



## CITY OF KIRKLAND

Planning and Community Development Department  
123 Fifth Avenue, Kirkland, WA 98033 425.587-3225  
[www.ci.kirkland.wa.us](http://www.ci.kirkland.wa.us)

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### MEMORANDUM

**To:** FILE DRC07-00007

**From:** Eric Shields, Planning Director, DRB Member 

**Date:** June 12, 2008

**Subject:** **DRB CONDITIONS OF APPROVAL – FOLLOW UP  
MCLEOD MIXED USE PROJECT – FILE DRC07-00007**

### **BACKGROUND**

The DRB approved the McLeod Mixed Use project on March 20, 2008 with conditions. One of the conditions requires that the applicant submit revisions to their building permit application consistent with their conditions of approval (see Attachment 1). The DRB also asked to review the revisions as part of the building permit process to confirm that the changes have been made.

The DRB has required this informal review after final approval has been issued for past projects. The DRB would then review any changes during the *unfinished business* portion of their agenda during the building permit stage. Currently, the DRB does not have enough members to create a fully functioning board, therefore as the Planning Director and DRB member, I will administratively review the applicant's changes to verify that they are consistent with the DRB's requirements.

The applicant has submitted their response to the DRB's requirements (see Attachment 2). After reviewing the applicant's response to the DRB's conditions of approval, it has been determined the revisions are consistent with the DRB's conditions of approval. Staff shall confirm that the building permit will be revised to be consistent with the changes depicted in Attachment 2.

### **ATTACHMENTS**

1. March 20, 2008 DRB Conditions I.B.1 through 13
2. Applicant's DRB Conditions Response dated June 12, 2008



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### DESIGN RESPONSE CONFERENCE DESIGN REVIEW BOARD DECISION

**DATE:** March 20, 2008

**PROJECT NAME:** McLeod Mixed Use Project

**APPLICANT:** Mark Smedley with Stock & Associates

**FILE NO.:** DRC07-00007

**PROJECT PLANNER:** Jon Regala, Senior Planner

#### I. SUMMARY OF DECISION

On November 19, 2007, Mark Smedley, with Stock & Associates, applied for design review for a new 4-story mixed use building located at 118 and 150 Lake Street South. The new building contains approximately 32,723 square feet of restaurant and retail uses at the ground floor. The upper 3 stories contain approximately 124,656 square feet of new office space. Five hundred twenty parking stalls are proposed in a 5-level subterranean parking garage with access coming from the 22-foot wide alley north of the subject property. The south 122 feet of the existing retail and office building will be retained.

On March 12, 2008, the Design Review Board (DRB) approved the project as shown on the plans dated March 12, 2008 (see Attachment 1), the addendum dated March 12, 2008 (see Attachment 2), and subject to the following conditions:

- A. This application is subject to the applicable requirements contained in the Kirkland Municipal Code, Zoning Code, and Building and Fire Code. It is the responsibility of the applicant to ensure compliance with the various provisions contained in these ordinances. Attachment 3, Development Standards, is intended to familiarize the applicant with some of the additional development regulations. This attachment does not include all of the additional regulations.
- B. As part of the application for a building permit and a follow-up review by the DRB, the applicant shall submit construction plans consistent with Attachment 1 and 2 and that reflect the following conditions:
1. The 3<sup>rd</sup> and 4<sup>th</sup> story of Façade B (Hector's Façade) shall be set back an additional 2 feet. Also at the 3<sup>rd</sup> and 4<sup>th</sup> story on this façade, the sunshades shall be removed, a darker color is required, and the 2<sup>nd</sup> story cornice line shall be raised to help further obscure the view of the upper stories from across the street at ground level.
  2. At Façade C (the 'gasket'), the 2<sup>nd</sup> story shall be pushed back so that it is at the same plane as the 3<sup>rd</sup> and 4<sup>th</sup> story on this façade.

ATTACHMENT \_\_\_\_\_

3. Cornice returns at Façade B and D shall be resolved and shall not terminate at the glass railings.
4. At Façade D, windows at the ground floor shall be redesigned to better reflect a balance between the design guidelines for larger street front windows and the need for meeting pedestrian scale guidelines encouraging varied window treatments.
5. At Façade E, window size and proportions at the 3<sup>rd</sup> and 4<sup>th</sup> story shall be revised so that the apparent heaviness and massing is reduced to be in keeping with the structural elements at the 1<sup>st</sup> and 2<sup>nd</sup> stories.
6. No signs shall be located above 2<sup>nd</sup> story.
7. No internally illuminated signs are allowed where facing residential uses.
8. Building lighting is not allowed at upper stories except where required by the Building Code. Where lighting is required, light fixtures shall be directed inwards into the subject property.
9. Bollards shown on the site plan shall be removed where Lake Street South sidewalk meets the alley.
10. Benches, vegetation, and other improvements where located next to on-street parking areas shall be removed.
11. A low profile planter shall be constructed in northwest corner enclave to contain plants and seating.
12. Details for the 'green screen' located at the east and south facades facing the Portsmouth Condominiums.
13. Details for the water feature to be located at the south entrance of the culinary court. The applicant should work with the Cultural Council in incorporating art into the design of the water feature.

## II. DESIGN RESPONSE CONFERENCE MEETINGS

### A. Background Summary

Below is a summary of the Board's discussions at the four Design Response Conferences held on December 17, 2007, January 17, 2008, February 12, 2008, and March 12, 2008.

*December 17, 2007 Design Response Conference:* The DRB reviewed the plans submitted by the applicant dated December 3, 2007. Staff provided an overview of the Zoning Code regulations and Comprehensive Plan policies for the CBD 1 zone and Design District 1B. Staff's memo dated December 10, 2007 provides an analysis of the project's consistency with zoning regulations, Comprehensive Plan policies, and Design Guidelines for Pedestrian Oriented Districts. A model with several building massing alternatives, submitted by the applicant, was reviewed by the DRB at the meeting.



MEMORANDUM

109 Bell Street  
Seattle, Washington 98121

Telephone: 206.443.0494  
Fax: 206.443.0495  
www.stockandassociates.com

Date: 12 June, 2008

To: Jon Regala  
City of Kirkland

425 587-3255 (phone)  
425 587-3232 (fax)

From: Mark Smedley

Subject: DRB Conditions Response Letter

Project Name: Kirkland Village Mixed-Use  
Project No.: 06005.02

For your review & comments

For your information & records

Per your request

Enclosed

Under separate cover

Jon,

Please find attached our response for the McLeod Mixed Use Project DRC07-00007 Conditions of Design Review Board Decision. A table outlining the thirteen (13) conditions of that approval with our approach and status for Building Permit Re-submittal. We have also included graphic attachments in slide form.

After reviewing these responses we understand that you will post them on the Design Review website with a staff memo recognizing the responses as closure to the conditions as cited by the Design Review Board.

If we can be of further assistance do not hesitate to call.

Sincerely,

Mark S. Smedley, AIA  
Stock & Associates, Inc.

ATTACHMENT	<u>2</u>

We would like to provide this Design Conditions bullet point list of 13 changes we made to the design per the last Design Response Conference meeting on March 12<sup>th</sup>, 2008:

### Building Massing

<b>Design Review Board Conditions of Approval</b>	
<b>1</b>	The 3 <sup>rd</sup> and 4 <sup>th</sup> story of Façade B (Hector's Façade) shall be set back an additional 2 feet. Also at the 3 <sup>rd</sup> and 4 <sup>th</sup> story on this façade, the sunshades shall be removed, a darker color is required, and the 2 <sup>nd</sup> story cornice shall be raised to help further obscure the view of the upper stories from across the street at ground level.
	<ul style="list-style-type: none"> <li>• <i>The 3<sup>rd</sup> and 4<sup>th</sup> floors have been set back an additional 2 feet.</i></li> <li>• <i>The sunshades have been removed</i></li> <li>• <i>A darker color (green not tan) has been used</i></li> <li>• <i>The 2<sup>nd</sup> floor cornice has been raised up to guardrail height (3' – 6")</i></li> </ul> See attached – pages 2 thru 6 including revised Material Sample board.
<b>2</b>	At Façade C (the gasket), the 2 <sup>nd</sup> story shall be pushed back so that it is at the same plane as the 3 <sup>rd</sup> and 4 <sup>th</sup> story on this façade.
	<ul style="list-style-type: none"> <li>• <i>The 2<sup>nd</sup> level of Façade C has been pushed back to align with the 3<sup>rd</sup> and 4<sup>th</sup> floors at the "gasket"</i></li> </ul> See attached – pages 8 thru 10
<b>3</b>	Cornice Returns at Façade B and D shall be resolved and shall not terminate at the glass railings
	<ul style="list-style-type: none"> <li>• <i>The cornice returns now terminate at solid walls at Façade C – the "Gasket"</i></li> </ul> See attached – pages 8 thru 10
<b>4</b>	At Façade D, windows at the ground floor shall be redesigned to better reflect a balance between the design guidelines for larger street front windows and the need for meeting pedestrian scale guidelines encouraging varied window treatment.
	<ul style="list-style-type: none"> <li>• <i>Façade D windows will vary in the final designs by virtue of individual tenant improvements. The intention is to have as a base design, teak wood framed windows and doors for tenant storefronts as the baseline for design. The spandrel panels have been changed to add another material (tile of stone or ceramic)</i></li> <li>• <i>Additional studies indicate the intention to work with the Kirkland Cultural Council to develop art along the retail storefronts that include display systems and lighting that is integrated with the storefronts</i></li> </ul> See attached – pages 11 thru 14
<b>5</b>	At Façade E, window size and proportions at the 3 <sup>rd</sup> and 4 <sup>th</sup> story shall be revised so that the apparent heaviness and massing is reduced in keeping with the structural elements at the 1 <sup>st</sup> and 2 <sup>nd</sup> stories.
	<ul style="list-style-type: none"> <li>• <i>Façade e 3<sup>rd</sup> and 4<sup>th</sup> floor windows have been resized and now align with structural elements below.</i></li> </ul> See attached – pages 15 thru 17

6	No signs shall be located above 2 <sup>nd</sup> story.
	<ul style="list-style-type: none"> <li>• <i>No signs will be located above 2<sup>nd</sup> story. NOTE: It is our intent to apply for building related signage under separate permit as required by City of Kirkland Zoning Code. Individual permits will be required for tenant signage.</i></li> </ul> <p>See attached – pages 18 thru 24</p>
7	No internally illuminated signs are allowed where facing residential uses.
	<ul style="list-style-type: none"> <li>• <i>No internally illuminated signs will be placed where facing the residential uses to the north across the alley (Bank of America site), to the east (Merrill Gardens 201 &amp; Portsmouth), or to the south (Portsmouth). It is our understanding that the limited residential across Lake Street South to the west was not included in this item of concern.</i></li> </ul> <p>See attached – pages 18 thru 24</p>
8	Building lighting is not allowed at upper stories except where required by the Building Code. Where lighting is required, light fixtures shall be directed inwards into the subject property.
	<ul style="list-style-type: none"> <li>• <i>Lighting will not be placed on the building above the 2nd story unless required by the Building Code. Where lighting is required by the Building Code above the 2nd story, lighting fixtures will not be visible at ground level, light will be directed into the subject property, and building facades will be lit to the minimum necessary to meet Building Code requirements.</i></li> </ul> <p>See attached – pages 18 thru 24</p>
9	Bollards shown on the site plan shall be removed where Lake Street South sidewalk meets the alley.
	<ul style="list-style-type: none"> <li>• <i>The bollards have been removed from the sidewalk at the alley entry off Lake Street South.</i></li> </ul> <p>See attached – pages 25 thru 29</p>
10	Benches, vegetation, and other improvements where located next to on-street parking areas shall be removed.
	<ul style="list-style-type: none"> <li>• <i>Benches, vegetation, and other improvements have been moved to create a clear dimension of 18" minimum adjacent to the curb to allow for pedestrian access to and from automobiles at the curb.</i></li> </ul> <p>See attached – pages 25 thru 29</p>
11	A low profile planter shall be constructed in the northwest corner enclave to contain plants and seating.
	<ul style="list-style-type: none"> <li>• <i>A planter has been designed into the corner enclave at the northwest corner (in front of the corner retail at Façade A.</i></li> </ul> <p>See attached – pages 25 thru 29</p>

12	Details for the "green screen" located at the east and south facades facing the Portsmouth Condominiums.
	<ul style="list-style-type: none"> <li>• <i>The "green screen" was designed in response to meetings with the Portsmouth residents group and rendered for the March 12, 2008 DRB meeting. Details will be submitted with the Building Permit Re-Submittal.</i></li> </ul> <p>See attached – pages 30 thru 32</p>
13	Details for the water feature to be located at the south entrance of the culinary court. The applicant should work with the Cultural Council in incorporating art into the design of the water feature.
	<ul style="list-style-type: none"> <li>• <i>The applicant has conducted an initial meeting with the Kirkland Cultural Council to determine opportunities for engaging local artists in the art projects including the design of the water feature. Details will be submitted with the Building Permit Re-Submittal.</i></li> </ul> <p>See attached – pages 33 thru 34</p>

End of Notes

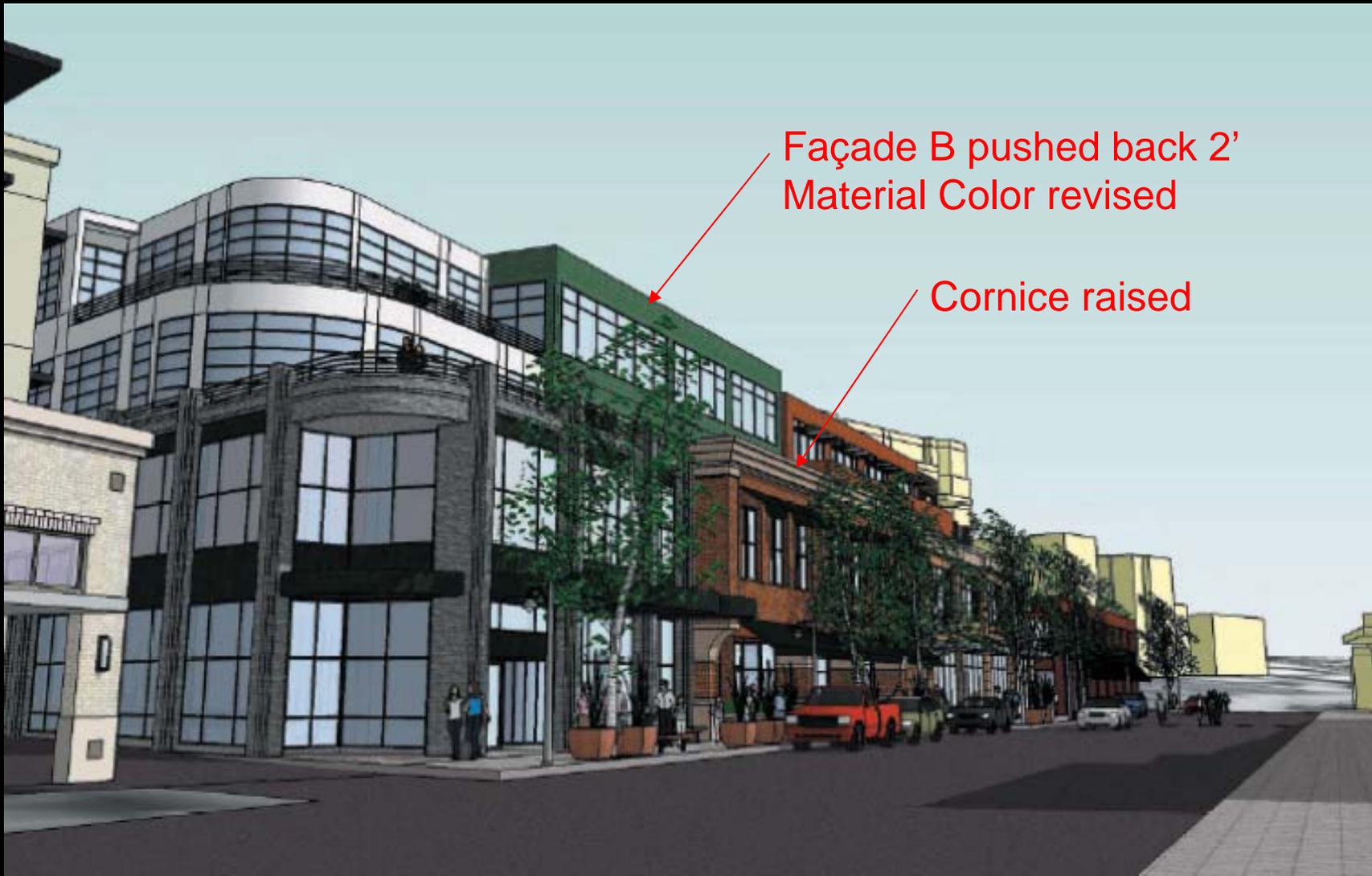
# Lake Street Place

<b>Design Review Board Conditions of Approval - 03/20/008</b>	
1	The 3rd and 4th story of Façade B (Hector's Façade) shall be set back an additional 2 feet. Also at the 3rd and 4th story on this façade, the sunshades shall be removed, a darker color is required, and the 2nd story cornice shall be raised to help further obscure the view of the upper stories from across the street at ground level.
2	At Façade C (the gasket), the 2nd story shall be pushed back so that it is at the same plane as the 3rd and 4th story on this façade.
3	Cornice Returns at Façade B and D shall be resolved and shall not terminate at the glass railings.
4	At Façade D, windows at the ground floor shall be redesigned to better reflect a balance between the design guidelines for larger street front windows and the need for meeting pedestrian scale guidelines encouraging varied window treatment.
5	At Façade E, window size and proportions at the 3rd and 4th story shall be revised so that the apparent heaviness and massing is reduced in keeping with the structural elements at the 1st and 2nd stories.
6	No signs shall be located above 2nd story.
7	No internally illuminated signs are allowed where facing residential uses.
8	Building lighting is not allowed at upper stories except where required by the Building Code. Where lighting is required, light fixtures shall be directed inwards into the subject property.
9	Bollards shown on the site plan shall be removed where Lake Street South sidewalk meets the alley.
10	Benches, vegetation, and other improvements where located next to on-street parking areas shall be removed.
11	A low profile planter shall be constructed in the northwest corner enclave to contain plants and seating.
12	Details for the "green screen" located at the east and south facades facing the Portsmouth Condominiums.
13	Details for the water feature to be located at the south entrance of the culinary court. The applicant should work with the Cultural Council in incorporating art into the design of the water feature.

**CONDITION 1.** The 3rd and 4th story of Façade B (Hector's Façade) shall be set back an additional 2 feet. Also at the 3rd and 4th story on this façade, the sunshades shall be removed, a darker color is required, and the 2nd story cornice shall be raised to help further obscure the view of the upper stories from across the street at ground level.

- *The 3rd and 4th floors have been set back an additional 2 feet.*
- *The sunshades have been removed.*
- *A darker color (green not tan) has been used.*
- *The 2nd floor cornice has been raised up to guardrail height (3' – 6")*

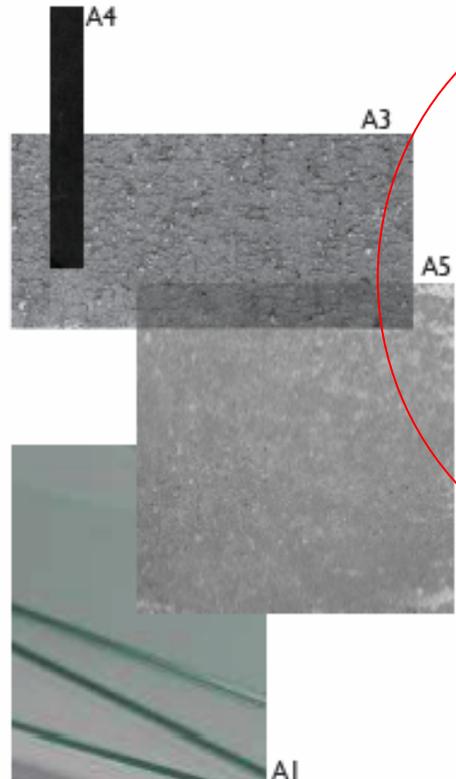




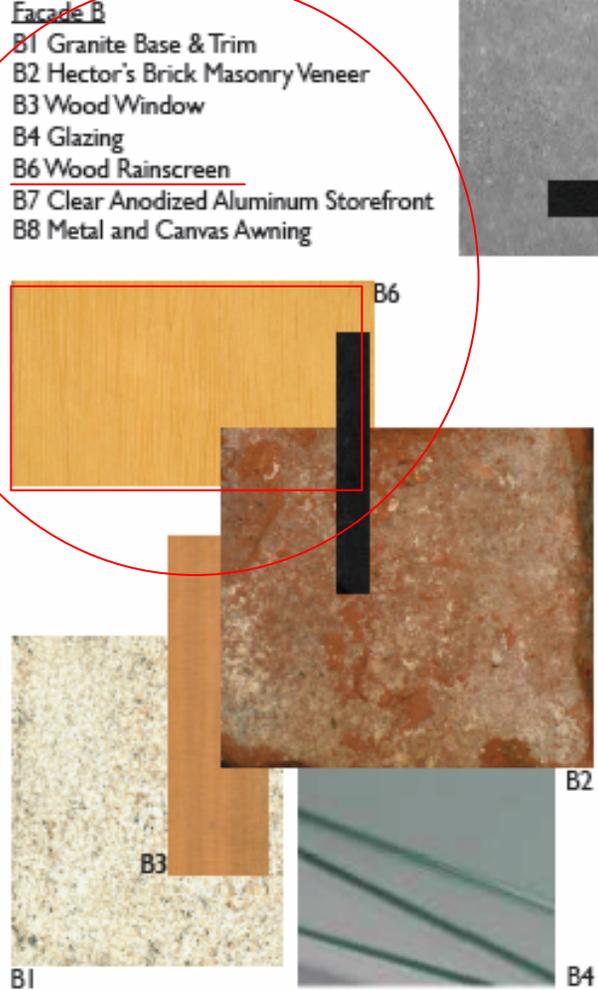
Façade B pushed back 2'  
Material Color revised

Cornice raised

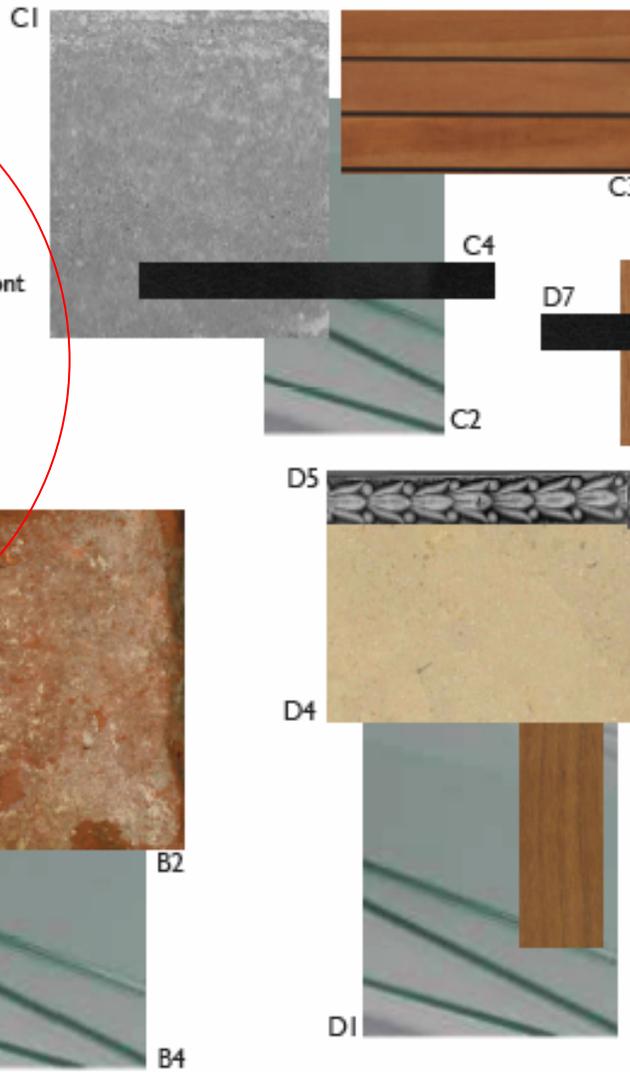
# Material Samples



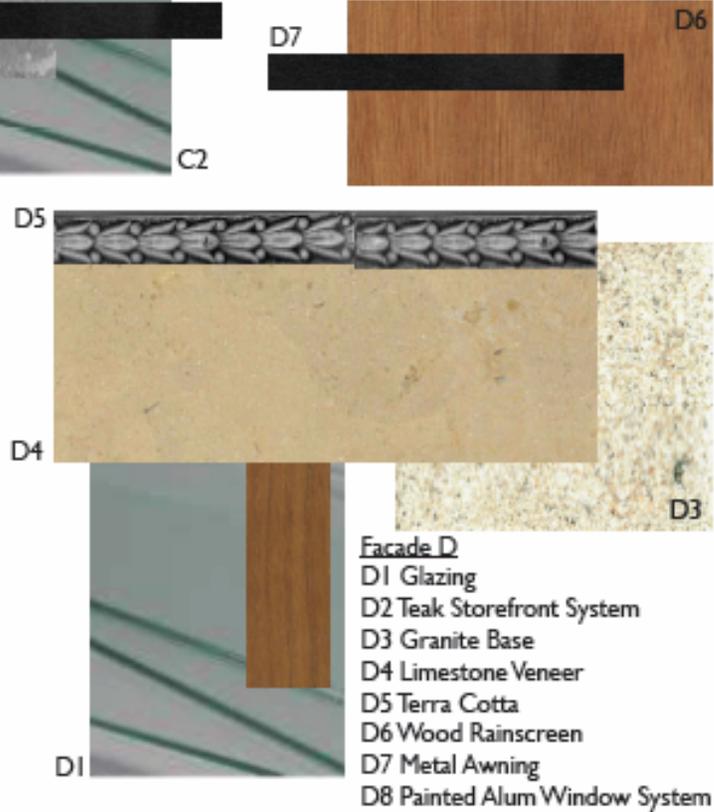
- Facade A**  
 A1 Glazing  
 A2 Pressed Metal Spandrel  
 A3 Brick Masonry Veneer  
 A4 Bronze Anodized Aluminum Storefront  
 A5 Painted Concrete



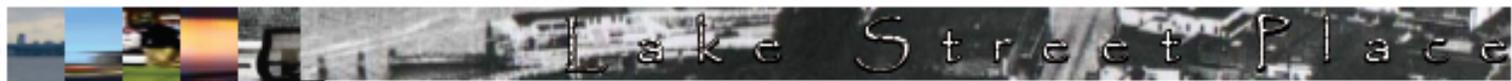
- Facade B**  
 B1 Granite Base & Trim  
 B2 Hector's Brick Masonry Veneer  
 B3 Wood Window  
 B4 Glazing  
 B6 Wood Rainscreen  
 B7 Clear Anodized Aluminum Storefront  
 B8 Metal and Canvas Awning



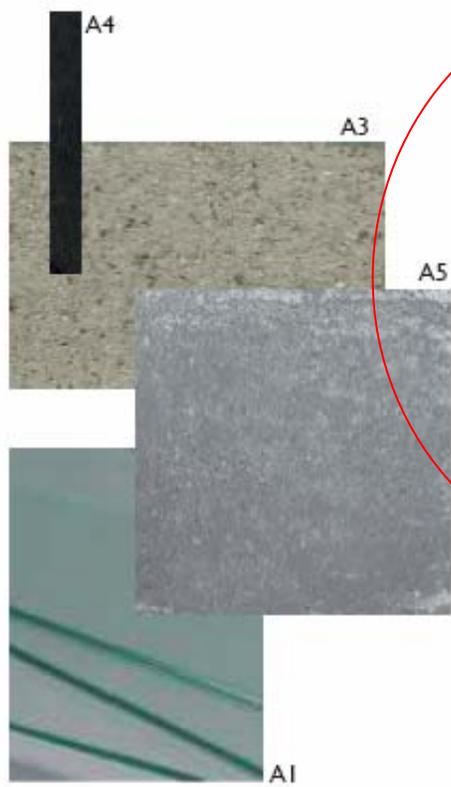
- Facade C**  
 C1 Stained Concrete  
 C2 Bronze Anodized Aluminum Storefront  
 C3 Wood Slatted Soffit  
 C4 Metal & Glass Awning



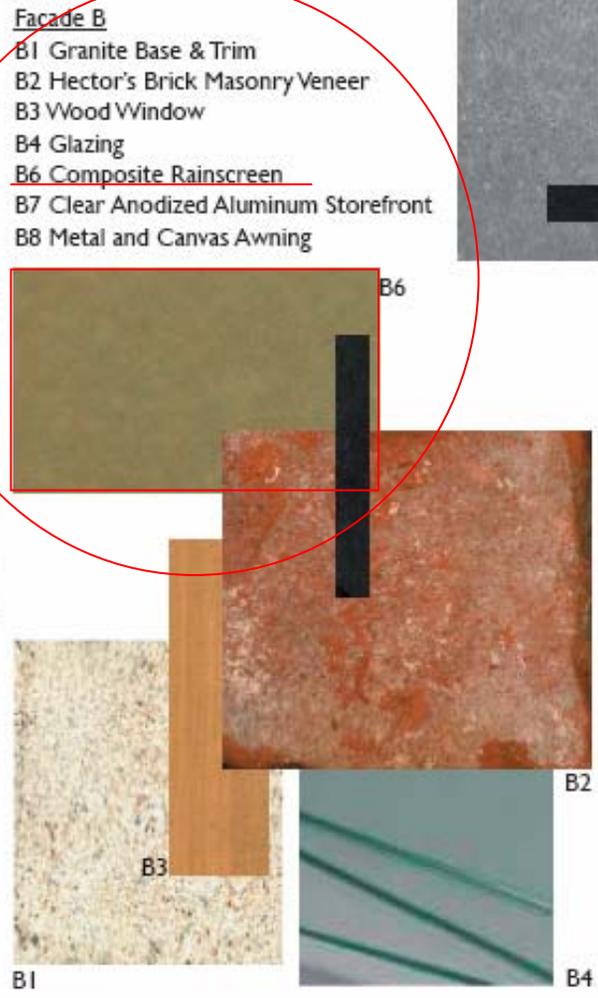
- Facade D**  
 D1 Glazing  
 D2 Teak Storefront System  
 D3 Granite Base  
 D4 Limestone Veneer  
 D5 Terra Cotta  
 D6 Wood Rainscreen  
 D7 Metal Awning  
 D8 Painted Alum Window System



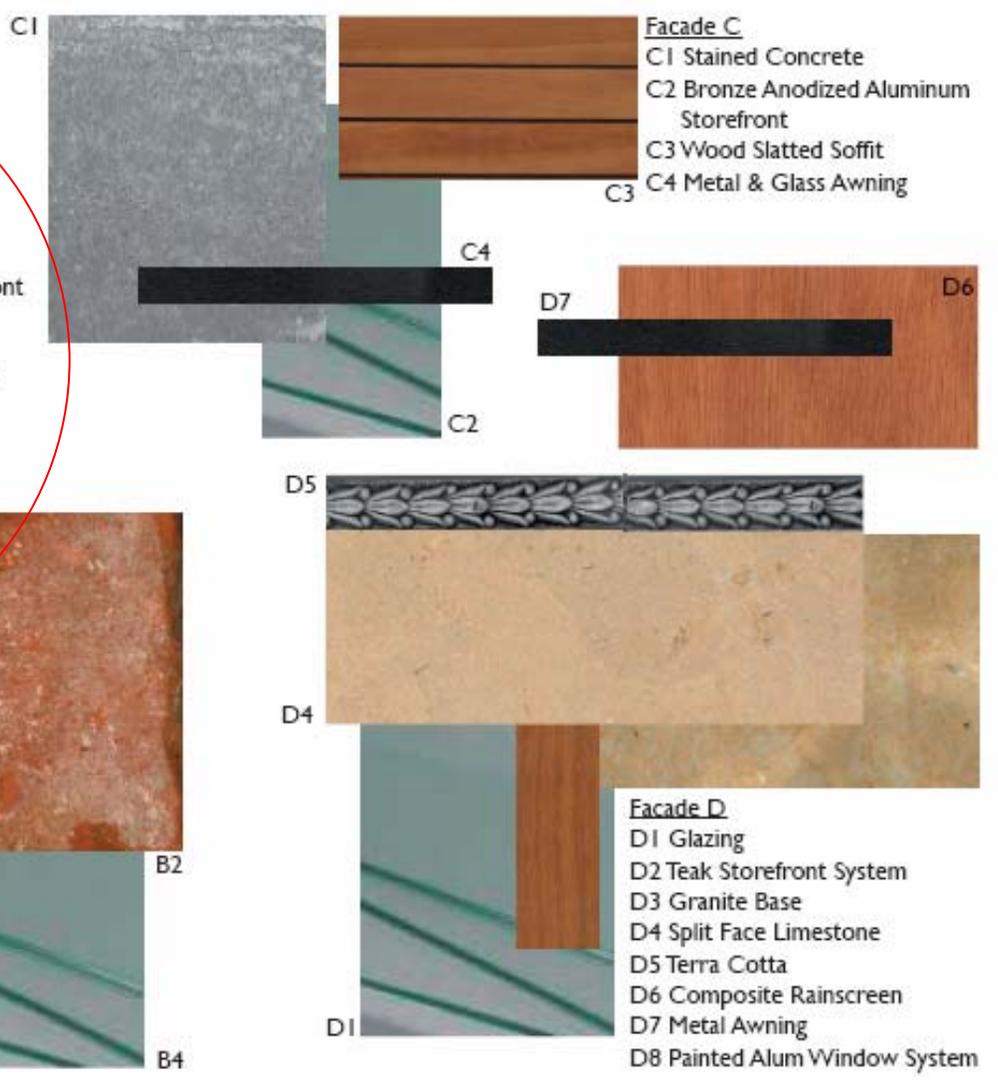
# Material Samples



- Facade A**  
 A1 Glazing  
 A2 Pressed Metal Spandrel  
 A3 Brick Masonry Veneer  
 A4 Clear Anodized Aluminum Storefront  
 A5 Painted Concrete



- Facade B**  
 B1 Granite Base & Trim  
 B2 Hector's Brick Masonry Veneer  
 B3 Wood Window  
 B4 Glazing  
 B6 Composite Rainscreen  
 B7 Clear Anodized Aluminum Storefront  
 B8 Metal and Canvas Awning



- Facade C**  
 C1 Stained Concrete  
 C2 Bronze Anodized Aluminum Storefront  
 C3 Wood Slatted Soffit  
 C4 Metal & Glass Awning

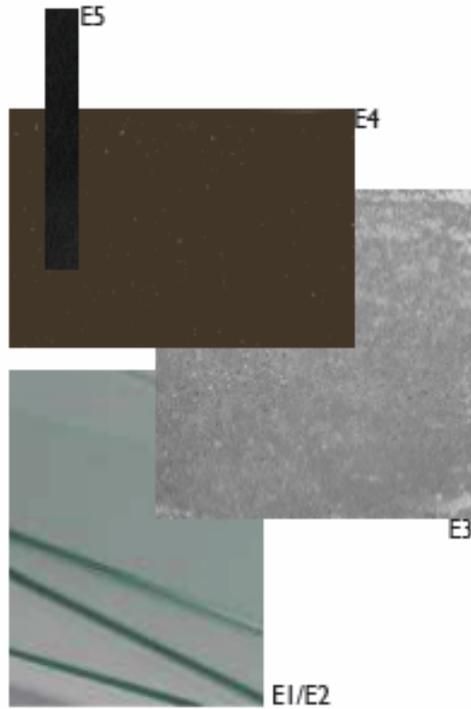
- Facade D**  
 D1 Glazing  
 D2 Teak Storefront System  
 D3 Granite Base  
 D4 Split Face Limestone  
 D5 Terra Cotta  
 D6 Composite Rainscreen  
 D7 Metal Awning  
 D8 Painted Alum Window System



After

Conditions of Approval

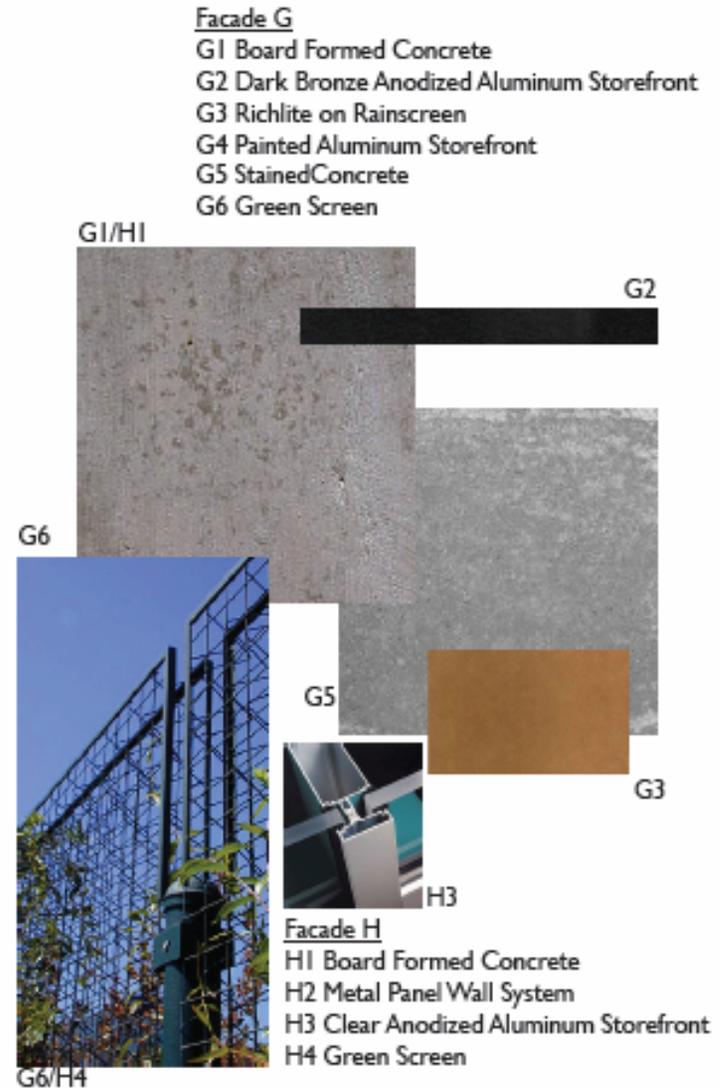
# Material Samples



**Facade E**  
 E1 Glazing  
 E2 Spandrel Glass  
 E3 Stained Concrete  
 E4 Brick Masonry Veneer  
 E5 Bronze Anodized Aluminum Storefront



**Facade F**  
 F1 Existing Concrete Base  
 F2 Existing Brick Masonry Veneer  
 F3 Existing Aluminum Storefront  
 F4 Existing Metal Railings  
 F5 Metal & Canvas Awnings



**Facade G**  
 G1 Board Formed Concrete  
 G2 Dark Bronze Anodized Aluminum Storefront  
 G3 Richlite on Rainscreen  
 G4 Painted Aluminum Storefront  
 G5 Stained Concrete  
 G6 Green Screen

**Facade H**  
 H1 Board Formed Concrete  
 H2 Metal Panel Wall System  
 H3 Clear Anodized Aluminum Storefront  
 H4 Green Screen

**CONDITION 2.** At Façade C (the gasket), the 2nd story shall be pushed back so that it is at the same plane as the 3rd and 4th story on this façade.

*The 2nd level of Façade C has been pushed back to align with the 3rd and 4th floors at the “gasket”*

**CONDITION 3.** Cornice Returns at Façade B and D shall be resolved and shall not terminate at the glass railings

*The cornice returns now terminate at solid walls at Façade C – the “Gasket”*



DRB 3/12/08 Meeting

Before

Conditions of Approval



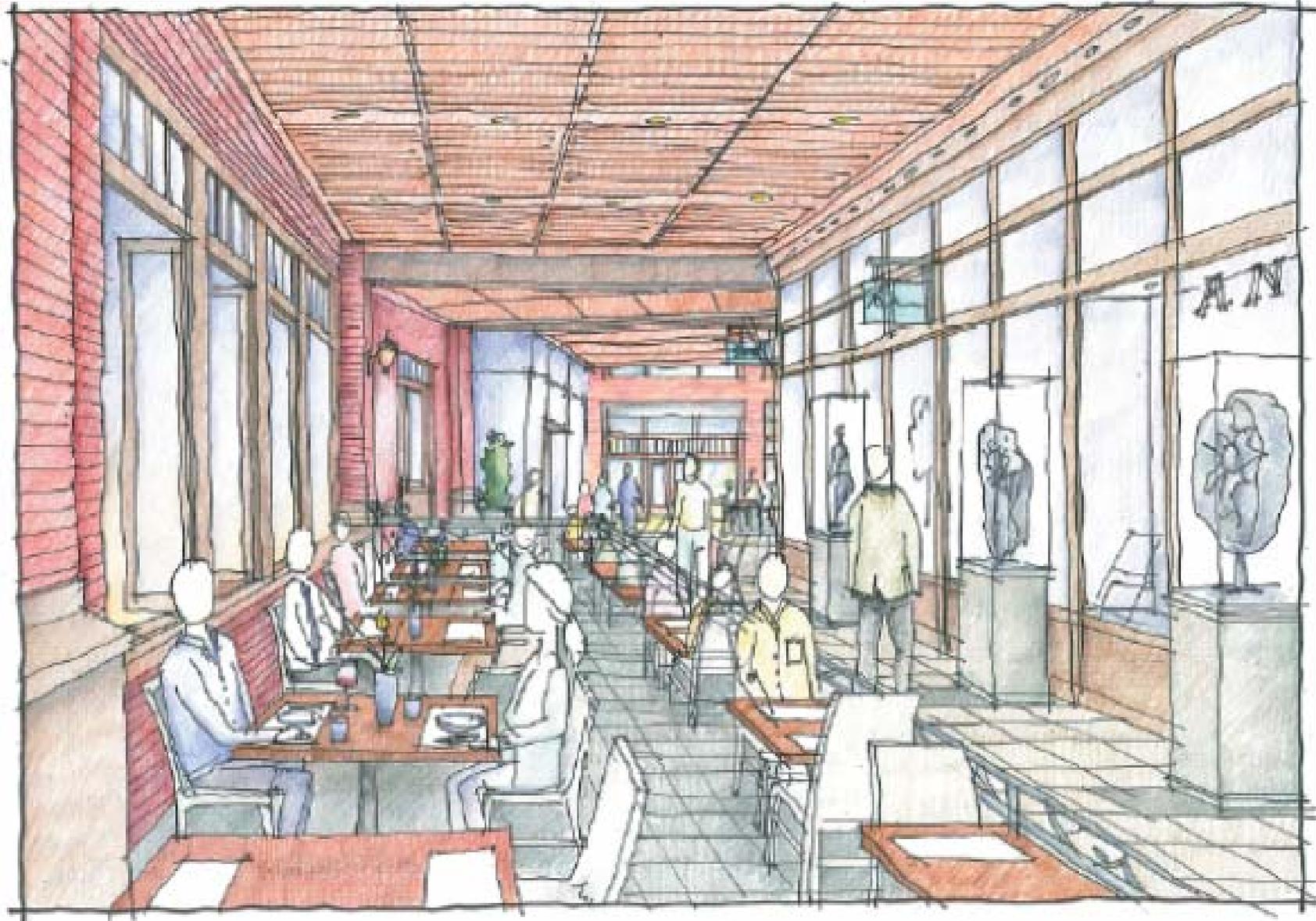
Artists Rendering  
Of Changes

After

Conditions of Approval

**CONDITION 4.** At Façade D, windows at the ground floor shall be redesigned to better reflect a balance between the design guidelines for larger street front windows and the need for meeting pedestrian scale guidelines encouraging varied window treatment.

- *Façade D windows will vary in the final designs by virtue of individual tenant improvements. The intention is to have as a base design, teak wood framed windows and doors for tenant storefronts as the baseline for design. The spandrel panels have been changed to add another material (tile of stone or ceramic)*
- *Additional studies indicate the intention to work with the Kirkland Cultural Council to develop art along the retail storefronts that include display systems and lighting that is integrated with the storefronts*



ARTIST'S RENDERING OF NORTH COURTYARD ENTRY



ARTIST'S RENDERING OF COURTYARD - VIEW LOOKING NORTH



ARTIST'S RENDERING OF COURTYARD - VIEW LOOKING SOUTH



ARTIST'S RENDERING OF SOUTH COURTYARD ENTRY

**CONDITION 5.** At Façade E, window size and proportions at the 3rd and 4th story shall be revised so that the apparent heaviness and massing is reduced in keeping with the structural elements at the 1st and 2nd stories.

- *Façade 'E' 3rd and 4th floor windows have been resized and now align with structural elements below.*



Façade 'E'

STOCK & ASSOCIATES  
architecture.interiors  
page 7 03.12.08

Lake Street Place



**CONDITION 6.** No signs shall be located above 2nd story.

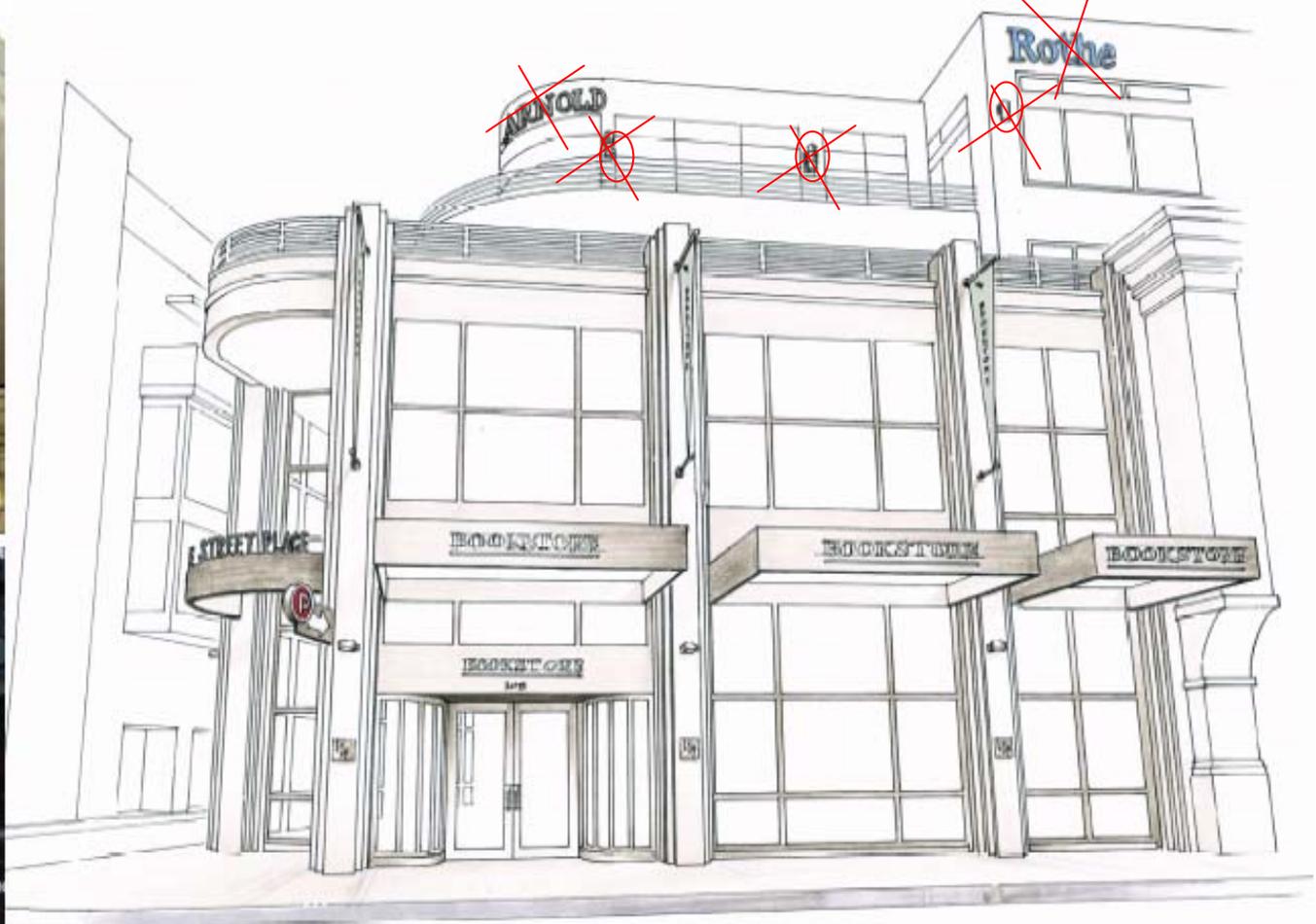
•*No signs will be located above 2nd story. NOTE: It is our intent to apply for building related signage under separate permit as required by City of Kirkland Zoning Code. Individual permits will be required for tenant signage.*

**CONDITION 7.** No internally illuminated signs are allowed where facing residential uses.

*No internally illuminated signs will be placed where facing the residential uses to the north across the alley (Bank of America site), to the east (Merrill Gardens 201 & Portsmouth), or to the south (Portsmouth). It is our understanding that the limited residential across Lake Street South to the west was not included in this item of concern.*

**CONDITION 8.** Building lighting is not allowed at upper stories except where required by the Building Code. Where lighting is required, light fixtures shall be directed inwards into the subject property.

•*Lighting will not be placed on the building above the 2nd story unless required by the Building Code. Where lighting is required by the Building Code above the 2nd story, lighting fixtures will not be visible at ground level, light will be directed into the subject property, and building facades will be lit to the minimum necessary to meet Building Code requirements.*



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Lake Street Place



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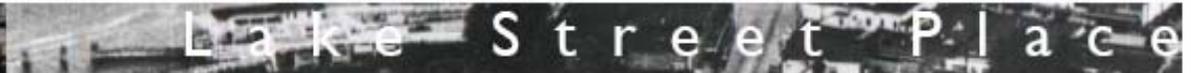


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STOCK & ASSOCIATES  
architecture, interiors  
page 20 03.12.08



L a k e S t r e e t P l a c e



**CONDITION 9.** Bollards shown on the site plan shall be removed where Lake Street South sidewalk meets the alley.

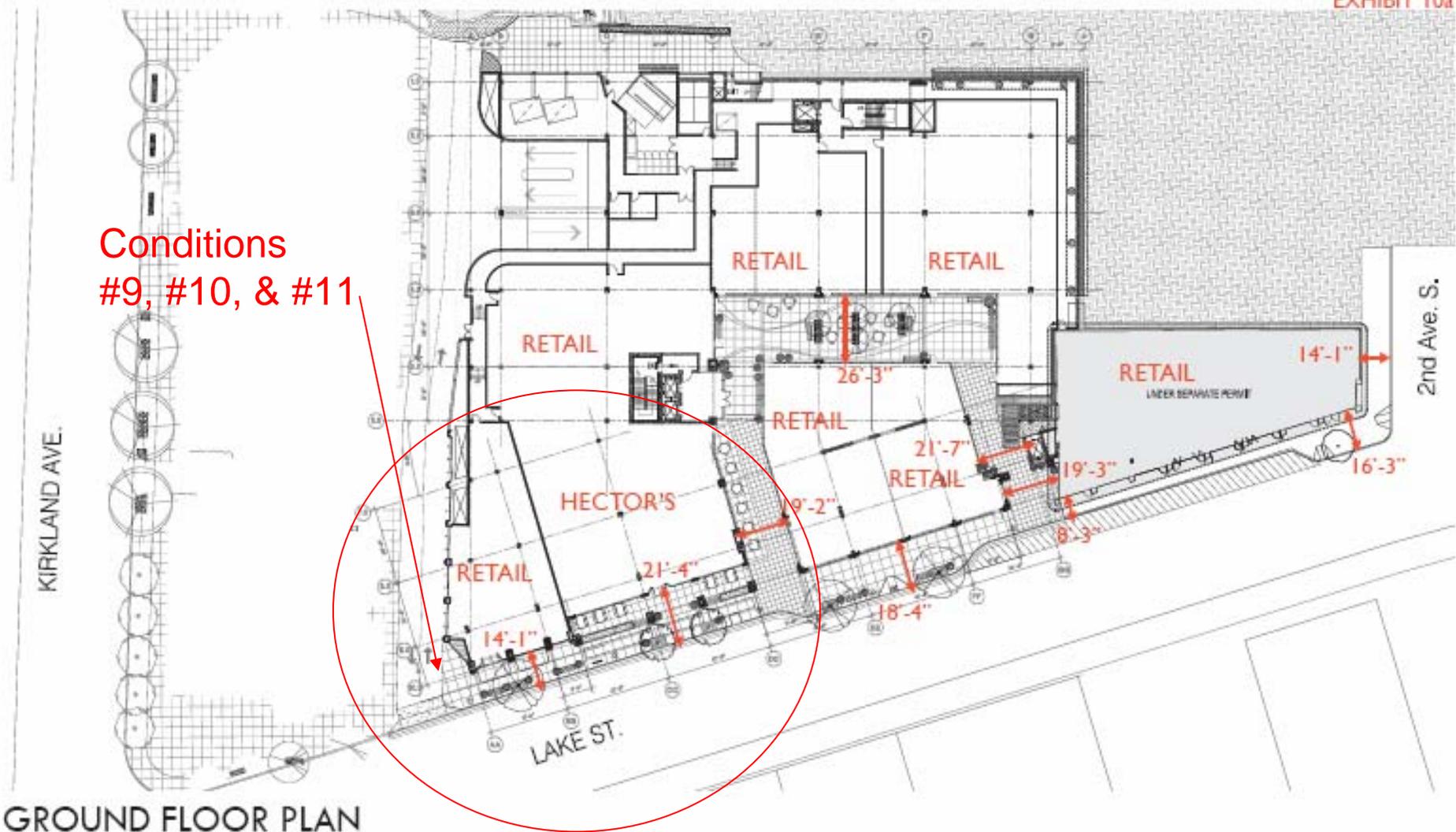
- *The bollards have been removed from the sidewalk at the alley entry off Lake Street South.*

**CONDITION 10.** Benches, vegetation, and other improvements where located next to on-street parking areas shall be removed.

- *Benches, vegetation, and other improvements have been moved to create a clear dimension of 18" minimum adjacent to the curb to allow for pedestrian access to and from automobiles at the curb.*

**CONDITION 11.** A low profile planter shall be constructed in the northwest corner enclave to contain plants and seating.

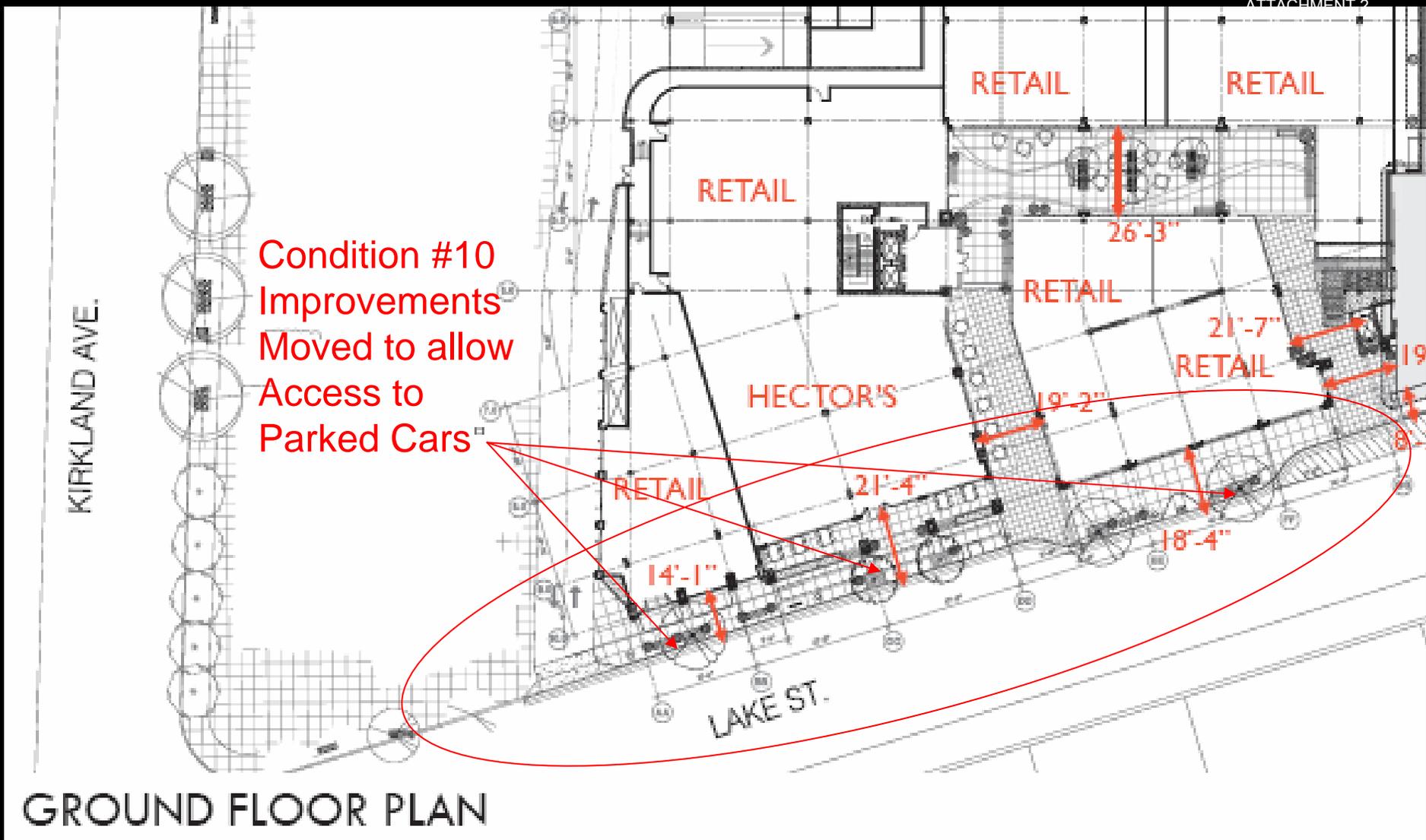
- *A planter has been designed into the corner enclave at the northwest corner (in front of the corner retail at Façade A.*



Conditions #9, #10, & #11

GROUND FLOOR PLAN





GROUND FLOOR PLAN



**CONDITION 12.** Details for the “green screen” located at the east and south facades facing the Portsmouth Condominiums.

- *The “green screen” was designed in response to meetings with the Portsmouth residents group and rendered for the March 12, 2008 DRB meeting. Details will be submitted with the Building Permit Re-Submittal.*



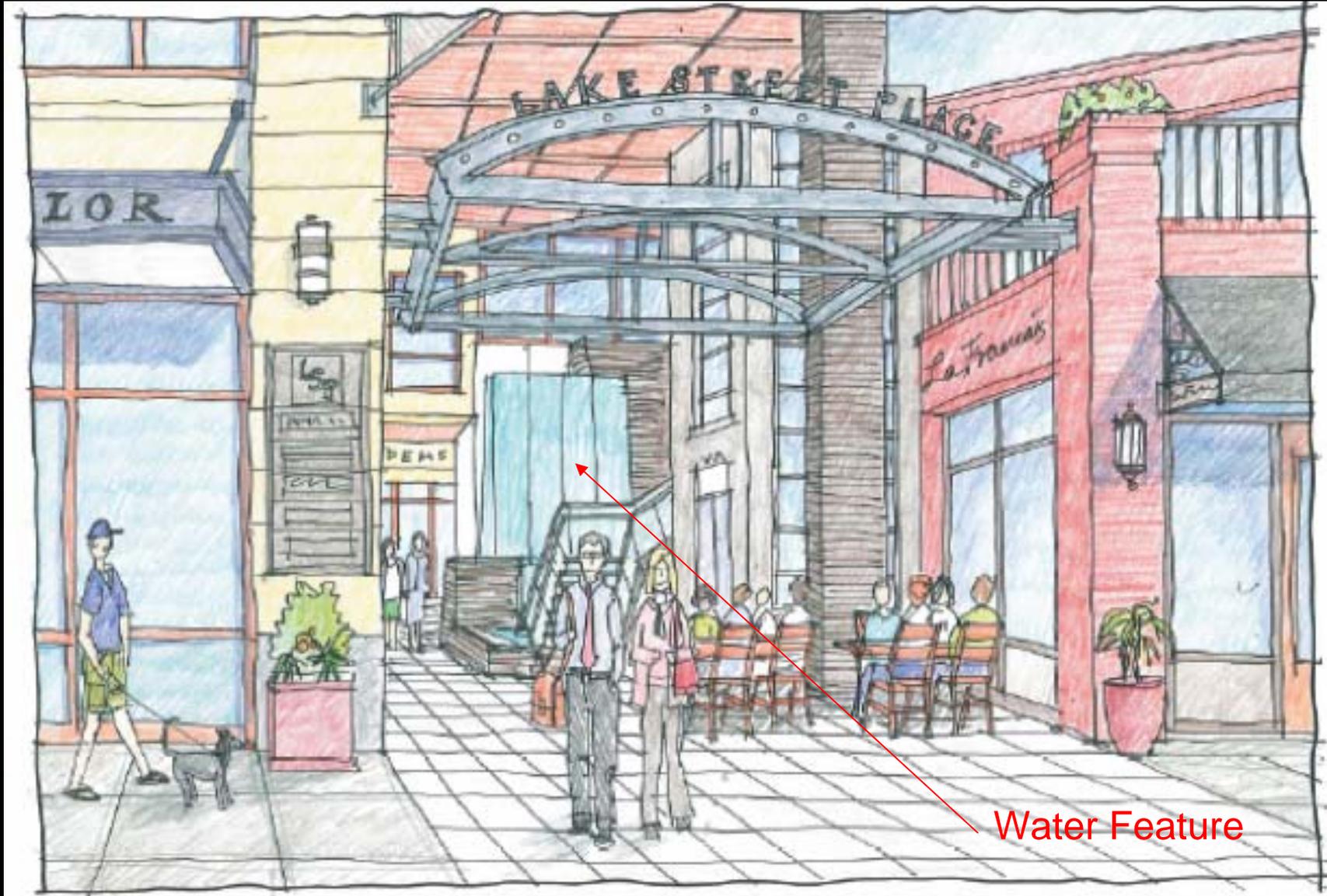
**South & East Elevations**



**Green Wall with Planting on Roof  
Cascading Down Wall**

**CONDITION 13.** Details for the water feature to be located at the south entrance of the culinary court. The applicant should work with the Cultural Council in incorporating art into the design of the water feature.

- *The applicant has conducted an initial meeting with the Kirkland Cultural Council to determine opportunities for engaging local artists in the art projects including the design of the water feature. Details will be submitted with the Building Permit Re-Submittal.*



ARTIST'S RENDERING OF SOUTH COURTYARD ENTRY