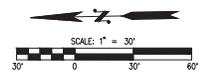
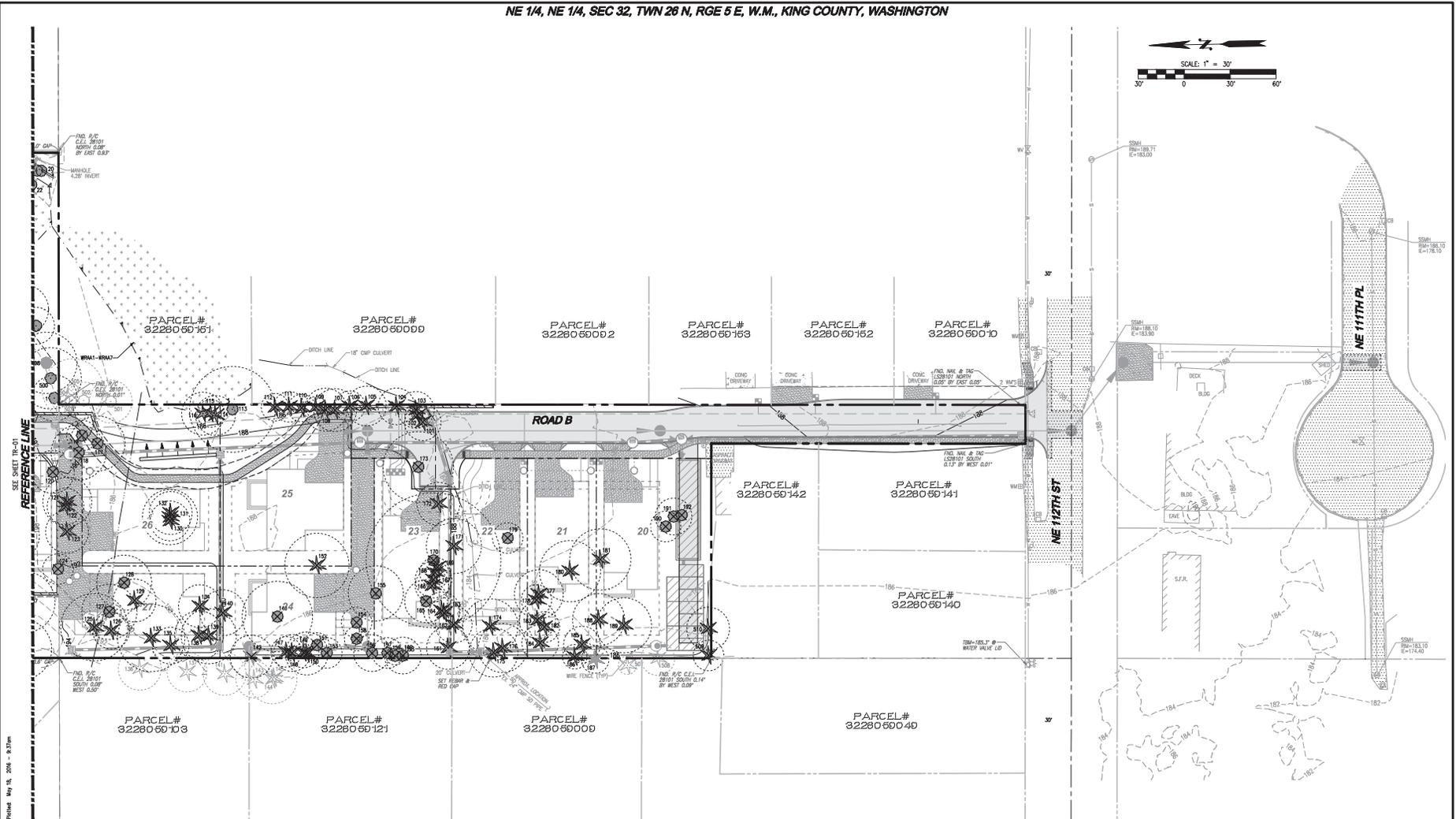


NE 1/4, NE 1/4, SEC 32, T28N, R5E, W.M., KING COUNTY, WASHINGTON



SEE SHEET TR-01
REFERENCE LINE

LEGEND

- TREE PROTECTIVE FENCING PER COX STD PLAN CK-R-49
- EXISTING CONIFEROUS TREE TO REMAIN
- EXISTING DECIDUOUS TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- EXISTING OFFSITE TREE
- EXISTING OFFSITE TREE TO BE REMOVED

NOTES

- SEE LANDSCAPE PLANS FOR TREES TO BE PLANTED.
- SEE SHEET TR-03 AND TR-04 FOR ARBORIST REPORT AND DETAILS.

TREE DENSITY CALCULATIONS

SIGNIFICANT TREES ON SITE=	330
WALL SIGNIFICANT TREES OHSITE=	255 - 1,028 CREDITS
NON-WALL SIGNIFICANT TREES OHSITE=	45
TREES TO BE SAVED=	61 - 195 CREDITS
TREE CREDITS REQUIRED=	147.3
TREE CREDITS TO BE PLANTED=	

NOTE: TREES ARE NOT REQUIRED TO BE PLANTED BASED ON RETENTION. HOWEVER, TREES WILL BE PLANTED AS PART OF THE PROJECT. SEE PLANTING PLAN BY LANDSCAPE ARCHITECT.

DISCLAIMER
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 811 or 1-800-424-5555
 Utilize Underground Location Center

REVISIONS

NO.	DATE	DESCRIPTION

Engineering
 Structural
 Planning
 Surveying

LDC
 THE CIVIL ENGINEERING GROUP

14202 NE 200th St., #100
 Redmond, WA, 98072
 Ph: 425-862-2800
 www.LDCgroup.com

LARRY SCRIVANICH
SCRIVANICH PROPERTY
 INTEGRATED DEVELOPMENT PLAN



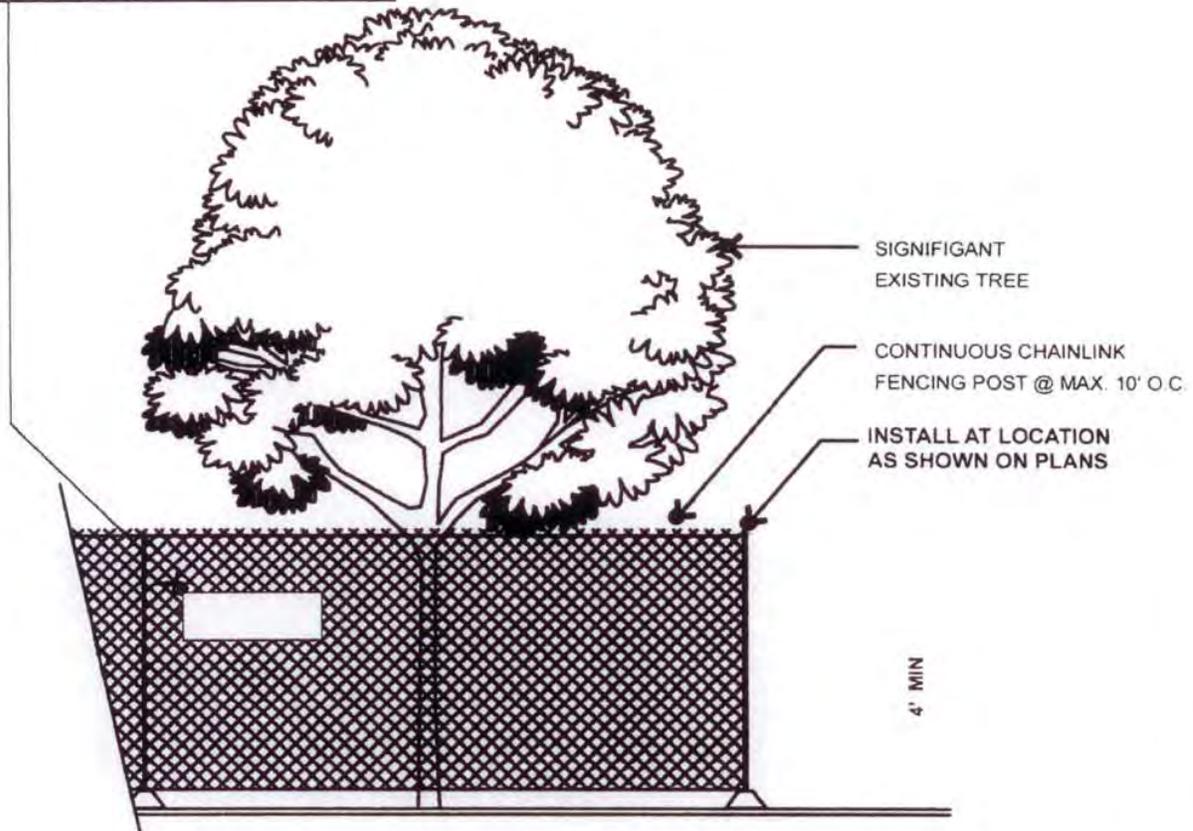
JOB NUMBER: 14-121
 DRAWING NAME: 14121C-TR-PL
 DESIGNER: JLS
 DRAFTER: SUN
 DATE: 9-21-15
 SCALE: 1"=30'
 JURISDICTION: CITY OF KIRKLAND

TR-02
 SHEET 17 OF 25

Design: P:\2014\14-121_Scrivovich_Property\Drawings\Construction\CD\14121C-TR-PL.dwg
 Plotted: May 18, 2016 - 8:37am

FENCING SIGN DETAIL

Tree Protection Area, Entrance Prohibited
To report violations contact
City Code Enforcement
at (425)587-3225



1. MINIMUM FOUR (4) FOOT HIGH TEMPORARY CHAINLINK FENCE SHALL BE PLACED AT THE CRITICAL ROOT ZONE OR DESIGNATED LIMIT OF DISTURBANCE OF THE TREE TO BE SAVED. FENCE SHALL COMPLETELY ENCIRCLE TREE (S). INSTALL FENCE POSTS USING PIER BLOCK ONLY. AVOID POST OR STAKES INTO MAJOR ROOTS. MODIFICATIONS TO FENCING MATERIAL AND LOCATION MUST BE APPROVED BY PLANNING OFFICIAL.
2. TREATMENT OF ROOTS EXPOSED DURING CONSTRUCTION: FOR ROOTS OVER ONE (1) INCH DIAMETER DAMAGED DURING CONSTRUCTION, MAKE A CLEAN STRAIGHT CUT TO REMOVE DAMAGED PORTION OF ROOT. ALL EXPOSED ROOTS SHALL BE TEMPORARILY COVERED WITH DAMP BURLAP TO PREVENT DRYING, AND COVERED WITH SOIL AS SOON AS POSSIBLE.
3. NO STOCKPILING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMIT OF THE FENCING. FENCING SHALL NOT BE MOVED OR REMOVED UNLESS APPROVED BY THE CITY PLANNING OFFICIAL. WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY UNDER THE SUPERVISION OF THE ON-SITE ARBORIST AND WITH PRIOR APPROVAL BY THE CITY PLANNING OFFICIAL.
4. FENCING SIGNAGE AS DETAILED ABOVE MUST BE POSTED EVERY FIFTEEN (15) FEET ALONG THE FENCE.



TREE PROTECTION FENCING DETAIL

SCRIVANICH

Planned Unit Development - Modification request

October 5th, 2016

Background

The project applicant is seeking a modification from the requirements of KZC 115.115.3.g.1 and 115.115.3.g.2 regarding rockery/retaining wall height and fences within five (5) feet of retaining walls exceeding six (6) feet in height.

KZC 115.115.3.g.1 states that retaining walls may be a maximum of 4 feet in height in a required yard unless a modification is granted. Modifications are granted by the Planning Official if it is necessary because of the size, configuration, topography or location of the subject property and either the wall is terraced or will not have a substantial detrimental effect on abutting properties or the City as a whole.

KZC 115.115.3.g.2 states that the combined height of fences and retaining walls within five (5) feet of each other in a required yard may be a maximum of six (6) feet unless a modification is granted. Modifications are granted by the Planning Official if a) an open guard railing is required by the Building Code and the height of the guard railing does not exceed the minimum required; or b) because the size, configuration, topography or location of the subject property makes it necessary and either the wall is terraced or will not have a substantial detrimental effect on abutting properties or the City as a whole.

Modification request

This modification request is being prepared in two sections. The first request is for the internal retaining walls which are within a required yard. The second portion of the request is directed at the retaining wall and existing fence along the east side of the property.

- 1) Modification to KZC 115.115.3.g.1 for retaining wall greater than 4' in height between internal lots.

The applicant is seeking a modification to KZC 115.115.3.g.1 for internal retaining walls greater than 4' in height between lots 6-18 as depicted on the site plan.

This modification request meets the requirements of KZC 115.115.3.g.1 because the retaining walls in excess of 4 feet are necessary because of the topography, size and configuration of the property. These retaining walls are all internal

retaining walls for the lots and have been reviewed by the City. No comments were received from the City or adjoining property owners. The proposed retaining walls also meet the requirements of KZC 115.115.3.g.1.ii because the modification will not have a substantial detrimental effect on abutting properties or the City as a whole.

- 2) The City has asked the project applicant to request a modification from the requirements of KZC 115.115.3.g.1 and 115.115.3.g.2 for the proposed retaining wall on the east side of the property (located within Tract D and the road easement) and the existing fence located within five (5) feet of the proposed retaining wall because the combined height is greater than 6 feet in some areas. Although KZC 115.115.3.g.1 and 115.115.3.g.2 only apply to retaining walls over 4' and fences within 5' of retaining walls where the height is greater than 6' in a required yard as defined in KZC 5.10.775, we provide the following analysis showing that we meet the requirements for a modification.

The retaining wall is necessary because of the size, configuration, topography and location of the subject property. The City required the project applicant to construct the road entrance on the north side of the site (instead of where the existing driveway is on the south side) because of distance requirements between roads on NE 116th St. The road is also designed to meet the road standard requirements of the City which requires grading because of the topography of the site. In addition to the requirements for placement of the road which dictates the configuration of the proposed project, the property is narrow and the topography of the property dictates the need for retaining walls over 4 feet in height.

The retaining wall itself will not have a substantial detrimental effect on abutting properties or the City as a whole. The City has reviewed this proposal numerous times and has not expressed any issue with the placement of the retaining wall.

In terms of adjacent neighbors to the east we believe that there are numerous issues to consider:

- a) The distance between the proposed retaining wall and homes on the neighboring property is 40' or greater.
- b) The existing fence, as shown on the attached drawing, shows that much of the wall will be behind the fence. As indicated in the attached drawing, the highest point of the wall is on the south end, where it breaks toward the interior of the proposed development so it will be farther away from neighboring properties.

- c) The project applicant has agreed to plant dense vegetation, such as arborvitae on top of the wall, in order to address concerns regarding headlights. This has been incorporated as a SEPA condition.
- d) As shown in the attached exhibit, there are numerous trees within the 40' vegetation buffer on the neighboring property. The neighboring property has additional room to plant vegetation if they desire.

Based upon this information, the proposed modification meets KCZ 115.115.3.g.1 because the proposed retaining wall will not cause a substantial detrimental effect on abutting properties or the City as a whole.

With the required placement of the road, the road easement extends to the east side of the property which dictates the placement of the retaining wall. As shown in the attached pictures, there is an existing fence between this project and the property to the east. This is proposed to be retained. The proximity of the proposed retaining wall and fence are necessary because of the size, configuration, and topography of the subject property as described above. The retention of the fence will have a positive impact because it will provide a visual buffer for neighboring properties to the east. For these reasons, the modification request meets the requirements of KCZ 115.115.3.g.2 and 115.115.3.g.2.b.ii.

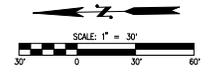
Closing

As proposed, the Scrivanich PUD meets the requirements for a modification from the requirements of KZC 115.115.3.g.1 and 115.115.3.g.2. Please let me know if you have any further questions.

Prepared by: Clay White, Principal Planner
Vice President
LDC, Inc (Land Development Consultants)

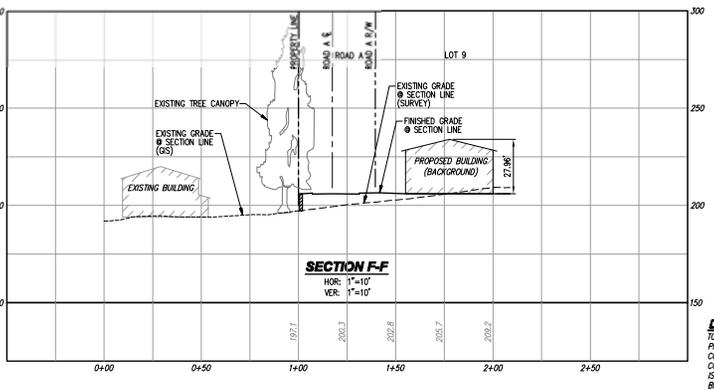
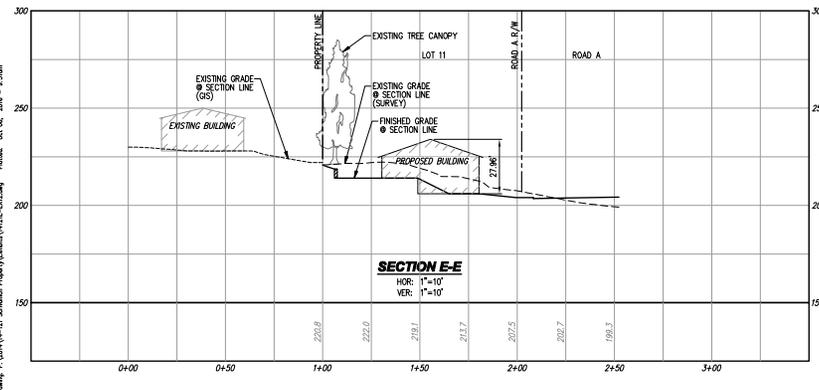
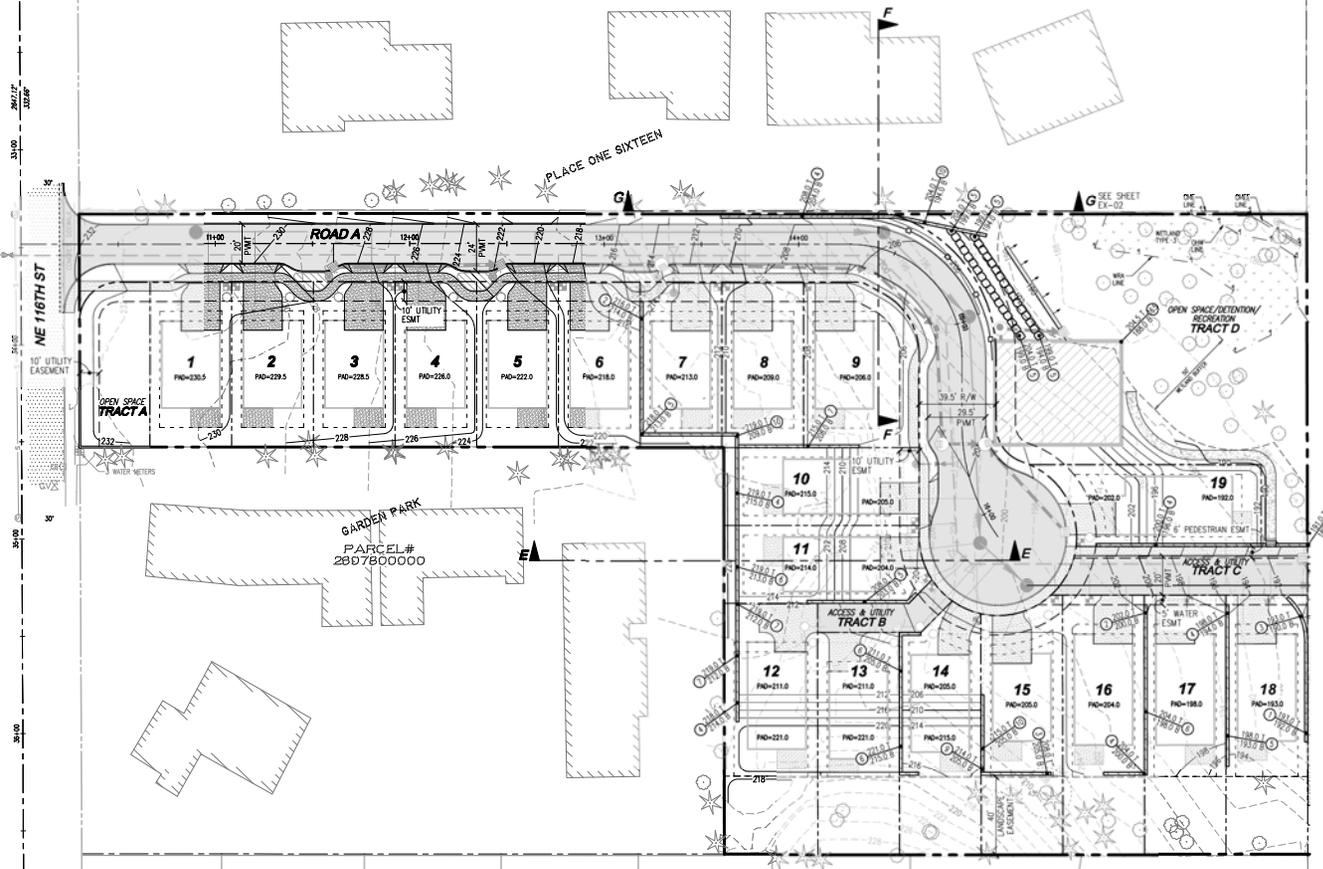
Attachments: Road section profile
Pictures
Map showing orientation of pictures.

NE 1/4, NE 1/4, SEC 32, T26N, R5E, W.M., KING COUNTY, WASHINGTON



LEGEND

- STORM PIPE
- SEWER PIPE
- WATER PIPE
- RAIN GARDEN PER COK STD. DET. GK-L01



811 or 1-800-424-5555
 Useless Underground Location Center

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NO.	DATE	REVISIONS	DESCRIPTION

LDC
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 THE CIVIL ENGINEERING GROUP
 1400 1st Street, S.W.
 Everett, WA 98201
 Ph: 425.344.3333
 Fax: 425.344.3338
 www.LDCgroup.com

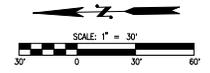
LARRY SCRIVANICH
SCRIVANICH PROPERTY
 SECTION EXHIBIT



JOB NUMBER: 14-121
 DRAWING NAME: 14121E-EX12
 DESIGNER: MEV
 DRAWING BY: SKB
 DATE: 9-21-15
 SCALE: 1"=30'
 JURISDICTION: CITY OF KIRKLAND

EX-01
 SHEET 1 OF 2

NE 1/4, NE 1/4, SEC 32, TWN 26 N, RGE 5 E, W.M., KING COUNTY, WASHINGTON



LEGEND

- STORM PIPE
- SEWER PIPE
- WATER PIPE
- RAIN GARDEN PER COK STD. DET GK-L01

NO.	DATE	REVISIONS	DESCRIPTION

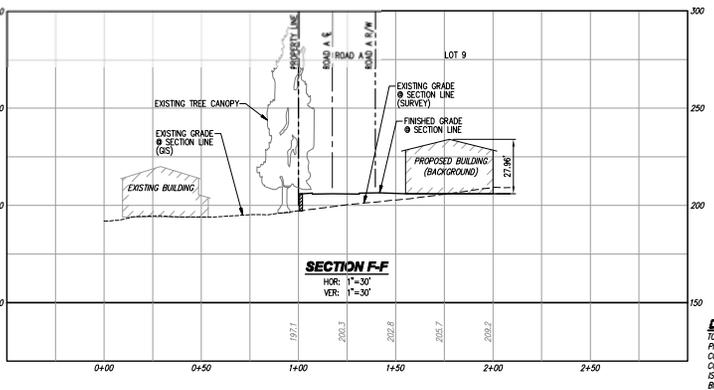
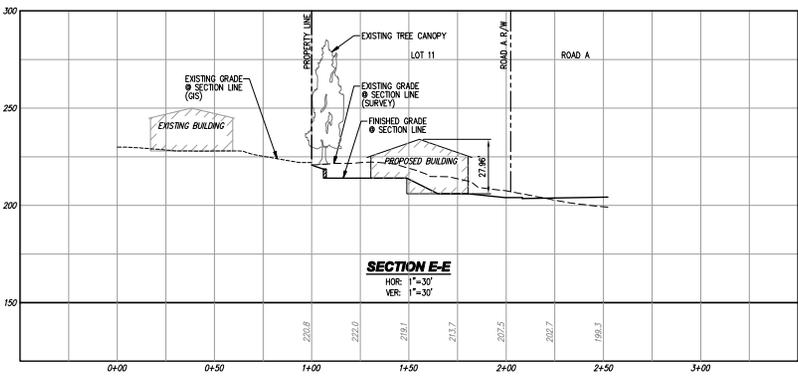
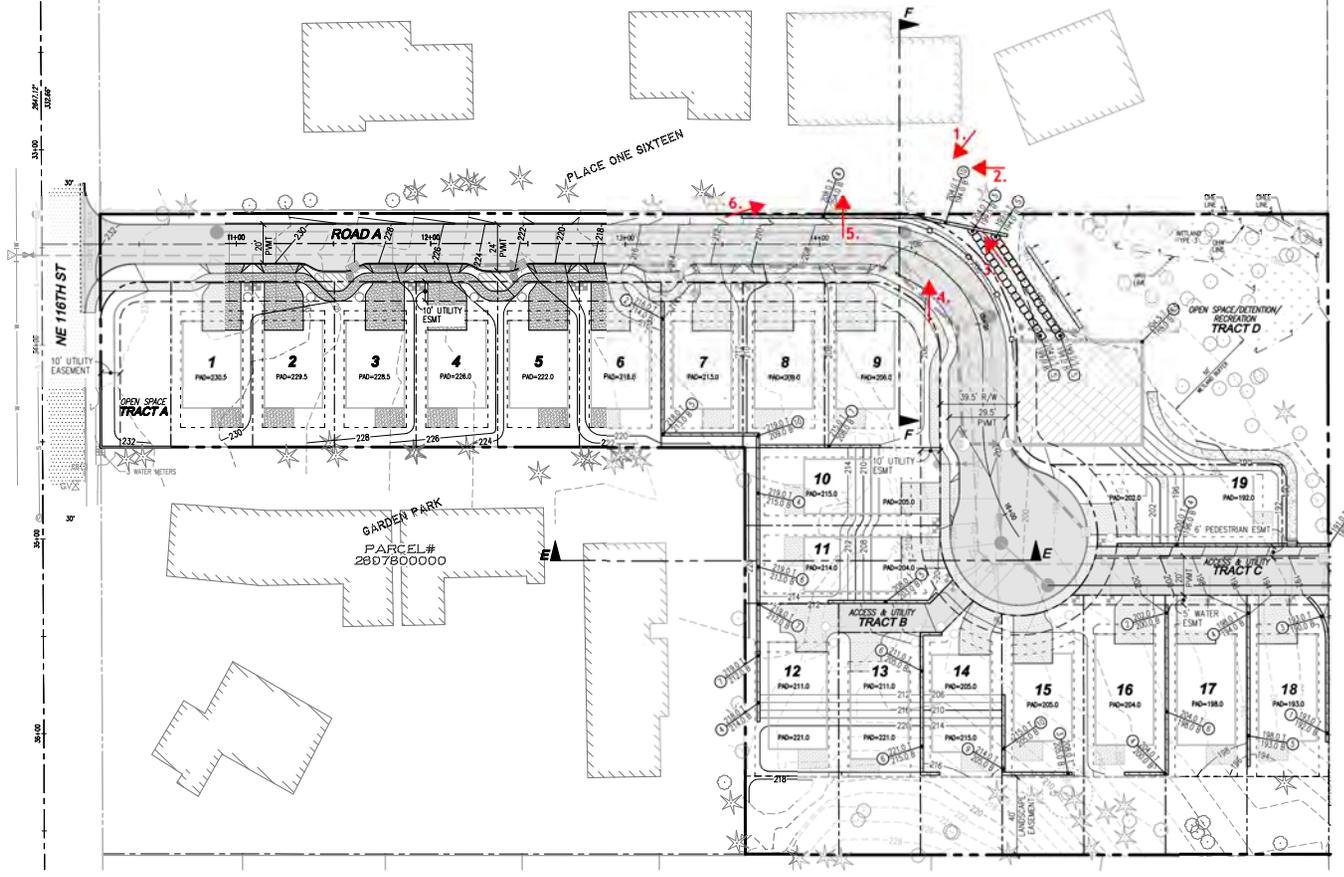
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 Everett, WA 98201
 Ph: 425.842.5555
 Fax: 425.842.5555
 www.LDCgroup.com

LARRY SCRIVANICH
SCRIVANICH PROPERTY
 SECTION EXHIBIT



JOB NUMBER: 14-121
 DRAWING NAME: 14121E-EX12
 DESIGNER: MEV
 DRAWING BY: SKR
 DATE: 9-21-15
 SCALE: 1"=30'
 JURISDICTION: CITY OF KIRKLAND

EX-01
 SHEET 1 OF 1



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Photo 1: Looking Northwest



Photo 2: Looking North



Photo 3: Looking East



Photo 4: Looking East



Photo 5: Looking East



Photo 6: Looking Southeast





CITY OF KIRKLAND
Planning and Building Department
 123 5th Avenue, Kirkland, WA 98033
 425.587.3600 ~ www.kirklandwa.gov

MODIFICATION OF RETAINING WALL/FENCE HEIGHT SUMMARY--PLANNING OFFICIAL DECISION

Address: Parcel#3226059113, located south of 11421 NE 116th Street (Attachment 1)

Project Name: Scrivanich Retaining Wall and Fence Modification Request

Applicant: Clay White, LDC or behalf of applicant Larry Scrivanich

Project Planner: David Barnes

Date: October 21, 2016

Decision: Denied
 Approved with the following conditions:

I. CONDITIONS OF APPROVAL

- A. This application is subject to the applicable requirements contained in the Kirkland Municipal Code, Zoning Code, and Building and Fire Code. It is the responsibility of the applicant to ensure compliance with the various provisions contained in these ordinances.
- B. The applicant shall submit a building permit to construct the retaining wall along the east property line and the plans shall conform to this retaining wall height modification approval.

II. COMPLIANCE WITH ZONING CODE CHAPTER 115

- A. The site is located in RS 8.5. Use zone, which is a low density Residential zone as defined in KZC 5.490.

- 1. Planning Official Decision.

B. MODIFCATION REQUEST

The applicant, Clay White on behalf of Larry Scrivanich, has submitted a request to modify the height of a retaining wall and fence/retaining Walls in a required yard in several places on the site:

- 1. Retaining wall along the applicant's eastern property line. KZC 115.115.3.g allows a maximum 4-foot tall retaining wall in required yard. The applicant has proposed to construct a retaining wall that ranges from 4 feet up to a maximum height of 10 feet in a required yard. The proposal includes an exhibit which shows an elevation view of the proposed 10-foot retaining wall behind a neighboring development's 6-foot tall fence (See

Attachment 2). The applicant also is applying for a Fence Height modification pursuant to KZC 115.115.3.g.2 because there is an existing 6 foot tall wood fence along the entire eastern property line.

2. Lots 6-18 have internal retaining walls greater than 4 feet in a required yard. The plans show that most all of the retaining walls ranging in height from 4-10 feet. Lots 6, 7, 8, 9, 10, 11 and 12 have retaining walls that abut properties on their west and north, but the abutting properties have a 40 foot deep landscaping easements between their common property lines with the proposed Scrivanich development. In addition, the walls are offset by approximately 6 feet from neighboring property lines. This provide approximately 46 feet of physical separation.

C. ANALYSIS OF MODIFICATION CRITERIA

The Planning Official may approve a modification to that height limit if it is necessary because of the size, configuration, topography or location of the subject property, and either:

- a) The design of the rockery or retaining wall includes terraces deep enough to incorporate vegetation, or other techniques that reduce the visual mass of the wall;
or
- b) The modification will not have any substantial detrimental effect on abutting properties or the City as a whole.

Section 115.115.3.g.1 and 115.115.3.g.2 allows the planning official to approve a minor modification to a retaining wall height greater than 4 feet in a required yard and an existing fence/wall height greater than 6 feet if in a required yard, if the following criteria are met:

- b. The modification will not have any substantial detrimental effect on abutting properties or the City as a whole.

Staff Analysis:

For the retaining wall and existing fence on the eastern property line:

The applicant has described that because of the topography of the site, the city requirement that the road on the be placed along the east property line, the narrow shape of the site, a retaining wall is required in the proposed location to support a road serving 19 homes. Furthermore, only a portion of the retaining wall is visible behind an existing 6-foot tall fence on the eastern property line. There is also a 40-foot wide landscape easement with large native trees on the neighboring property to the east, which could also be planted with vegetation to make the proposed retaining wall less visible. The overall impact of a 10-foot tall retaining wall is minimized because it will be screened by a 6-foot tall fence, existing vegetation, and a 40-foot landscape easement. Therefore, the modification will not have a substantial detrimental effect on the neighboring properties or the City as a whole.

For Lots 6-18:

The impacts are internal to the development and with the additional landscaping buffers on adjacent properties, the lots which abut properties on the west and the north (Lots 6, 7, 8, 9, 10, 11 and 12) do not impact the neighboring development. Therefore, the

modification will not have a substantial detrimental effect on the neighboring properties or the City as a whole.

D. DECISION OF PLANNING OFFICIAL

I approve the proposed modification as proposed. The conditions of approval are found at the beginning of this report. The approval of this modification does not release the applicant from satisfying provisions of Chapter 115.

Attachments 1 through 2 are attached.

1. Vicinity Map
2. Applicant's Proposal

