proposed and existing buildings and, to the extent possible, extend along building fronts or property lines to enhance the pedestrian environment and connections to adjacent property. Through-block pathways must be constructed to the following standards unless otherwise noted herein:~~

- 1) ~~A minimum unobstructed pavement width of eight feet, paved with concrete or unit pavers.~~
- 2) ~~Trees placed at an average of 30 feet on-center between the pathway and any parking or vehicular access area. Exceptions:~~
 - a) ~~Pedestrian-scaled light fixtures, at 12 feet in height and placed no more than 30 feet on-center, may be used in place of some of the required trees.~~
 - b) ~~To increase business visibility and accessibility, the City may allow modifications in the required tree coverage adjacent to major building entries; however, no less than one tree per 60 lineal feet of the required walkway shall be provided.~~
 - c) ~~The required trees must be placed in planting strips at least 4.5 feet in width or within tree grates.~~

ALL 3) — Adequate lighting with increased illumination around building entrances and transit stops. Pedestrian-scaled lighting fixtures, at 12 feet in height, are encouraged along the pathway.

ALL 4) — Barriers which will limit pedestrian access between the subject property and adjacent properties are not permitted.

ALL 5) — If applicable parcels are developed in aggregate, then alternative solutions may be proposed.

Through-Block Pathway

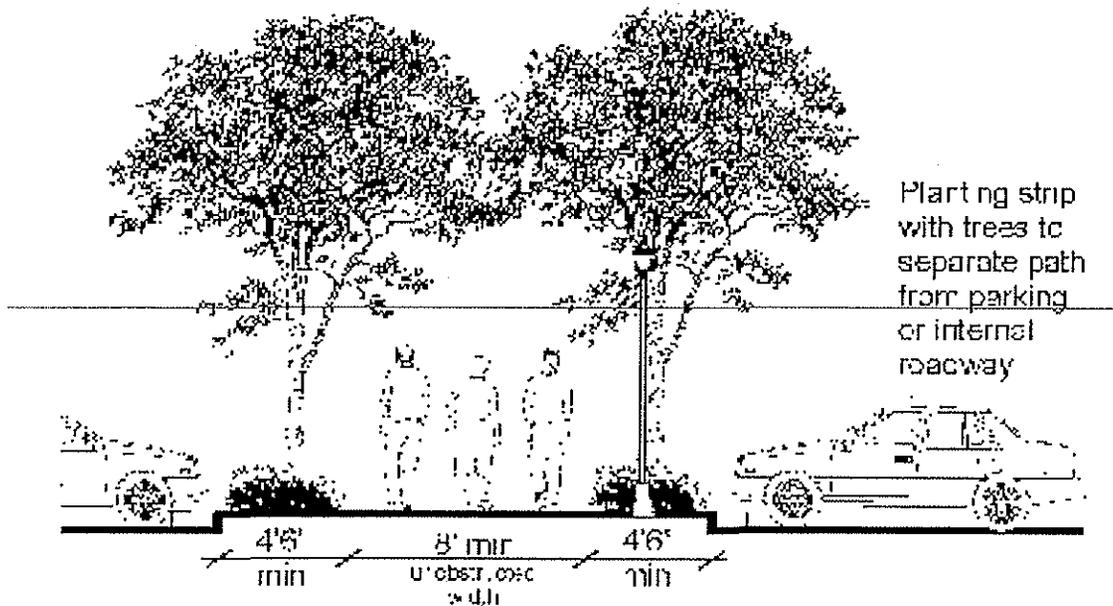


FIGURE 92.10.F

JBD b. — Through-Block Pathways in the JBD — The applicant shall install a *through-block pathway* extending from the north end to the south end of JBD 1 of the Juanita Business District. Two *through-block pathways*, spaced far enough apart to provide maximum accessibility for the whole block, will also extend from the east side to the west side of JBD 1 (see Figure 92.10.B).

The alignment of these pathways will take into account proposed and existing buildings and, to the extent possible, will extend along building fronts or property lines.

- 1) — The applicant must install pathways that run generally north/south (or diagonally northeast/southwest) and east/west on the subject property. The pathways shall be located to provide a direct continuation of the existing or future *through-block pathway* on adjacent properties. When possible, the pathways shall be located to create view corridors and reinforce connections to Lake Washington. During the Design Review process, the City may determine that a *through-block pathway* is not required if a suitable *through-block pathway* exists on adjacent properties.
- 2) — *Through-block pathways* adjacent to the front of buildings must be 10 feet wide with a six-inch vertical curb, and paved with concrete or unit pavers. Sidewalks that are not adjacent to the front of buildings must have a minimum width of eight feet and be differentiated from underlying pavement with texture or material, unless otherwise determined through Design Review.
- 3) — The *through-block pathways* must have adequate lighting with increased illumination around building entrances and transit stops.
- 4) — If parcels are developed in aggregate, then alternative solutions may be proposed.

5) ~~Barriers which will limit pedestrian access between the subject property and adjacent properties are not permitted.~~

~~TC c. Through-Block Pathways in TL 2 The applicant shall install at least one *through-block pathway* from Totem Lake Boulevard to 120th Avenue NE, between the upper and lower portions of TL 2 and within TL 2 where necessary, to strengthen the pedestrian connections to streets between buildings, parking areas and public spaces. Pedestrian connections to surrounding uses, including the Transit Center, the Evergreen Hospital Medical Center campus and to the TL 1 zone should also be provided.~~

1) ~~*Through-block pathways* in TL 2 shall be developed according to the following standards:~~

a) ~~The minimum width, curb specifications and paving materials for through-site connections shall be established through the Conceptual Master Plan review.~~

b) ~~Through-site connections must have adequate lighting, with increased illumination around building entrances and at street crossings.~~

c) ~~Barriers which will limit pedestrian access between the subject property and adjacent properties are not permitted.~~

~~TLN d. Through-Block Pathways in the TLN The applicant shall install a *through-block pathway* or pathways to link streets and/or activities in the following zones and locations described in the Transportation and Totem Lake Neighborhood Plan chapters of the Comprehensive Plan:~~

1) ~~On parcels located in TL 5: In addition to the new roads to be developed through the district (123rd Avenue NE and NE 120th Street, designated as *major pedestrian sidewalks* in Figure 92.10.G), a network of east-west pathways at intervals no greater than 350 feet that link uses to 124th Avenue NE shall be installed. *Through-block pathways* may be integrated with internal access roads and/or provided within separate pedestrian-only corridors.~~

2) ~~On parcels located in TL 6B (Figure 92.10.H): Include at least one mid-block east-west pathway connecting uses to 116th Avenue NE and a network of north-south pathways at intervals no greater than 350 feet that link uses to NE 124th Street. *Through-block pathways* may be integrated with internal access roads and/or provided within separate pedestrian-only corridors.~~

3) ~~Additional *through-block pathways* not shown in the Comprehensive Plan may be required by the City on parcels larger than two acres in order to enhance pedestrian access on large sites.~~

Vehicle Access and Pedestrian Through-Block Pathway Concept for TL-5

Internal Access Roads and Through-Block Pathways Concept for TL-6B

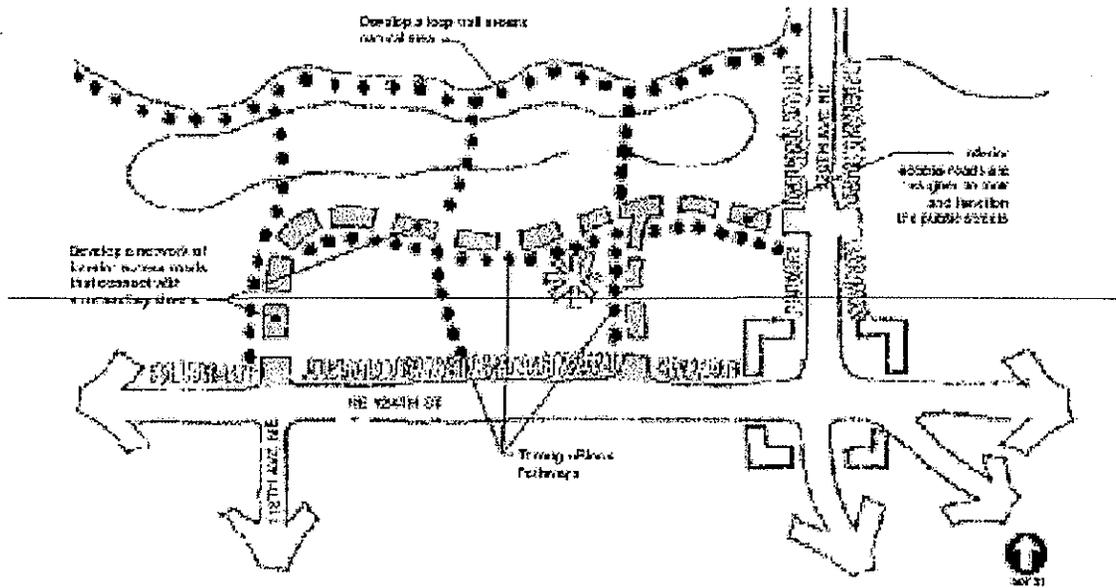


FIGURE 92.10.H

RHBD e. Through-Block Pathways in RHBD—The applicant shall install a *through-block pathway* per the standards in subsection (2)(a) of this section to link streets and/or activities in the following zones and locations described in the Transportation and NE 85th Street Subarea chapters of the Comprehensive Plan:

- 1) On parcels located north of NE 85th Street in the RM 3.6, LIT and RH 3 zones, the applicant shall install a *through-block pathway* in an east/west direction between 120th Avenue and 124th Avenue.
- 2) On parcels located in the RH 3 zone, the applicant shall install a pedestrian pathway connecting the north portion of the RH 3 zone to NE 85th Street on the south.
- 3) Additional *through-block pathways* not shown in the Comprehensive Plan may be required by the City on parcels larger than two acres.

Approximate Location for Through-Block Pathways in the RHBD

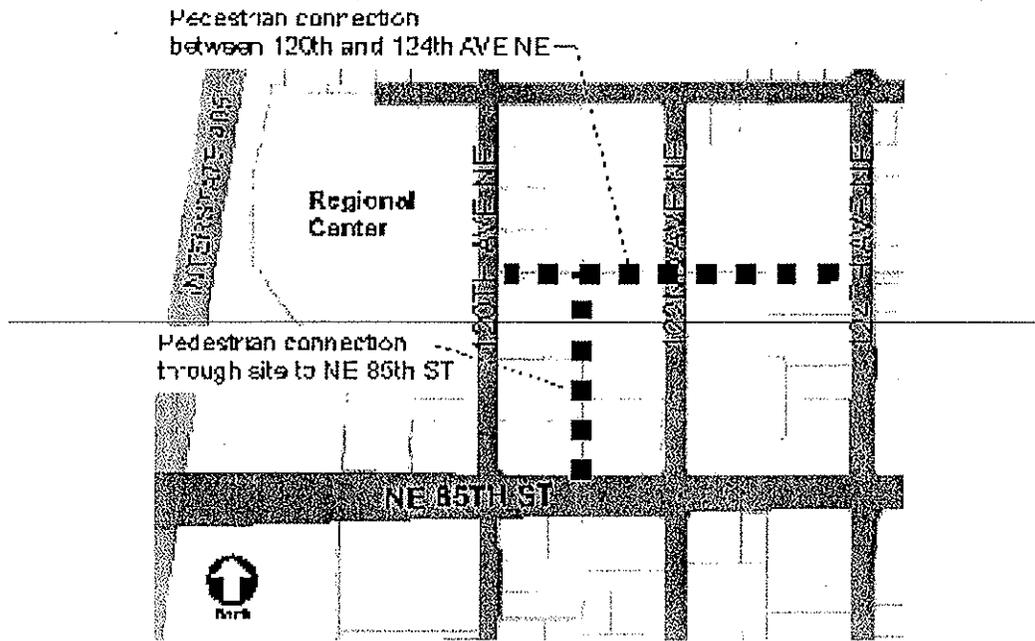


FIGURE 92.10.I

2. Pedestrian Oriented Facades Defined For RHBD and TLN - To meet the definition of a pedestrian-oriented facade (see Figure 92.10.AK):

- a. The building's primary entrance must be located on this façade and facing the street. For purposes of this chapter, "primary entrance" shall be defined as the primary or principle pedestrian entrance of all buildings along that street. The primary entrance is the entrance designed for access by pedestrians from the sidewalk. This is the principal architectural entrance even though customers or residents may use a secondary entrance associated with a garage, parking area, driveway or other vehicular use area more frequently.
- b. Transparent windows and/or doors must occupy at least 75 percent of the facade area between two and seven feet above the sidewalk.
- c. Weather protection feature(s) at least five feet wide must be provided over at least 75 percent of the facade. This could include awnings, canopies, marquees, or other permitted treatments that provide functional weather protection.

3. Building Placement In RHBD and TLN

- a. Building Location Featuring Pedestrian-Oriented Facades in RHBD and TLN Zones-
Buildings may be located adjacent to the sidewalk of any street (except west of 124th Avenue NE), if they contain a pedestrian-oriented façade along that street frontage pursuant to the standards in subsection 92.10.2 above. As part of the Design Review process, required yards setbacks or other development standards may be modified along the street frontage. Buildings not featuring a pedestrian oriented façade along a street, must provide a building setback of at least 10 feet from any public street (except areas used for pedestrian or vehicular access) landscaped with a combination of trees, shrubs, and groundcover per the requirements of supplemental landscape standards of KZC, Chapter 95.40.5.b.

d. As part of the Design Review process required, yard setbacks or other development standards may be modified (see Chapter 142-KZC).

3. Other Internal On-Site Pathways

RHBD, TLNa. Buildings may be located adjacent to the sidewalk of any street (except west of 124th Avenue NE) if they contain a *pedestrian-oriented façade*. As part of the Design Review process, required yard setbacks or other development standards may be modified along the street frontage.

Pedestrian-Oriented Façade

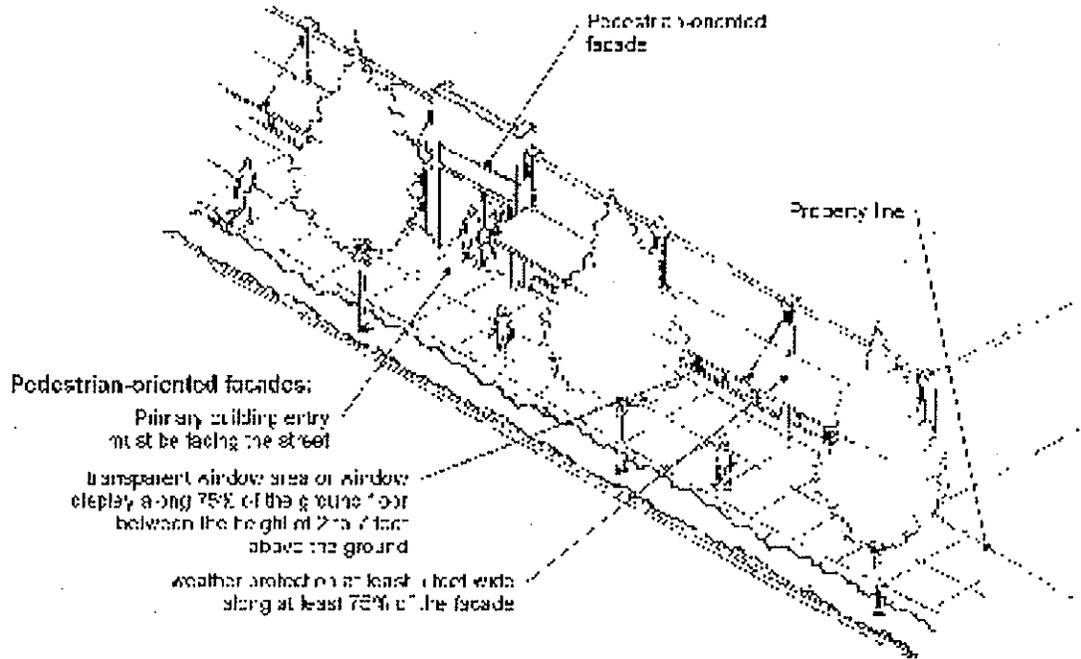


FIGURE 92.10.A

b. ~~d. For All Other Building Facades in RHBD and TLN zones (non-pedestrian-oriented façade), Building facades not featuring a pedestrian oriented façade described in section 92.10.2 must provide at least three feet of landscaping shall be required between any vehicular access area or walkway and the building and any building facade not meeting pedestrian-oriented façade requirements as noted above. (See Figure 92.10.B.)~~

Exceptions:

- 1) Alleys and other areas generally not visible to the public, as determined by the City;
- 2) Other design options may be considered through the Design Review process, provided they meet the intent of the guidelines.

Interior Pedestrian Pathway Shall Be Separated from Non-Pedestrian-Oriented Facades by Landscaping

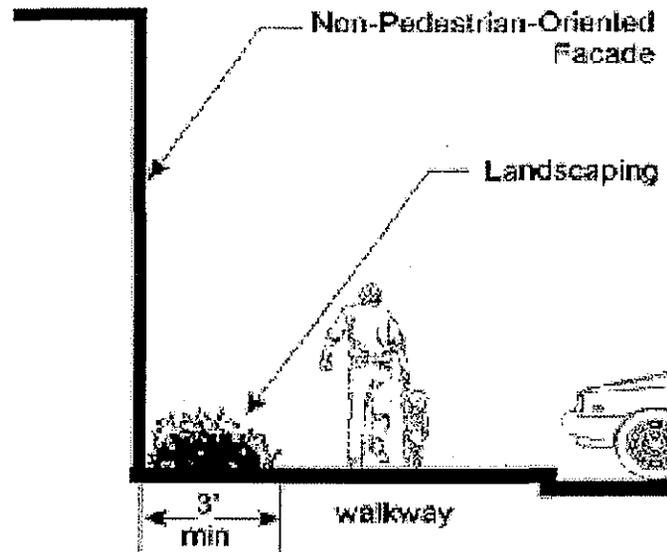


FIGURE 92.10.B

~~For options b and c above the City will review plant choice and specific plant location as part of the Design Review approval. The City may also require or permit modification to the required plant size as part of Design Review approval. Where appropriate, the City will apply the provisions of KZC 95.40(5)(b)(3) to require additional or more mature landscaping.~~

~~RHBD, TLN b. Internal Pathways Not Along Building Facades For all other internal on-site pedestrian pathways, the applicant must successfully demonstrate to the City that the proposed walkway is of sufficient width, materials, and design to accommodate the anticipated number of users. At a minimum, pathways shall feature five feet of unobstructed width.~~

~~CBD, 4. Pedestrian Weather Protection The applicant shall provide overhead weather protection, JBD, TC, consistent with the following standards:~~

~~RHBD, TLN~~

~~CBD a. In the CBD, along at least 80 percent of the frontage of the subject property on each pedestrian-oriented street;~~

~~RHBD, TLN b. In the RHBD and the TLN, buildings must feature weather protection at least five feet wide along at least 75 percent of the pedestrian-oriented facade;~~

~~TLN, RHBD c. Weather protection is required over the primary exterior entrance to all buildings, including residential units. Weather protection features must cover the width of the entry at a depth of at least three feet from the building entry. This may include covered porches, overhangs, awnings, marquees, recessed entries or other similar features;~~

~~JBD d. In the JBD, along 100 percent of the front of the building;~~

~~ALL e. The overhead weather protection may be composed of awnings, marquees, canopies or building overhangs;~~

- ALL — f. It must cover at least five feet of the width of the sidewalk. The width may vary (not less than three feet) to accommodate street trees, streetlights, etc.;
- ALL — g. The lowest element of the overhead weather protection must be at least eight feet above the ground immediately below it;
- ALL — h. The City will specifically review and approve the color, material and configuration of all overhead weather protection as part of the Design Review decision. See KZC 92.35(5), Awnings.
- JBD — 5. Building Frontage — In the JBD, all buildings must front on a right-of-way or *through-block pathway*.
- 6. Pedestrian Access to Buildings
- CBD — a. In the CBD, all buildings on property abutting *pedestrian-oriented streets* must have direct access from the sidewalk of the *pedestrian-oriented street* to the main building entrance.
- JBD, RHBD — b. In the JBD, RHBD and TLN, all buildings must have convenient access from the street sidewalk or the *through-block pathway* to the main building entrance.
- TLN —
- NRHBD — c. In the NRHBD, all buildings on property abutting *major pedestrian sidewalks* must have direct access from the sidewalk to the main building entrance.
- TC — d. In Totem Center, all buildings on property abutting a *major pedestrian sidewalk* or a *pedestrian-oriented street* must have convenient access from the sidewalk or the *major pedestrian sidewalk* or *pedestrian-oriented street* to the main building entrance.
- 3) — Weather protection feature(s) at least five feet wide over at least 75 percent of the facade. This could include awnings, canopies, marquees, or other permitted treatments that provide functional weather protection.

Interior Pedestrian Pathway Shall Be Separated from Non-Pedestrian-Oriented Facades by Landscaping

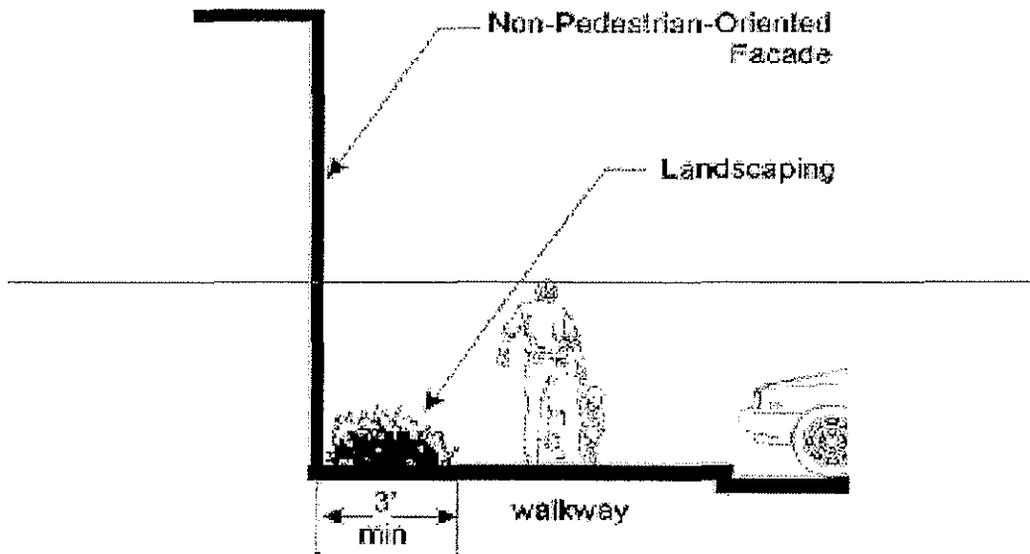


FIGURE 92-10.L

c.e. RHBD Neighborhood Center Frontage:- At least 50 percent of the NE 85th Street property frontage must contain *pedestrian-oriented facades* located directly on the sidewalk. Vehicle sales uses are exempt as long as their showroom faces the street and is sited within 10 feet of the sidewalk.

d.d. Vehicle sales showrooms in RHBD and TLN Zones- Vehicle sales uses are encouraged to locate their showrooms toward the street (and toward NE 85th Street in RHBD) with parking to the side or rear.

e. g. RHBD East End – NE 85th Street Building Frontage Options and Preferences:

- 1) Preferred Option: Buildings may be located adjacent to the sidewalk on NE 85th Street if they contain a *pedestrian-oriented facade* (see Figure 92.10.AK);
- 2) Second Option: Locate and orient building towards the sidewalk on NE 85th Street. In this option, the development features a 10-foot minimum landscaped front yard, a clear pathway between the sidewalk and the building, and a building entry and windows facing the street.
- 3) Least Preferred Option: Locate the building at the rear of the property with parking between NE 85th Street and the building as long as the following standards are applied:
 - a) Provide a perimeter parking landscape buffer strip between the sidewalk and parking area per Chapter 95 KZC.
 - b) Provide clear pedestrian access from the sidewalk to the building entry.
 - c) Provide a walkway along the building facade meeting *through-block pathway* standards as described in Section 105.19, KZC.
 - ~~e) Provide a walkway along the building facade meeting *through-block pathway* standards as described in subsection (2)(a) of this section.~~

g. RHBD i. RHBD East End – Rear Yard Building Placement: Pursuant to KZC 95.40, in most cases, commercial uses shall install a required landscaped buffer adjacent to single-family properties. By requesting a modification to these provisions, the property owners may negotiate an agreement to reduce the landscape buffer/setback in a way that can benefit both parties.

Where buildings are sited towards the rear of the property, the applicant must utilize one of the following standards to minimize impacts to adjacent residential areas (see Figure 92.10.CM and options below):

- 1) Meet the required landscape buffer pursuant to KZC 95.40.
- 2) Provide a blank wall no taller than 15 feet in height with no openings placed at the rear property line (building itself serves as a wall, uses are inside the building, shielded from adjacent residential uses). To qualify for this method, the treatment must be agreed to by the adjoining property owners per the modifications section of Chapter 95 KZC.
- 3) Provide a combination of both methods above. For example, provide a blank wall no taller than 15 feet in height between zero and 15 feet from the property line and landscape the applicable area between the building and the property line. In addition, an unfenced design option would effectively enlarge the adjacent homeowners' rear yard (a mutually beneficial arrangement). To qualify for these methods, the treatment must be agreed to by the adjoining property owners per the landscape buffer modifications section of Chapter 95 KZC.

Rear Yard Building Placement Options in the RHBD

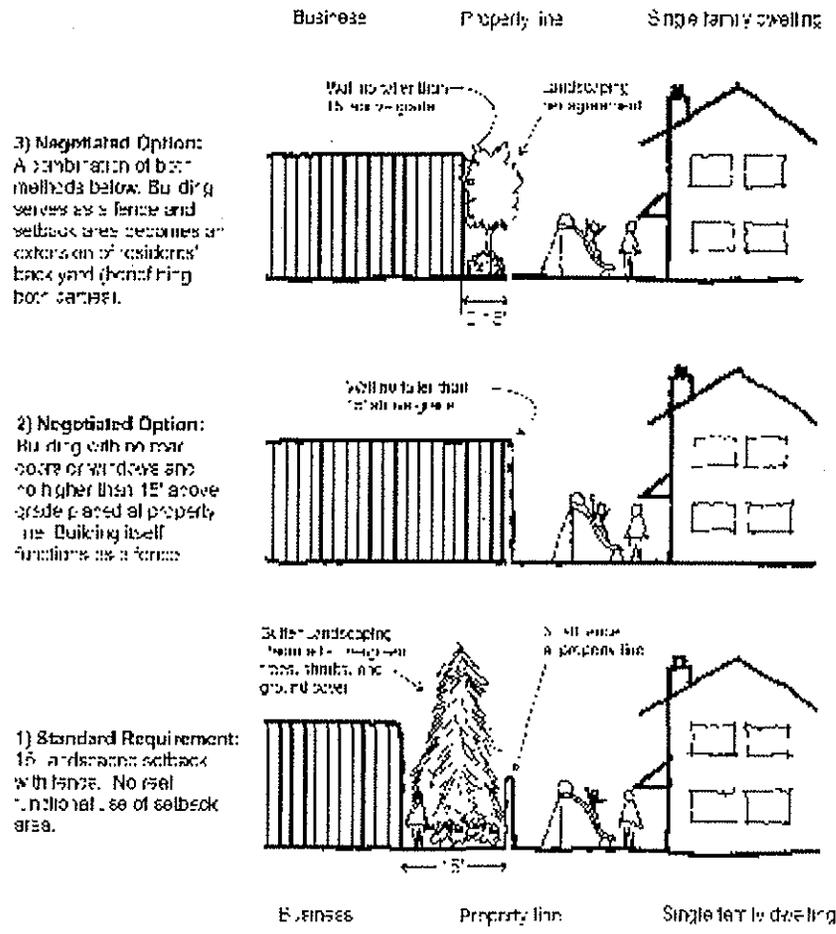


FIGURE 92.10.CM

Internal Pathways Along Building Facades in RHBD

1. Nonresidential uses that do not front directly onto a public sidewalk must provide a pathway along their primary building facade (a "primary building facade" means the facade contains the building's primary entry) in accordance with the through-block pathway standards noted in Section 105.xx above in subsection (2)(a) of this section (see Figure 92.10.J). As part of Design Review the City may provide exceptions in the following circumstances:

- a) New nonresidential developments with less than 2,000 square feet of gross floor area that feature a landscaped front yard area and parking off to the side or rear are only required to have direct pedestrian access from the sidewalk.
- b) For uses that require vehicle service bays or where the requirement conflicts with other City goals, policies or regulations.

2. Internal Pathways Not Along Building Facades in RHBD For all other internal on-site pedestrian pathways, the applicant must successfully demonstrate to the City that the proposed walkway is of sufficient width, materials, and design to accommodate the anticipated number of users. At a minimum, pathways shall feature five feet of unobstructed width.

4. Multi-story buildings on sites adjacent to a low density zone in RHBD and TLN shall be configured and designed to minimize privacy impacts on adjacent low density uses. For example, a development may meet this requirement by orienting upper floors towards the street and/or towards interior courtyards.
5. Multifamily buildings located in TLN adjacent to NE 120th Street must be oriented toward this street. To meet this requirement, common and/or individual unit entries must face the street. The building must include windows that face the street. Parking areas between the building and the street are prohibited. Alternative configurations may be considered in the Design Review process.
6. Building Location at Street Corners in the RHBD and TLN Zones
 - a. General Standards- For development at street corner sites, the applicant must incorporate one or more of the following site treatments:
 - 1) Locate and orient the building towards the street corner (within 10 feet of corner property line). To qualify for this option, the building must have direct pedestrian access from the street corner. Exception: Properties in the RHBD Regional Center must provide a 10-foot minimum setback between NE 85th Street and any building.
 - 2) Provide an architectural feature that adds identity or demarcation of the area. Such an architectural element may have a sign incorporated into it (as long as such sign does not identify an individual business or businesses) (see Figure 92.10.D).
 - 3) Provide a "pedestrian-oriented space" at the corner leading directly to a building entry or entries (see Section 92.15. and Figure 92.10.D).
 - 4) Install substantial landscaping (at least 30-foot by 30-foot or 900 square feet of ground surface area with trees, shrubs, and/or ground cover).
 - b. RHBD Properties located at the 124th, 126th, and 128th Avenue NE intersections- Buildings must be located at the street corner and provide *pedestrian-oriented facades* along both streets. Exceptions:
 - 1) Setbacks will be allowed only where the space between the sidewalk and the building meets the definition of a *pedestrian-oriented space* An example is shown in Figure 92.10.D.
 - 2) Vehicle sales and properties on the west side of the 124th Avenue NE are exempt from this standard because of transmission line easement limitations.

Building located directly on a street corner with direct pedestrian access and *pedestrian-oriented facades*.

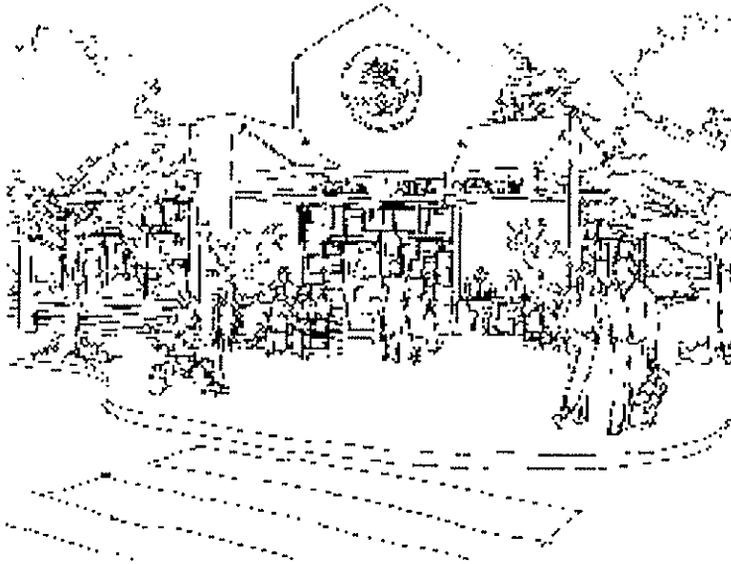


FIGURE 92.10.D

7. Building Location at Street Corners In CBD

- a. Building Corners in the CBD – If the subject property is adjacent to the intersection of two streets, at least one of which is a *pedestrian-oriented street*, the applicant shall use one or more of the following elements or treatments in the design and construction of the corner of the building facing the intersection of the streets which includes the *pedestrian-oriented street*. As an alternative, the applicant may propose other techniques, elements or treatments in the design of the corner which are consistent with the design guidelines and the provisions of the Comprehensive Plan.

1.1) Provide at least 100 square feet of sidewalk area or pedestrian-oriented open space in addition to the area required to produce a 10-foot-wide sidewalk as required under KZC 110.52 pedestrian oriented street 92.10(4) (see Figure 92.10.D35.A).

2.2) Provide an entranceway to a store, building atrium or lobby, exterior courtyard or pedestrian-oriented open space (see Figure 92.10.E35.B).

3.3) Provide a pedestrian pathway, at least eight feet in width, that connects to another street, public feature or building (see Figure 92.10.E35.B).

4.4) Provide one or more of the elements listed below on both sides of an axis running diagonally through the corner of the building and bisecting the angle formed by the two building facades (see Figure 92.1035.FG):

- a) A bay window or turret.
- b) A roof deck.
- c) Balconies above the ground floor.
- d) A building corner setback notch or curved facade surface.
- e) Sculpture or artwork, either bas-relief or figurative.
- f) Distinctive use of facade materials.

5.5) Provide special or unique treatment, other than the use of fabric or vinyl awnings, for pedestrian weather protection at the corner of the building.

Options for Corner Setback Configurations

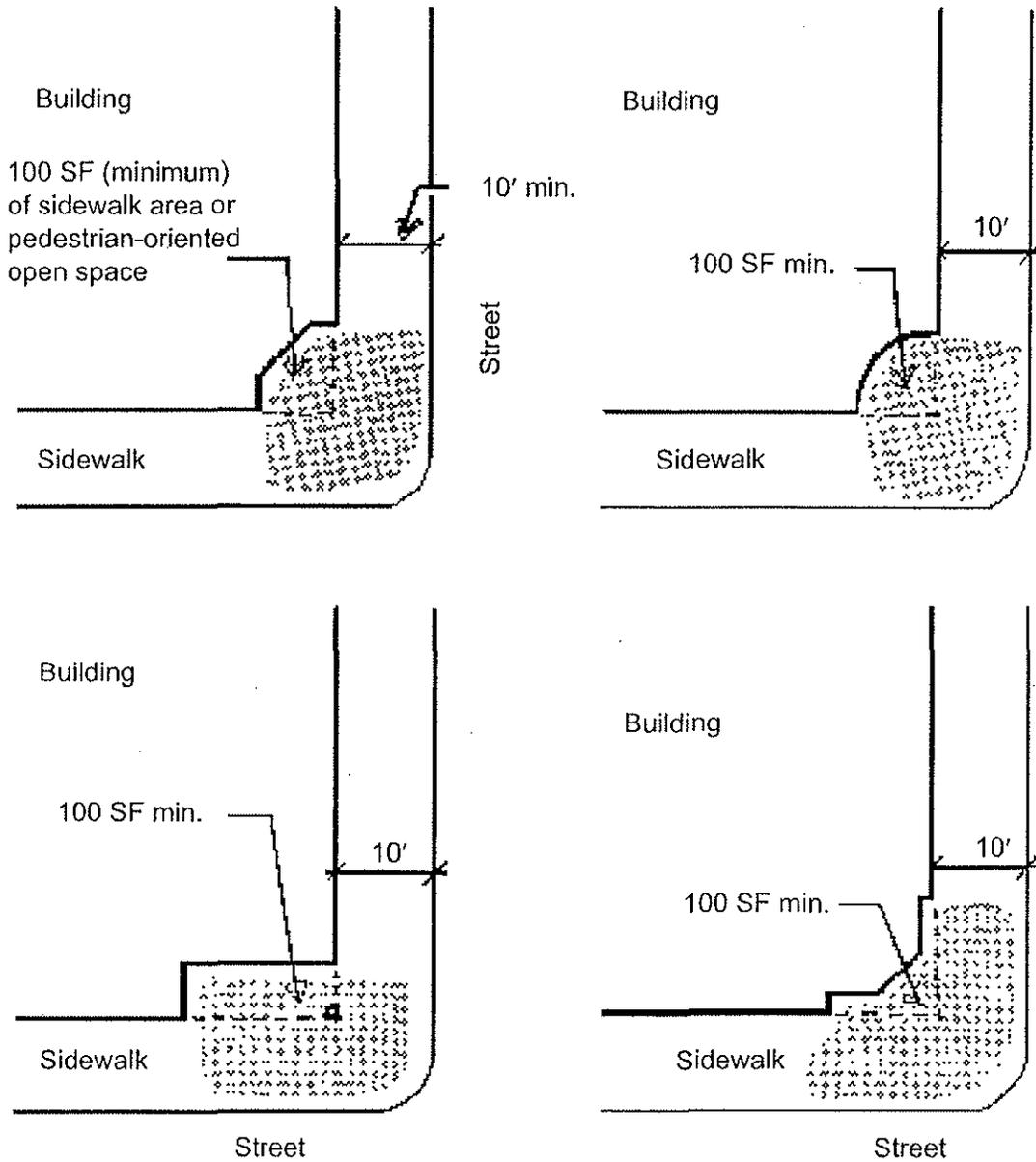


FIGURE 92.10.D

Options for Corner Entry Elements

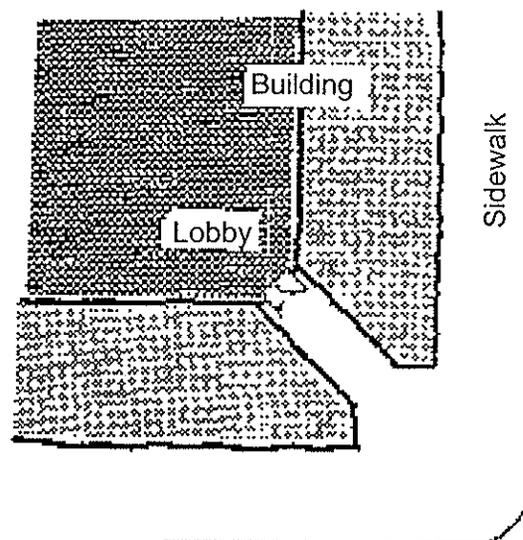
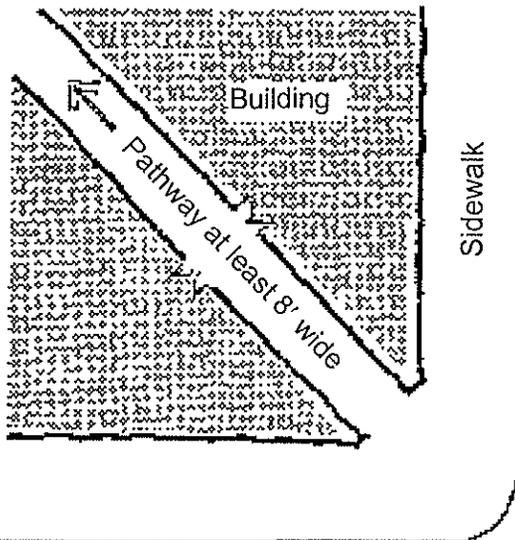
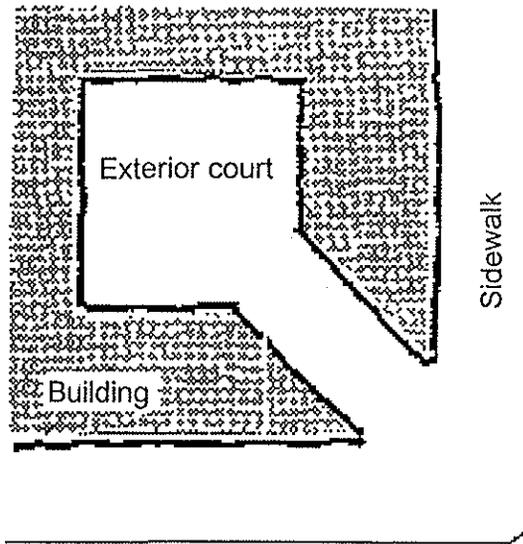
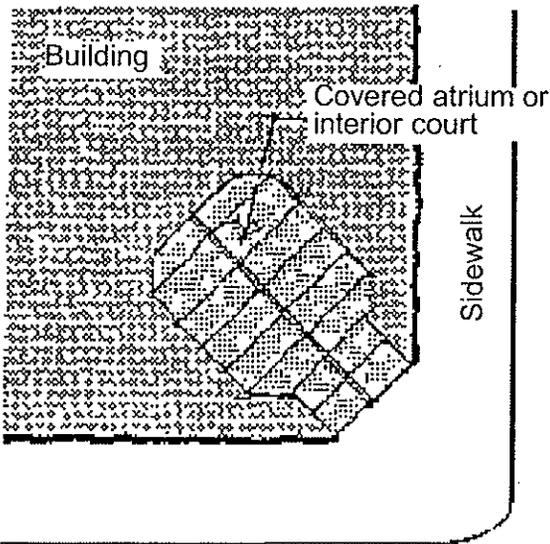


FIGURE 92.10.E35.B

Architectural Elements for Corners

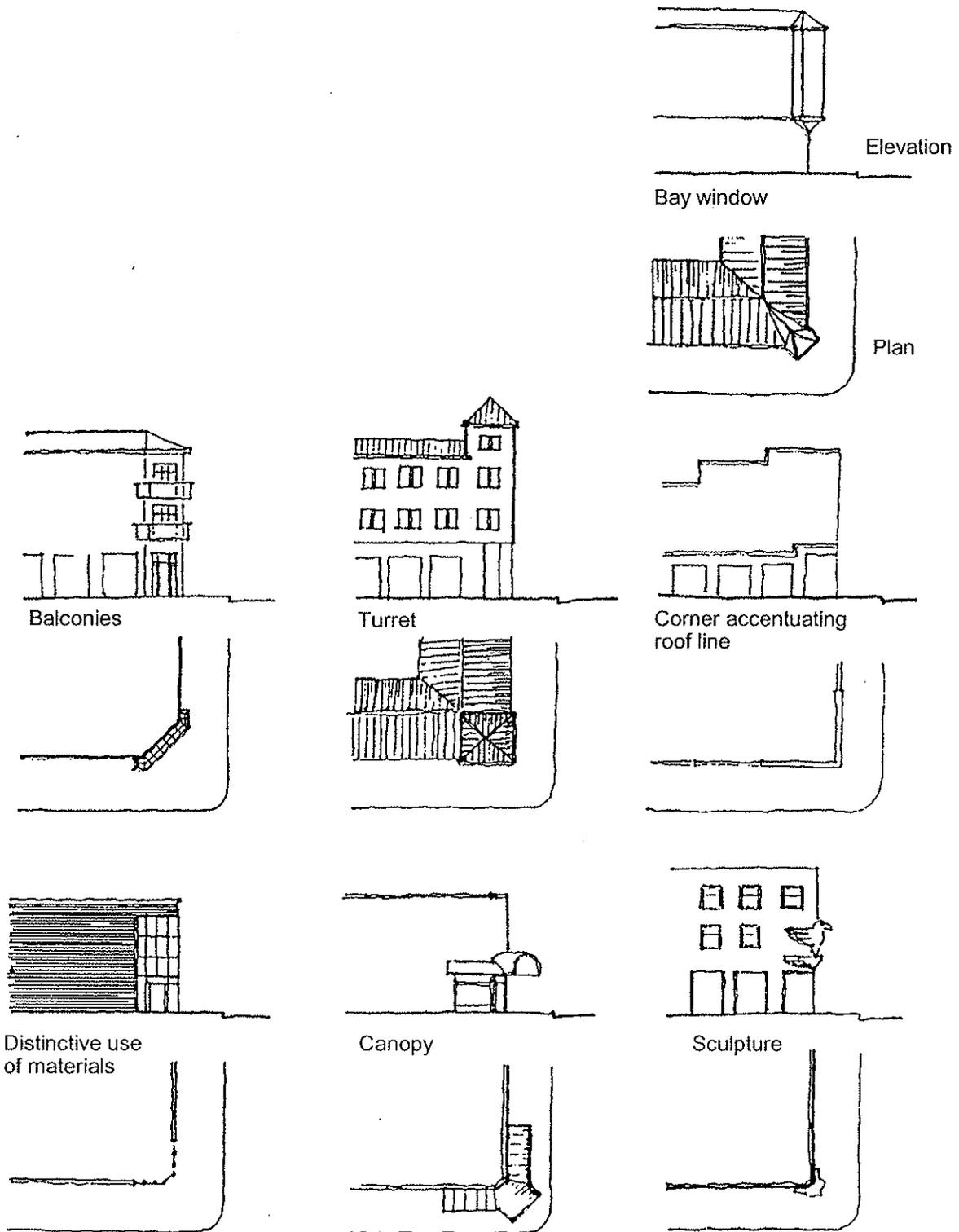


FIGURE 92.10.F35.C

— Internal Pathways Along Building Facades In RHBD and TLN Zones — Nonresidential uses that do not front directly onto a public sidewalk must provide a pathway along their *primary building facade* (a “*primary building facade*” means the facade contains the building’s primary entry) in accordance with the *through-block pathway* standards noted above in subsection (2)(a) of this section (see Figure 92.10.J). As part of Design Review the City may provide exceptions in the following circumstances:

- 1) — New nonresidential developments with less than 2,000 square feet of gross floor area that feature a landscaped front yard area and parking off to the side or rear are only required to have direct pedestrian access from the sidewalk.
- 2) — For uses that require vehicle service bays or where the requirement conflicts with other City goals, policies or regulations.

Pathway Along Building Facade and Parking Area

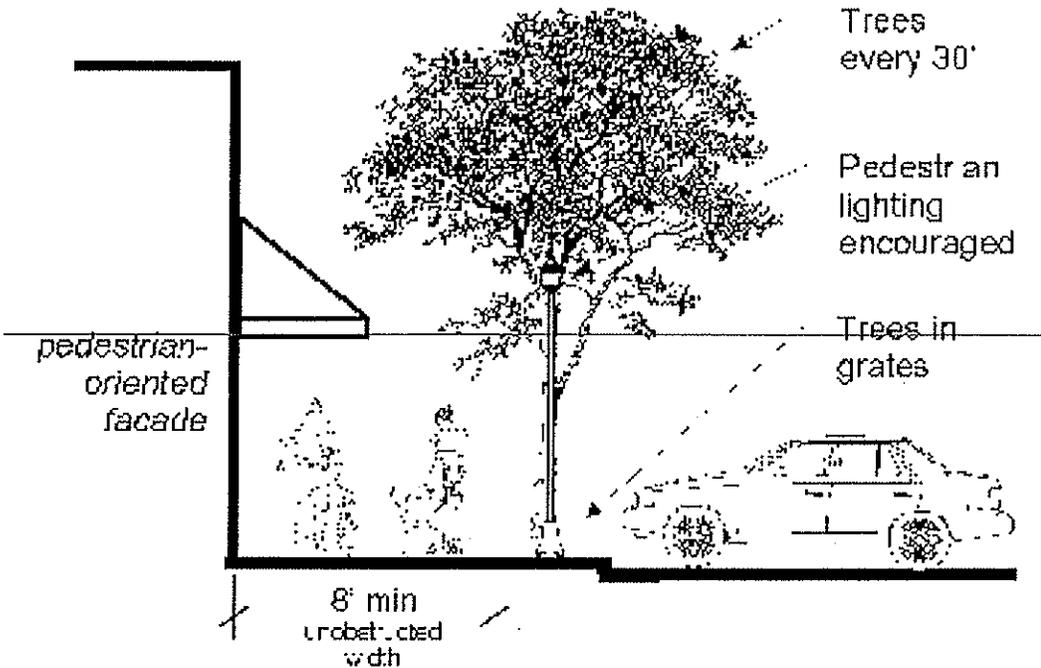


FIGURE 92.10.J

11. — Internal Pathways Not Along Building Facades in RHBD and TLN Zones — For all other internal on-site pedestrian pathways, the applicant must successfully demonstrate to the City that the proposed walkway is of sufficient width, materials, and design to accommodate the anticipated number of users. At a minimum, pathways shall feature five feet of unobstructed width.

Interior Pedestrian Pathway Shall Be Separated from Non-Pedestrian-Oriented Facades by Landscaping

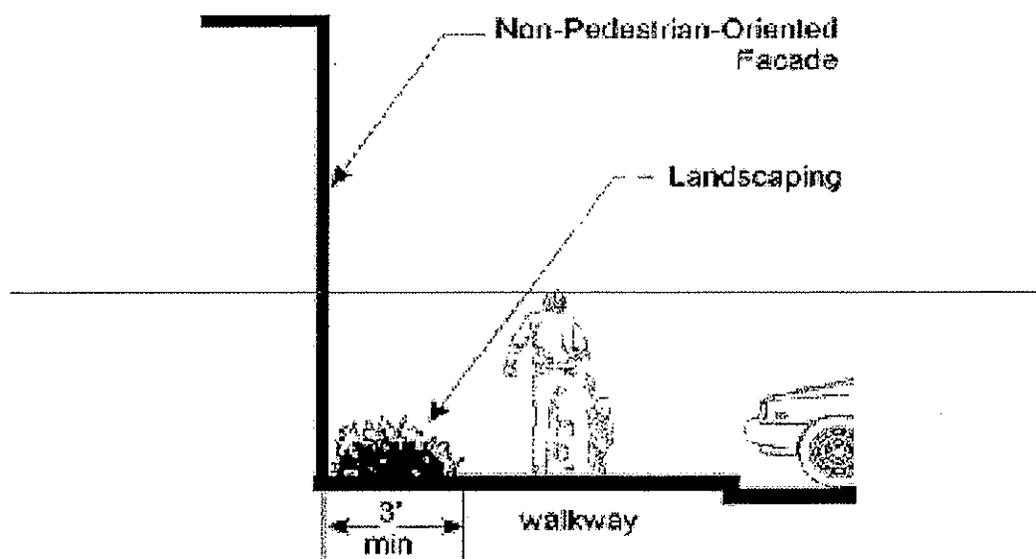


FIGURE 92.10.L

92.15 PEDESTRIAN ORIENTED IMPROVEMENTS ON OR ADJACENT TO THE SUBJECT PROPERTY

1. All Zones- Pedestrian Oriented Space and Plazas in Parking areas- The applicant must provide at least 175 square feet of *pedestrian-oriented space* at the main building entrance, in a central location, or adjacent to a parking area. This area must be raised at least six inches above the parking lot surface and must be paved with concrete or unit pavers.

2. Pedestrian-Oriented Space and Plazas In TC, CBD, NRHBD, RHBD and TLN Zones-
NRHBD

RHBD, TLN

CBD, TC

- a. In the CBD or in Totem Center- I, if the subject property abuts a *pedestrian-oriented street* (see Plate 34 in Chapter 180) or public park, the space, if any, between the sidewalk and the building must be developed consistent with the following criteria:

- 1) Enhance visual and pedestrian access, including handicapped access, onto the subject property from the sidewalk.
- 2) Contain paved walking surface of either concrete or approved unit pavers.
- 3) Contain on-site or building-mounted lighting which provides adequate illumination.
- 4) Contain two linear feet of seating area or one individual seat per 65 square feet of area between the sidewalk and the building.
- 5) Contain landscaping such as trees, shrubs, trellises, or potted plants.
- 6) It may not include asphalt or gravel pavement or be adjacent to an unscreened parking area, a chain link fence or a blank wall which does not comply with the requirements of subsection 3.(9) of this section, blank wall treatment.
- 7) An alternative solution for the *pedestrian-oriented space* may be established through a Conceptual Master Plan in TL 2.

NRHBD

- b. In the NRHBD Zones, if the subject property abuts a *major pedestrian sidewalk* on the southwest corner of NE 116th Street and 124th Avenue NE (see Plate 34 in Chapter 180), the space, if any, between the sidewalk and the building must be developed consistent with the following criteria:

- 1) Enhance visual and pedestrian access, including handicapped access, onto the subject property from the sidewalk.
- 2) Contain paved walking surface of either concrete or approved unit pavers.
- 3) Contain on-site or building-mounted lighting which provides adequate illumination.
- 4) Contain two linear feet of seating area or one individual seat per 65 square feet of area between the sidewalk and the building.
- 5) Contain landscaping, such as trees, shrubs, trellises, or potted plants.
- 6) In the alternative, the *pedestrian-oriented space* can be integrated with a pedestrian connection linking Slater Avenue NE and NE 116th Street, anywhere on the subject property, consistent with criteria (1) through (5) above.

RHBD, TLN c. In the RHBD and TLN Zones- A, all nonresidential uses must provide *pedestrian-oriented space* in conjunction with new development according to the formula below. For the purposes of this section, required pathways shall not count as *pedestrian-oriented space*. However, as part of Design Review, the City may allow those portions of pathways widened beyond minimum requirements to count towards the required *pedestrian-oriented space* as long as such space meets the definition of *pedestrian-oriented space*.

- 1) Size: One percent of the applicable lot area plus one percent of the nonresidential building gross floor area. (See Figure 92.15.A0-N.)
 - a) The City may exempt uses that are likely to generate very little customer/pedestrian activity and have few or no employees. These may include warehouse, storage, industrial, and other similar uses.

Pedestrian-Oriented Space Requirement for Large Nonresidential Buildings Served by Surface Parking

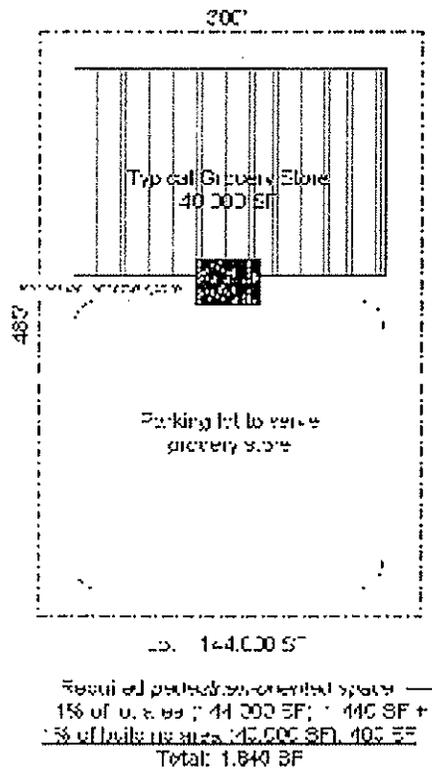


FIGURE 92.15.A10.N

- 2) Design: To qualify as a *pedestrian-oriented space*, an area must have all of the following (see Figure 92-10-92.15.BG):
- a) Pedestrian access to the abutting structures from the street, private drive, or a nonvehicular courtyard.
 - b) Paved walking surfaces of either concrete or approved unit paving.
 - c) Pedestrian-scaled lighting (no more than 15 feet in height) at a level averaging at least two foot-candles throughout the space. Lighting may be ground- or building-mounted lighting.
 - d) Contain two linear feet of seating area or one individual seat per 65 square feet of area between the sidewalk and the building.
 - e) Spaces must be positioned in areas with significant pedestrian traffic to provide interest and security – such as adjacent to a building entry.
 - f) Landscaping covering at least 20 percent of the space (some of this may include potted plants). Such landscaping components must add seasonal interest to the space.
- 3) The following features are encouraged in a *pedestrian-oriented space* and may be required by the City:
- a) Pedestrian amenities such as a water feature, a drinking fountain, tables, and/or distinctive paving or artwork.
 - b) Provide *pedestrian-oriented facades* on some or all buildings facing the space.
 - c) Consideration of the sun angle and the wind pattern in the design of the open space.
 - d) Transitional zones along building edges to allow for outdoor eating areas and a planted buffer.
 - e) Movable seating.
- 4) The following features are prohibited within *pedestrian-oriented space*:
- a) Asphalt or gravel pavement.
 - b) Adjacent unscreened parking lots.
 - c) Adjacent chain link fences.
 - d) Adjacent “blank walls.”
 - e) Adjacent dumpsters or service areas.
 - f) Outdoor storage or retail sales that do not contribute to the pedestrian environment.

An Example of a Pedestrian-Oriented Space

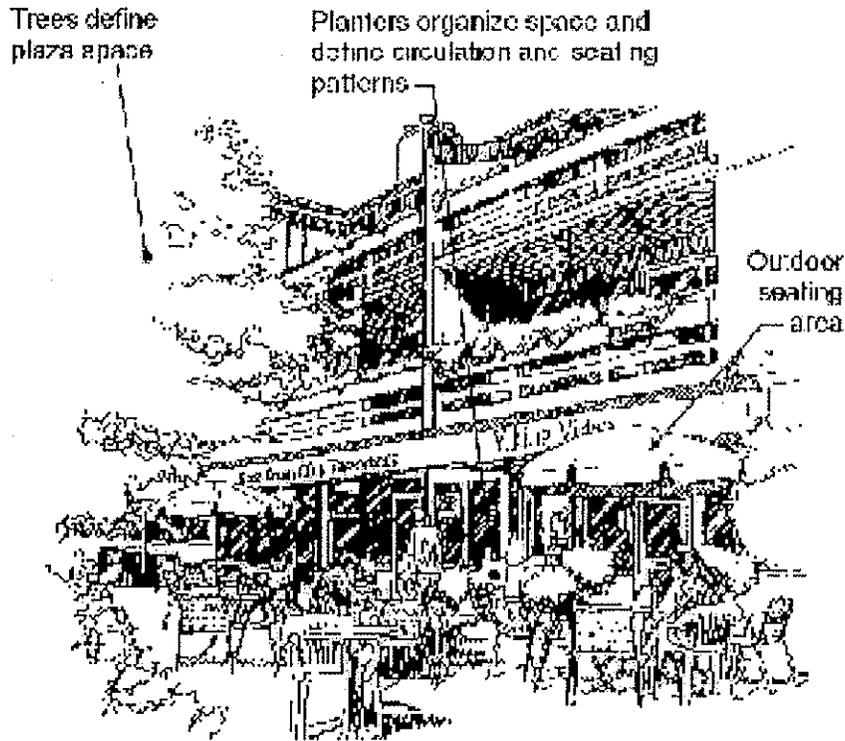


FIGURE 92.15.B0-O

3.9. Blank Wall Treatment

ALL: a. Blank Wall Defined - All Zones - A blank wall is any wall or portion of a wall that meets either of the following criteria (see Figure 92.15.C):

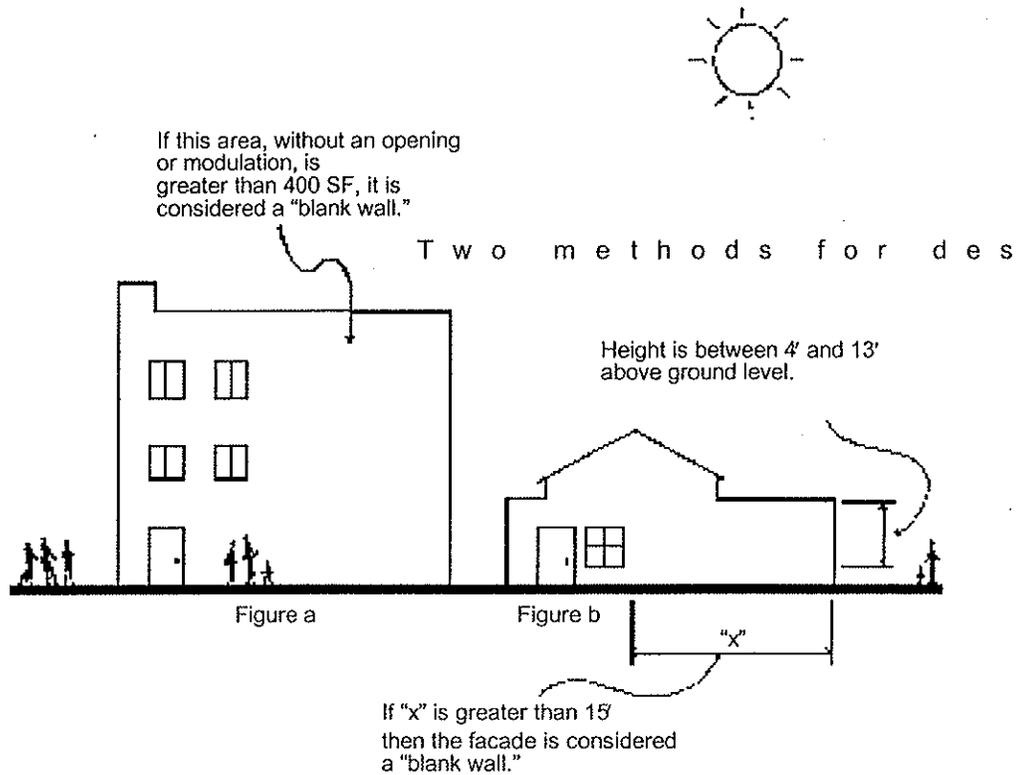
- 1) A wall or portion of a wall with a surface area of at least 400 square feet having both a length and a width of at least 10 feet without a window, door, building modulation at least one foot in depth or other architectural feature.
- 2) Any wall or portion of a wall between four feet and 13 feet above ground level with a horizontal dimension longer than 15 feet without a window, door, building modulation at least one foot in depth or other architectural feature.

b. Blank Wall Treatments All Zones - Each wall or portion of a wall that is closer than 50 feet to any exterior property line of the subject property and is visible from any right-of-way or is adjacent to a *through-block pathway* must be screened or treated in at least one of the ways listed in subsection (9)(d) of this section if it meets the criteria for a blank wall under subsection (9)(c) of this section.

RHBD, TLN — b. — Each blank wall or portion of a wall that is visible from any right-of-way, internal access road, *pedestrian-oriented space*, or *through-block pathway* must be screened or treated in at least one of the ways listed in subsection 3.(9)(c,d) of this section if it meets the criteria for a blank wall under subsection 3.(9)(a,e) of this section. Internal roadways used primarily for service access and not visible from a street, *pedestrian-oriented space* or *through-block pathway* are exempt from this requirement.

ALL: c. — A blank wall is any wall or portion of a wall that meets either of the following criteria (see Figure 92.10.P):

- ~~1) A wall or portion of a wall with a surface area of at least 400 square feet having both a length and a width of at least 10 feet without a window, door, building modulation at least one foot in depth or other architectural feature.~~
- ~~2) Any wall or portion of a wall between four feet and 13 feet above ground level with a horizontal dimension longer than 15 feet without a window, door, building modulation at least one foot in depth or other architectural feature.~~

Designating Blank Walls**FIGURE 92.15.C0-P**

ALL cd. Blank Wall Treatment Standards In All Zones - At least one of the following techniques must be used to treat or screen blank walls:

- 1) By the installation of a vertical trellis with climbing vines or plant material in front of the blank wall.
- 2) By providing a landscaped planting bed at least five feet wide or a raised planter bed at least two feet high and three feet wide in front of the blank wall and planted with plant materials that will obscure or screen at least 50 percent of the blank wall within two years.
- 3) By providing artwork, such as mosaics, murals, sculptures or bas-relief on the blank wall.
- 4) By proposing alternative techniques as part of the Design Review process.

d. All Zones - Modifications- The provisions of this subsection 3. may be modified or eliminated as part of the Design Review decision if they conflict with the International Building Code.

Pedestrian-Friendly Building Facade Requirements

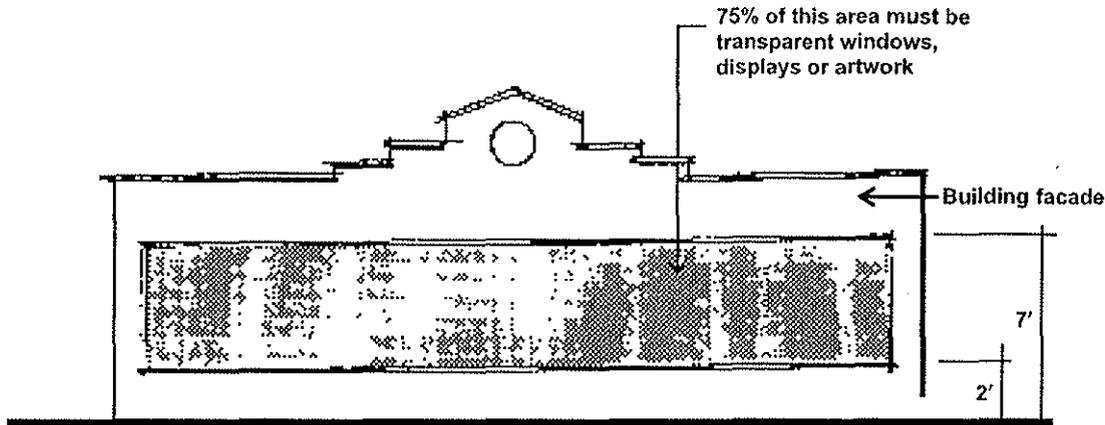


FIGURE 92.15.D0-Q

CBD e.10. Treatment of Building Facades In CBD – In the CBD, each facade of a building facing a *pedestrian-oriented street* or public park must contain or be treated with at least one of the following elements:

- 1) a.—It must contain transparent windows or window displays comprising at least 75 percent of the area of the facade between two feet and seven feet above ground level (see Figure 92.150D-Q).
- 2) b.—It must contain sculptural, mosaic or bas-relief artwork comprising at least 75 percent of the area of the facade between two feet and seven feet above ground level (see Figure 92.150D-Q).
- 3) c.—The area next to the facade must be developed such that for every 10 linear feet of the facade, at least 20 square feet of this area must be developed with landscaping consistent with subsection 3.c.1) or 2)(9)(d)(4) or (2) of this section, depending on the location, dimensions, and size of the area.

~~ALL11. Screening of Certain Areas—All loading areas, service areas, and outdoor storage areas of more than 100 square feet; areas containing waste storage and disposal facilities or containers; and similar areas must be:~~

- ~~a.—Located on the subject property so that they are not visible from any street, *through-block pathway*, or public park. If the City determines that this is not physically possible, then these areas must be screened from public view using a compact evergreen hedge, a solid wall or fence, or in a manner approved by the City as part of the Design Review decision.~~
- ~~b.—Screened from on-site ground floor uses using a compact evergreen hedge, a solid wall or fence, or in a manner approved by the City as part of the Design Review decision.~~

92.15 Entry Features in the JBD, RHBD, NRHBD and TLN

JBD In the JBD, RHBD, NRHBD and TLN, if the subject property includes an area designated for an

RHBD entry feature in the Comprehensive Plan or design guidelines, the applicant shall provide the City

~~NRHBD~~ with a publicly maintained easement or dedication of property for this purpose. The size of the entry

~~TLN~~ feature area will be at least 100 square feet. The applicant shall propose and install landscaping for the area that will be reviewed by the City and decided upon as part of the Design Review for the proposed development.

~~92.20~~ Public Improvements and Site Features

~~ALL1.~~ Vehicular Circulation

~~TLN: TL 5 a.~~ Development must provide a grid of internal access roads (see Figure 92.10.G):

- ~~1)~~ A north-south street (123rd Avenue NE) from NE 116th Street on the south leading to the extension of NE 120th Street and a potential future bridge connecting over the BNSF railroad to 120th Place NE. This is intended to be a dedicated public street that can be implemented in phases as redevelopment occurs on applicable sites.
- ~~2)~~ An east-west connection with the planned NE 120th Street extension. This is intended to link the proposed 123rd Avenue NE extension above with 124th Avenue NE. This is intended to be a dedicated public street that can be implemented in conjunction with redevelopment on applicable sites.
- ~~3)~~ Two or three other east-west access roads from 124th Avenue NE towards interior lots and areas closer to I-405. A desirable distance between access roads is between 250 and 300 feet. The maximum allowable distance between access roads shall be 350 feet. These may be public or private streets implemented in conjunction with redevelopment on applicable sites. Wider separation (up to 500 feet) may be considered where properties dedicate a minimum 30-foot-wide public pedestrian corridor.
- ~~4)~~ Suggested cross-sections for each of these roads would include:
 - ~~a)~~ Two travel lanes (one lane each way);
 - ~~b)~~ On-street parallel parking;
 - ~~c)~~ Wide sidewalks (eight to 12 feet) on each side of the street with street trees placed toward the curb, 30 feet on-center. Sidewalk width may be reduced where planting strips (minimum four feet wide) are maintained between the street and sidewalk.

~~TL6B~~ ~~b.~~ Development must provide a grid of internal access roads (see Figure 92.10.H) per the following:

- ~~1)~~ A centralized east-west connection that forms the spine for the site. Such a connection would reduce the need for vehicular circulation on NE 124th Street.
- ~~2)~~ Two to three north-south connections from NE 124th Street to the east-west connection noted above. A desirable distance between access roads is between 250 and 300 feet. The maximum allowable distance between access roads shall be 350 feet. These may be public or private streets. Wider separation (up to 500 feet) may be considered where properties dedicate a minimum 30-foot-wide public pedestrian corridor.
- ~~3)~~ Suggested cross-sections for each of these roads:
 - ~~a)~~ Two travel lanes (one lane each way);
 - ~~b)~~ On-street parallel parking;

~~ALL2. — Public Improvement and Site Feature Standards and Masterplan for Public Property~~

~~a. The Public Works Director, in consultation with the Planning Director, shall administratively adopt and publish public improvement and site feature standards for the placement, installation, construction and maintenance of the following features to be constructed on and adjacent to major pedestrian pathways, streets, alleys and public parks:~~

- ~~1) Street trees and street tree grates.~~
- ~~2) Landscape plant materials.~~
- ~~3) Paving materials.~~
- ~~4) Lighting fixtures for streets, pedestrian areas and special areas.~~
- ~~5) Public signs.~~
- ~~6) Benches and seating areas.~~
- ~~7) Trash receptacles.~~
- ~~8) Drinking fountains.~~
- ~~9) Sidewalk widths and details.~~
- ~~10) Bicycle racks.~~
- ~~11) Bollards.~~
- ~~12) Crosswalks.~~

~~— Until the public improvement and site feature standards are adopted and published for each area of the City subject to Design Review, the City shall, as part of the Design Review decision, specifically review and approve the placement, installation, construction and maintenance of these features.~~

~~b. The City shall adopt a masterplan for public spaces for each commercial district. The masterplan shall discuss the placement of the features noted in subsection (1)(a) of this section, present a long-range and coordinated plan for public property, and further implement the Downtown Plan chapter, the JBD plan, and NE 85th Street Subarea Plan provisions of the Comprehensive Plan.~~

~~c. Once adopted and published, the City may allow departure from the public improvement and site feature standards or the masterplan as part of the Design Review approval where compliance with those standards or masterplan is not feasible or where major development warrants special design emphasis.~~

~~ALL3. — On-Site Improvements~~

~~a. Mixed use centers, residential projects and office buildings shall provide bicycle racks which are conveniently located for bicyclist use and provide secure storage for bicycles.~~

~~b. Water spigots shall be provided on all building facades along sidewalks for cleaning and plant watering.~~

~~92.25 — Parking Area Location and Design~~~~1. — Location of Parking Lots~~

~~CBD, TC a. In the CBD and in Totem Center:~~

~~1) On pedestrian-oriented streets, parking lots shall not be located between the pedestrian-oriented street and a building unless specified in the public improvement and site feature masterplan or in a Conceptual Master Plan in TL 2.~~

~~2) On all other streets, parking lots shall not be located between the street and the building on the subject property unless no other feasible alternative exists.~~

~~JBD, NRHBD b. In JBD 2 and the NRHBD, parking lots shall not be located between the street and the building unless no other feasible alternative exists on the subject property.~~

~~TLN c. For properties in the following areas, parking lots and other vehicular access areas may not occupy more than 50 percent of the applicable street frontage (see Figure 92.25.A). Conversely, this means that buildings and/or open space must occupy at least 50 percent of the street frontage. Landscaping buffers between the sidewalk and the parking lot will not qualify as "open space."~~

~~1) TL 4, only properties fronting on 120th Avenue NE;~~

~~2) TL 5;~~

~~3) TL 6A, only properties fronting on 124th Avenue NE. Auto dealers in this zone are exempt from this requirement;~~

~~4) TL 6B, only properties fronting on NE 124th Street;~~

~~5) TL 10E.~~

~~Alternative configurations may be considered through the Design Review process, provided the project meets the objectives of the KMC Design Guidelines for the Totem Lake Neighborhood.~~

~~RHBD d. For parcels over two acres in size within the RHBD Regional Center, parking lots and other~~

~~Regional vehicular access areas may not occupy more than 50 percent of the NE 85th Street property~~

~~Center frontage (see Figure 92.25.A). Alternative configurations will be considered through the Design Review process, provided the project meets the intent of the KMC Design Guidelines for the Rose Hill Business District.~~

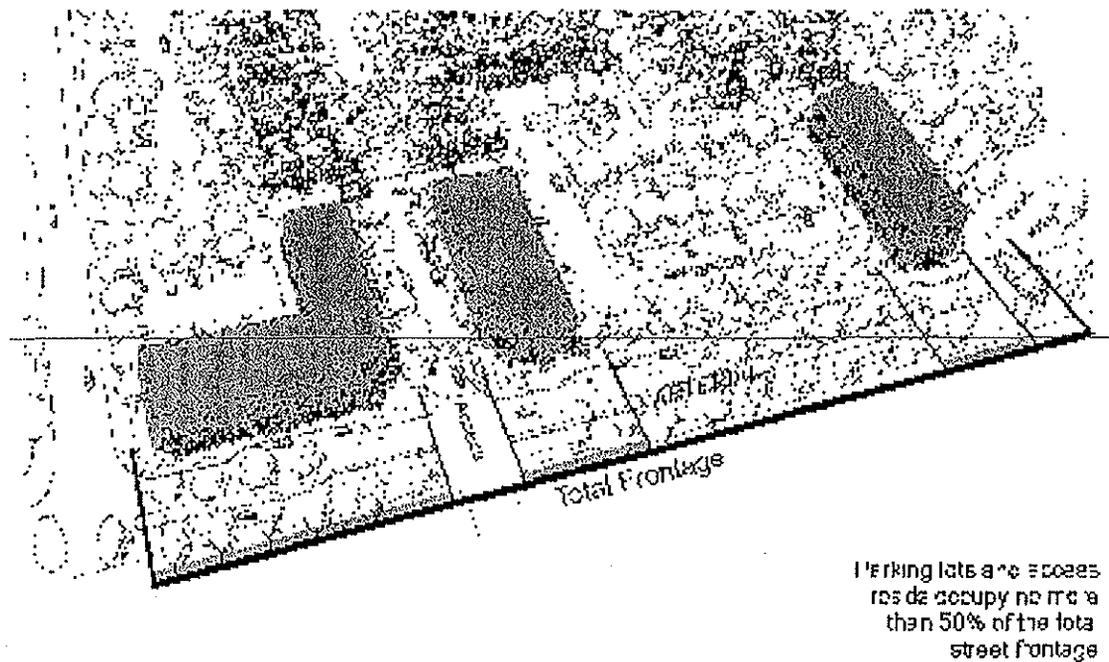


FIGURE 92.25.A

ALL2. — Parking Lot Entrances and Driveways — As part of Design Review, the City may impose additional restrictions on the width, number and location of driveways to and from the subject property to improve vehicle circulation or public safety or to enhance pedestrian movement or desirable visual characteristics. Parking lot entrances and driveways must be shared between properties whenever possible, especially along NE 85th Street.

ALL3. — Parking Lots — Pedestrian and Vehicular Access

- a. Any property adjacent to a right-of-way or park must contain a pedestrian walkway from the right-of-way or park to the main entrance of the building, or to a central location if the building has multiple entrances, even if this pathway must cross a parking lot (see Figure 92.25.B).
- b. As determined through Design Review, the walkway shall be:
- 1) Centrally located within the parking lot.
 - 2) Delineated by painted markings, distinctive pavement, or by being raised six inches above the parking lot pavement.
 - 3) At least five feet wide.
 - 4) Handicapped accessible.

Pedestrian Walkway

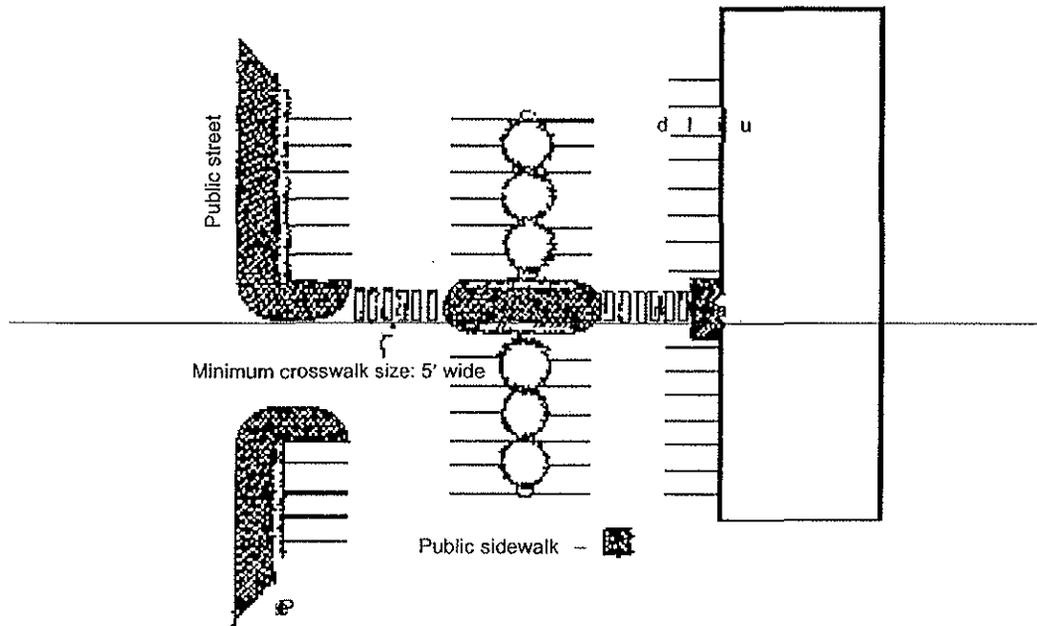


FIGURE 92.25.B

c.—All parking lots which contain more than 25,000 square feet of paved area, including access lanes and driveways, must include clearly identified pedestrian routes from the parking stalls to the main building entrance or central location. At minimum, pathways must be provided for every three parking aisles or at a distance of not more than 150-foot intervals, whichever is less.

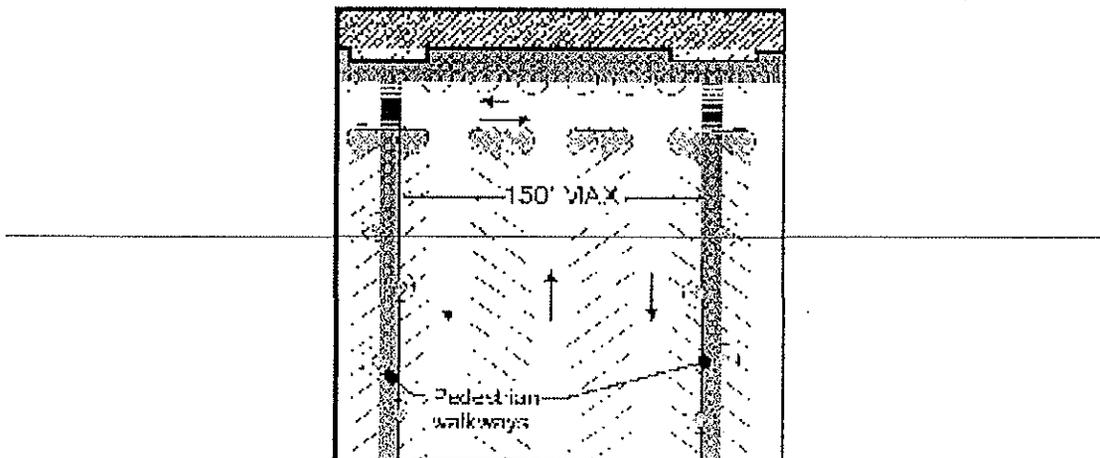


FIGURE 92.25.C

Pathways must be provided through parking lots.

d.—In addition to the walkways required under subsections (4)(a) and (4)(b) of this section, the applicant must provide at least 175 square feet of pedestrian-oriented space at the main building entrance, central location, or adjacent to a parking area. This area must be raised at least six inches above the parking lot surface and must be paved with concrete or unit pavers.

~~e. Convenient pedestrian access must be provided on the subject property to adjacent properties. Barriers which will limit future pedestrian and vehicular access are not permitted.~~

~~ALL 4. Internal Parking Lot Landscaping. The following provisions apply to each parking lot or portion thereof containing more than 14 parking stalls within 100 feet of a street, through-block pathway or public park. The provisions do not apply to parking lots that are not visible from a street, through-block pathway or public park.~~

~~a. The parking lot must contain 25 square feet of landscape area per parking stall planted as follows (see Figure 92.25.D):~~

- ~~1) At least one tree for every six parking stalls.~~
- ~~2) At least one shrub for every 20 square feet of landscaped area. Up to 50 percent of the shrubs may be deciduous.~~
- ~~3) Groundcover shall be selected and planted to achieve 90 percent coverage within two years.~~
- ~~4) The location of the landscaping will be reviewed through Design Review.~~

~~b. As part of the Design Review, the City may require or permit a modification to the provisions of subsection (5)(a) of this section to use existing vegetation for internal parking lot landscaping.~~

Internal Parking Lot Landscaping

At least 25 SF of landscaping per stall is required.

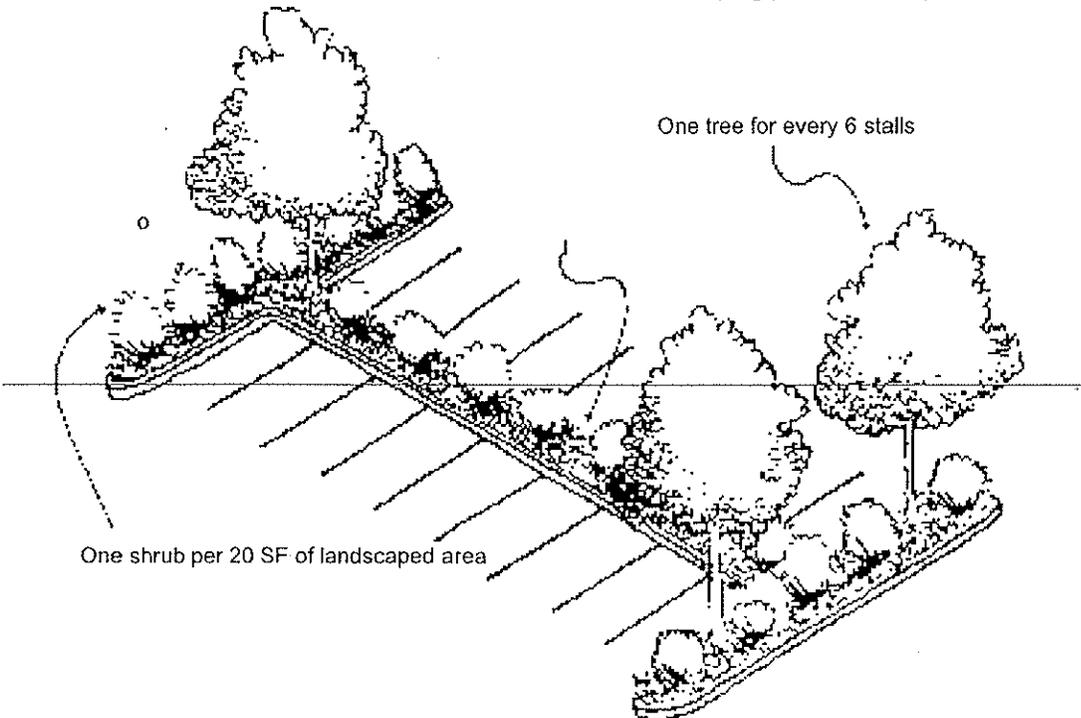


FIGURE 92.25.D

~~ALL5. Perimeter Parking Lot Landscaping—Each side of a parking lot that abuts a street, through-block pathway or public park must be screened from that street, through-block pathway or public park using one or a combination of the following methods:~~

~~a. By installation of a compact evergreen hedge or wall consistent with the following standards as applicable (see Figures 92.25.F.1 and F.2):~~

~~1) The hedge or wall must extend at least two feet, six inches, and not more than three feet above the ground directly below it.~~

~~2) The wall may be constructed of masonry or concrete, if consistent with the provisions of KZC 92.35(1)(g)(1), in building material, color and detail, or of wood if the design and materials match the building on the subject property.~~

~~RHBD3) The hedge or wall per subsections (6)(a)(1) and (2) of this section is not an option for uses that display vehicles for sale, or uses in the Regional Center fronting on NE 85th Street.~~

~~TLN4) The hedge or wall per subsections (6)(a)(1) and (2) of this section is not an option for uses that include vehicular sales, inventory, service, or repair in the TLN.~~

~~JBD5) In the JBD, if the street is a pedestrian-oriented street, the wall may also include a continuous trellis or grillwork, at least five feet in height above the ground, placed on top of or in front of the wall and planted with climbing vines consistent with KZC 92.05(4), Landscaping. The trellis or grillwork may be constructed of masonry, steel, cast iron and/or wood.~~

~~JBD6) In the JBD, if the wall abuts a pedestrian-oriented street, the requirements of this subsection may be fulfilled by providing pedestrian weather protection along at least 80 percent of the frontage of the subject property.~~

~~b. By providing a landscaped strip, consistent with KZC 92.05(4), Landscaping, at least five feet wide planted as specified below. In the RHBD Regional Center, a 10-foot perimeter landscape strip along NE 85th Street is required and planted as follows (see Figure 92.25.E):~~

~~1) Trees planted 30 feet or closer on center.~~

~~2) At least one shrub for every 20 square feet of landscaped strip.~~

~~3) Groundcover selected and planted to achieve 90 percent coverage of the remaining landscaped strip within two years.~~

~~c. As part of Design Review, the City may require or permit a modification to the provisions of subsection (6)(b) of this section to use existing vegetation for perimeter parking lot landscaping.~~

Perimeter Parking Lot Landscaping

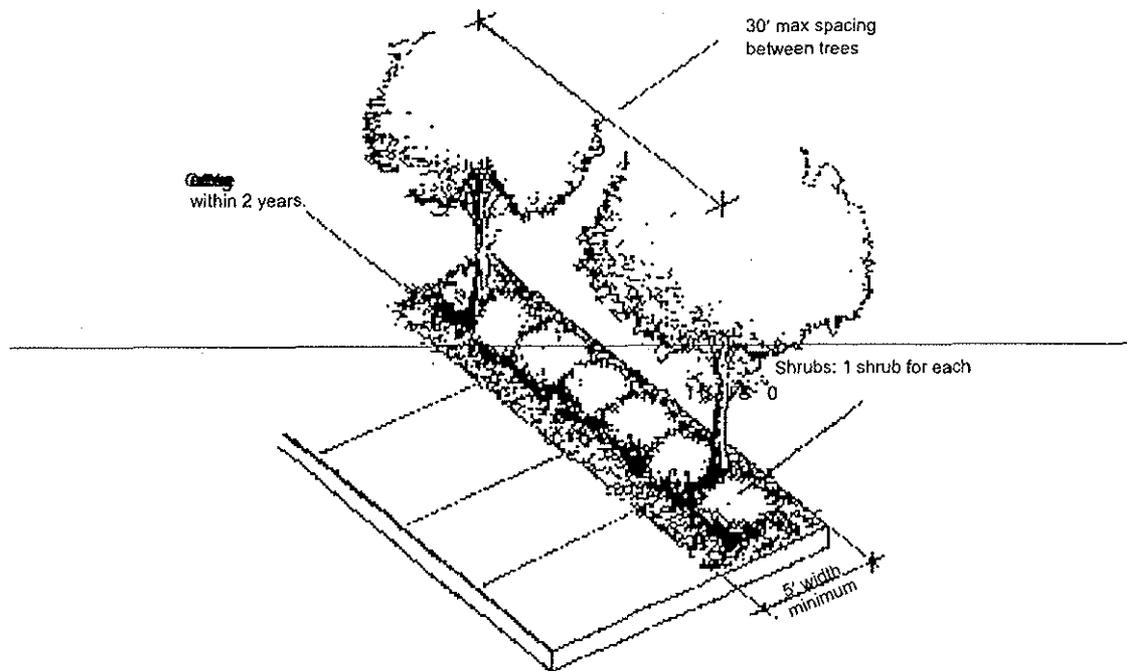


FIGURE 92.25.E

Perimeter Parking—Examples of Various Screen Wall Designs

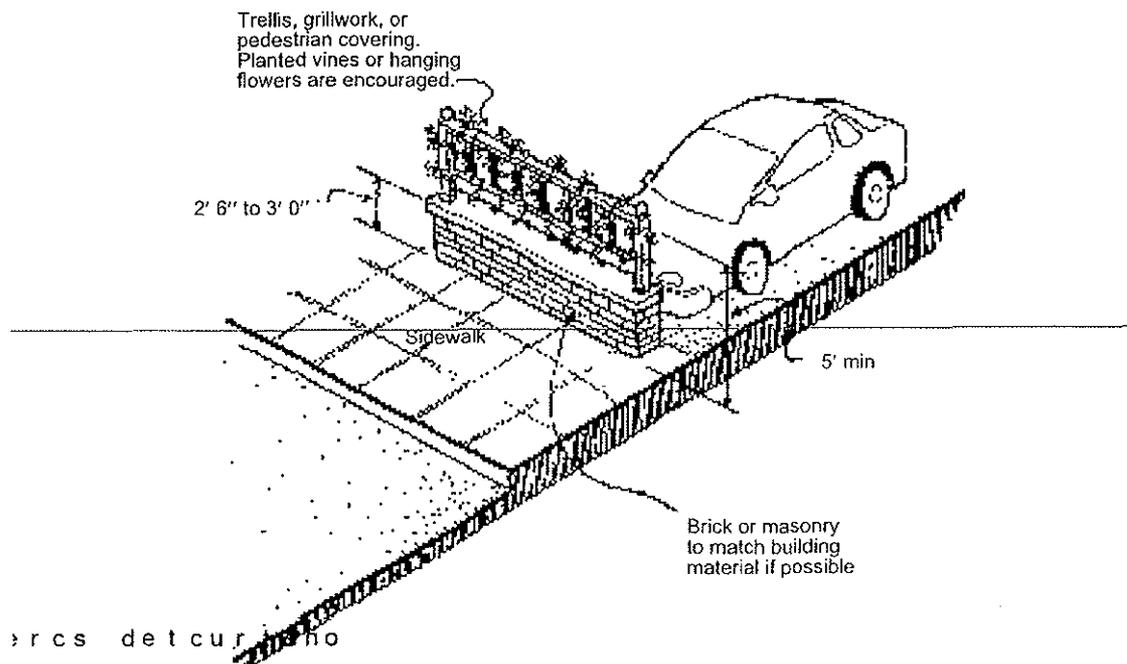
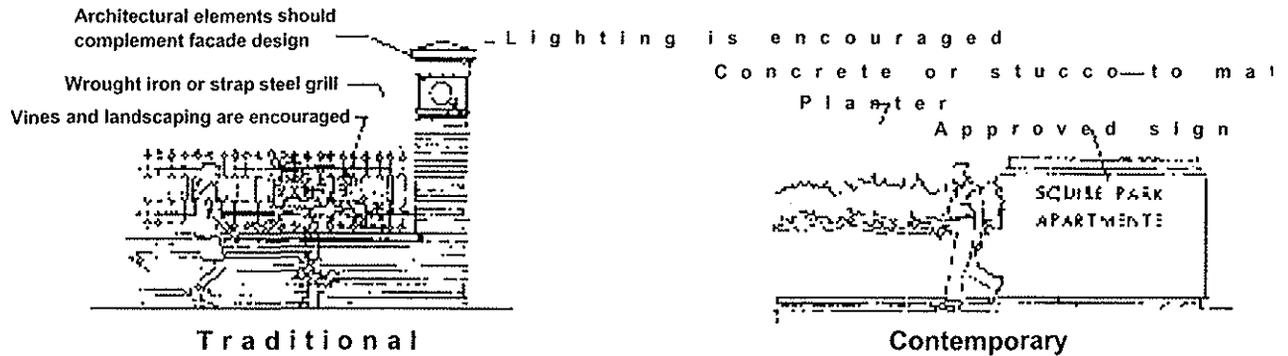


FIGURE 92.25.F.1

Perimeter Parking — Examples of Various Screen-Wall Designs



Pedestrian covering is encouraged —

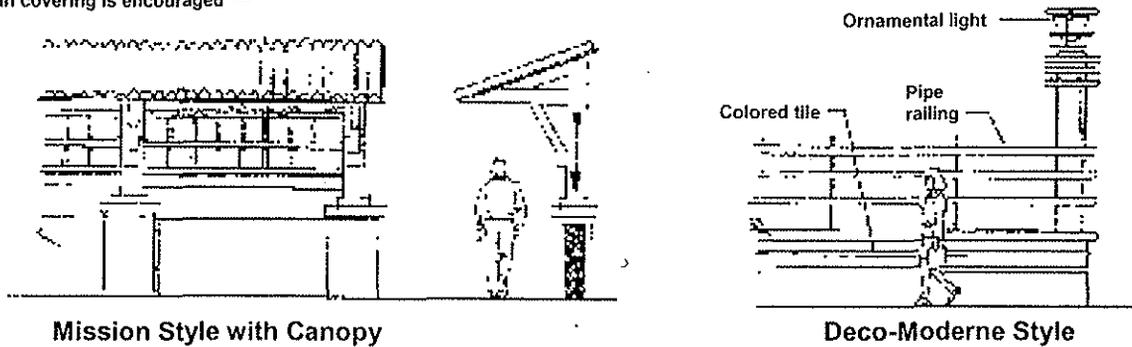


FIGURE 92.25.F.2

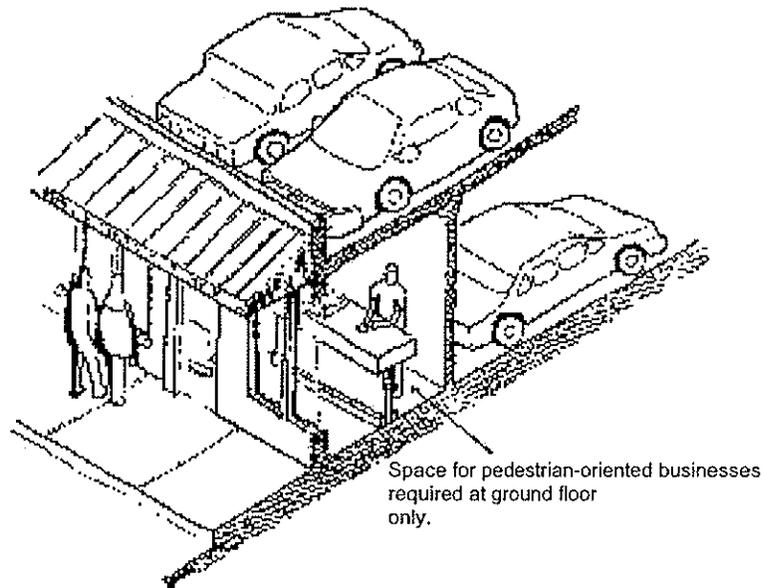
ALL6. — Perimeter Parking Lot Landscaping — Adjacent Properties

- a. Each side of the perimeter of a parking lot containing more than 14 parking stalls, that is within 10 feet of any adjacent property and that is not regulated under the provisions of this subsection (7), shall be screened using a combination of the following methods:
- 1) By installing a solid, continuous fence or wall at least five feet in height constructed of wood and/or masonry.
 - 2) By installing a compact evergreen hedge designed to reach at least five feet in height.
 - 3) As part of Design Review, the City may require or permit a modification to the provisions of this subsection for any side of the parking lot which abuts or is connected to a parking lot on an adjacent property if the parking lots have internal vehicular or pedestrian connections.

ALL74. Parking Garages

- a. All zones - Each facade of a garage or a building containing ground floor parking must either:
 - 1) Provide and maintain a ground floor area of the garage or building extending along the entire facade of the garage or building (excluding vehicle access points) which is developed as and made available for pedestrian-oriented businesses (see Figure 92.1525.EG); or

Providing Space for Pedestrian-Oriented Business



Providing space for pedestrian-oriented business along parking garage frontage facing pedestrian-oriented street.

FIGURE 92.15.E25-G

- 2) Provide and maintain a *pedestrian-oriented space*, at least 10 feet in depth and extending along the entire facade of the garage or building (excluding vehicle access points); or
- 3) Treat the facade consistent with KZC 92.15.3.e. 1) 2) or 3)0(10)(a), (b), or (c), Treatment of Building Facades; or
- 4) A combination of methods described above.

- b. All zones - There must be architectural screening or other treatment of openings above the ground level for the facades of parking garages along *pedestrian-oriented streets, through-block pathways and major pedestrian sidewalks*.

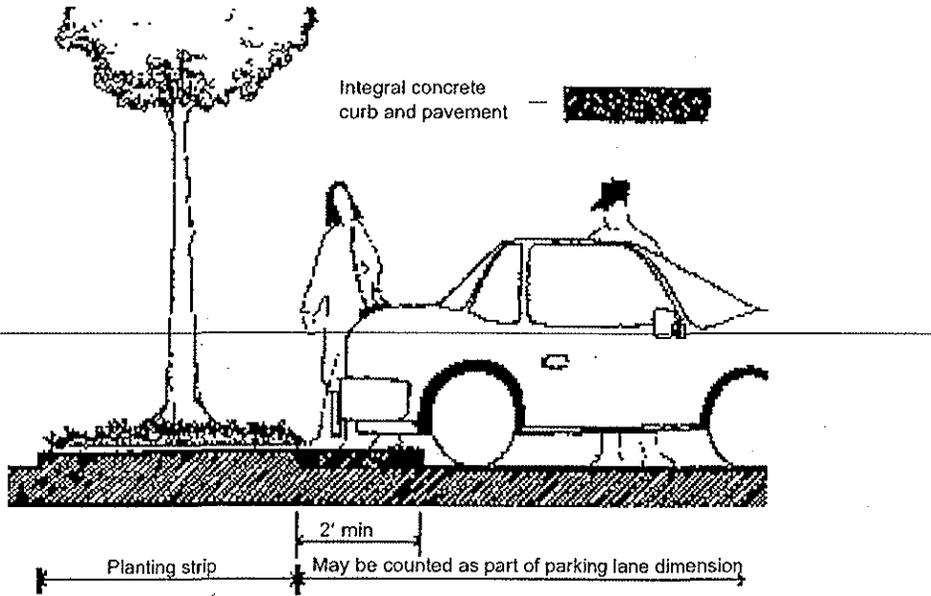
cb. RHBD and TLN Zones - Structures containing parking on the ground floor:

- 1) Parking structures on designated *pedestrian-oriented streets* shall provide space for ground-floor commercial uses along street frontages at a minimum of 75 percent of the frontage width. The entire facade facing a *pedestrian-oriented street* must feature a *pedestrian-oriented facade*.
- RHBD 2) Parking structures adjacent to non-*pedestrian-oriented streets* may be located adjacent to a sidewalk where they provide space for ground-floor commercial uses along street frontages at a minimum of 75 percent of the frontage width and include a *pedestrian-oriented facade* along the applicable frontage.
- TLN, RHBD 3) Parking structures adjacent to non-*pedestrian-oriented streets* and not featuring a *pedestrian-oriented facade* shall be set back at least 10 feet from the sidewalk and feature substantial landscaping between the sidewalk and the structure. This includes a combination of evergreen and deciduous trees (one per 20 lineal feet), shrubs (one per 20 square feet), and ground cover (sufficient to cover 90 percent of the area within three years). Other treatments will be considered in the Design Review process.
- TLN, RHBD 4) Parking garage entries shall be designed and sited to complement, not subordinate, the pedestrian entry. If possible, locate the parking entry away from the primary street, to either the side or rear of the building.
- TLN, RHBD 5) The design of structured parking at finished grade under a building shall minimize the apparent width of garage entries.
- TLN, RHBD 6) Parking within the building shall be enclosed or screened through any combination of walls, decorative grilles, or trellis work with landscaping.
- TLN, RHBD 7) Parking garages shall be designed to be complementary with adjacent buildings. Use similar forms, materials, and/or details to enhance garages.
- TLN, RHBD 8) Parking structure service and storage functions shall be located away from the street edge and generally not be visible from the street or sidewalks.

~~ALL 8. Miscellaneous Parking Area Design Details~~

- ~~a. All parking areas must have adequate lighting. Lights in parking lots must be nonflare and must be mounted no more than 20 feet above the ground (unless otherwise stated in each district subject to Design Review).~~
- ~~b. All landscape and pedestrian areas shall be protected from encroachment by parked cars. At a minimum, the parking area must be designed and constructed so that car wheels are kept at least two feet from landscape and pedestrian areas. Freestanding wheel-stop bumpers must be replaced or repaired if cracked or broken (see Figure 92.25.H).~~
- ~~c. No freestanding or wall-mounted signs for individual parking spaces are permitted to extend more than three feet above the ground. Provisions in the UBC for handicapped stalls supersede this requirement.~~
- ~~d. Moveable parking area equipment, such as barrels and sawhorses, may not be visible from a street when not in use. Parking areas and accessory components, areas and facilities must be well-maintained and kept in a clean, neat and litter-free manner at all times.~~

~~Extended Curb Used To Protect Landscape Strip~~



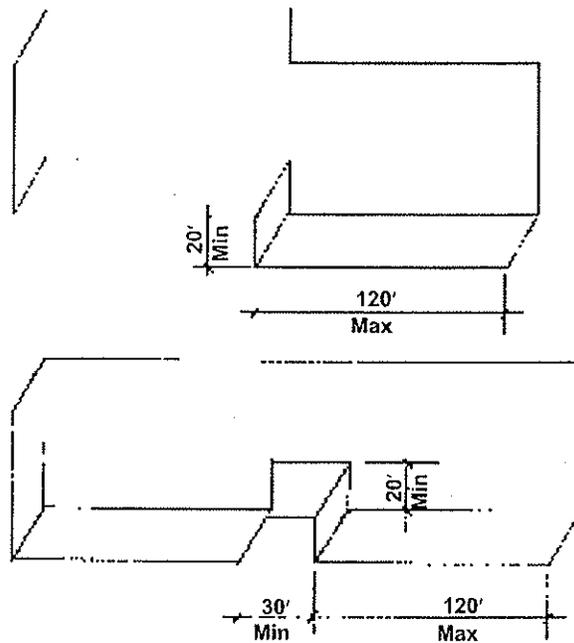
Note: This method is preferable to freestanding wheel-stop bumpers because it will not catch debris and is more durable.

FIGURE 92.25.H

92.30 — **ARCHITECTURAL AND HUMAN SCALE****CBD** 1. **Techniques To Moderate Bulk and Mass in the CBD**

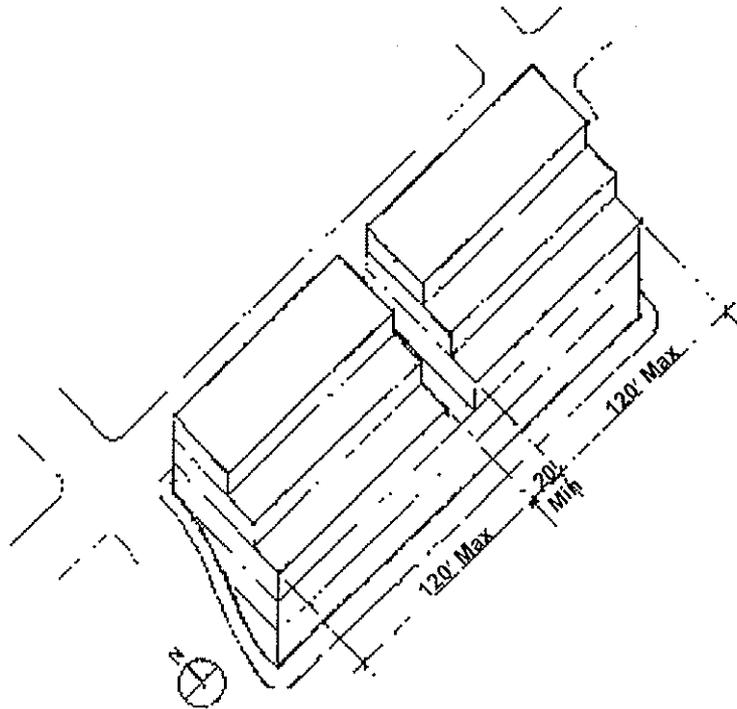
- a. **General** – This section establishes required techniques to be used in the design and construction of building facades in specific areas of the CBD. The applicant shall comply with the techniques listed below in order to reduce the perceived bulk and mass of large structures by dividing the building mass into smaller-scale components. As an alternative, the City may approve other techniques, elements, or methods if consistent with the following criteria:
 - 1) The alternative is generally consistent with the downtown plan provisions of the Comprehensive Plan and the design guidelines.
 - 2) The alternative clearly provides superior moderation of the architectural bulk and mass than would result from strict application of the required techniques.
- b. **Vertical Definition** – The applicant shall comply with the following requirements to moderate the horizontal scale of buildings:
 - 1) **All CBD Zones** – The maximum length of any facade facing a street is 70 feet without vertical definition. Vertical definition may be in the form of changes in color and materials, modulations of sufficient width and depth to define the vertical element, or some combination of these techniques. This vertical element should carry through all floors of the building.
 - 2) **CBD 4, CBD 6, CBD 8** – Along First Street, Second Street South, First Avenue South, and Fifth Street, the maximum length of a facade is 120 feet. Any facade that exceeds 120 feet along the right-of-way shall comply with the following requirements (see Figure 92.30.A):
 - a) Shall be divided by a 30-foot-wide modulation of the exterior wall so the maximum length of the facade is 120 feet without this modulation.
 - b) The modulation shall be 20 feet in depth and shall start at finished grade and extend through all floors.
 - c) Decks and roof overhangs may encroach up to three feet (per side) into the modulation.

Vertical Definition: CBD 4, 6, and 8

**FIGURE 92.30.A**

- 3) CBD 6, CBD 8: Along the axes of all buildings which are predominantly east-west and/or most closely parallel to Central Way, Third Avenue, Fourth Avenue, or Sixth Avenue, the maximum length of a building is 120 feet. The following exceptions apply (see Figure 92.30.B):
- Portions of buildings which are below the elevation of Third Avenue, Fourth Avenue, or Sixth Avenue, as measured at the midpoint of the frontage of the subject property on the applicable right-of-way, may exceed the 120-foot limitation.
 - Portions of the building above Third Avenue, Fourth Avenue, or Sixth Avenue shall be divided into two or more distinct building masses with a maximum length of 120 feet separated by at least 20 feet in width.
 - Decks, bay windows, roof overhangs, and chimneys may encroach up to three feet (per side) into the separation.

Vertical Definition: CBD 6 and 8

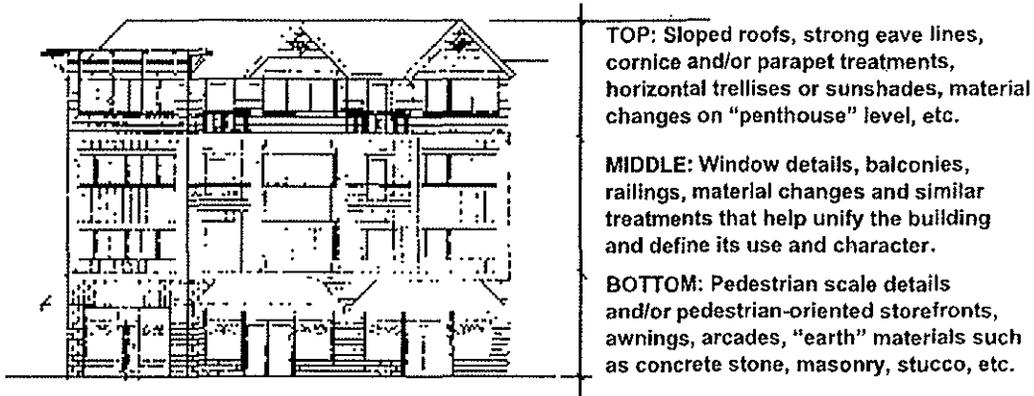
**FIGURE 92.30.B**

2. e.—Horizontal Definition in All Zones the CBD— The applicant shall comply with the following requirements to moderate the vertical scale of buildings. All buildings in the CBD shall include design techniques which clearly define the building's top, middle, and bottom (see Figure 92.30.C). The following techniques are suggested methods of achieving vertical articulation:

- 1) Top: Sloped roofs, strong eave lines, cornice treatments, horizontal trellises, or sunshades, etc.
- 2) Middle: Windows, balconies, material changes, railings, and similar treatments that unify the building design.
- 3) Bottom: Pedestrian-oriented storefronts, pedestrian-scale building details, awnings, arcades, "earth" materials such as concrete stone, stucco, etc.

Where appropriate, the applicant should coordinate the horizontal elements (i.e., cornices, window lines, arcades, etc.) in a pattern and height to reflect similar elements on neighboring buildings.

Horizontal Definition: Articulation of Buildings' Top, Middle and Bottom



TOP: Sloped roofs, strong eave lines, cornice and/or parapet treatments, horizontal trellises or sunshades, material changes on "penthouse" level, etc.

MIDDLE: Window details, balconies, railings, material changes and similar treatments that help unify the building and define its use and character.

BOTTOM: Pedestrian scale details and/or pedestrian-oriented storefronts, awnings, arcades, "earth" materials such as concrete stone, masonry, stucco, etc.

FIGURE 92.30.C

RHBD,
TLN

32. Techniques To Moderate Bulk and Mass in the RHBD and TLN Zones -

- a. Along all streets, *through-block pathways*, and public open spaces, the maximum length of a facade is 120 feet. Any facade that exceeds 120 feet along the right-of-way shall comply with the following requirements (see Figure 92.30.A):
- 1) Shall be divided by a 30-foot-wide modulation of the exterior wall so the maximum length of the facade is 120 feet without this modulation.
 - 2) The modulation shall be 20 feet in depth and shall start at finished grade and extend through all floors.
 - 3) Decks and roof overhangs may encroach up to three feet (per side) into the modulation.

ALL

44. Techniques To Achieve Architectural Scale in All Zones -- The applicant shall use at least two of the following elements and features in the design and construction of all buildings that are three or more stories or have a building footprint of more than 10,000 square feet. As an alternative, the applicant may propose slight variations from the required dimensions noted in the following techniques, or other methods to comply with the requirements of this subsection. The City may approve the proposal if it is consistent with the design guidelines and the Comprehensive Plan.

- a. All stories above the second story must be set back at least 10 feet from the ground floor facade along at least two facades of the building.
- b. Horizontal Building Modulation - On all building facades visible from a street or public park, provide horizontal modulation consistent with all of the following standards:
 - 1) The maximum allowable horizontal dimension of the facade between modulations is 70 feet;
 - 2) The minimum depth of each modulation, except balconies, is 10 feet; and
 - 3) The minimum width of each modulation, except balconies, is 15 feet.
- c. On all building facades visible from a street or public park, provide balconies which are consistent with the following standards:
 - 1) Balconies must be placed on at least every other floor above the ground floor;

- 2) The maximum distance between balconies, measured horizontally, is 100 feet; and
 - 3) The minimum amount of floor area for each balcony is 100 square feet.
- d. Change in Roofline - Provide vertical modulation of the roof line of all facades of the building adjoining a street or public park. For buildings with flat, gabled, hipped or similar roofs, the maximum length of any continuous roof line, with a slope of less than three feet vertical to 12 feet horizontal, is 50 feet without being modulated. If modulation is necessary, at least one of the following methods must be used (see Figure 92.30.DG):
- 1) The height of the visible roof line must change at least eight feet if the adjacent roof segments are less than 50 feet in length.
 - 2) The height of the visible roof line must change at least 12 feet if the adjacent roof segments are greater than 50 feet in length.

Flat Roof Modulation Options

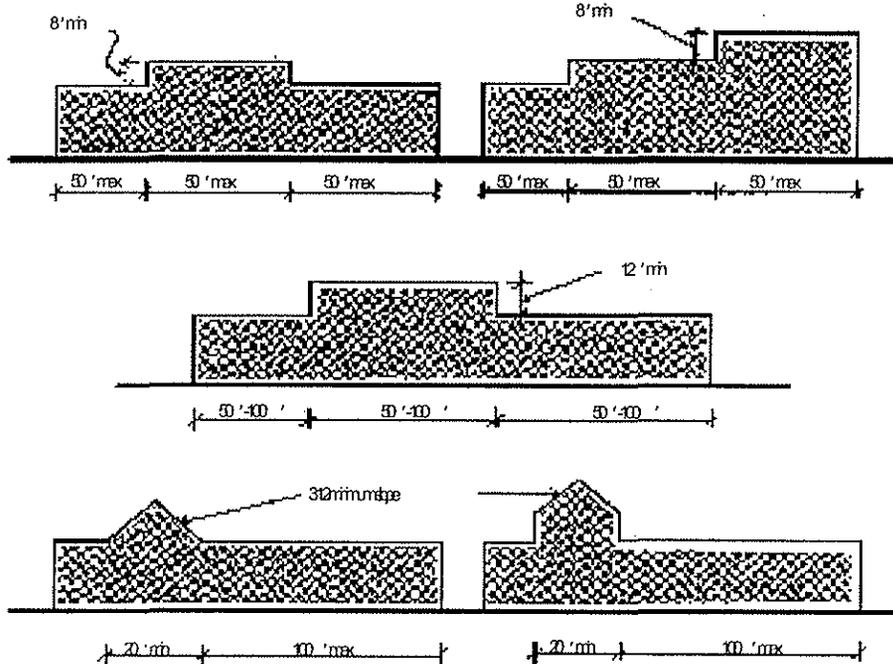


FIGURE 92.30.DG

- 3) The length of a sloped or gabled roof line segment must be at least 20 feet. The minimum slope of the roof segment is three feet vertical to 12 feet horizontal.
- e. Buildings with other roof forms, such as arched, gabled, vaulted, dormered or sawtooth, must have a significant change in slope or significant change in roof line at least every 100 feet.

RHBD,5. Techniques To Achieve Architectural Scale in the RHBD and the TLN Zones**TLN**

a. The following standards supplement the required techniques described in section 4 above. Where there are similar techniques, the standards in this section shall apply. All buildings in the RHBD and TLN zones shall include at least three of the following modulation techniques at the articulation intervals described in subsection (5)(b) of this section along all facades containing the primary building entries (alley facades are exempt):

- 1) Repeating distinctive window patterns at intervals less than the articulation interval;
- 2) Horizontal Building Modulation – Minimum depth of modulation is two feet and minimum width for each modulation is four feet if tied to a change in color or building material and roof line modulation as defined below. Otherwise, minimum depth of modulation is 10 feet (except balconies) and minimum width for each modulation is 15 feet;
- 3) Providing a separate covered entry or separate weather protection feature for each articulation interval;
- 4) Change of Roofline – To qualify for this measure, the maximum length of any continuous roofline shall not be less than the articulation interval and comply with the treatments below (see Figure 92.30.EH):
 - a) For segments less than 50 feet in horizontal width, the height of visible roofline must change at least four feet if tied to horizontal building modulation and at least eight feet in other cases.
 - b) For segments more than 50 feet in horizontal width, the height of visible roofline must change at least six feet if tied to horizontal building modulation and at least 12 feet in other cases.
 - c) The length of sloped or gabled roof line segments must be at least 20 feet. The minimum slope of the roof segment is three feet vertical to 12 feet horizontal;
- 5) Change in building material or siding style coordinated with horizontal building modulation and/or change in building color where appropriate;
- 6) Providing lighting fixtures, trellis, tree, or other landscape feature within each interval;
- 7) Alternative methods that achieve the desired architectural scale as approved by the City.

b. Articulation Intervals – Modulation and/or articulation shall be provided at the following intervals:

- 1) No more than 30 feet for buildings containing residential uses on all floors above the ground floor;
- 2) No more than 70 feet for nonresidential buildings (within RHBD, this applies to the Regional Center);

RHBD

3) RHBD- No more than 50 feet for nonresidential buildings in the Neighborhood Center;

RHBD

4) RHBD- No more than 30 feet for nonresidential buildings in the East End.

Building Articulation and Modulation Techniques

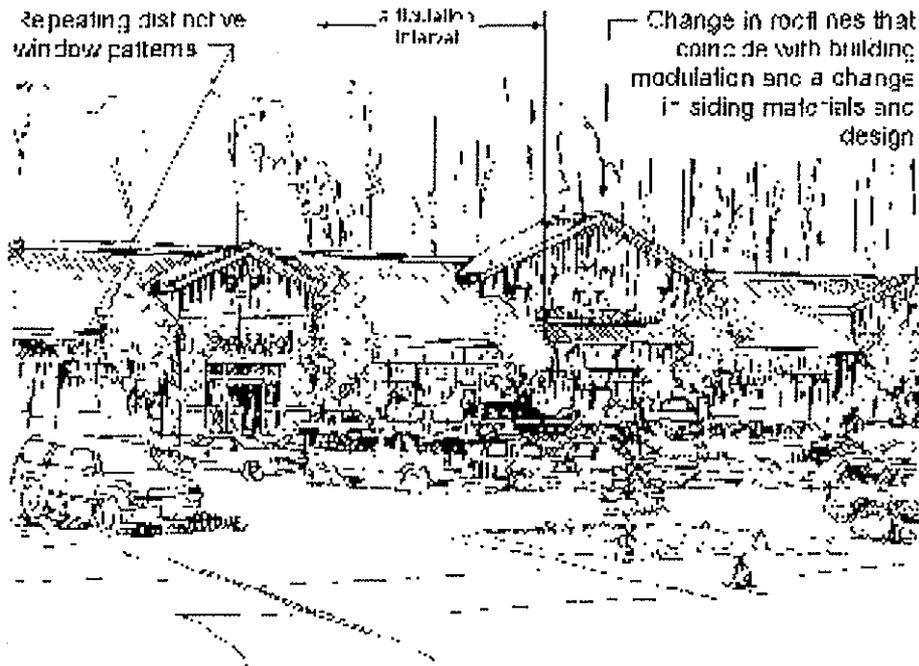


FIGURE 92.30.E

H

RHBD, TLN—c. Techniques To Achieve Architectural Scale for Office Buildings in the RHBD and in the TLN, Outside of Totem Center:

- 1) Office Building Design Standards for the TLN and the RHBD's Regional Center – These standards are intended to supplement other building design standards that apply to the Totem Lake Neighborhood and to the Regional Center. Where there is a conflict between standards, these standards shall apply as they are specific to office buildings.
 - a) Buildings must use design techniques to break up long continuous building walls, reduce the architectural scale of the building, and add visual interest. Specifically, any building facade longer than 120 feet in width must employ design techniques to limit the length of individual facades. To meet this requirement, buildings must utilize a combination of horizontal building modulation with a change in building materials or finishes, a clear change in building articulation and/or a change in fenestration technique (see Figure 92.30.E).

|

|

This building uses an angled window wall over the primary building entry to break up the width of the facade:

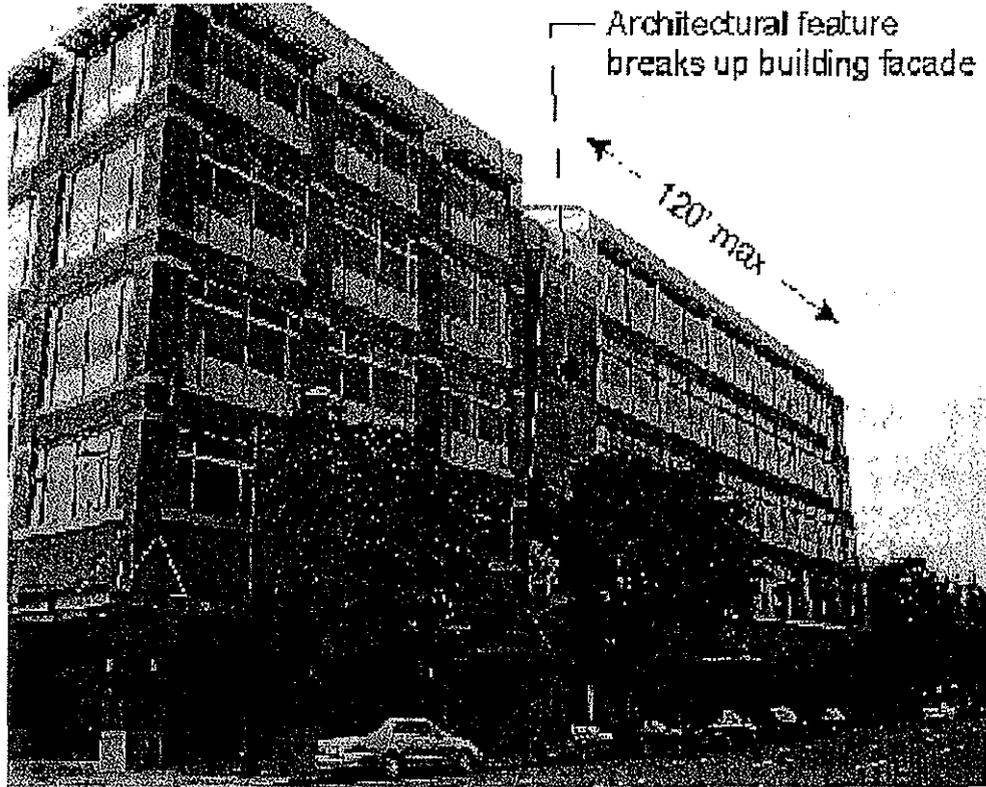


FIGURE 92.30.FI

- b) Buildings must employ design techniques to divide windows into units that give the building an identifiable scale (see Figure 92.30.GJ). Specifically:
- 1) Windows must be broken into units of 35 square feet or less with each window unit separated by a visible mullion or other element.
 - 2) Multi-paned windows separated by mullions shall not exceed 20 feet in width and shall not exceed the height of individual floors.
 - 3) Horizontal groupings of windows shall not exceed 30 feet in width. At least one vertical architectural feature at least six inches wide shall be used within the grouping to break up individual multi-paned windows. Architectural features at least two feet in width shall separate such horizontal groupings of windows.
 - 4) Siding material at least two feet in height shall separate windows on each floor.
 - 5) Building facades shall employ techniques to recess or project windows at least two inches from the facade (see Figure 92.30.HK).

Standards to divide windows into units that will give buildings an identifiable sense of scale.

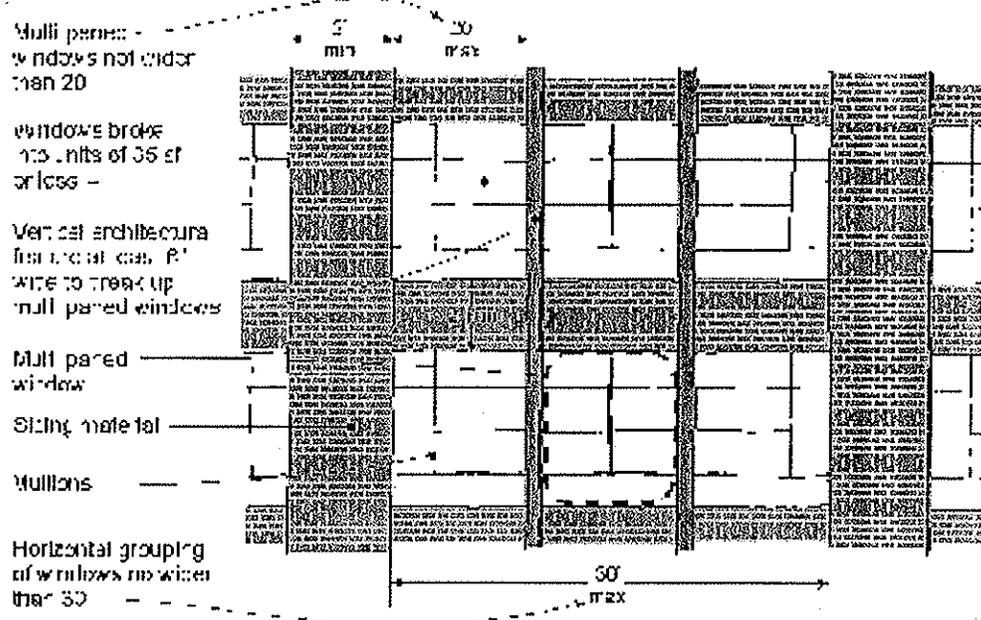


FIGURE 92.30.GJ

Some or all of these standards may be relaxed through the Design Review process where other methods can be effectively used to divide windows into units and give the building an identifiable scale.

- c) Continuous window walls are prohibited, except where used as an accent facade element to break up long continuous building walls and/or emphasize a building entry. Such window walls should be modulated horizontally, by at least two feet, and should not exceed 20 feet in width.
- d) Mirrored glass and other highly reflective materials are prohibited (see Figure 92.30.LI)

Recessed windows, mullions and tripartite window walls are prohibited unless used as an accent, such as in this building:

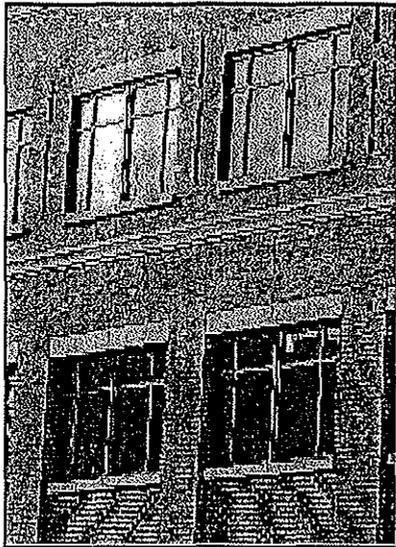


FIGURE 92.30.K

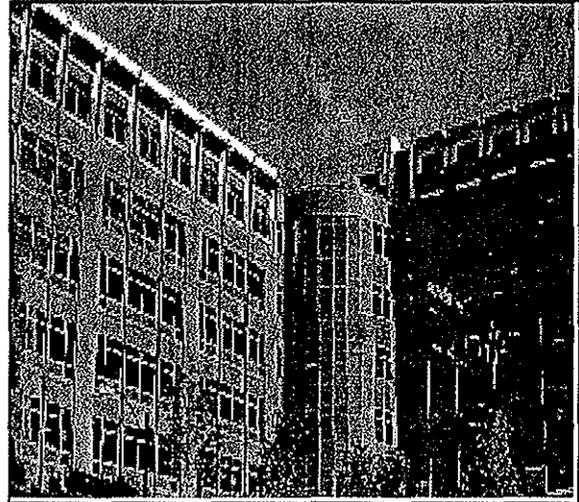


FIGURE 92.3

6-3. Achieving Human Scale in All Zones-

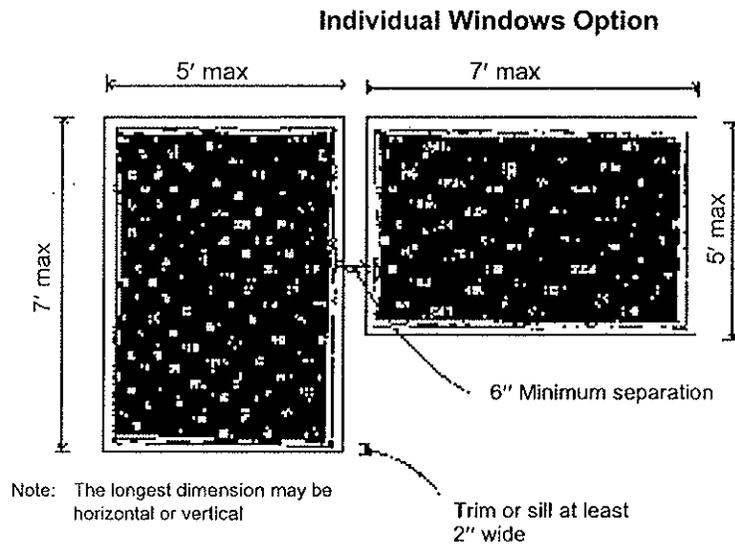
a. General

- 1) CBD - Except as provided in subsection (6.3)(a)(3) of this section, the applicant shall use at least two of the elements or techniques listed in subsection (6.3)(b) of this section in the design and construction of each facade of a building facing a street or public park.
- 2) JBD, NRHBD, Totem-Center, RHBD and TLN - Except as provided in subsection (6.3)(a)(3) of this section, the applicant shall use at least one of the elements or techniques listed in subsection (6.3)(b) of this section in the design and construction of each facade of a one-story building facing a street or *through-block pathway*, and at least two of the elements or techniques for a two-story building facing a street or *through-block pathway* (see Plate 34 in Chapter 180, KZC).
- 3) ALL Zones - The applicant shall use at least three of the elements or techniques listed in subsection (6.3)(b) of this section in the design and construction of any facade of a building facing a street, *through-block pathway* or public park, if:
 - a) The facade has a height of three or more stories; or
 - b) The facade is more than 100 feet long.

b. Techniques To Achieve Human Scale in All Zones - The techniques to be used in the design and construction of building facades under subsection (6.3)(a) of this section are listed below. As an alternative, the applicant may propose other techniques, elements or methods which provide human scale to the building and are consistent with the applicable design guidelines and the Comprehensive Plan.

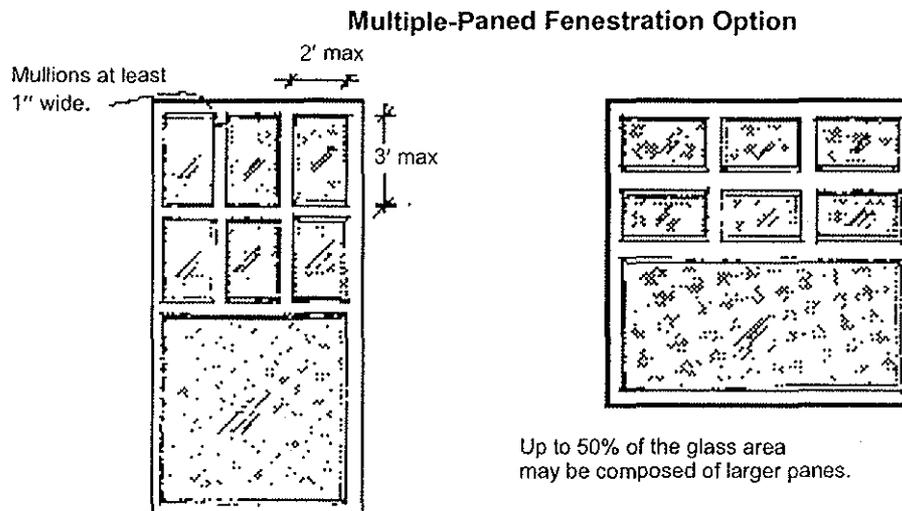
- 1) On each story above the ground floor, provide balconies or decks, at least six feet wide and six feet deep.
- 2) On each story above the ground floor, provide bay windows that extend out at least one foot, measured horizontally, from each facade of the building.

- 3) Provide at least 150 square feet of *pedestrian-oriented space* in front of each facade. See KZC 92.15.2.c.2)0(8)(c)(2).
- 4) Provide at least one-half of the window area above the ground floor of each facade consistent with all of the following criteria (see Figure 92.30.ID):
 - a) The windows must have glazed areas with dimensions less than five feet by seven feet.
 - b) The windows must be surrounded by trim, molding and/or sill at least two inches wide.
 - c) Individual window units must be separated from adjacent window units by at least six inches of siding or other exterior finish material of the building.
- 5) Provide at least one-half of the window area above the ground floor of each facade facing a street or public park in panes with dimensions less than two feet by three feet and with individual panes separated by window mullions (see Figure 92.30.JE).



Dimensions for individual windows option to meet human scale requirement.

FIGURE 92.30.ID



Multiple-paned fenestration option to meet the human scale requirement.

FIGURE 92.30.JE

- 6) Provide a hipped or gable roof which covers at least one-half of the building footprint and has a slope equal to or greater than three feet vertical to 12 feet horizontal. To meet this requirement, the ridge width of a continuous roofline shall not extend more than 100 feet without modulation. This includes a gabled or other sloped roofline segment at least 20 feet in width.
 - 7) If the main entrance of the building is on the facade of the building facing a street, *through-block pathway*, or public park, provide a covered porch or entry on the subject property at the building's main entrance. Pedestrian weather protection required under KZC 92-10(4) Section 105.18 may not be used to meet this requirement unless the required pedestrian weather protection covers an area at least 15 feet long by 15 feet wide and is available for outdoor display or outdoor vendors or contains pedestrian-oriented improvements or amenities beyond what is otherwise required.
 - 8) Provide one or more stories above the ground floor setback at least six feet from the ground floor facade facing the street, *through-block pathway*, or a public park.
 - 9) Compose smaller building elements near the entry of a large building (see Figure 92.30.KF).
- c. Techniques To Achieve Human Scale In RHBD and TLN-- In addition to the requirements of Section 92.30.6.b Techniques To Achieve Human Scale, nonresidential uses (office, retail, industrial etc) in the RHBD and TLN with over 40,000 square feet of floor area shall incorporate the following human scale features on the facade featuring the primary building entry:
- 1) Provide *pedestrian-oriented space* near the building entry. The minimum size of the area shall be no less than one percent of the floor area of the use (see Figure 92.15.A0-N). This must include a covered area at least 15 feet long by 15 feet wide and is available for outdoor display or outdoor vendors; and
 - 2) Compose smaller building elements near the entry (see Figure 92.30.KF).
 - 3) As an alternative, the applicant may propose other mechanisms for providing human scale to such buildings, consistent with the design guidelines.

Composing Smaller Building Elements Near the Entry

***** Revise graphic to remove retail so that it may apply to all non-residential use:s:**

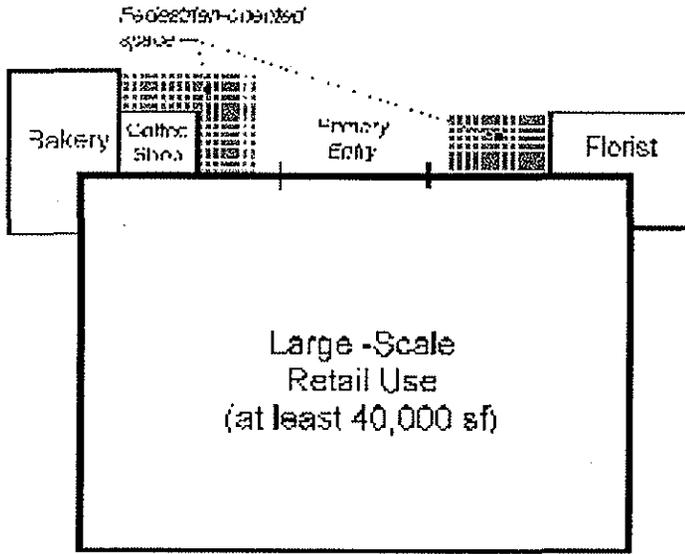


FIGURE 92.30.KF

92.35 **BUILDING MATERIAL, COLOR AND DETAIL****ALL**

1. Required Elements In All Zones— The applicant shall incorporate at least three of the following elements on each facade of a building that faces a street, *through-block pathway*, *pedestrian-oriented space* or a public park. As an alternative, the applicant may propose other mechanisms for providing interesting visual detail to buildings, consistent with the design guidelines.
 - a. Decorative roof lines, including ornamental molding, frieze or other roof line devices visible from the ground. Linear features must be at least eight inches wide, measured vertically.
 - b. Decorative molding or framing details around all ground floor doors and windows. The molding or trim may have a traditional, contemporary, geometric or sculptural design.
 - c. Decorative glazing on all ground floor doors and windows, including stained glass, crystal cut glass, etched glass or similar individualized and permanent treatment, but excluding single-colored glass, opaque glass or plastic. On all ground floor windows, this decorative glazing must have a surface area of at least 30 square feet.
 - d. Railings, grill work, landscape guards or other similar elements including materials, design, configuration, embellishment or workmanship that exceeds the normal functional requirements for the element.
 - e. Trellises or arbors having an area of at least 100 square feet and planted, consistent with the requirements of ~~KZC 92.05(4)~~, 95.40.5 to achieve at least 30 percent coverage of the trellis or arbor with plant material within three years.
 - f. Decorative light fixture or fixtures, either one if one-of-a-kind or custom-built or one every 30 feet along the facade of the building if not one-of-a-kind or custom-built, that meet either of the following criteria:
 - 1) Includes a diffuse, visible light source, such as a globe.
 - 2) Contains a shade or mounting that includes some use of material, configuration, shape, embellishment or detail that exceeds the normal functional requirement for the shade or mounting.
 - g. Use of any of the following decorative materials:
 - 1) Any of the following decorative masonry elements:
 - a) Decorative masonry patterns, other than running bond pattern.
 - b) Bricks, tile, stone, cast stone or other masonry units of at least two colors installed in layers or tiers to form a geometric pattern.
 - c) Decorative bands of masonry, such as a soldier course of brick or multicolored ceramic tile band, in conjunction with another exterior surface material.
 - 2) Individualized wood patterns or continuous wood details, such as fancy butt shingles in a geometric pattern, decorative moldings, brackets, eave trim or lattice work.
 - 3) Ceramic tile, stone, glass blocks, camera glass or other similar materials incorporated into other compatible surface materials and used to form or create, or in conjunction with, a

geometric pattern, distinctive shape, unusual surface treatment, special lighting or other decorative or textural element.

4) Other materials with decorative or textural qualities, as demonstrated by architectural drawings and material samples, approved by the City as part of Design Review.

h. Decorative unit paving, including at least 50 square feet of multicolored tile, paver blocks, brick or other paving material in a decorative pattern, installed in a pedestrian-circulation area adjacent to the facade.

i. Artwork in the form of a mosaic mural, bas-relief sculpture, light sculpture, water sculpture, fountain, freestanding sculpture, art in pavement, murals, graphics or other forms, either freestanding in front of the facade or attached to the facade.

ALL 2. Prohibited Materials- All Zones – The following materials may not be used on any exterior surface which is visible from any area beyond the subject property:

a. Mirrored glass and other highly reflective materials.

b. Corrugated fiberglass.

c. Chain link fencing, except for temporary purposes, such as during construction.

ALL 3. Metal Siding- All Zones— Corner and edge trim must be used to cover exposed edges of metal siding. If metal siding covers more than 25 percent of a building's facade, the following regulations apply:

a. The siding must have a matted finish.

b. The siding must be in a neutral, earth tone or dulled color such as buff, grey, beige, tan, creme, white, barn-red, blue-grey, burgundy or ocher.

c. The facade must have visible window and door trim painted or finished in a color which is complementary to the siding color.

ALL 4. Concrete Block- All Zones – Any concrete block, masonry unit or cinder block wall which is visible from a street or public park must contain one or more of the following features or elements:

a. Use of textured blocks with surfaces such as split-faced or grooved.

b. Use of colored mortar complementary to the color of the blocks.

c. Use of other surface material such as bricks, glass blocks or tile as a significant feature of the wall.

ALL 5. Awnings- All Zones (see Chapter 105 for other pedestrian weather protection requirements) -

a. The design of awnings should complement the architecture of the building. Steel and glass, fabric, and other materials of a more permanent nature are encouraged. Vinyl or plastic awnings and awnings used predominantly for advertising are discouraged.

b. Translucent awnings shall not be backlit. Lights directed downward mounted from internal awning frames are permitted. Lights mounted above awnings and directed downward are permitted.

- ~~ALL-6.~~ Covering of Existing Facades- All Zones – Existing brick or cast stone masonry facades may not be covered with metal siding, metal screening, plastic siding, fiberglass siding, plywood siding, or wood siding materials. Other existing facades may be covered if consistent with the provisions of this subsection (6). As part of Design Review for remodels, the City may require the removal of coverings.
7. Building Cornerstone or Plaque- All Zones – All commercial buildings designed for use by more than one tenant must have a building cornerstone or plaque, placed in a prominent location, consistent with the following standards:
- a. Building cornerstones must be constructed in carved stone, cast stone, carved masonry, terra cotta or other vandal-resistant material.
 - b. Building plaques must be mounted no lower than two feet and no higher than 10 feet above ground and must be made of bronze, brass, anodized aluminum, porcelain enamel-covered steel or aluminum or other corrosion-resistant material.
 - c. Building cornerstones and plaques must indicate the name of the building and, if known, the date of construction and architect.
 - d. Building cornerstones and plaques may include the owner's name and other historical information.
- ~~8.~~ Required On-Site Improvements- All Zones
- ~~a. Mixed use centers, residential projects and office buildings shall provide bicycle racks which are conveniently located for bicyclist use and provide secure storage for bicycles.~~
 - ab. Water spigots shall be provided on all building facades along sidewalks for cleaning and plant watering.