



CITY OF KIRKLAND
Planning and Community Development Department
123 Fifth Avenue, Kirkland, WA 98033 425.587.3225
www.kirklandwa.gov

DESIGN REVIEW BOARD DECISION ON DESIGN RESPONSE CONFERENCE APPLICATION

Date: May 28, 2013
File No.: DRV13-00192
Project Name: Lake Street Place – Phase I
Applicant: Rick Chesmore with Chesmore|Buck Architecture

I. SUMMARY OF DECISION

On May 20, 2013, the Design Review Board (DRB) voted to approve the plans for the Lake Street Place project located at 150 Lake Street South (see Attachment 1) to construct a 13,958 sq. ft. addition to the existing Kirkland Waterfront Market (see Attachment 2) subject to the conditions below.

- A. The application is subject to the applicable requirements contained in the Kirkland Municipal Code, Kirkland Zoning Code (KZC), and Building and Fire Code. It is the responsibility of the applicant to ensure compliance with the various provisions contained in these ordinances. Attachment 3, Development Standards, is provided in this report to familiarize the applicant with some of the additional development regulations. This Attachment does not include all of the additional regulations.
- B. As part of the application for a building permit, the applicant shall submit:
 1. Detailed plans for staff review that are consistent with the proposal as shown in Attachment 2 (project drawings) and that reflect the following design options as required by the DRB (see Attachment 4):
 - North and northwest façade – Option C consisting of a revised window and column layout with CMU cap, horizontal band to match existing, and Hardie panel cladding at elevator tower.
 - East façade – Option 2 consisting of a revised window and column layout and 6" Hardie plank rain screen stair tower cladding.
 - South façade – Option 2 consisting of a 6" Hardie plank rain screen stair tower cladding.
 2. Detailed plans that show the inside corner column to be clad with matching CMU at the 1st and 2nd story where connecting to the Milagro restaurant.
- C. Modifications to the approval may be requested and reviewed pursuant to the applicable modification procedures and criteria in effect at the time of the requested modification.

II. **DESIGN RESPONSE CONFERENCE MEETINGS**

A. Background

The DRB held three Design Response Conference meetings for the project. The staff report and applicant response to the DRB's recommendations from each meeting can be found online (listed by meeting date) at the following web address:

http://www.kirklandwa.gov/depart/Planning/DRB_Meeting_Information.htm

Below is a summary of the Board's discussions at the three Design Response Conference meetings for the project:

1. *March 18, 2013 Design Response Conference.* At this meeting, the DRB reviewed the applicant's plans and staff memo dated March 7, 2013 based on consistency with the applicable design guidelines and feedback given at a previous Conceptual Design Conference.

After receiving public comment on the project and deliberation, the Board requested that the applicant return for a second meeting to respond to recommendations regarding building massing, building articulation, and blank walls at the north and east façade as well as treatment of the northeast and southeast elevator and stair tower areas. The DRB was also concerned about the proposed open space area design related to the 5' building encroachment into the 30' upper story setback along Lake Street South. This meeting was continued.

2. *May 6, 2013 Design Response Conference.* The DRB reviewed the applicant's response to their previous recommendations. The staff memo dated April 25, 2013 also provided an overview and analysis of the project modifications.

At the meeting, the DRB expressed their appreciation of the changes made to the project. However, the DRB still had concerns regarding the ground floor treatment of the CMU and building details at the northeast and southeast elevator and stair tower areas. The DRB asked that the applicant explore design options that treated these areas by providing additional detailing and building articulation. This meeting was continued.

3. *May 20, 2013 Design Response Conference.* The applicant presented revised plans, which addressed the remaining concerns from the DRB. The DRB discussed the changes proposed by the applicant and at the conclusion of the meeting voted to approve the project with conditions. See Section III below for further information regarding the DRB's discussions and conclusions.

B. Public Comment

All public comment letters and e-mails received during the Design Response Conference meetings were forwarded to the Board for consideration. Oral comments were given at the public meetings. All written comments are contained in the City's official file and can also be found on the DRB webpage as either a supplement link and/or as an attachment to the staff memo for each respective meeting.

Below is a summary of the general public comment themes that emerged through the design review process:

- The project should be reviewed as a stand-alone project
- The project should have a higher level of design
- Concerns regarding parking and traffic impacts

- Concerns regarding the design of the east and north facades
- The project would be a benefit to the City

III. DESIGN REVIEW BOARD DISCUSSION AND CONCLUSIONS

The Design Review Board reviews projects for consistency with design guidelines for pedestrian-oriented business districts, as adopted in Kirkland Municipal Code Chapter 3.30. With the recommended conditions of approval, the DRB concludes that the proposed project is consistent with applicable design guidelines.

Below is a summary of key issues and conclusions reached by the Design Review Board during the design review process. For more background on these issues and evaluation of zoning requirements and Design Guidelines, see the staff memorandums from the design response conferences contained in the official file or online at:

http://www.kirklandwa.gov/depart/Planning/DRB_Meeting_Information.htm

A. Building Massing, Architectural, and Human Scale

1. **DRB Discussion:** As originally proposed, the design of the building addition was not comparable nor did it reflect the quality of the previous approval for the overall Lake Street Place project. The DRB asked the applicant to revisit the building's north and east façade design since these facades are visible from key vantages - Lake Street and Main Street. In addition, although it is the intent for the property owner to construct the entire Lake Street Place project, it is uncertain when the remaining buildings will be built. The DRB noted that Phase I should be reviewed as a stand-alone project. The applicant revised the project proposal to respond to the DRB concerns.
2. **Conclusion:** The DRB concluded that with conditions, the proposed buildings are consistent with the applicable design guidelines found in *Design Guidelines for Pedestrian-Oriented Business Districts*. The DRB agreed that the following design changes made throughout the process were successful in addressing concerns regarding the north and east façade as well as treatment of blank wall treatment, vertical and horizontal modulation, and architectural scale:
 - Introducing material changes at the lower two floors (CMU veneer)
 - Façade articulation between 2nd and 3rd floor (horizontal band)
 - Building modulation at the north façade
 - Roofline definition – new cornice treatment
 - Breaking up single awning into separate awnings
 - Use of different colors help accentuate the above techniques
 - Addition of windows
 - Deleted proposal to encroach 5' into the 30' upper story setback along Lake Street South

Furthermore, the DRB conditioned the design review approval based on the following design options being incorporated into the final building design for permit review:

- North and northwest façade – Option C consisting of a revised window and column layout with CMU cap, horizontal band to match existing, and Hardie panel cladding at elevator tower.

- East façade – Option 2 consisting of a revised window and column layout and 6” Hardie plank rain screen stair tower cladding.
- South façade – Option 2 consisting of a 6” Hardie plank rain screen stair tower cladding.
- Northwest corner - Detailed plans that show the corner column to be clad with matching CMU at the 1st and 2nd story where connecting to the Milagro restaurant.

B. Landscaping

1. DRB Discussion: The DRB reviewed the landscape plan designed to help soften building massing, enhance the pedestrian experience, and provide visual interest. Opportunity areas discussed for landscaping included areas around the outdoor seating area, near building entrances, the upper story deck, and rooftop deck.
2. Conclusion: The DRB concluded that the proposed landscape plan meets the applicable design guidelines found in *Design Guidelines for Pedestrian-Oriented Business Districts*.

C. Building Materials, Color, and Details

1. DRB Discussion: Throughout the design review process, the DRB evaluated the proposed materials and colors. The DRB ensured that they reinforced the design techniques being used to help mitigate building massing.
2. Conclusion: The proposed materials and colors with the Phase I addition was consistent and compatible with the overall Lake Street Place project. The DRB concluded that the project was consistent with the guidelines relating to building materials, colors, and details.

IV. DEVELOPMENT REVIEW COMMITTEE

Comments and requirements placed on the project by City departments are found on the Development Standards Sheet, Attachment 3. The applicant must follow the requirements of other departments set forth in Attachment 3.

V. APPEALS OF DESIGN REVIEW BOARD DECISION AND LAPSE OF APPROVAL

A. Appeals

KZC Section 142.40 allows the Design Review Board’s decision to be appealed to the Hearing Examiner by the applicant or any other individual or entity who submitted written or oral comments to the Design Review Board. A party who signed a petition may not appeal unless such party also submitted independent written comments or information.

The appeal must be in the form of a letter of appeal and must be delivered, along with any fees set by ordinance (\$215.77), to the Planning Department by 5:00 p.m., June 14, 2013, fourteen (14) calendar days following the postmarked date of distribution of the Design Review Board’s decision. The letter of appeal must contain a clear reference to the matter being appealed and a statement of the specific elements of the Design Review Board decision disputed by the person filing the appeal.

Only those issues under the authority of the Design Review Board as established by KZC Sections 142.35(3) and (4) are subject to appeal.

B. Lapse of Approval

KZC Section 142.55 states that for final DRB approvals issued on or before December 31, 2014, the applicant must begin construction or submit to the City a complete building permit application for the development activity, use of land or other actions approved under this chapter within seven (7) years after the final approval of the City of Kirkland on the matter, or the decision becomes void.

For final approvals issued on or before December 31, 2014, the applicant must substantially complete construction for the development activity, use of land or other actions approved under this chapter and complete the applicable conditions listed on the notice of decision within nine (9) years after the final approval on the matter or the decision becomes void.

VI. ATTACHMENTS

1. Vicinity Map
2. Applicant Plans
3. Development Standards
4. Design Options

VII. PARTIES

Parties that have submitted written and/or provided oral comment to the DRB in regards to the Lake Street Place Phase I project have been placed on a 'Party of Record' list which can be found in the official file.

VIII. APPROVAL



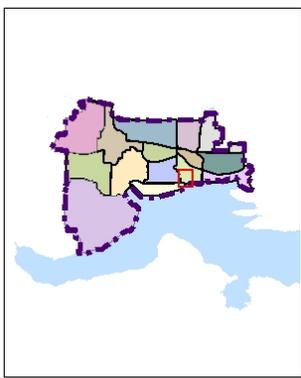
James Truhan, Chair
Design Review Board

May 29, 2013

Date

CC: PARTIES OF RECORD – FILE NO. DRV13-00192
MAIL LIST – FILE NO. DRV13-00192

GIS MAPPING PORTAL ~ City of Kirkland, Washington ~ Department of Information Technology

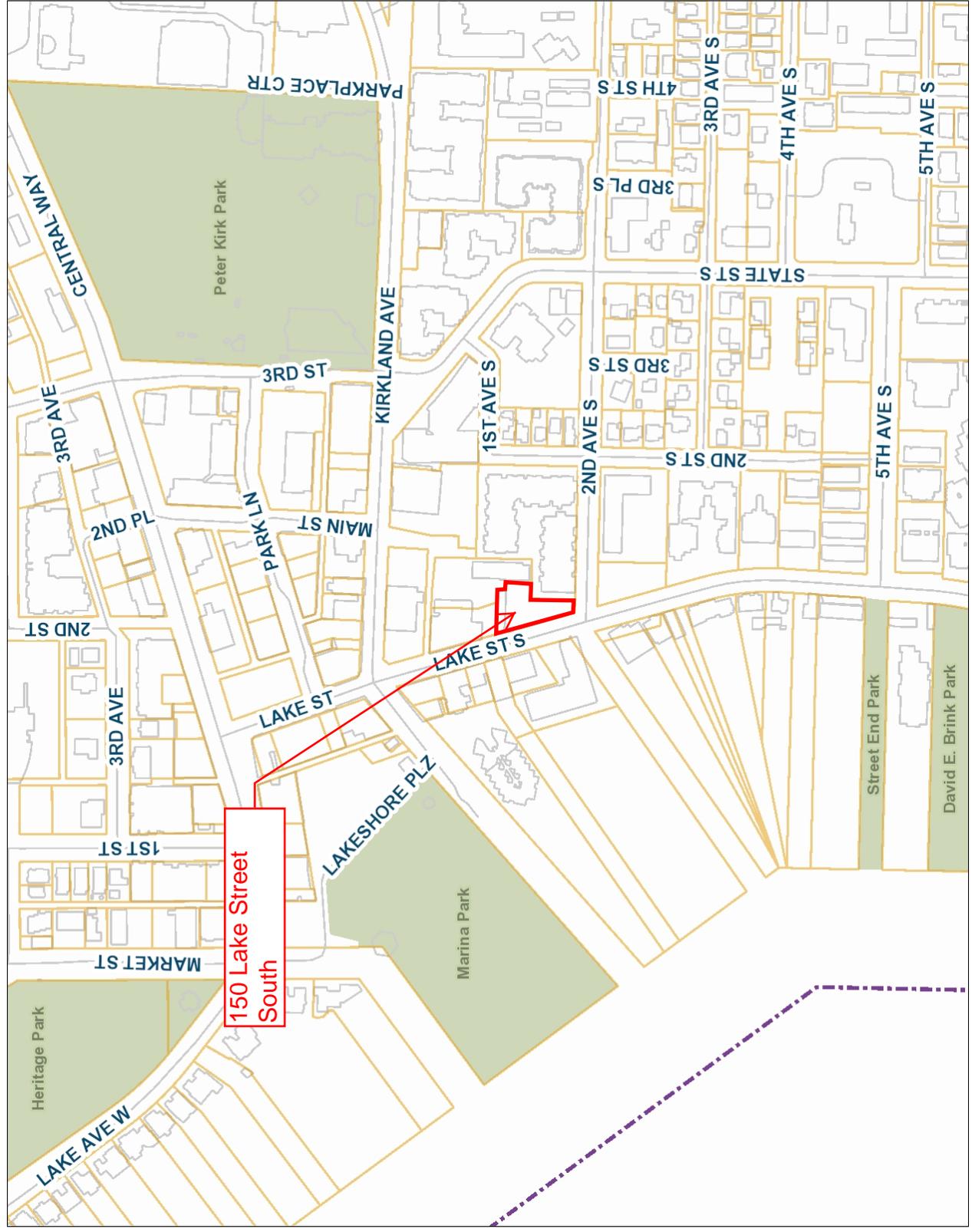


- Legend**
- City Limits
 - Railroad
 - Streets
 - Parcels
 - Buildings
 - Parks
 - Schools



1:4,444

Notes
Project Area Map



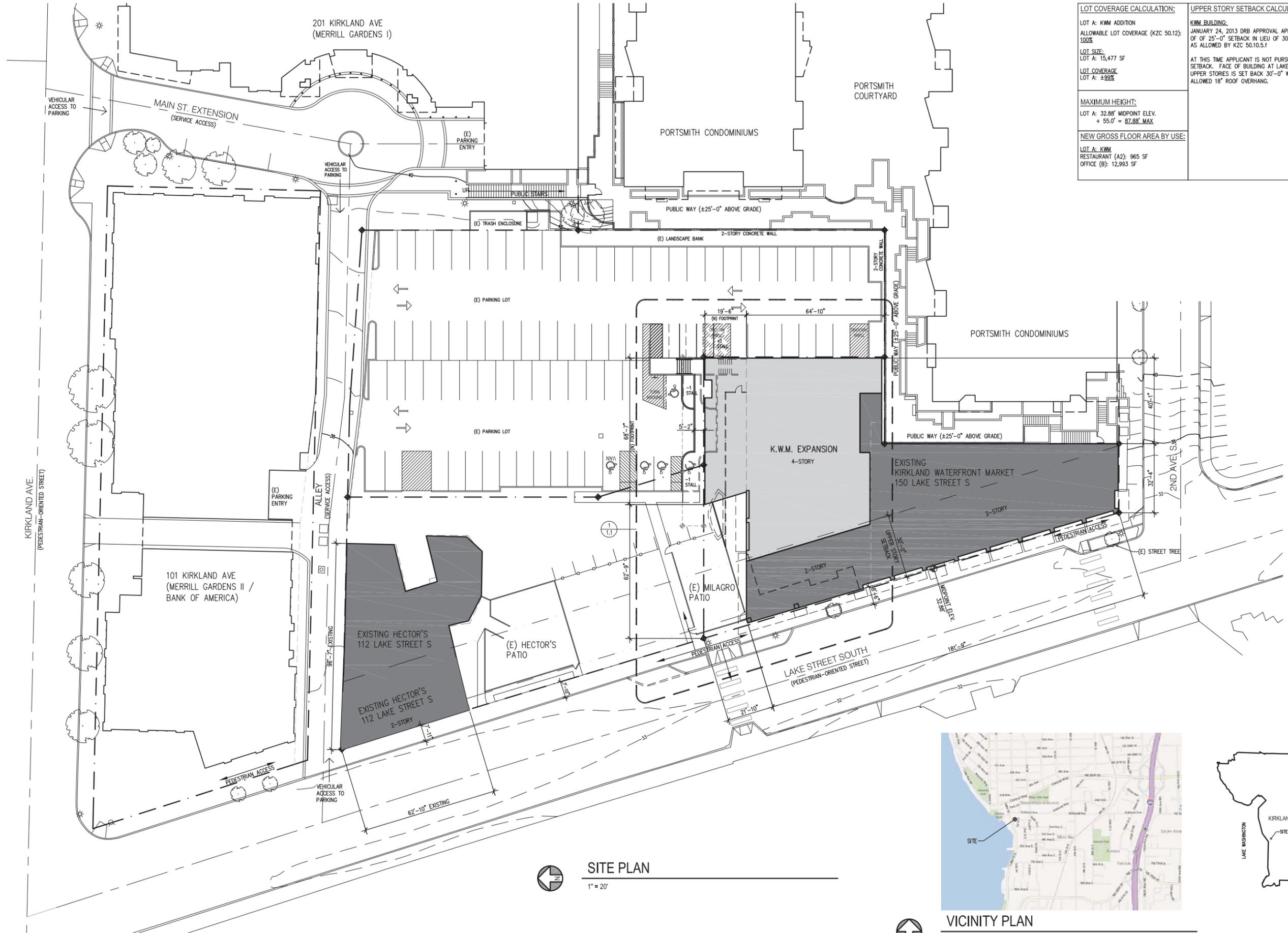
0 0.07 0.14 Miles

No warranties of any sort, including but not limited to accuracy, fitness or merchantability, accompany this product.

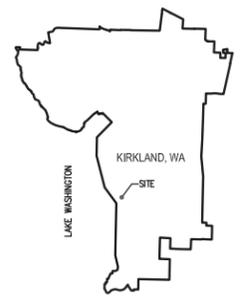
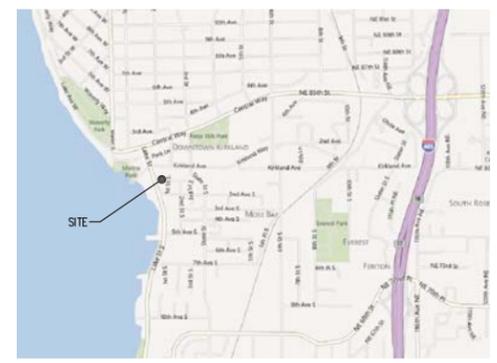
THIS MAP IS NOT TO BE USED FOR NAVIGATION

0.1
NAD_1983_StatePlane_Washington_North_FIPS_4601_Feet
Produced by the City of Kirkland. © 2011 City of Kirkland, Washington, all rights reserved.

<p>LOT COVERAGE CALCULATION:</p> <p>LOT A: KWM ADDITION ALLOWABLE LOT COVERAGE (KZC 50.12): 100% LOT SIZE: LOT A: 15,477 SF LOT COVERAGE LOT A: ±99%</p>	<p>UPPER STORY SETBACK CALCULATION:</p> <p>KWM BUILDING: JANUARY 24, 2013 DRB APPROVAL APPROVED USE OF 25'-0" SETBACK IN LIEU OF 30'-0" SETBACK AS ALLOWED BY KZC 50.10.5.f</p> <p>AT THIS TIME APPLICANT IS NOT PURSUING 25'-0" SETBACK. FACE OF BUILDING AT LAKE STREET S UPPER STORIES IS SET BACK 30'-0" WITH A CODE ALLOWED 18" ROOF OVERHANG.</p>
<p>MAXIMUM HEIGHT:</p> <p>LOT A: 32.88' MIDPOINT ELEV. + 55.0' = 87.88' MAX</p>	
<p>NEW GROSS FLOOR AREA BY USE:</p> <p>LOT A: KWM RESTAURANT (A2): 965 SF OFFICE (B): 12,993 SF</p>	



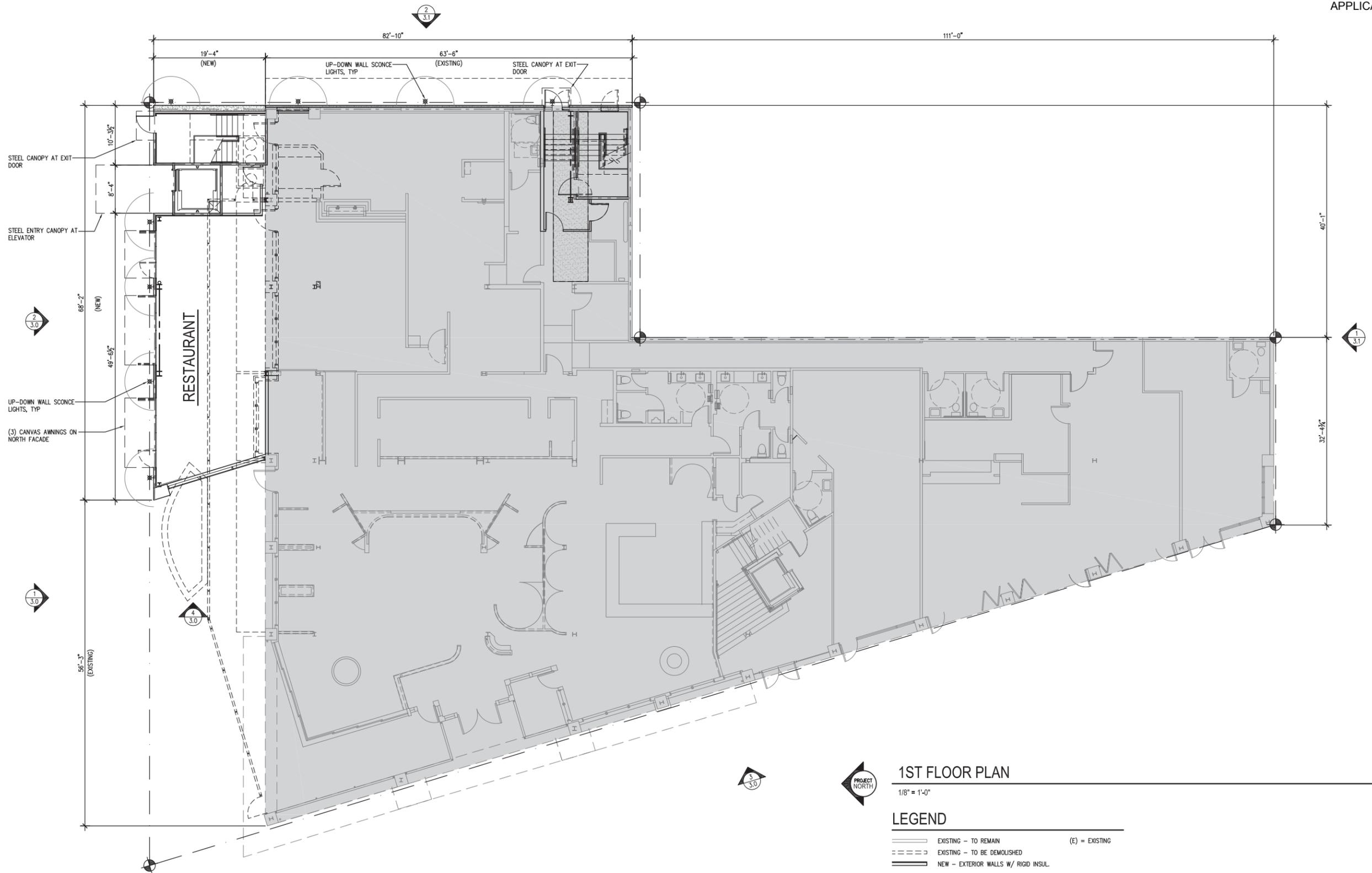
SITE PLAN
1" = 20'



LAKE STREET PLACE - PHASE I - KWM
150 LAKE STREET S
KIRKLAND, WA 98033

04/17/13 DRB SUBMITTAL 2
 03/05/13 DRB SUBMITTAL
 02/07/13 DRB SUBMITTAL
 No. Date Revision

LAKE STREET PLACE - PHASE I - KWM
 150 LAKE STREET S
 KIRKLAND, WA 98033



1ST FLOOR PLAN

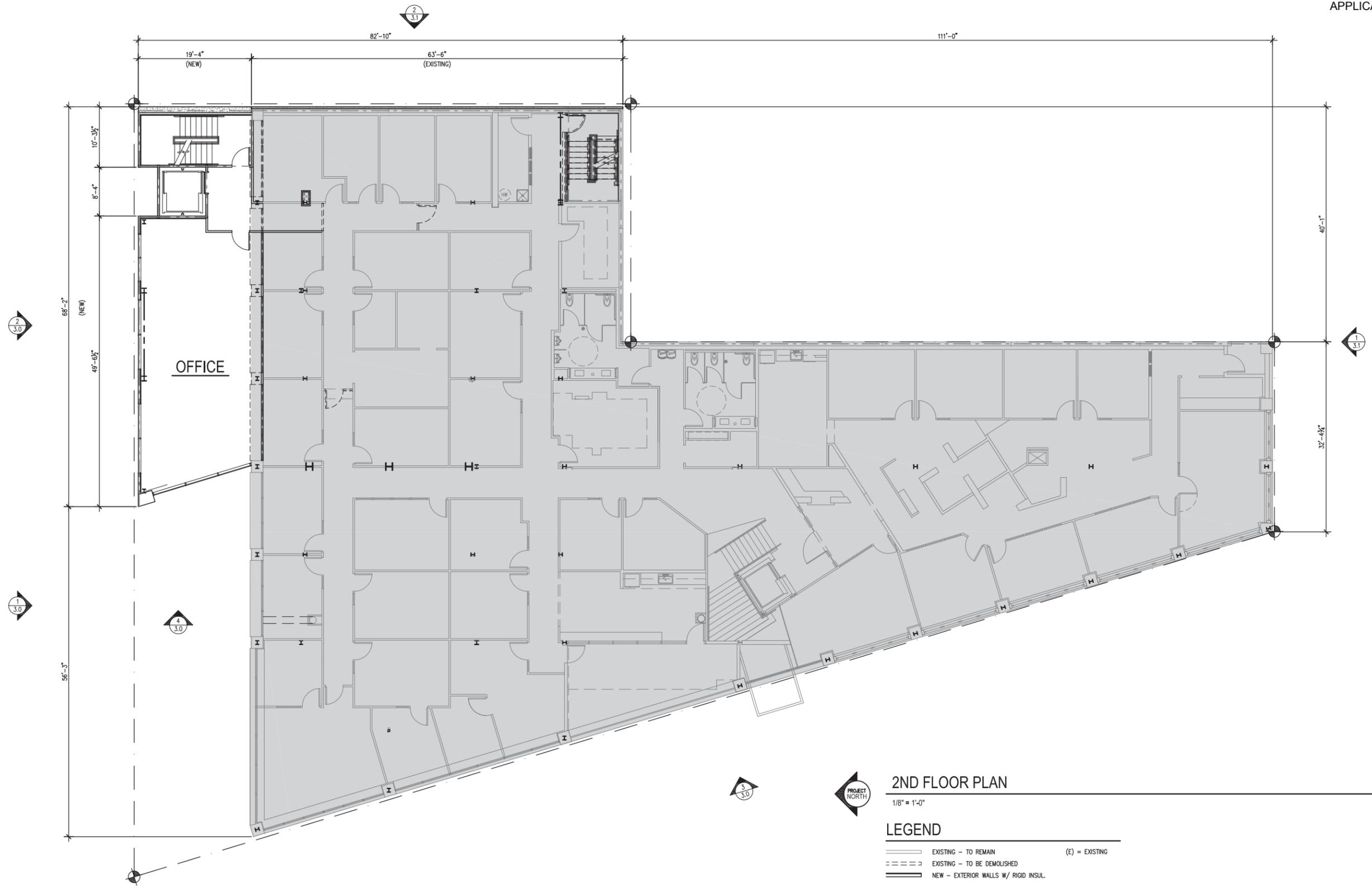
1/8" = 1'-0"

LEGEND

- EXISTING - TO REMAIN
- EXISTING - TO BE DEMOLISHED
- NEW - EXTERIOR WALLS W/ RIGID INSUL.
- (E) = EXISTING

FLOOR PLAN

Sheet No. **2.1**
 Project No. 1105
 Date: 07/30/12

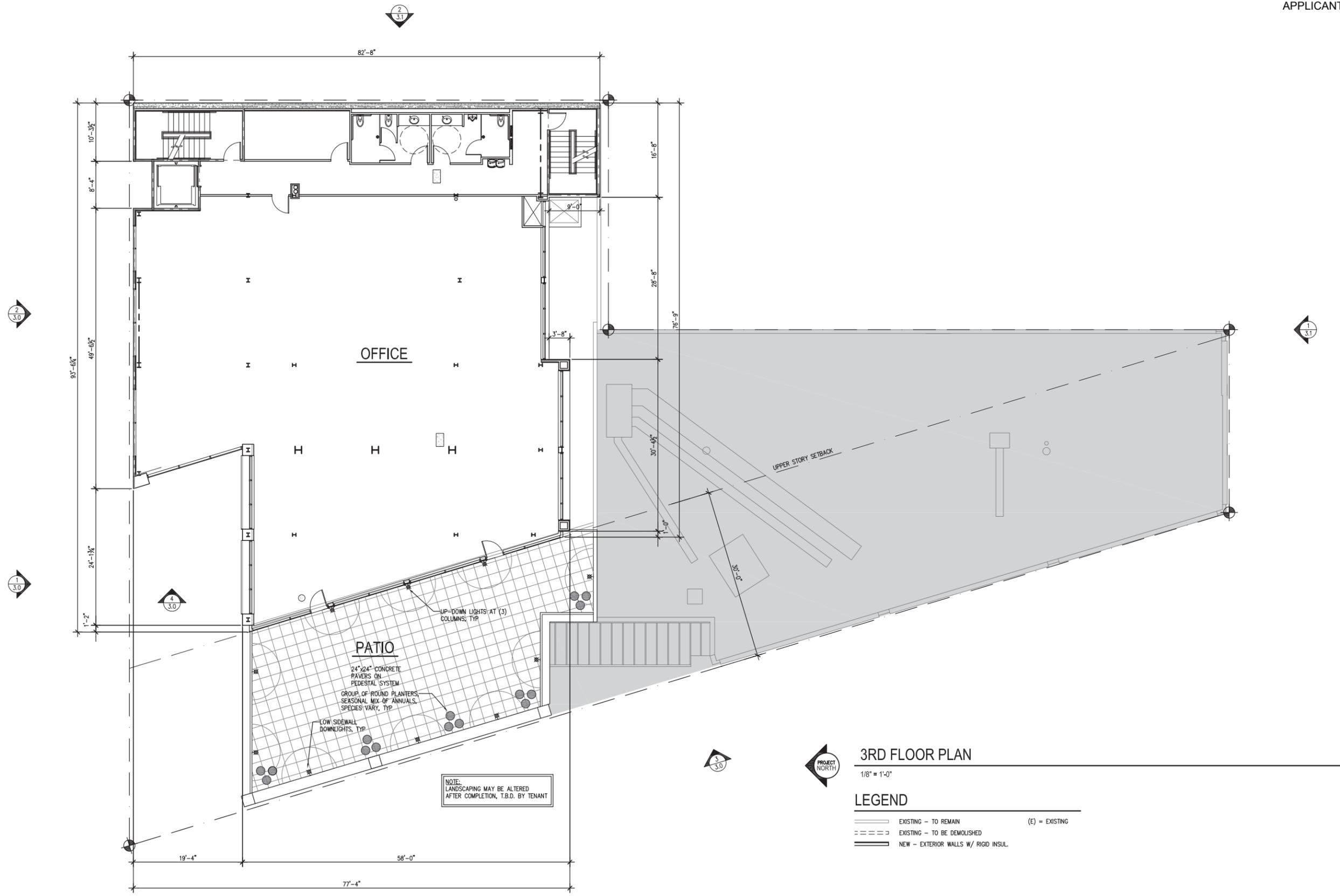


2ND FLOOR PLAN

1/8" = 1'-0"

LEGEND

- EXISTING - TO REMAIN (E) = EXISTING
- - - EXISTING - TO BE DEMOLISHED
- ▬ NEW - EXTERIOR WALLS W/ RIGID INSUL.



3RD FLOOR PLAN

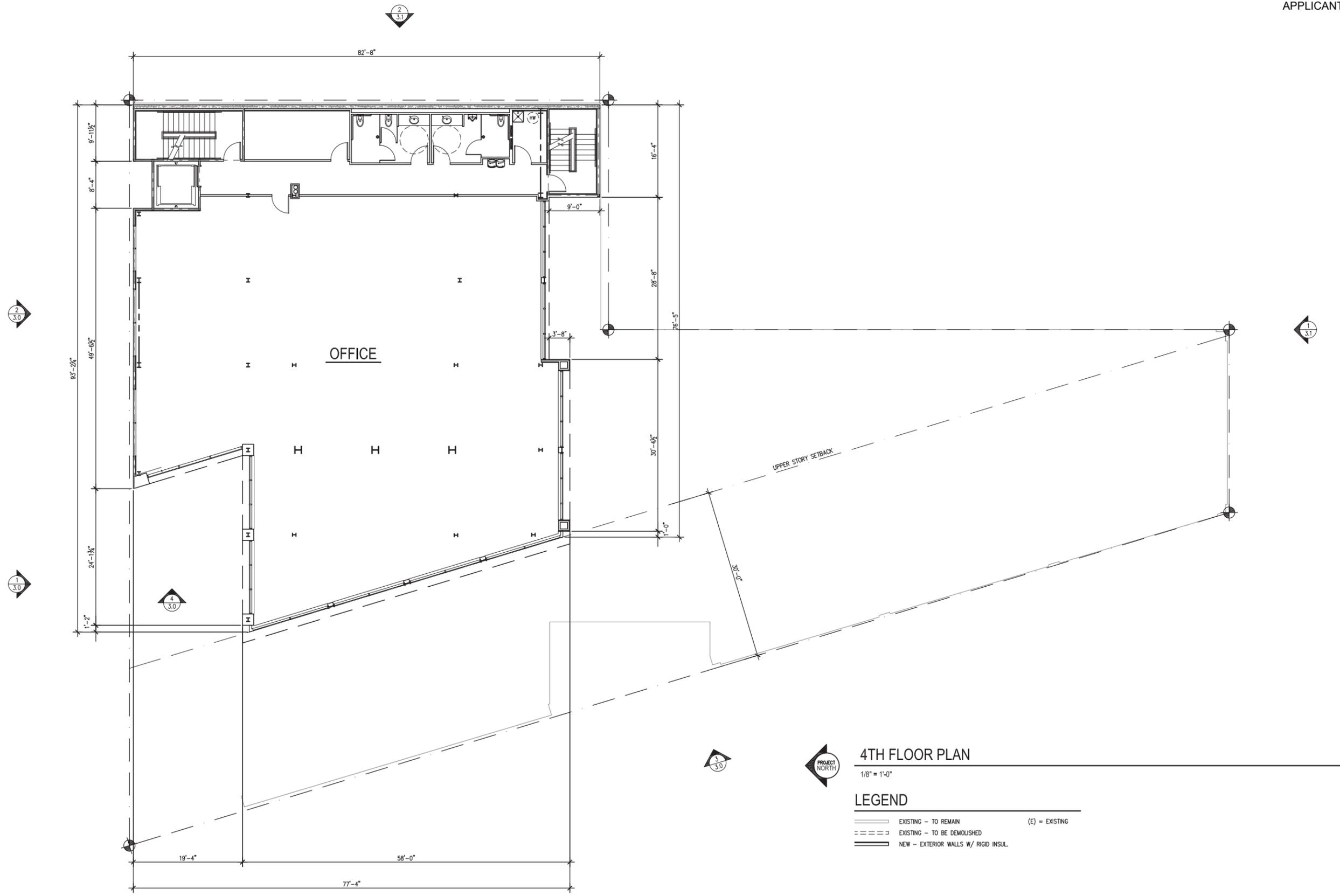
1/8" = 1'-0"

LEGEND

- EXISTING - TO REMAIN (E) = EXISTING
- - - EXISTING - TO BE DEMOLISHED
- NEW - EXTERIOR WALLS W/ RIGID INSUL.

04/17/13	DRB SUBMITTAL 2
03/05/13	DRB SUBMITTAL
02/07/13	DRB SUBMITTAL
No.	Date
	Revision

LAKE STREET PLACE - PHASE I - KWM
 150 LAKE STREET S
 KIRKLAND, WA 98033



4TH FLOOR PLAN

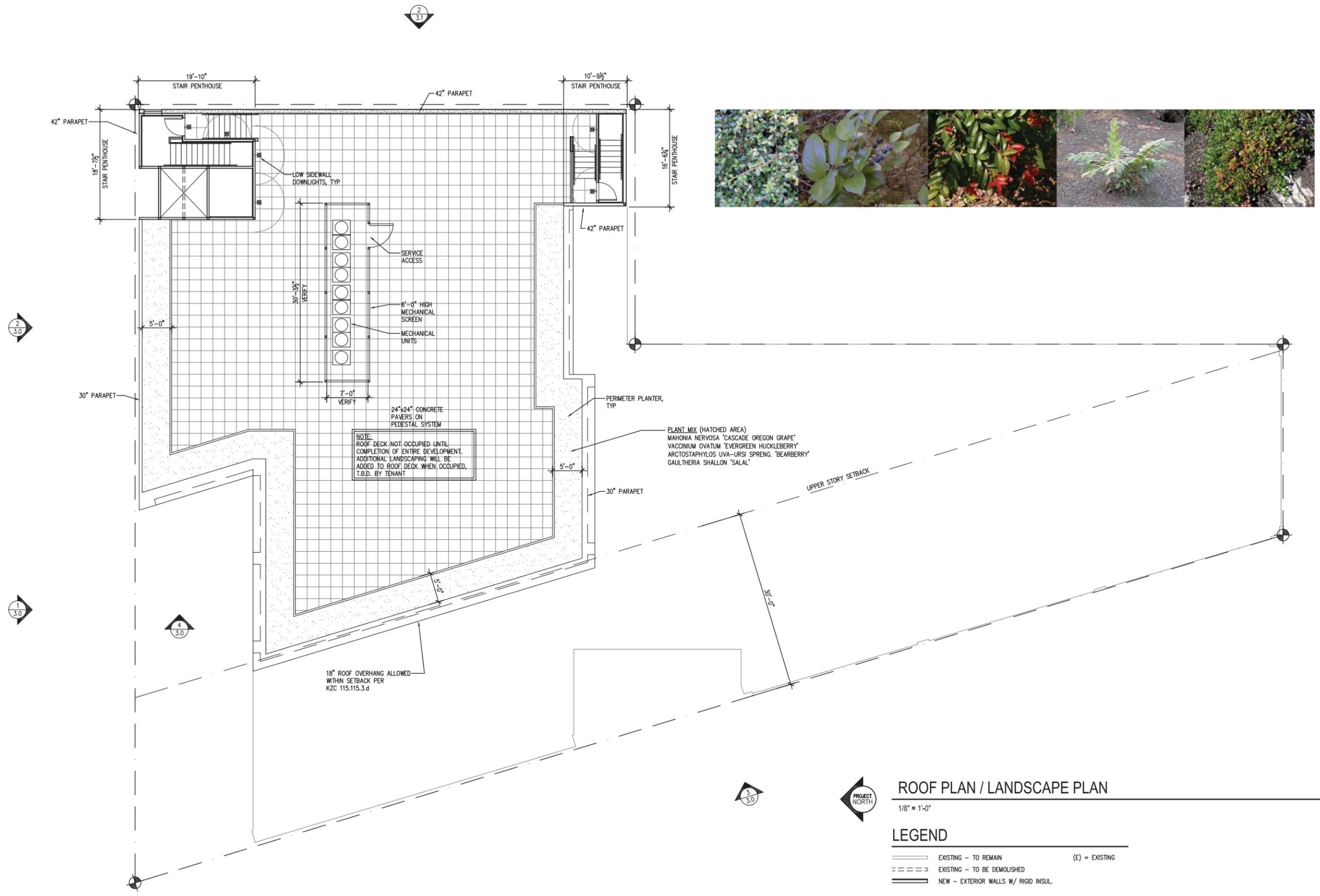
1/8" = 1'-0"

LEGEND

- EXISTING - TO REMAIN (E) = EXISTING
- EXISTING - TO BE DEMOLISHED
- NEW - EXTERIOR WALLS W/ RIGID INSUL.

FLOOR PLAN

Sheet No. **2.4**
 Project No. 1105
 Date: 07/30/12



04/17/13 DRB SUBMITTAL 2
 03/05/13 DRB SUBMITTAL
 02/07/13 DRB SUBMITTAL
 No. Date Revision

LAKE STREET PLACE - PHASE I - KWM
 150 LAKE STREET S
 KIRKLAND, WA 98033

ROOF PLAN / LANDSCAPE PLAN

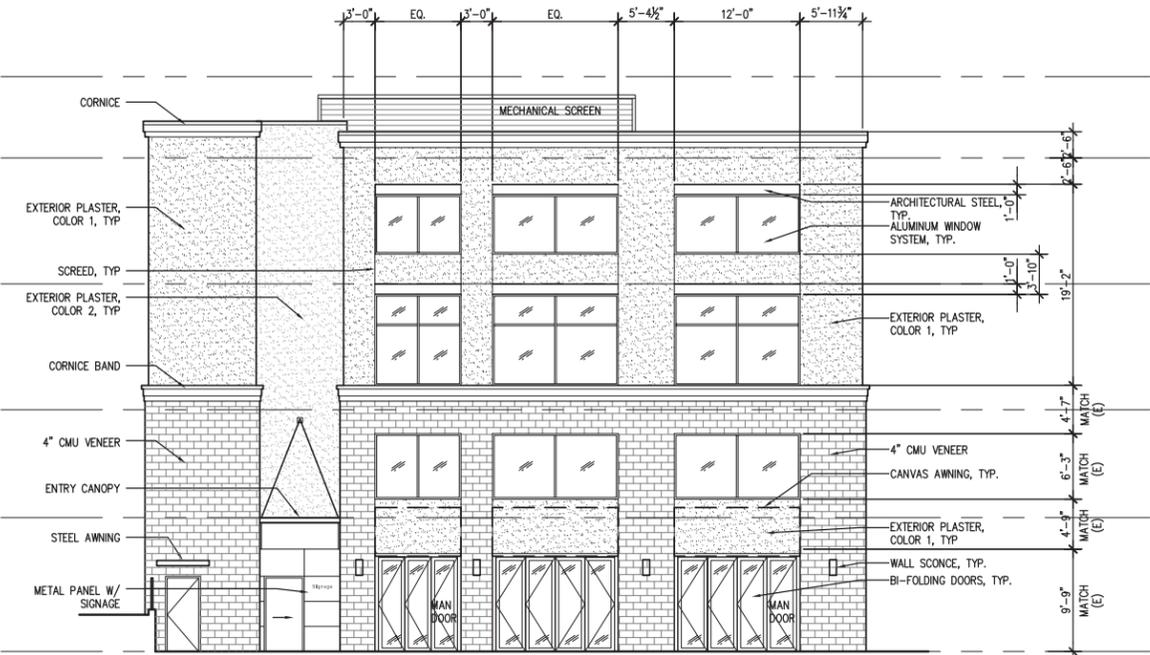
1/8" = 1'-0"

LEGEND

- EXISTING - TO REMAIN (E) = EXISTING
- - - - EXISTING - TO BE DEMOLISHED
- ▬ NEW - EXTERIOR WALLS W/ RIGID INSUL.

ROOF PLAN

Sheet No. **2.5**
 Project No. 1105
 Date: 07/30/12



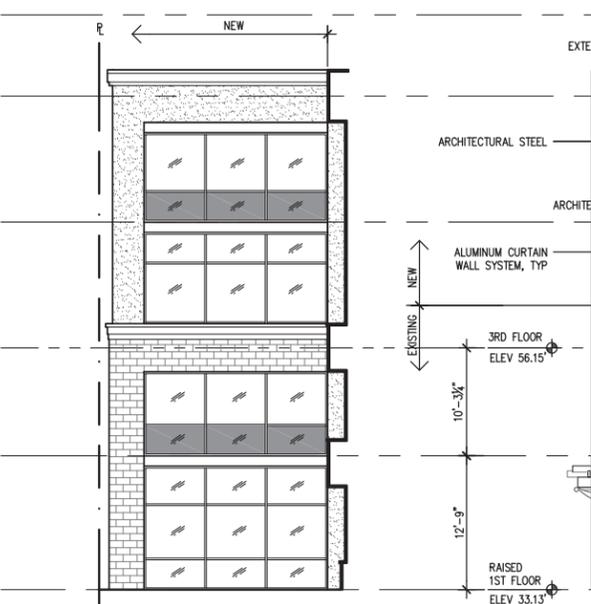
2 NORTH ELEVATION 2
1/8" = 1'-0"



1 NORTH ELEVATION 1
1/8" = 1'-0"



3 WEST ELEVATION
1/8" = 1'-0"

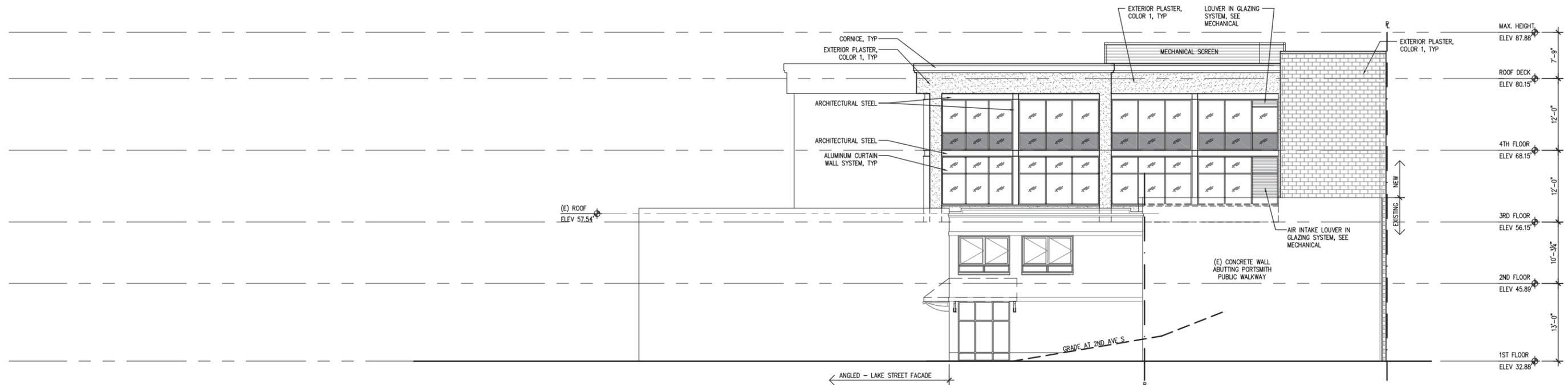


4 WEST ELEVATION
1/8" = 1'-0"

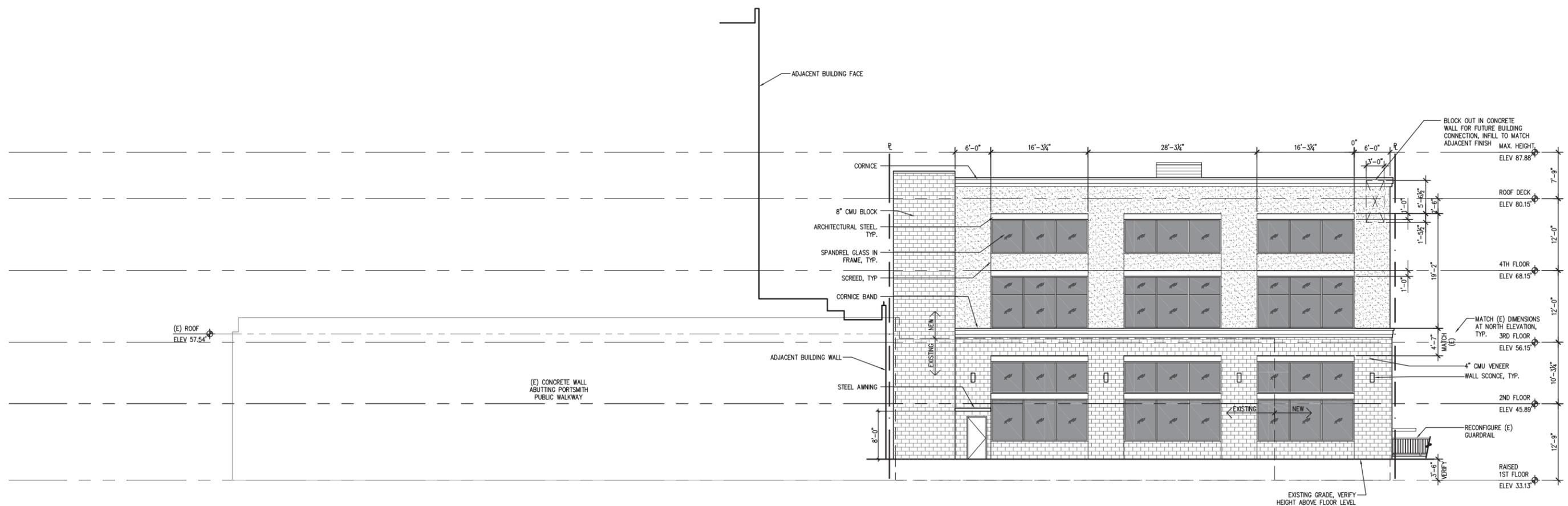
04/17/13 DRB SUBMITTAL 2
03/05/13 DRB SUBMITTAL
02/07/13 DRB SUBMITTAL
No. Date Revision

LAKE STREET PLACE - PHASE I - KWM
150 LAKE STREET S
KIRKLAND, WA 98033

ELEVATIONS
Sheet No. 3.0
Project No. 1105
Date: 07/30/12



1 SOUTH ELEVATION
 1/8" = 1'-0"



2 EAST ELEVATION
 1/8" = 1'-0"



DEVELOPMENT STANDARDS

DRV13-00192

PLANNING DEPARTMENT

PLANNING DEPARTMENT

Lot Line Adjustment - Prior to submitting the building permit application for the project, the applicant shall submit a lot line adjustment application that matches the revised lot line configuration in Attachment 2.

92.35 Prohibited Materials In Design Districts. If in a design district the following building materials are prohibited or limited in use: mirrored glass or reflective materials, corrugated fiberglass, chain link fencing, metal siding, concrete block, backlit awnings. Water spigots are required along building facades along sidewalks for cleaning and plant watering. Commercial buildings with more than one tenant shall install a cornerstone or plaque.

95.51.2.a Required Landscaping. All required landscaping shall be maintained throughout the life of the development. The applicant shall submit an agreement to the city to be recorded with King County which will perpetually maintain required landscaping. Prior to issuance of a certificate of occupancy, the proponent shall provide a final as-built landscape plan and an agreement to maintain and replace all landscaping that is required by the City.

95.52 Prohibited Vegetation. Plants listed as prohibited in the Kirkland Plant List shall not be planted in the City.

100.25 Sign Permits. Separate sign permit(s) are required. In JBD and CBD cabinet signs are prohibited.

105.18 Entrance Walkways. All uses, except single family dwellings and duplex structures, must provide pedestrian walkways between the principal entrances to all businesses, uses, and/or buildings on the subject property.

105.18 Overhead Weather Protection. All uses, except single family dwellings, multifamily, and industrial uses, must provide overhead weather protection along any portion of the building, which is adjacent to a pedestrian walkway.

105.18.2 Walkway Standards. Pedestrian walkways must be at least 5' wide; must be distinguishable from traffic lanes by pavement texture or elevation; must have adequate lighting for security and safety. Lights must be non-glare and mounted no more than 20' above the ground.

105.18.2 Overhead Weather Protection Standards. Overhead weather protection must be provided along any portion of the building adjacent to a pedestrian walkway or sidewalk; over the primary exterior entrance to all buildings. May be composed of awnings, marquees, canopies or building overhangs; must cover at least 5' of the width of the adjacent walkway; and must be at least 8 feet above the ground immediately below it. In design districts, translucent awnings may not be backlit; see section for the percent of property frontage or building facade.

105.65 Compact Parking Stalls. Up to 50% of the number of parking spaces may be designated for compact cars.

105.60.2 Parking Area Driveways. Driveways which are not driving aisles within a parking area shall be a minimum width of 20 feet.

105.60.3 Wheelstops. Parking areas must be constructed so that car wheels are kept at least 2' from pedestrian and landscape areas.

105.77 Parking Area Curbing. All parking areas and driveways, for uses other than detached dwelling units must be surrounded by a 6" high vertical concrete curb.

115.25 Work Hours. It is a violation of this Code to engage in any development activity or to operate any heavy equipment before 7:00 am. or after 8:00 pm Monday through Friday, or before 9:00 am or after 6:00 pm Saturday. No development activity or use of heavy equipment may occur on Sundays or on the following holidays: New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving, and Christmas Day. The applicant will be required to comply with these regulations and any violation of this section will result in enforcement action, unless written permission is obtained from the Planning official.

115.95 Noise Standards. The City of Kirkland adopts by reference the Maximum Environmental Noise Levels established pursuant to the Noise Control Act of 1974, RCW 70.107. See Chapter 173-60 WAC. Any noise, which injures, endangers the comfort, repose, health or safety of persons, or in any way renders persons insecure in life, or in the use of property is a violation of this Code.

115.115.3.p HVAC and Similar Equipment: These may be placed no closer than five feet of a side or rear property line, and shall not be located within a required front yard; provided, that HVAC equipment may be located in a storage shed approved pursuant to subsection (3)(m) of this section or a garage approved pursuant to subsection (3)(o)(2) of this section. All HVAC equipment shall be baffled, shielded, enclosed, or placed on the property in a manner that will ensure compliance with the noise provisions of KZC 115.95.

DRV13-00192

Page 2 of 5

115.120 Rooftop Appurtenance Screening. New or replacement appurtenances on existing buildings shall be surrounded by a solid screening enclosure equal in height to the appurtenance. New construction shall screen rooftop appurtenances by incorporating them in to the roof form.

115.135 Sight Distance at Intersection. Areas around all intersections, including the entrance of driveways onto streets, must be kept clear of sight obstruction as described in this section.

Prior to occupancy:

95.51.2.a Required Landscaping. All required landscaping shall be maintained throughout the life of the development. The applicant shall submit an agreement to the city to be recorded with King County which will perpetually maintain required landscaping. Prior to issuance of a certificate of occupancy, the proponent shall provide a final as-built landscape plan and an agreement to maintain and replace all landscaping that is required by the City

110.60.5 Landscape Maintenance Agreement. The owner of the subject property shall sign a landscape maintenance agreement, in a form acceptable to the City Attorney, to run with the subject property to maintain landscaping within the landscape strip and landscape island portions of the right-of-way. It is a violation to pave or cover the landscape strip with impervious material or to park motor vehicles on this strip.

BUILDING DEPARTMENT

You can review your permit status and conditions at www.kirklandpermits.net

Building Division Conditions

Permit #: DRV13-00192

Project Name: lake Street Place Phase 1

Project Address: 150 Lake Street S

Date: March 6th 2013

Building Department Staff Contacts

Pre-Submittal Process:

Tom Radford Building Plans Examiner

Phone: 425-587-3618 Fax: 425-587-3651

E-mail: tradford@ci.kirkland.wa.us

General Conditions:

1 This project will be subject to Building Department fees. At the pre-application stage, the fees can only be estimated. It is the applicant's responsibility to contact the Building Department by phone or in person to determine the fees. The fees can also be reviewed at the City of Kirkland permit web site; www.kirklandpermits.net. See the fee tab. The applicant should anticipate the following Building Department fees:

- o Intake Fee (paid at application of a Building Permit)
- o Inspection Fee (paid with the issuance of a Building Permit)
- o Plumbing, Mechanical and Electrical, Intake and Inspection Fees
- o Land Surface Modification (Grading), Intake and Inspection Fees

2. There may be additional development fees due the Planning and/or the Public Works Departments. It is the applicant's responsibility to contact the Planning and Public Works Departments by phone or in person to determine the fees.

3. Plumbing meter and service line shall be sized in accordance with the current UPC. We are currently using the 2009 edition.

Structure:

4. Building permits must comply with the International Building, Residential and Mechanical Codes and the Uniform Plumbing Code as adopted and amended by the State of Washington and the City of Kirkland. Kirkland currently has adopted the 2009 editions. (Use this link to access Washington State Amendments). 2012 editions will be adopted July 1st 2013.

5. Structure must comply with Washington State Energy Code. We are currently using the 2009 edition and will use the 2012 code after July 1st, 2013.

6. Kirkland reviews, issues and inspects all electrical permits in the city.

7. Structures must be designed for seismic design category D, wind speed of 85 miles per hour and exposure C.

8. Nonstructural components must be designed for seismic design category D, wind speed of 85 miles per hour and exposure C. The use of ballasted sleds for mounting antennas is not permitted by current code. ASCE 7 - 05 chapter

DRV13-00192

Page 3 of 5

13.4

9. If an accessible elevator is required - standby power is also required. Separate service and/or a connection ahead of service disconnect are not approved means of achieving standby power in Kirkland. See IBC 1007.2 and 1007.4

10. The applicant is cautioned to investigate the implications of the Americans with Disabilities Act on the construction of this project. For more information the applicant may contact Mr. James Raggio, Office of the General Counsel, Architectural and Transportation Barriers Compliance Board, 1111 18th Street, N.W., Suite 501, Washington, DC 20036, Ph# (800) 514-0301.

11. Twenty percent, but not less than one, of the portion of patient and visitor parking spaces serving rehabilitation facilities specializing in treating conditions that affect mobility and outpatient physical therapy facilities shall be accessible. WA State amendments to IBC section 1106.4

12. A building code summary worksheet must be submitted with the building permit application. (Copy attached and an electronic copy is available).

13. A no-build easement will be required due to proximity to property line on the North side.

FIRE DEPARTMENT

FIRE DEPARTMENT CONDITIONS

Contact: Grace Steuart at 425-587-3660; or gsteuart@kirklandwa.gov

Available fire flow in the area is approximately 4,000 gpm, which is adequate for development. An additional hydrant may be required to provide coverage.

Building Radio Coverage (800 MHz). Effective 1/1/07, all new buildings shall support adequate radio coverage for City emergency services workers, including but not limited to firefighters and police officers.

A sprinkler system is required to be installed throughout the building. The system shall be designed and the plans stamped by a person holding a Washington State Certificate of Competency. The system shall be installed by a state licensed sprinkler contractor. A standpipe system is also required; it may be incorporated into the fire sprinkler system.

A fire alarm system is required.

Portable fire extinguishers are required throughout the building.

PUBLIC WORKS DEPARTMENT

PUBLIC WORKS CONDITIONS

Permit #: DRV13-00192

Project Name: Mcleod Lake Street Mixed Use - Phase I

Project Address: 118 Lake Street South

Date: March 4, 2013

Public Works Staff Contacts

Land Use Process

Rob Jammerman, Development Engineering Manager

Phone: 425-587-3845 Fax: 425-587-3807

E-mail: rjammer@ci.kirkland.wa.us

Building and Land Surface Modification (Grading) Permit Process:

John Burkhalter, Development Engineering Supervisor

Phone: 425-587-3853 Fax: 425-587-3807

E-mail: jburkhal@ci.kirkland.wa.us

General Conditions:

1. All public improvements associated with this project including street and utility improvements, must meet the City of Kirkland Public Works Pre-Approved Plans and Policies Manual. A Public Works Pre-Approved Plans and Policies manual can be purchased from the Public Works Department, or it may be retrieved from the Public Works Department's page at the City of Kirkland's web site at www.kirklandwa.gov

DRV13-00192

Page 4 of 5

2. This project will be subject to Public Works Permit and Connection Fees. It is the applicant's responsibility to contact the Public Works Department by phone or in person to determine the fees. The fees can also be reviewed on the City of Kirkland web site at www.ci.kirkland.wa.us. The applicant should anticipate the following fees:
 - o Water and Sewer connection Fees (paid with the issuance of a Building Permit)
 - o Side Sewer Inspection Fee (paid with the issuance of a Building Permit)
 - o Water Meter Fee (paid with the issuance of a Building Permit)
 - o Right-of-way Fee
 - o Review and Inspection Fee (for utilities and street improvements).
 - o Traffic Impact Fee (paid with the issuance of Building Permit). For additional information, see notes below.
3. The Project has applied for and received Transportation Concurrency..
4. Building Permits associated with this proposed project will be subject to the traffic impact fees per Chapter 27.04 of the Kirkland Municipal Code. The impact fees shall be paid prior to issuance of the Building Permit(s).
5. Provide a construction parking plan prior to issuance of a Building Permit.
6. All civil engineering plans which are submitted in conjunction with a building, grading, or right-of-way permit must conform to the Public Works Policy titled ENGINEERING PLAN REQUIREMENTS. This policy is contained in the Public Works Pre-Approved Plans and Policies manual.
7. All street improvements and underground utility improvements (storm, sewer, and water) must be designed by a Washington State Licensed Engineer; all drawings shall bear the engineer's stamp.
8. All plans submitted in conjunction with a building, grading or right-of-way permit must have elevations which are based on the King County datum only (NAVD 88).
9. A completeness check meeting is required prior to submittal of any Building Permit applications.
10. Prior to issuance of any commercial or multifamily Building Permit, the applicant shall provide a plan for garbage storage and pickup. The plan shall be approved by Waste Management and the City.

Sanitary Sewer Conditions:

1. The existing sanitary sewer main within the public right-of-way along the front of the property is adequate.
2. Provide a 6-inch minimum side sewer stub to the building; plumbing code may dictate a larger side sewer line.

Water System Conditions:

1. The existing water main in the public right-of-way along the front of the subject property is adequate.
2. Provide water service to the building sized per the Uniform Plumbing Code. In mixed-use projects each use shall have a separate water meter, i.e., the retail use shall have a separate water meter from commercial office use.
3. All unused existing water services shall be abandoned at the water main.
4. Provide fire hydrants per the Fire Department's requirements.

Surface Water Conditions:

1. Provide temporary and permanent storm water control per the 2009 King County Surface Water Design Manual and the Kirkland Addendum. See Policies D-2 and D-3 in the PW Pre-Approved Plans for drainage review information, or contact city of Kirkland Surface Water staff at (425) 587-3800 for help in determining drainage review requirements.
2. Provide an erosion control plan with Building or Land Surface Modification Permit application. The plan shall be in accordance with the 2009 King County Surface Water Design Manual.

DRV13-00192

Page 5 of 5

3. All roof and driveway drainage must be tight-lined to the storm drainage system.

Street and Pedestrian Improvement Conditions:

1. Phase I of this project abuts Lake Street (an Arterial). Zoning Code sections 110.10 and 110.25 require the applicant to make half-street improvements in rights-of-way abutting the subject property. Section 110.30-110.50 establishes that this street must be improved with the following:

Lake Street

- A. The existing street improvements in front of phase I were just replaced a few years ago and no upgrades are required with this phase of the project.
- B. The on-street parking must be maintained.
2. A 2-inch asphalt street/alley overlay will be required where three or more utility trench crossings occur within 150 lineal ft. of street length or where utility trenches parallel the street centerline. Grinding of the existing asphalt to blend in the overlay will be required along all match lines.
3. It shall be the responsibility of the applicant to relocate any above-ground or below-ground utilities which conflict with the project associated street or utility improvements.

Lake Street Place – Phase I

Kirkland, WA

Design Response Conference 3



McLeod Development

CHESMORE|BUCK
architecture

Lake Street Place – Phase I

Kirkland, WA

North Options



Option A – Previous proposal

Lake Street Place – Phase I

Kirkland, WA

North Options



Option C (Preferred) – Revised column layout with CMU cap, horizontal band to match existing and Hardie panel cladding at elevator tower

Lake Street Place – Phase I

Kirkland, WA

Northwest Perspective



Preferred Option C

Lake Street Place – Phase I

Kirkland, WA

East Options



Option 1 - Previous proposal

Lake Street Place – Phase I

Kirkland, WA

East Options



Option 2 (Preferred) – 6" Hardie plank rain screen stair tower cladding

Lake Street Place – Phase I

Kirkland, WA

Northeast Perspective



Preferred Option 2

Lake Street Place – Phase I

Kirkland, WA

East Options – from south



Option 1 - Previous proposal

Lake Street Place – Phase I

Kirkland, WA

East Options – from south



Option 2 (Preferred) – 6" Hardie plank rain screen stair tower cladding

Lake Street Place – Phase I

Kirkland, WA

Design Response Conference 3



McLeod Development

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architecture

Lake Street Place – Phase I

Kirkland, WA

Mock up photo

