

Chapter 92 – DESIGN REGULATIONS

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**92.05**      **INTRODUCTION**

1. General – This chapter establishes the design regulations that apply to development in Design Districts. Special provisions that apply to a particular Design District are noted in the section headings of the chapter.
2. Applicability – The provisions of this chapter apply to all new development. The provisions of Chapters 142 and 162 KZC regarding Design Review and nonconformance establish which of the regulations of this chapter apply to developed sites. Where provisions of this chapter conflict with provisions in any other section of the code, this chapter prevails. For more information on each design district refer to the Design Guidelines applicable to that Design District adopted by reference in Chapter 3.30 of the KMC.
3. Design Review Procedures – The City will use Chapter 142 KZC to apply the regulations of this chapter to development activities that require Design Review approval.
4. Relationship to Other Regulations – Refer to the following chapters of the Zoning Code for additional requirements related to new development on or adjacent to the subject property.
  - a. Landscaping – Chapter 95 describes the installation and maintenance of landscaping requirements on the subject property.
  - b. Installation of Sidewalks, Public Pedestrian Pathways and Public Improvements – Chapter 110 KZC, describes the regulations for the installation of public sidewalks, major pedestrian sidewalks, pedestrian oriented sidewalks, or other public improvements on or adjacent to the subject property in zones subject to Design Review. Plate 34 in Chapter 180 provides the location and designation of the sidewalk, pedestrian walkways, pathways or other required public improvements within each Design District.
  - c. Pedestrian Access to Buildings, Installation of Pedestrian Pathways, Pedestrian Weather Protection – Chapter 105 KZC describes the requirements for pedestrian access to buildings and between properties, through parking areas and requirements for pedestrian weather protection. See also Plate 34 in Chapter 180.
  - d. Parking Area Location, Design, Pedestrian and Vehicular Access – Chapter 105 KZC describes the requirements for parking lot design, number of driveways, or pedestrian and vehicular access through parking areas.
  - e. Screening of Loading Areas, Outdoor Storage Areas and Garbage Receptacles – Chapter 95 describes the location and screening requirements of outdoor storage. Chapter 115 KZC describes the screening of loading areas, waste storage and garbage disposal facilities.
5. Dedication – The City may require the applicant to dedicate development rights, air space, or an easement to the City to ensure compliance with any of the requirements of this chapter.

**92.15 PEDESTRIAN ORIENTED IMPROVEMENTS ON OR ADJACENT TO THE SUBJECT PROPERTY**

1. All Zones- Pedestrian Oriented Space and Plazas in Parking areas- The applicant must provide at least 175 square feet of *pedestrian-oriented space* at the main building entrance in a central location, or adjacent to a parking area. This area must be raised at least six inches above the parking lot surface and must be paved with concrete or unit pavers.
2. Pedestrian-Oriented Space and Plazas In TC, CBD, NRHBD, RHBD and TLN Zones
  - a. In the CBD or in TC- If the subject property abuts a *pedestrian-oriented street* (see Plate 34 in Chapter 180) or public park, the space, if any, between the sidewalk and the building must be developed consistent with the following criteria:
    - 1) Enhance visual and pedestrian access, including handicapped access, onto the subject property from the sidewalk.
    - 2) Contain paved walking surface of either concrete or approved unit pavers.
    - 3) Contain on-site or building-mounted lighting which provides adequate illumination.
    - 4) Contain two linear feet of seating area or one individual seat per 65 square feet of area between the sidewalk and the building.
    - 5) Contain landscaping such as trees, shrubs, trellises, or potted plants.
    - 6) It may not include asphalt or gravel pavement or be adjacent to an unscreened parking area, a chain link fence or a blank wall which does not comply with the requirements of subsection 3. of this section, blank wall treatment.
    - 7) An alternative solution for the *pedestrian-oriented space* may be established through a Conceptual Master Plan in TL 2.
  - b. In the NRHBD Zones- If the subject property abuts a *major pedestrian sidewalk* on the southwest corner of NE 116th Street and 124th Avenue NE (see Plate 34 in Chapter 180), the space, if any, between the sidewalk and the building must be developed consistent with the following criteria:
    - 1) Enhance visual and pedestrian access, including handicapped access, onto the subject property from the sidewalk.
    - 2) Contain paved walking surface of either concrete or approved unit pavers.
    - 3) Contain on-site or building-mounted lighting which provides adequate illumination.
    - 4) Contain two linear feet of seating area or one individual seat per 65 square feet of area between the sidewalk and the building.
    - 5) Contain landscaping, such as trees, shrubs, trellises, or potted plants.
    - 6) In the alternative, the *pedestrian-oriented space* can be integrated with a pedestrian connection linking Slater Avenue NE and NE 116th Street, anywhere on the subject property, consistent with criteria (1) through (5) above.

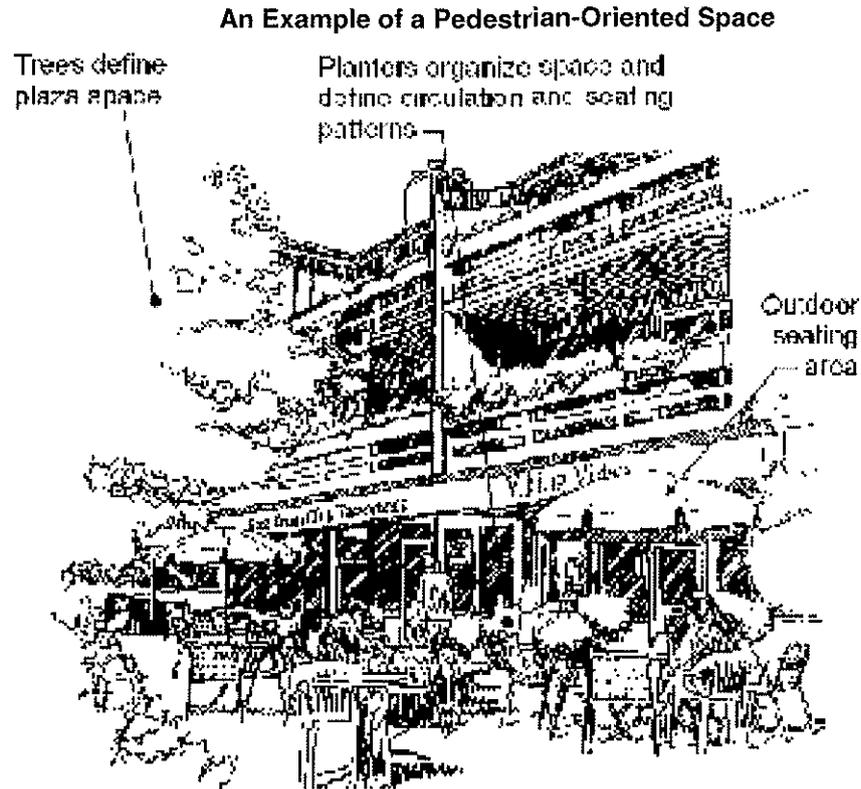


FIGURE 92.15.B

### 3. Blank Wall Treatment

- a. Blank Wall Defined - All Zones - A blank wall is any wall or portion of a wall that meets either of the following criteria (see Figure 92.15.C):
- 1) A wall or portion of a wall with a surface area of at least 400 square feet having both a length and a width of at least 10 feet without a window, door, building modulation at least one foot in depth or other architectural feature.
  - 2) Any wall or portion of a wall between four feet and 13 feet above ground level with a horizontal dimension longer than 15 feet without a window, door, building modulation at least one foot in depth or other architectural feature.
- b. Blank Wall Treatments All Zones - Each blank wall that is visible from any right-of-way, internal access road, *pedestrian-oriented space*, or *through-block pathway* must be screened or treated in at least one of the ways listed in subsection 3c. of this section if it meets the criteria for a blank wall under subsection 3.a. of this section. Internal roadways used primarily for service access and not visible from a street, *pedestrian-oriented space* or *through-block pathway* are exempt from this requirement.

Designating Blank Walls

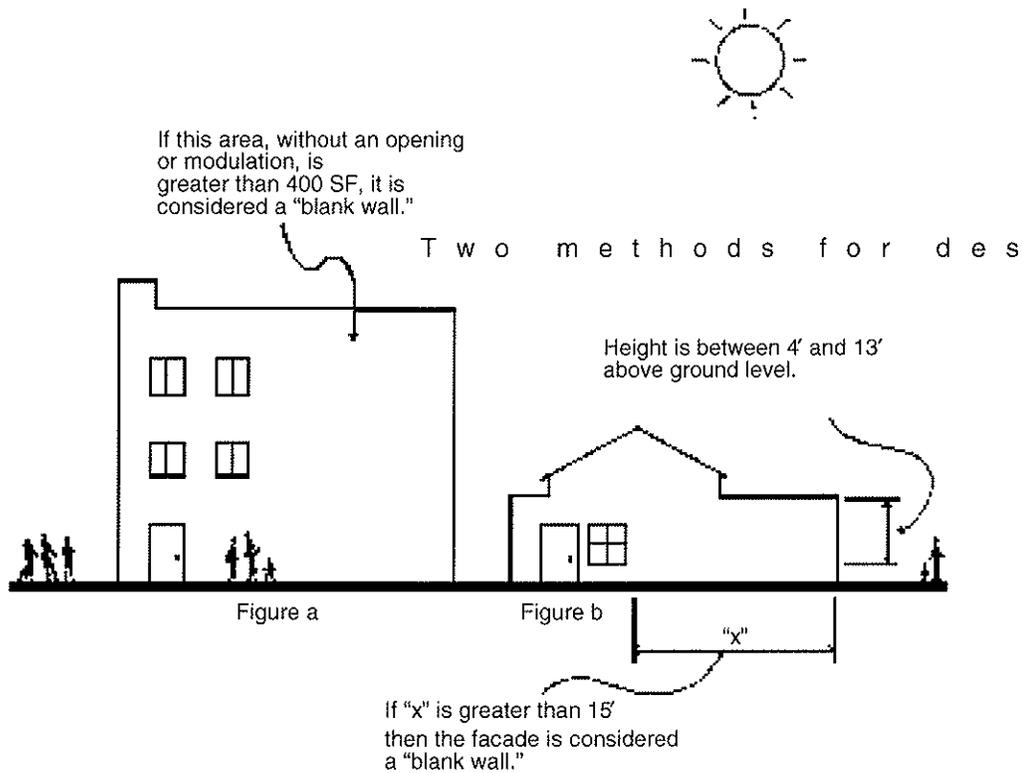


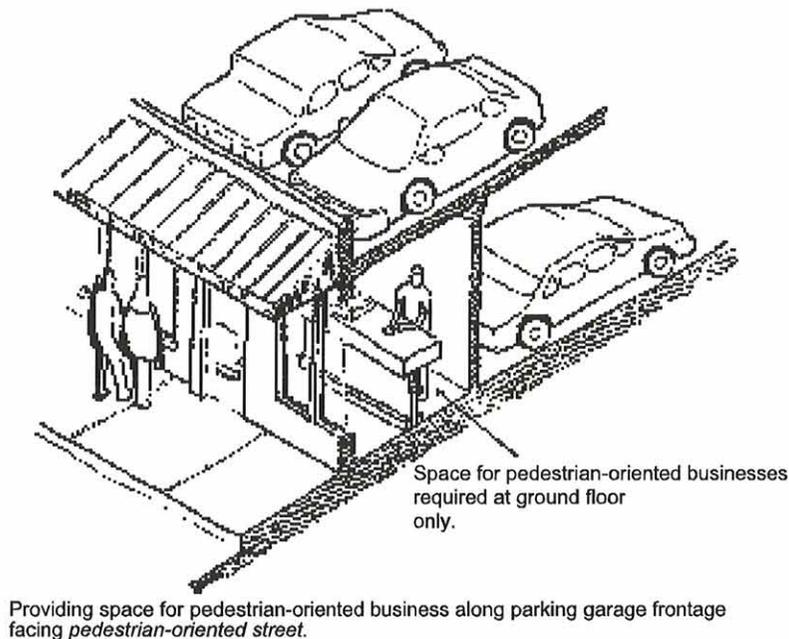
FIGURE 92.15.C

- c. Blank Wall Treatment Standards In All Zones - At least one of the following techniques must be used to treat or screen blank walls:
- 1) By the installation of a vertical trellis with climbing vines or plant material in front of the blank wall.
  - 2) By providing a landscaped planting bed at least five feet wide or a raised planter bed at least two feet high and three feet wide in front of the blank wall and planted with plant materials that will obscure or screen at least 50 percent of the blank wall within two years.
  - 3) By providing artwork, such as mosaics, murals, sculptures or bas-relief on the blank wall.
  - 4) By proposing alternative techniques as part of the Design Review process.
- d. All Zones - Modifications- The provisions of this subsection 3. may be modified or eliminated as part of the Design Review decision if they conflict with the International Building Code.

4. Parking Garages

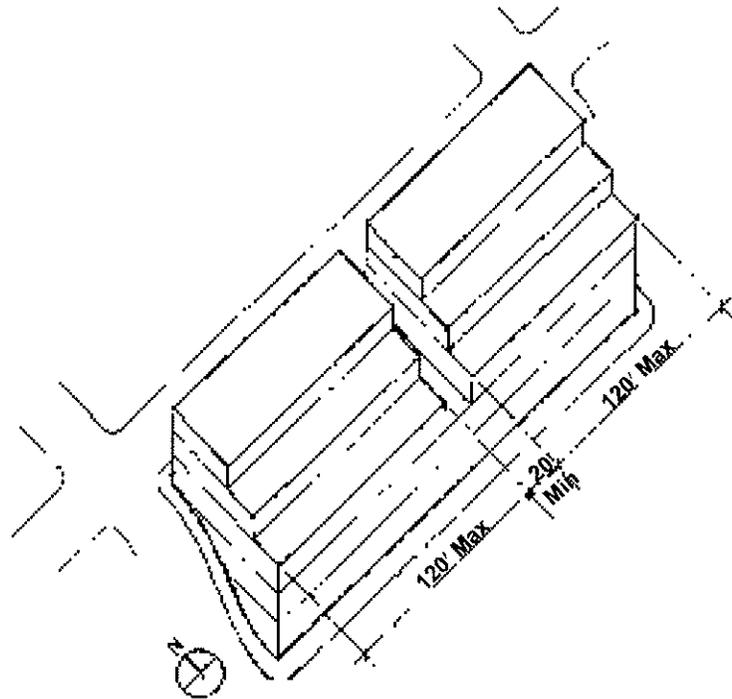
- a. All zones - Each facade of a garage or a building containing ground floor parking must either:
- 1) Provide and maintain a ground floor area of the garage or building extending along the entire facade of the garage or building (excluding vehicle access points) which is developed as and made available for pedestrian-oriented businesses (see Figure 92.15.E); or

**Providing Space for Pedestrian-Oriented Business**



**FIGURE 92.15.E**

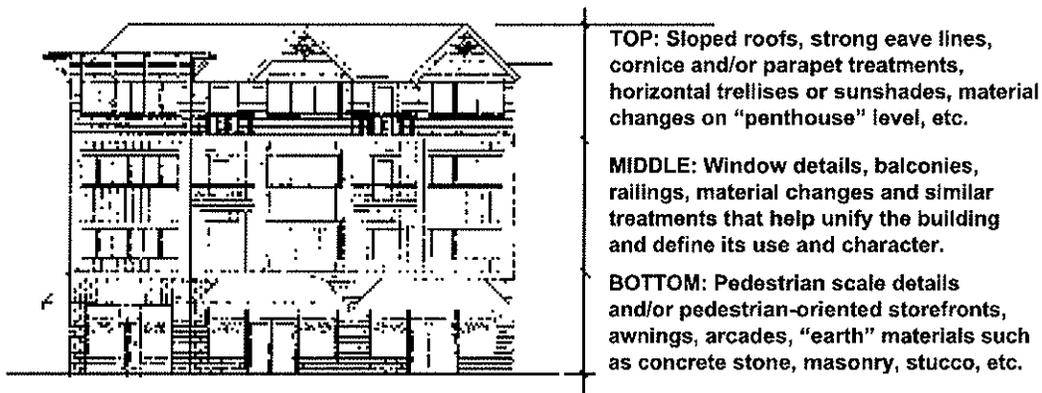
- 2) Provide and maintain a *pedestrian-oriented space*, at least 10 feet in depth and extending along the entire facade of the garage or building (excluding vehicle access points); or
  - 3) Treat the facade consistent with KZC 92.15.3.e. 1) 2) or 3), Treatment of Building Facades; or
  - 4) A combination of methods described above.
- b. All zones - There must be architectural screening or other treatment of openings above the ground level for the facades of parking garages along *pedestrian-oriented streets, through-block pathways and major pedestrian sidewalks*. the Market Street Corridor,
- c. RHBD and TLN Zones - Structures containing parking on the ground floor:
- 1) Parking structures on designated *pedestrian-oriented streets* shall provide space for ground-floor commercial uses along street frontages at a minimum of 75 percent of the frontage width. The entire facade facing a *pedestrian-oriented street* must feature a *pedestrian-oriented facade*.

**Vertical Definition: CBD 6 and 8****FIGURE 92.30.B**

2. Horizontal Definition in All Zones – The applicant shall comply with the following requirements to moderate the vertical scale of buildings. All buildings shall include design techniques which clearly define the building's top, middle, and bottom (see Figure 92.30.C). The following techniques are suggested methods of achieving vertical articulation:
- 1) Top: Sloped roofs, strong eave lines, cornice treatments, horizontal trellises, or sunshades, etc.
  - 2) Middle: Windows, balconies, material changes, railings, and similar treatments that unify the building design.
  - 3) Bottom: Pedestrian-oriented storefronts, pedestrian-scale building details, awnings, arcades, "earth" materials such as concrete stone, stucco, etc.

Where appropriate, the applicant should coordinate the horizontal elements (i.e., cornices, window lines, arcades, etc.) in a pattern and height to reflect similar elements on neighboring buildings.

### Horizontal Definition: Articulation of Buildings' Top, Middle and Bottom

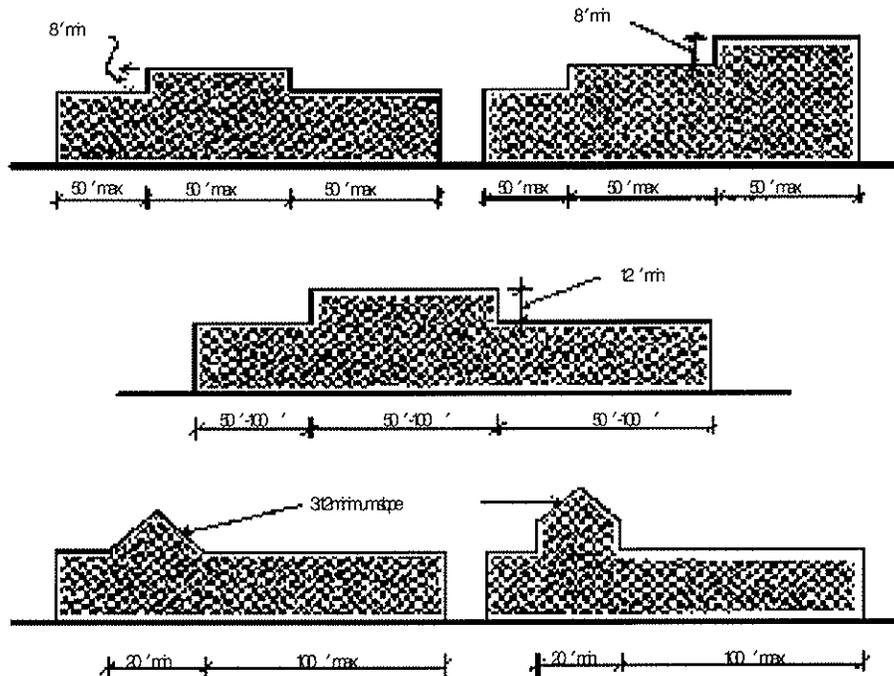


**FIGURE 92.30.C**

3. Techniques To Moderate Bulk and Mass in the RHBD and TLN Zones -
  - a. Along all streets, *through-block pathways*, and public open spaces, the maximum length of a facade is 120 feet. Any facade that exceeds 120 feet along the right-of-way shall comply with the following requirements (see Figure 92.30.A):
    - 1) Shall be divided by a 30-foot-wide modulation of the exterior wall so the maximum length of the facade is 120 feet without this modulation.
    - 2) The modulation shall be 20 feet in depth and shall start at finished grade and extend through all floors.
    - 3) Decks and roof overhangs may encroach up to three feet (per side) into the modulation.
4. Techniques To Achieve Architectural Scale in All Zones – The applicant shall use at least two of the following elements and features in the design and construction of all buildings that are three or more stories or have a building footprint of more than 10,000 square feet. As an alternative, the applicant may propose slight variations from the required dimensions noted in the following techniques, or other methods to comply with the requirements of this subsection. The City may approve the proposal if it is consistent with the design guidelines and the Comprehensive Plan.
  - a. All stories above the second story must be set back at least 10 feet from the ground floor facade along at least two facades of the building.
  - b. Horizontal Building Modulation - On all building facades visible from a street or public park, provide horizontal modulation consistent with all of the following standards:
    - 1) The maximum allowable horizontal dimension of the facade between modulations is 70 feet;
    - 2) The minimum depth of each modulation, except balconies, is 10 feet; and
    - 3) The minimum width of each modulation, except balconies, is 15 feet.
  - c. On all building facades visible from a street or public park, provide balconies which are consistent with the following standards:
    - 1) Balconies must be placed on at least every other floor above the ground floor;

- 2) The maximum distance between balconies, measured horizontally, is 100 feet; and
  - 3) The minimum amount of floor area for each balcony is 100 square feet.
- d. Change in Roofline - Provide vertical modulation of the roof line of all facades of the building adjoining a street or public park. For buildings with flat, gabled, hipped or similar roofs, the maximum length of any continuous roof line, with a slope of less than three feet vertical to 12 feet horizontal, is 50 feet without being modulated. If modulation is necessary, at least one of the following methods must be used (see Figure 92.30.D):
- 1) The height of the visible roof line must change at least eight feet if the adjacent roof segments are less than 50 feet in length.
  - 2) The height of the visible roof line must change at least 12 feet if the adjacent roof segments are greater than 50 feet in length.

**Flat Roof Modulation Options**



**FIGURE 92.30.D**

- 3) The length of a sloped or gabled roof line segment must be at least 20 feet. The minimum slope of the roof segment is three feet vertical to 12 feet horizontal.
- e. Buildings with other roof forms, such as arched, gabled, vaulted, dormered or sawtooth, must have a significant change in slope or significant change in roof line at least every 100 feet.

Recessed windows, mullions and trim ~~at~~ continuous window walls are prohibited un used as an accent, such as in this building:

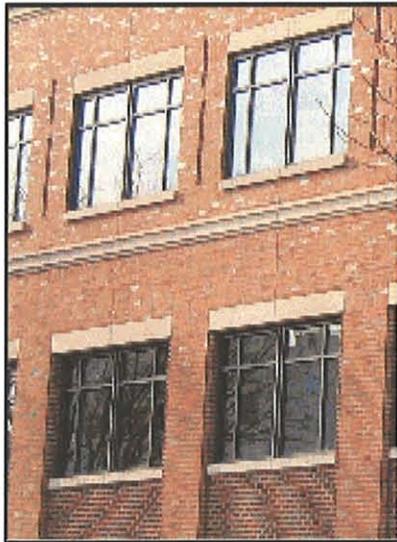


FIGURE 92.30.K



FIGURE 92.30.L

6. Achieving Human Scale in All Zones

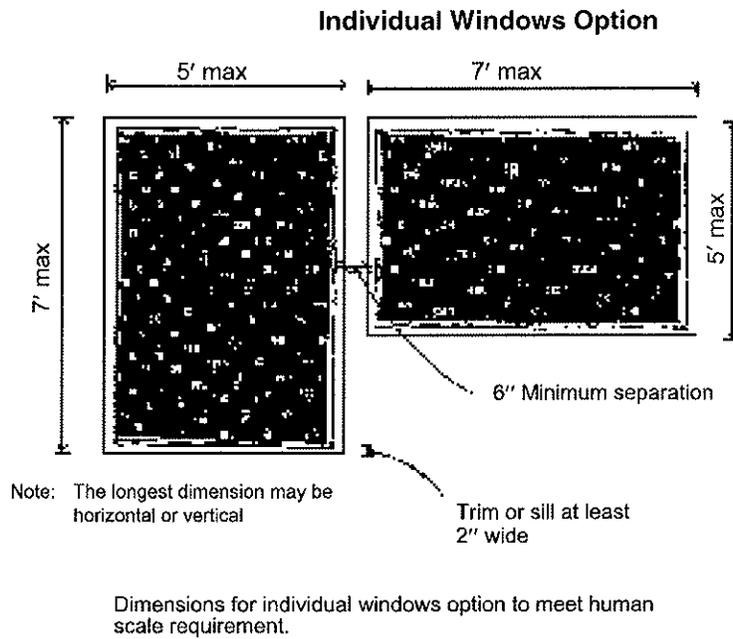
a. General

- 1) CBD - Except as provided in subsection <sup>b</sup>5. a. 3. of this section, the applicant shall use at least two of the elements or techniques listed in subsection 5.b. of this section in the design and construction of each facade of a building facing a street or public park.
- 2) <sup>MSC</sup>JBD, NRHBD, TC, RHBD and TLN - Except as provided in subsection <sup>b</sup>5. a. 3. of this section, the applicant shall use at least one of the elements or techniques listed in subsection 5b. of this section in the design and construction of each facade of a one-story building facing a street or *through-block pathway*, and at least two of the elements or techniques for a two-story building facing a street or *through-block pathway* (see Plate 34 in Chapter 180, KZC).
- 3) ALL Zones - The applicant shall use at least three of the elements or techniques listed in subsection 5b. of this section in the design and construction of any facade of a building facing a street, *through-block pathway* or public park, if:
  - a) The facade has a height of three or more stories; or
  - b) The facade is more than 100 feet long.

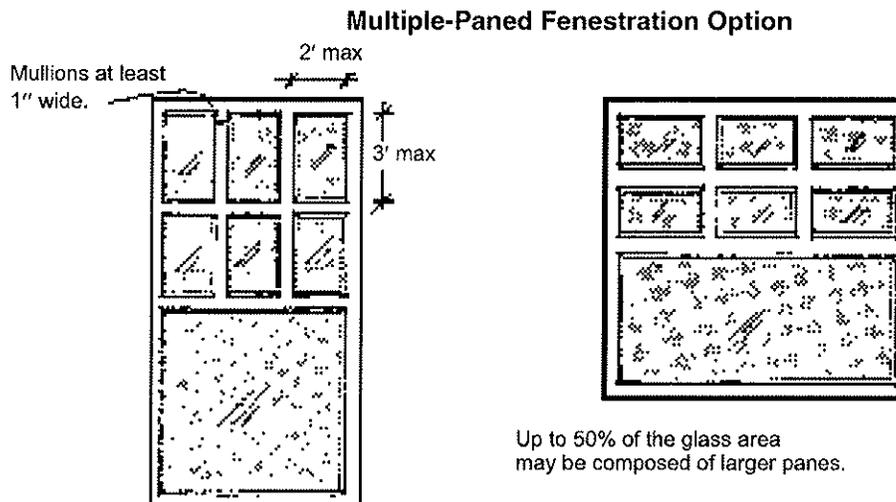
b. Techniques To Achieve Human Scale in All Zones – The techniques to be used in the design and construction of building facades under subsection <sup>b</sup>5. a. of this section are listed below. As an alternative, the applicant may propose other techniques, elements or methods which provide human scale to the building and are consistent with the applicable design guidelines and the Comprehensive Plan.

- 1) On each story above the ground floor, provide balconies or decks, at least six feet wide and six feet deep.
- 2) On each story above the ground floor, provide bay windows that extend out at least one foot, measured horizontally, from each facade of the building.

- 3) Provide at least 150 square feet of *pedestrian-oriented space* in front of each facade. See KZC 92.15.2.c.2).
- 4) Provide at least one-half of the window area above the ground floor of each facade consistent with all of the following criteria (see Figure 92.30.I):
  - a) The windows must have glazed areas with dimensions less than five feet by seven feet.
  - b) The windows must be surrounded by trim, molding and/or sill at least two inches wide.
  - c) Individual window units must be separated from adjacent window units by at least six inches of siding or other exterior finish material of the building.
- 5) Provide at least one-half of the window area above the ground floor of each facade facing a street or public park in panes with dimensions less than two feet by three feet and with individual panes separated by window mullions (see Figure 92.30.J).



**FIGURE 92.30.I**



Multiple-paned fenestration option to meet the human scale requirement.

**FIGURE 92.30.J**

- 6) Provide a hipped or gable roof which covers at least one-half of the building footprint and has a slope equal to or greater than three feet vertical to 12 feet horizontal. To meet this requirement, the ridge width of a continuous roofline shall not extend more than 100 feet without modulation. This includes a gabled or other sloped roofline segment at least 20 feet in width.
  - 7) If the main entrance of the building is on the facade of the building facing a street, *through-block pathway*, or public park, provide a covered porch or entry on the subject property at the building's main entrance. Pedestrian weather protection required under KZC Section 105.18 may not be used to meet this requirement unless the required pedestrian weather protection covers an area at least 15 feet long by 15 feet wide and is available for outdoor display or outdoor vendors or contains pedestrian-oriented improvements or amenities beyond what is otherwise required.
  - 8) Provide one or more stories above the ground floor setback at least six feet from the ground floor facade facing the street, *through-block pathway*, or a public park.
  - 9) Compose smaller building elements near the entry of a large building (see Figure 92.30.K).
- c. Techniques To Achieve Human Scale In RHBD and TLN- In addition to the requirements of Section 92.30.5.b Techniques To Achieve Human Scale, nonresidential uses (office, retail, industrial etc) in the RHBD and TLN with over 40,000 square feet of floor area shall incorporate the following human scale features on the facade featuring the primary building entry:
- 1) Provide *pedestrian-oriented space* near the building entry. The minimum size of the area shall be no less than one percent of the floor area of the use (see Figure 92.15.A). This must include a covered area at least 15 feet long by 15 feet wide and is available for outdoor display or outdoor vendors; and
  - 2) Compose smaller building elements near the entry (see Figure 92.30.K).
  - 3) As an alternative, the applicant may propose other mechanisms for providing human scale to such buildings, consistent with the design guidelines.

**92.35 BUILDING MATERIAL, COLOR AND DETAIL**

1. Required Elements In All Zones– The applicant shall incorporate at least three of the following elements on each facade of a building that faces a street, *through-block pathway*, *pedestrian-oriented space* or a public park. As an alternative, the applicant may propose other mechanisms for providing interesting visual detail to buildings, consistent with the design guidelines.
  - a. Decorative roof lines, including ornamental molding, frieze or other roof line devices visible from the ground. Linear features must be at least eight inches wide, measured vertically.
  - b. Decorative molding or framing details around all ground floor doors and windows. The molding or trim may have a traditional, contemporary, geometric or sculptural design.
  - c. Decorative glazing on all ground floor doors and windows, including stained glass, crystal cut glass, etched glass or similar individualized and permanent treatment, but excluding single-colored glass, opaque glass or plastic. On all ground floor windows, this decorative glazing must have a surface area of at least 30 square feet.
  - d. Railings, grill work, landscape guards or other similar elements including materials, design, configuration, embellishment or workmanship that exceeds the normal functional requirements for the element.
  - e. Trellises or arbors having an area of at least 100 square feet and planted, consistent with the requirements of KZC 95.xxx to achieve at least 30 percent coverage of the trellis or arbor with plant material within three years.
  - f. Decorative light fixture or fixtures, either one if one-of-a-kind or custom-built or one every 30 feet along the facade of the building if not one-of-a-kind or custom-built, that meet either of the following criteria:
    - 1) Includes a diffuse, visible light source, such as a globe.
    - 2) Contains a shade or mounting that includes some use of material, configuration, shape, embellishment or detail that exceeds the normal functional requirement for the shade or mounting.
  - g. Use of any of the following decorative materials:
    - 1) Any of the following decorative masonry elements:
      - a) Decorative masonry patterns, other than running bond pattern.
      - b) Bricks, tile, stone, cast stone or other masonry units of at least two colors installed in layers or tiers to form a geometric pattern.
      - c) Decorative bands of masonry, such as a soldier course of brick or multicolored ceramic tile band, in conjunction with another exterior surface material.
    - 2) Individualized wood patterns or continuous wood details, such as fancy butt shingles in a geometric pattern, decorative moldings, brackets, eave trim or lattice work.
    - 3) Ceramic tile, stone, glass blocks, camera glass or other similar materials incorporated into other compatible surface materials and used to form or create, or in conjunction with, a

- geometric pattern, distinctive shape, unusual surface treatment, special lighting or other decorative or textural element.
- 4) Other materials with decorative or textural qualities, as demonstrated by architectural drawings and material samples, approved by the City as part of Design Review.
  - h. Decorative unit paving, including at least 50 square feet of multicolored tile, paver blocks, brick or other paving material in a decorative pattern, installed in a pedestrian-circulation area adjacent to the facade.
  - i. Artwork in the form of a mosaic mural, bas-relief sculpture, light sculpture, water sculpture, fountain, freestanding sculpture, art in pavement, murals, graphics or other forms, either freestanding in front of the facade or attached to the facade.
2. Prohibited Materials- All Zones – The following materials may not be used on any exterior surface which is visible from any area beyond the subject property:
    - a. Mirrored glass and other highly reflective materials.
    - b. Corrugated fiberglass.
    - c. Chain link fencing, except for temporary purposes, such as during construction.
  3. Metal Siding- All Zones– Corner and edge trim must be used to cover exposed edges of metal siding. If metal siding covers more than 25 percent of a building's facade, the following regulations apply:
    - a. The siding must have a matted finish.
    - b. The siding must be in a neutral, earth tone or dulled color such as buff, grey, beige, tan, creme, white, barn-red, blue-grey, burgundy or ocher.
    - c. The facade must have visible window and door trim painted or finished in a color which is complementary to the siding color.
  4. Concrete Block- All Zones – Any concrete block, masonry unit or cinder block wall which is visible from a street or public park must contain one or more of the following features or elements:
    - a. Use of textured blocks with surfaces such as split-faced or grooved.
    - b. Use of colored mortar complementary to the color of the blocks.
    - c. Use of other surface material such as bricks, glass blocks or tile as a significant feature of the wall.
  5. Awnings- All Zones (see Chapter 105 for other pedestrian weather protection requirements) -
    - a. The design of awnings should complement the architecture of the building. Steel and glass, fabric, and other materials of a more permanent nature are encouraged. Vinyl or plastic awnings and awnings used predominantly for advertising are discouraged.
    - b. Translucent awnings shall not be backlit. Lights directed downward mounted from internal awning frames are permitted. Lights mounted above awnings and directed downward are permitted.

6. Covering of Existing Facades- All Zones – Existing brick or cast stone masonry facades may not be covered with metal siding, metal screening, plastic siding, fiberglass siding, plywood siding, or wood siding materials. Other existing facades may be covered if consistent with the provisions of this subsection (6). As part of Design Review for remodels, the City may require the removal of coverings.
7. Building Cornerstone or Plaque- All Zones – All commercial buildings designed for use by more than one tenant must have a building cornerstone or plaque, placed in a prominent location, consistent with the following standards:
  - a. Building cornerstones must be constructed in carved stone, cast stone, carved masonry, terra cotta or other vandal-resistant material.
  - b. Building plaques must be mounted no lower than two feet and no higher than 10 feet above ground and must be made of bronze, brass, anodized aluminum, porcelain enamel-covered steel or aluminum or other corrosion-resistant material.
  - c. Building cornerstones and plaques must indicate the name of the building and, if known, the date of construction and architect.
  - d. Building cornerstones and plaques may include the owner's name and other historical information.
8. Required On-Site Improvements- All Zones
  - a. Water spigots shall be provided on all building facades along sidewalks for cleaning and plant watering.

**Chapter 95 – TREE MANAGEMENT AND REQUIRED LANDSCAPING-**95.40 Required Landscaping

1. User Guide. Chapters 15 through 60 KZC containing the use zone charts assign a landscaping category to each use in each zone. This category is either "A," "B," "C," "D," or "E." If you do not know what landscaping category applies to the subject property, you should consult the appropriate use zone chart.

Requirements pertaining to each landscaping category are located throughout this chapter, except that Landscaping Category E is not subject to this section.

Landscape Categories A, B, C, D, and E may be subject to additional related requirements in the following other chapters:

- a. Various use zone charts, in Chapters 15 through 60 KZC, establish additional or special buffering requirements for some uses in some zones.
- b. Chapter 85 KZC, Geologically Hazardous Areas, addresses the retention of vegetation on steep slopes.
- c. Chapter 90 KZC, Drainage Basins, addresses vegetation within sensitive areas and sensitive area buffers.
- d. Chapter 110 KZC and Chapter 19.36 KMC address vegetation within rights-of-way, except for the I-405, SR-520, and Burlington Northern rights-of-way.
- e. KZC 115.135, Sight Distance at Intersections, which may limit the placement of landscaping in some areas.
- f. Chapter 22 KMC addresses trees in subdivisions.

***No changes to subsections 2, 3, and 4***

5. Supplemental Plantings.

- a. General. The applicant shall provide the supplemental landscaping specified in subsection (5)(b) of this section in any area of the subject property that:
  - 1) Is not covered with a building, vehicle circulation area or other improvement; and
  - 2) Is not a critical area, critical area buffer, or in an area to be planted with required landscaping; and
  - 3) Is not committed to and being used for some specific purpose.
- b. Standards. The applicant shall provide the following at a minimum:
  - 1) Living plant material which will cover 80 percent of the area to be landscaped within two years. If the material to be used does not spread over time, the applicant shall re-plant the entire area involved immediately. Any area that will not be covered with living plant material must be covered with nonliving groundcover.
  - 2) One tree for each 1,000 square feet of area to be landscaped. At the time of planting, deciduous trees must be at least two inches in caliper and coniferous trees must be at least five feet in height.
  - 3) If a development requires approval through Process I, IIA, IIB or III as described in Chapters 145, 150, 152 and 155 KZC, respectively, the City may require additional vegetation to be planted along a building facade if:
    - a) The building facade is more than 25 feet high or more than 50 feet long; or
    - b) Additional landscaping is necessary to provide a visual break in the facade.
  - 4) In RHBD- varieties of rose shrubs or ground cover, along with other plant materials shall be included in the on-site landscaping.
  - 5) If development is subject to Design Review as described in Chapter 142, the City will review plant choice and specific plant location as part of the Design Review approval. The City may also require or permit modification to the required plant size as part of Design Review approval.

**No change to subsection 6.**

## 7. Landscaping and Buffering Standards for Driving and Parking Areas.

a. Landscaping General.

- 1) The following internal parking lot landscape standards apply to each parking lot or portion thereof containing more than 8 parking stalls.
  - a) The parking lot must contain 25 square feet of landscaped area per parking stall planted pursuant to b. and c. below:
  - b) The applicant shall arrange the landscaping required in a) above throughout the parking lot to provide landscape islands or peninsulas to separate groups of parking spaces (generally every 8 stalls) from one another and each row of spaces from any adjacent driveway that runs perpendicular to the row. This island or peninsula must be surrounded by a six-inch-high vertical curb, be of similar dimensions as the adjacent parking stalls and planted pursuant to the standards in c. below:
  - c) Landscaping shall be installed pursuant to the following standards:
    - 1) At least one deciduous tree, two inches in caliper or a coniferous tree five feet in height.
    - 2) Groundcover shall be selected and planted to achieve 60 percent coverage within two years.
  - d) Exception. The requirements of this subsection do not apply to any area that is fully enclosed within or under a building.
- 2) Rooftop Parking Landscaping. For a driving or parking area on the top level of a structure that is not within the CBD zone or within any zone that requires design regulation compliance, one planter that is 30 inches deep and five feet square must be provided for every eight stalls on the top level of the structure. Each planter must contain a small tree or large shrub suited to the size of the container and the specific site conditions, including desiccating winds, and is clustered with other planters near driving ramps or stairways to maximize visual effect.
- 3) If development is subject to Design Review as described in Chapter 142, the City will review the parking area design, plant choice and specific plant location as part of the Design Review approval. The City may also require or permit modification to the required landscaping and design of the parking area as part of Design Review approval.

b. Buffering For Driving And Parking Areas.

1) Perimeter Buffering. General. Except as specified in subsection 7.b.2, of this section, the applicant shall buffer all parking areas and driveways from abutting rights-of-way and from adjacent property, with a five-foot-wide strip along the perimeter of the parking areas and driveways planted as follows see Figure 95.40.A):

- a) One row of trees, two inches in caliper and planted 30 feet on center along the entire length of the strip.
- b) Living groundcover planted to attain coverage of at least 60 percent of the strip area within two years.

2) Exception. The requirements of subsection 7.b.1 of this section do not apply to any parking area that:

- a) Is fully enclosed within or under a building; or
- b) Is on top of a building and is at least one story above finished grade; or
- c) Serves detached dwelling units exclusively.
- d) Is within any zone that requires design regulation compliance. See below for Design District requirements.

3) Design Districts- If subject to design review, each side of a parking lot that abuts a street, through block pathway or public park must be screened from that street, through block pathway or public parking by using one or a combination the following methods: (see Figures 95.40.A, B, C):

- a) By providing a landscape strip at least five feet wide planted consistent with subsection b. 1). above, or in combination with the following. In the RHBD Regional Center a 10-foot perimeter landscape strip along NE 85<sup>th</sup> Street is required planted consistent with subsection b. 1).
- b) The hedge or wall must extend at least two feet, six inches, and not more than three feet above the ground directly below it.
- c) The wall may be constructed of masonry or concrete, if consistent with the provisions of Section 92.35.1.g, in building material, color and detail, or of wood if the design and materials match the building on the subject property.

d) In JBD zones:

- 1) If the street is a pedestrian-oriented street, the wall may also include a continuous trellis or grillwork, at least five feet in height above the ground, placed on top of or in front of the wall and planted with climbing vines. The trellis or grillwork may be constructed of masonry, steel, cast iron and/or wood.
- 2) If the wall abuts a pedestrian-oriented street, the requirements of this subsection may be fulfilled by providing pedestrian

weather protection along at least 80 percent of the frontage of the subject property.

- e) If development is subject to Design Review as described in Chapter 142, the City will review plant choice and specific plant location as part of the Design Review approval. The City may also require or permit modification to the required plant size as part of Design Review approval.
- 4) Overlapping Requirements. If buffering is required under 6. Land Use Buffering Standards of this section and by this subsection, the applicant shall utilize the more stringent buffering requirement.

### Perimeter Parking Lot Landscaping

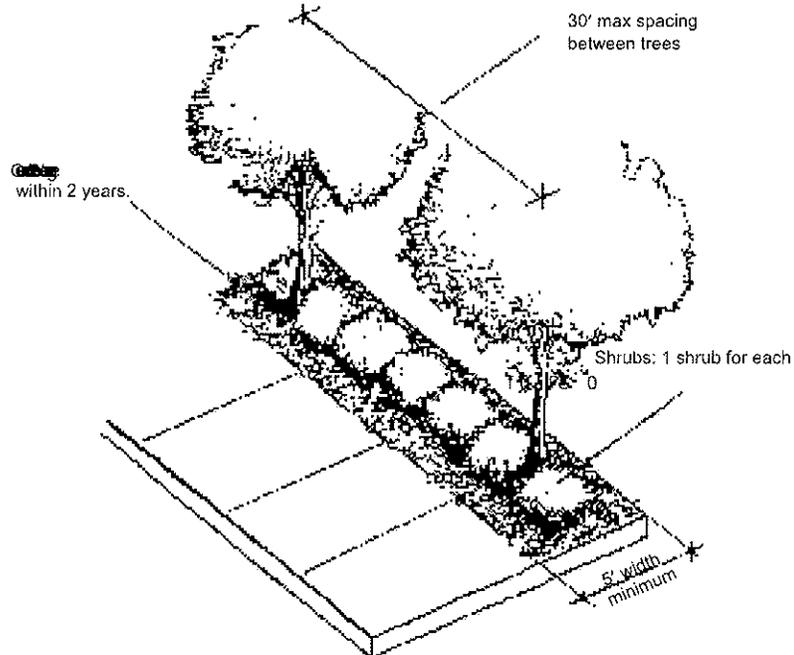


Figure 95.40.A

### Perimeter Parking – Examples of Various Screen Wall Designs

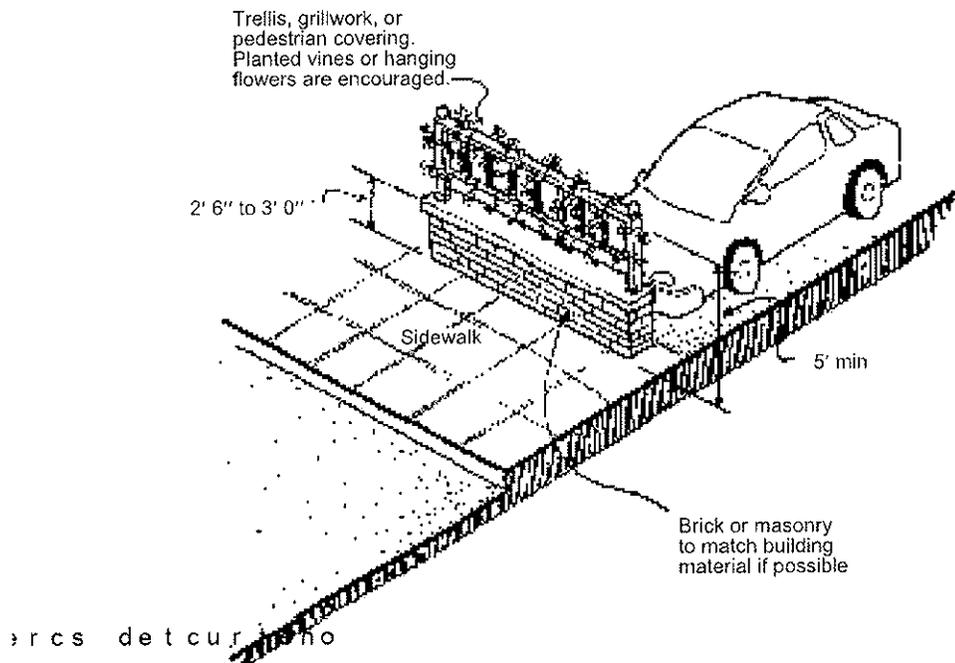


Figure 95.40.B

### Perimeter Parking – Examples of Various Screen Wall Designs

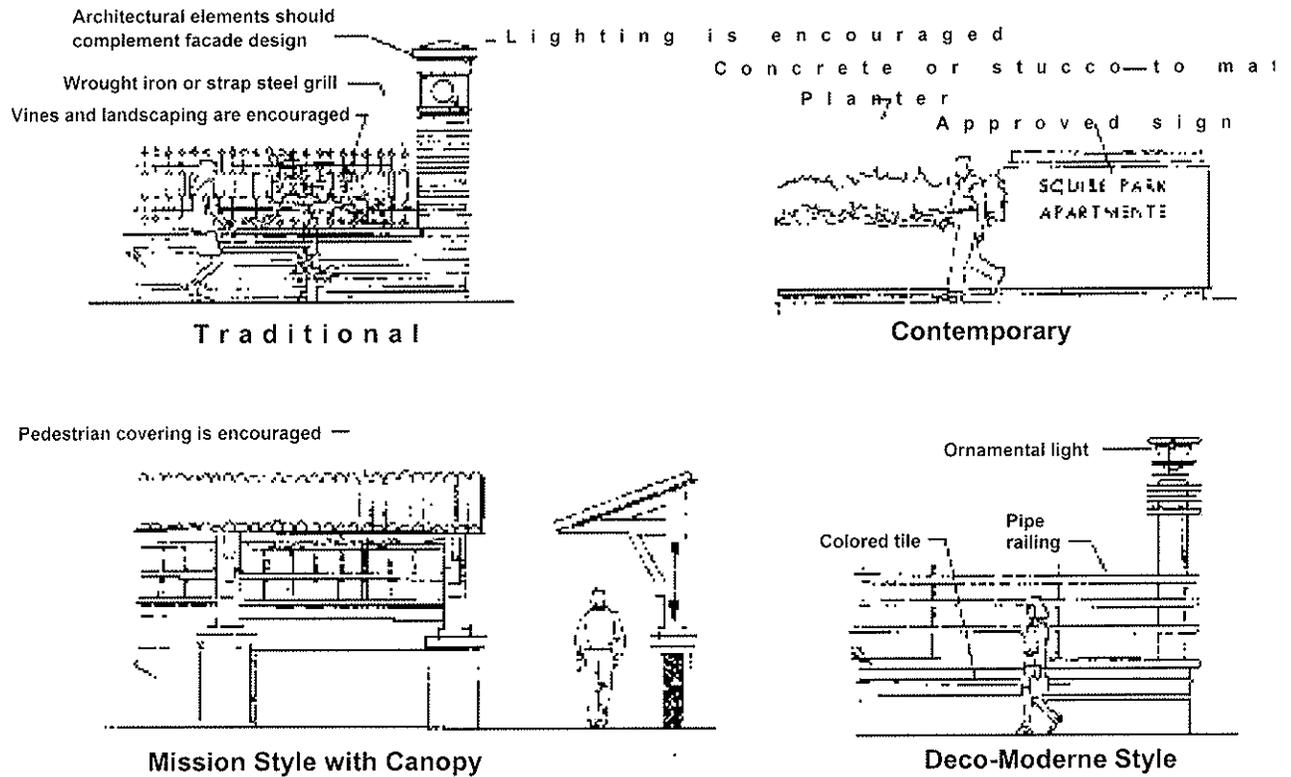


Figure 95.40.C

8. Engineering Design – The applicant shall do preliminary engineering and provide construction design for the improvements required by this chapter.
9. Other Necessary Improvements – The applicant shall install any other improvements that are necessary for the installation or proper operations or maintenance of the improvements required by this code.
10. Replacement of Damaged or Substandard Existing Street Improvements – For properties that have existing street improvements, the owner shall remove and replace any damaged or substandard improvements in conjunction with the development of the property. Replacement shall include, but not be limited to, cracked curb, gutter, landscape strip, sidewalk, storm drainage infrastructure, barrier free ramps at street intersections, and installation of street trees.
11. Entry Features in Design Districts- In Design Districts, if the Comprehensive Plan or Design Guidelines designate the subject property for an entry feature, then the applicant shall design and install an entry feature area on the subject property. The size of the entry feature area shall be at least 100 square feet, and may include landscaping, art, signage or lighting. The design shall be reviewed by the City and decided upon as part of the Design Review for the proposed development. The applicant shall provide an easement or dedication of property surrounding the entry feature.

*or gateway*

*or gateway*

ATTACHMENT 9  
5/07 MSC ZON07-00007