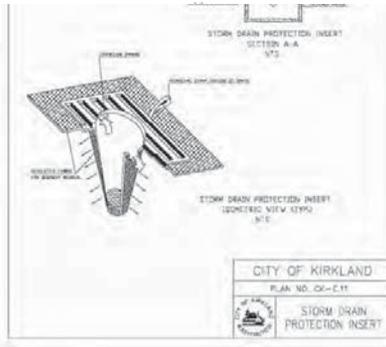
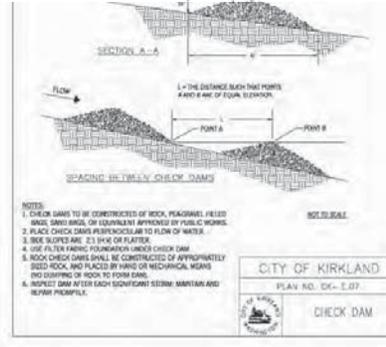
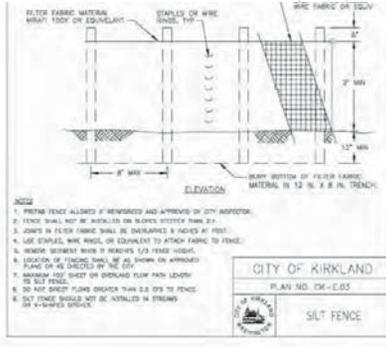
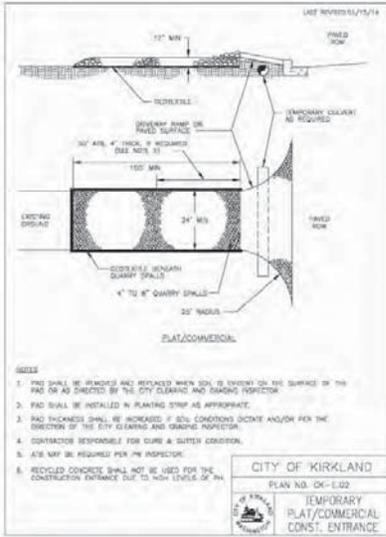


NE 1/4, NW 1/4, SEC 27, TWN 26 N, RGE 5 E, W.M., KING COUNTY, WASHINGTON

TESS NOTES

1. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF KIRKLAND STANDARDS AND SPECIFICATIONS.
2. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE SET BY SURVEY AND CLEARLY FLAGGED IN THE FIELD BY A CLEARING CONTROL FENCE PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE OR REMOVAL OF ANY GROUND COVER BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE PERMITTEE/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
3. APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTIONS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
4. THE IMPLEMENTATION OF THIS ESC PLAN AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPDATING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE PERMITTEE/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.
5. A COPY OF THE APPROVED ESC PLAN MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
6. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS. WHENEVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL.
7. THE ESC FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS ON THE APPROVED PLANS. LOCATIONS MAY BE MOVED TO SUIT FIELD CONDITIONS, SUBJECT TO APPROVAL BY THE ENGINEER AND THE CITY OF KIRKLAND INSPECTOR.
8. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED (E.G., ADDITIONAL SLUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.) AS NEEDED FOR UNEXPECTED STORM EVENTS. ADDITIONALLY, MORE ESC FACILITIES MAY BE REQUIRED TO ENSURE COMPLETE SILTATION CONTROL. THEREFORE, DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES OVER AND ABOVE THE MINIMUM REQUIREMENTS AS MAY BE REQUIRED.
9. THE ESC FACILITIES SHALL BE INSPECTED BY THE PERMITTEE/CONTRACTOR DAILY DURING NON-RAINFALL PERIODS, EVERY HOUR (DAILY) DURING A RAINFALL EVENT, AND AT THE END OF EVERY RAINFALL, AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, TEMPORARY SILTATION PONDS AND ALL TEMPORARY SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED. PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED. WRITTEN RECORDS SHALL BE KEPT DOCUMENTING THE REVIEWS OF THE ESC FACILITIES.
10. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 48 HOURS FOLLOWING A STORM EVENT.
11. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
12. ALL DENuded SOILS MUST BE STABILIZED WITH AN APPROVED TESS METHOD (E.G. SEEDING, MULCHING, PLASTIC COVERING, CRUSHED ROCK) WITHIN THE FOLLOWING TIMELINES:
 - MAY 1 TO SEPTEMBER 30 - SOILS MUST BE STABILIZED WITHIN 7 DAYS OF GRADING.
 - OCTOBER 1 TO APRIL 30 - SOILS MUST BE STABILIZED WITHIN 2 DAYS OF GRADING.
13. WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS REQUIRED, FAST GERMINATING GRASSES SHALL BE APPLIED AT AN APPROPRIATE RATE (EXAMPLE: ANNUAL OR PERENNIAL RYE APPLIED AT APPROXIMATELY 80 POUNDS PER ACRE).
14. WHERE STABILIZATION IS REQUIRED FOR TEMPORARY EROSION CONTROL, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 2".
15. ALL LOTS ADJACENT OR HAVING ANY NATIVE GROWTH PROTECTION ELEMENTS (NGPE) SHALL HAVE A 6" HIGH TEMPORARY CONSTRUCTION FENCE (CHAIN LINK WITH PER BLOCKS) SEPARATING THE LOT (OR BUILDABLE PORTIONS OF THE LOT) FROM THE AREA BEING DEVELOPED. THE FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING OR CLEARING AND REMAIN IN PLACE UNTIL THE PLANNING DEPARTMENT AUTHORIZES REMOVAL.
16. CLEARING LIMITS SHALL BE DELINEATED WITH A CLEARING CONTROL FENCE. THE CLEARING CONTROL FENCE SHALL CONSIST OF A 6'-4" HIGH CHAIN LINK FENCE ALONG THE DIRT LINE OF TREES TO BE SAVED, WETLAND OR STREAM BUFFERS, AND SENSITIVE SLOPES. CLEARING CONTROL FENCES ALONG WETLAND OR STREAM BUFFERS OR UPORES OF SENSITIVE SLOPES SHALL BE ACCOMPANIED BY AN EROSION CONTROL FENCE. THE CLEARING CONTROL FENCE, A FOUR-FOOT HIGH ORANGE MESH CLEARING CONTROL FENCE MAY BE USED TO DELINEATE CLEARING LIMITS IN ALL OTHER AREAS.
17. OFF-SITE STREETS MUST BE KEPT CLEAN AT ALL TIMES. IF DIRT IS DEPOSITED ON THE PUBLIC STREET SYSTEM, THE STREET SHALL BE IMMEDIATELY CLEANED WITH POWER SWEEPER OR OTHER EQUIPMENT. ALL VEHICLES SHALL LEAVE THE SITE BY WAY OF THE CONSTRUCTION ENTRANCE AND SHALL BE CLEANED OF ALL DIRT THAT WOULD BE DEPOSITED ON THE PUBLIC STREETS.
18. ROCK FOR EROSION PROTECTION OF ROADWAY DITCHES, WHERE REQUIRED, MUST BE OF SOUND QUARRY ROCK, PLACED TO A DEPTH OF 1' AND MUST MEET THE FOLLOWING SPECIFICATIONS: 4"-8" ROCK/40%-100% PASSING; 7"-4" ROCK/30%-40% PASSING; AND 1'-2" ROCK/10%-20% PASSING. RECYCLED CONCRETE SHALL NOT BE USED. IF ANY PART(S) OF THE CLEARING LIMIT BOUNDARY OR TEMPORARY EROSION/SEDIMENTATION CONTROL PLAN IS/ARE DAMAGED, IT SHALL BE REPAIRED IMMEDIATELY.
19. ALL PROPERTIES ADJACENT TO THE PROJECT SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND RUNOFF. AT NO TIME SHALL MORE THAN 1" OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
20. ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE PERMANENT FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION OR DISPERSION SYSTEM, THE FACILITY SHALL NOT BE USED AS A TEMPORARY SETTLING BASIN. NO UNDERGROUND DETENTION TANK, DETENTION VAULT, OR SYSTEM WHICH BACKS UP OR INTO A POND SHALL BE USED AS A TEMPORARY SETTLING BASIN.
21. ALL EROSION/SEDIMENTATION CONTROL PONDS WITH A DEAD STORAGE DEPTH EXCEEDING 6" MUST HAVE A PERMIETTER FENCE WITH A MINIMUM HEIGHT OF 3".
22. THE BUSHED GRASS BACKFILL ADJACENT TO THE FILTER FABRIC FENCE SHALL BE REPLACED AND THE FILTER FABRIC CLEANED IF IT IS NONFUNCTIONAL. EXCESSIVE SILT ACCUMULATION AS DETERMINED BY THE CITY OF KIRKLAND. ALSO, ALL INTERCEPTOR TRAPLES SHALL BE CLEANED IF SILT ACCUMULATION EXCEEDS ONE-QUARTER DEPTH.
23. PRIOR TO THE OCTOBER 1 OF EACH YEAR (THE BEGINNING OF THE WET SEASON), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER BANS. THE IDENTIFIED DISTURBED AREA SHALL BE SEEDED WITHIN ONE WEEK AFTER OCTOBER 1. A SITE PLAN DEPICTING THE AREAS TO BE SEEDED AND THE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE PUBLIC WORKS CONSTRUCTION INSPECTOR. THE INSPECTOR CAN REQUIRE SEEDING OF ADDITIONAL AREAS IN ORDER TO PROTECT SURFACE WATERS, ADJACENT PROPERTIES, OR DRAINAGE FACILITIES.
24. ANY AREA TO BE USED FOR INFILTRATION OR PERVIOUS PAVEMENT (INCLUDING A 5-FOOT BUFFER) MUST BE SURROUNDED BY SILT FENCE PRIOR TO CONSTRUCTION AND UNTIL FINAL STABILIZATION OF THE SITE TO PREVENT SOIL COMPACTION AND SILTATION BY CONSTRUCTION ACTIVITIES.
25. IF THE TEMPORARY CONSTRUCTION ENTRANCE IS LOCATED IN THE SAME AREA TO BE USED FOR INFILTRATION OR PERVIOUS PAVEMENT, 6" OF SEDIMENT BELOW THE GRAVEL CONSTRUCTION ENTRANCE SHALL BE REMOVED PRIOR TO INSTALLATION OF THE INFILTRATION FACILITY OR PERVIOUS PAVEMENT (TO REMOVE FINES ACCUMULATED DURING CONSTRUCTION).
26. ANY CATCH BASINS COLLECTING RUNOFF FROM THE SITE, WHETHER THEY ARE ON OR OFF THE SITE, SHALL HAVE ADEQUATE PROTECTION FROM SEDIMENT. CATCH BASINS DIRECTLY DOWNSTREAM OF THE CONSTRUCTION ENTRANCE OR ANY OTHER CATCH BASIN AS DETERMINED BY THE CITY INSPECTOR SHALL BE PROTECTED WITH A "STORM DRAIN PROTECTION INSERT" OR EQUIVALENT.
27. IF A SEDIMENT POND IS NOT PROVIDED, A BAKER TANK OR OTHER TEMPORARY GROUND AND/OR SURFACE WATER STORAGE TANK MAY BE REQUIRED DURING CONSTRUCTION, DEPENDING ON WEATHER CONDITIONS.
28. DO NOT FLUSH CONCRETE BY-PRODUCTS OR TRUCKS WASH OR INTO THE STORM DRAINAGE SYSTEM IF EXPOSED AGGREGATE IS FLUSHED INTO THE STORM SYSTEM, IT COULD MEAN RE-CLEANING THE ENTIRE DOWNSTREAM STORM SYSTEM OR POSSIBLY RE-DOING THE STORM LINE.
29. CONSTRUCTION DRAINING DISCHARGES SHALL ALWAYS MEET WATER QUALITY GUIDELINES LISTED IN COK POLICY E-1. SPECIFICALLY, DISCHARGES TO THE PUBLIC STORMWATER DRAINAGE SYSTEM MUST BE BELOW 250TU, AND NOT CONSIDERED A PROHIBITED DISCHARGE (PER WAC 15.52.020). TEMPORARY DISCHARGES TO SANITARY SEWER REQUIRE PRIOR AUTHORIZATION AND PERMIT FROM KING COUNTY INDUSTRIAL WASTE PROGRAM (206-263-3000) AND NOTIFICATION TO THE PUBLIC WORKS CONSTRUCTION INSPECTOR.



Drawing: P:\2013\14-178 Redmond Marina Express\Drawings\Permitting\13178P-ER-01.dwg Pinned: July 10, 2015 1:11:11 PM 1:13:26pm

NO.	DATE	BY	REVISIONS
1	5-11-15	MMW	ISSUED FOR PERMIT COMMENTS DATED 2-11-15
2	6-10-15	MMW	ISSUED FOR PERMIT COMMENTS DATED 2-11-15

Engineering
Structural
Planning
Survey
Civil
Mechanical
Electrical
P.E. # 00000000

LDG
LIDSON GROUP

10000 N. 100th St., Suite 100
Redmond, WA 98073
www.lidson.com

PULTE GROUP
MARINWOOD
TESS NOTES AND DETAILS



JOB NUMBER: 13-178
DRAWING NAME: 13178P-ER-01
DESIGNER: MMW
CHECKER: KCS
DATE: 2-06-15
SCALE: AS NOTED
JURISDICTION: KIRKLAND

ER-03
SHEET 7 OF 35

Call 2 Business Days Before You Dig
811 or 1-800-424-5555
Utilize Underground Location Center

NE 1/4, NW 1/4, SEC 27, TWN 26 N, RGE 5 E, W.M., KING COUNTY, WASHINGTON

FIGURE D.3.5.B SEDIMENT POND PLAN VIEW

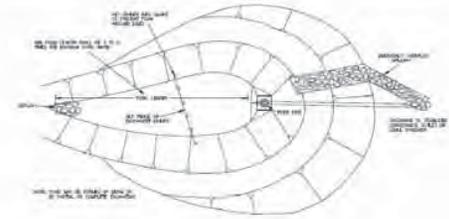


FIGURE D.3.5.C SEDIMENT POND CROSS SECTION

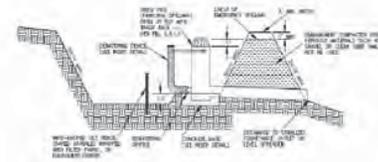
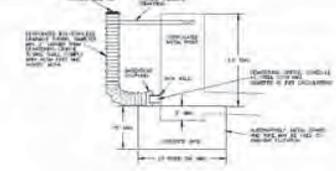


FIGURE D.3.5.D SEDIMENT POND RISER DETAIL



NO.	DATE	REVISIONS
1	5-21-15	REVISED PER CITY COMMENTS DATED 2-17-15
2	6-10-15	MINOR GRADING REVISIONS

LDC
 Engineering
 Structural
 Planning
 Survey
 THE CIVIL ENGINEERING GROUP
 1400 1st Ave. S. Ste. 100
 Woodlands, WA 98093
 Ph: 425.882.8888
 www.LDCgroup.com

**PULTE GROUP
 MARINWOOD**
 TESC NOTES AND DETAILS

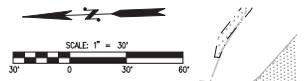
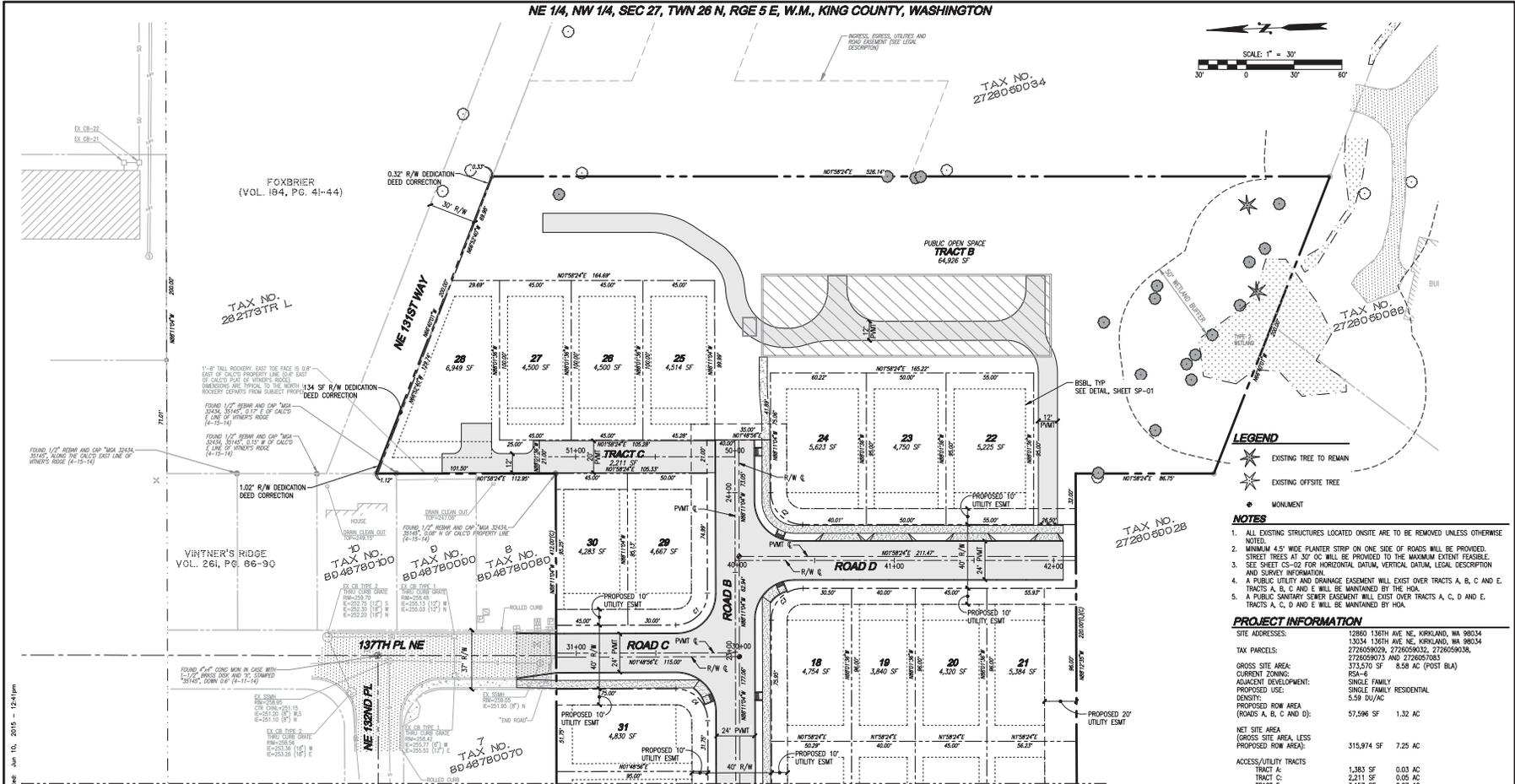


JOB NUMBER: 13-176
 DRAWING NAME: 13176P-ER-01
 DESIGNER: MWM
 DRAFTING BY: RCB
 DATE: 2-06-15
 SCALE: AS NOTED
 JURISDICTION: KINGLAND

ER-04
 SHEET 8 OF 35 24

Drawing: P:\2015\13-176 Woodland Marine Layout\Drawings\Plan\13176P-ER-01.dwg Plotfile: sub_10_2015_1328m

NE 1/4, NW 1/4, SEC 27, T26N, R5E, W.M., KING COUNTY, WASHINGTON



LEGEND

- EXISTING TREE TO REMAIN
- EXISTING OFFSITE TREE
- MONUMENT

NOTES

1. ALL EXISTING STRUCTURES LOCATED ONSITE ARE TO BE REMOVED UNLESS OTHERWISE NOTED.
2. MINIMUM 4.5' WIDE PLANTER STRIP ON ONE SIDE OF ROADS WILL BE PROVIDED.
3. STREET TREES AT 30' OC WILL BE PROVIDED TO THE MAXIMUM EXTENT FEASIBLE.
4. SEE SHEET CS-02 FOR HORIZONTAL DATUM, VERTICAL DATUM, LEGAL DESCRIPTION AND SURVEY INFORMATION.
5. A PUBLIC UTILITY AND DRAINAGE EASEMENT WILL EXIST OVER TRACTS A, B, C AND E. TRACTS A, B, C AND E WILL BE MAINTAINED BY HOA.
6. A PUBLIC SANITARY SEWER EASEMENT WILL EXIST OVER TRACTS A, C, D AND E. TRACTS A, C, D AND E WILL BE MAINTAINED BY HOA.

PROJECT INFORMATION

SITE ADDRESS: 12860 136TH AVE NE, KIRKLAND, WA 98034
13034 136TH AVE NE, KIRKLAND, WA 98034
272609028, 272609033, 272609034, 272609073 AND 272607083

TAX PARCELS: 373,570 SF 8.58 AC (POST BUA)

GROSS SITE AREA: 373,570 SF 8.58 AC (POST BUA)

CURRENT ZONING: RSA-6

ADVANCED DEVELOPMENT: SINGLE FAMILY RESIDENTIAL

PROPOSED USE: SINGLE FAMILY RESIDENTIAL

DENSITY: 5.59 DU/AC

PROPOSED ROW AREA (ROADS A, B, C AND D): 57,596 SF 1.32 AC

NET SITE AREA: 315,974 SF 7.25 AC

GROSS SITE AREA, LESS PROPOSED ROW AREA: 315,974 SF 7.25 AC

ACCESS/UTILITY TRACTS: 1,383 SF 0.03 AC
TRACT A: 2,211 SF 0.05 AC
TRACT E: 3,157 SF 0.07 AC

TOTAL LOT AREA: 236,931 SF 5.44 AC

TOTAL LOTS: 48

SMALLEST LOT SIZE: 4,126 SF (LOT 1)

AVERAGE LOT SIZE: 4,938 SF

SETBACKS: 20' FRONT (DRIVEWAY), 10' FRONT (LIVING AREA), 5' SIDE, 10' REAR

WATER: WOODVILLE WATER DISTRICT (425) 487-4100

SEWER: NORTHSIDE UTILITY DISTRICT (425) 398-4400

SCHOOL DISTRICT: LAKE WASHINGTON (425) 836-1200

FIRE DISTRICT: CITY OF KIRKLAND (425) 587-3600

TELEPHONE SERVICE PROVIDER: FRONTIER (877) 463-8188

POWER PROVIDER: PUGET SOUND ENERGY (888) 225-5773

CABLE TV PROVIDER: COMCAST (800) 534-6489

CITY OF KIRKLAND FIRE INSPECTIONS: (425) 587-3600

IMPERVIOUS COVER

TOTAL NEW IMPERVIOUS COVER: 5.59 AC
TOTAL PAVES: 2.32 AC
IMPERVIOUS COVER (OFFSITE ROW): 0.28 AC
IMPERVIOUS COVER (ONSITE): 5.33 AC
DISTURBED AREA: 8.52 AC
EXISTING CONDITIONS IMPERVIOUS COVER: <35%

SURVEY DISCLAIMER

TOPOGRAPHIC SURVEY INFORMATION ON TAX LOTS 272609028, 272609033, 272609034, 272609073 AND 272607083 HAS BEEN PERFORMED BY LDC, INC. IN ACCORDANCE WITH RCW 18.01 AND WASHINGTON MODERN SURVEYING ACT. ANY CONVEYANCE TO THIS SITE SHALL BE SUBJECT TO THE RESULTS OF THE SURVEY. THE SURVEY SHALL BE SHOWN ON THE PLANS AND WHAT IS NOTED IN THE FIELD SHOULD BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER.

TOPOGRAPHIC SURVEY INFORMATION ON TAX LOTS 272609033, 272609034, 272609073 AND 272607083 HAS BEEN PERFORMED BY LDC, INC. IN ACCORDANCE WITH RCW 18.01 AND WASHINGTON MODERN SURVEYING ACT. ANY CONVEYANCE TO THIS SITE SHALL BE SUBJECT TO THE RESULTS OF THE SURVEY. THE SURVEY SHALL BE SHOWN ON THE PLANS AND WHAT IS NOTED IN THE FIELD SHOULD BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER.

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811 or 1-800-424-5555
Utility Underground Location Center

CONTACT LIST

PROPERTY OWNERS:
BILL MOORE
12860 136TH AVE NE
KIRKLAND, WASHINGTON 98034

PATRICIA LANZKY
3332 198TH PL SE
SUMMERS, WASHINGTON 98075
PHONE: (425) 392-9834

APPLICANT:
CENTURY HOMES
3535 FACTORY BLVD SE SUITE 110
BELLEVUE, WASHINGTON 98006
CONTACT: MIKE BEHN
EMAIL: mike.behn@pulteap.com

ENGINEER:
LDC, INC.
14201 NE 200TH ST #100
WOODVILLE, WASHINGTON 98072
PHONE: (425) 806-1869
FAX: (425) 482-2893
EMAIL: miv@lwd.com

GEOTECH:
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12525 NE 65TH ST
KIRKLAND, WA 98034
CONTACT: TONY SHOFFNER, PE
PHONE: (425) 821-7777
EMAIL: tshoffner@terra-associates.com

LANDSCAPE ARCHITECT:
WESMAN DESIGN GROUP, INC.
2329 E MADISON ST
SEATTLE, WA 98112
CONTACT: NICK MCGAN
PHONE: (206) 322-1732
EMAIL: nick@wmg.com

SURVEYOR:
LDC, INC.
14201 NE 200TH ST #100
WOODVILLE, WASHINGTON 98072
CONTACT: MIKE BEHN
PHONE: (425) 806-1869
FAX: (425) 482-2893
EMAIL: miv@lwd.com

SHORTLIST:
SHOFFNER CONSULTING
1801 4TH AVE #201
BOTHELL, WA 98021
CONTACT: TONY SHOFFNER
PHONE: (206) 755-2871
FAX: (206) 755-2871
EMAIL: tony@shoffner.com

SURVEY MONUMENT TABLE

NOTE: INSTALL SURVEY MONUMENTS PER CITY OF KIRKLAND DETAIL CS-02. SEE DETAIL SHEET DT-G1. STATIONING BASED OFF OF PAVEMENT CENTERLINE.

STATIONING	ROAD/INTERSECTION
9+930.00/95+02.50	ROAD A/ 136TH AVE NE
12+70.17, 250' RT	ROAD A
13+52.47, 250' RT	ROAD A
14+153.83, 250' RT	ROAD A
15+12.08, 250' RT	ROAD A
16+45.46, 250' RT	ROAD A
17+18.94/21+19.99	ROAD A/ROAD B
22+97.06/29+97.50	ROAD B/ROAD C
23+58.99/41+02.49	ROAD B/ROAD D

TRACT TABLE

TRACT	DESIGNATION	AREA (SF)
A <td>ACCESS & UTILITY</td> <td>1,383</td>	ACCESS & UTILITY	1,383
B <td>OPEN SPACE</td> <td>64,926</td>	OPEN SPACE	64,926
C <td>ACCESS & UTILITY</td> <td>2,211</td>	ACCESS & UTILITY	2,211
D <td>OPEN SPACE</td> <td>7,431</td>	OPEN SPACE	7,431
E <td>ACCESS & UTILITY</td> <td>3,157</td>	ACCESS & UTILITY	3,157

REFERENCE LINE

SEE SHEET SP-01

CURB CUT TABLE

LOT	STATION	WIDTH (FT)	LOT	STATION	WIDTH (FT)	LOT	STATION	WIDTH (FT)
1	10+73	20.0	22	41+48	20.0	43-46	11+80	20.0
2	11+43	19.0	23	40+98	20.0	47	11+49	20.0
3	11+48	19.0	24	40+48	20.0	48	10+74	20.0
4	11+83	19.0	25-28	24+23	20.0	TRACT B	41+98	12.0
5	12+38	19.0	29	30+53	19.0	ADA RAMP	49+43.01, 22.50' RT	4.5
6-9	12+99	68.0	30	30+98	19.0	ADA RAMP	50+41.50, 22.68' RT	4.5
10	13+49	19.0	31	21+40	20.0	ADA RAMP	15+29.62, 22.50' RT	4.5
11	13+83	19.0	32	21+85	20.0	ADA RAMP	15+29.62, 22.50' LT	5.0
12	14+41	19.0	33	22+50	20.0	ADA RAMP	16+83.85, 13.94' LT	4.5
13	14+74	20.0	34	21+05	20.0	ADA RAMP	16+83.85, 13.94' RT	4.5
14	15+54	19.0	35	20+40	20.0	ADA RAMP	22+72.24, 13.90' LT	4.5
15	15+95	19.0	36	20+15	20.0	ADA RAMP	22+72.24, 13.90' RT	4.5
16	16+25	19.0	37	18+59	20.0	ADA RAMP	24+25.54, 13.90' RT	4.5
17	16+43	19.0	38	16+29	20.0	ADA RAMP	40+27.33, 13.90' LT	4.5
18	40+58	20.0	39	15+81	20.0			
19	40+87	19.0	40	12+65	19.0			
20	41+28	20.0	41	12+20	19.0			
21	41+73	19.0	42	11+75	20.0			

REVISIONS

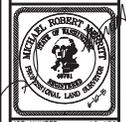
NO.	DATE	DESCRIPTION
1	5-21-15	REVISED PER CITY COMMENTS DATED 2-17-15
2	6-10-15	MINUTE GRADING REVISIONS

Engineering
Structural
Planning
Surveying

LDC
THE CIVIL ENGINEERING GROUP

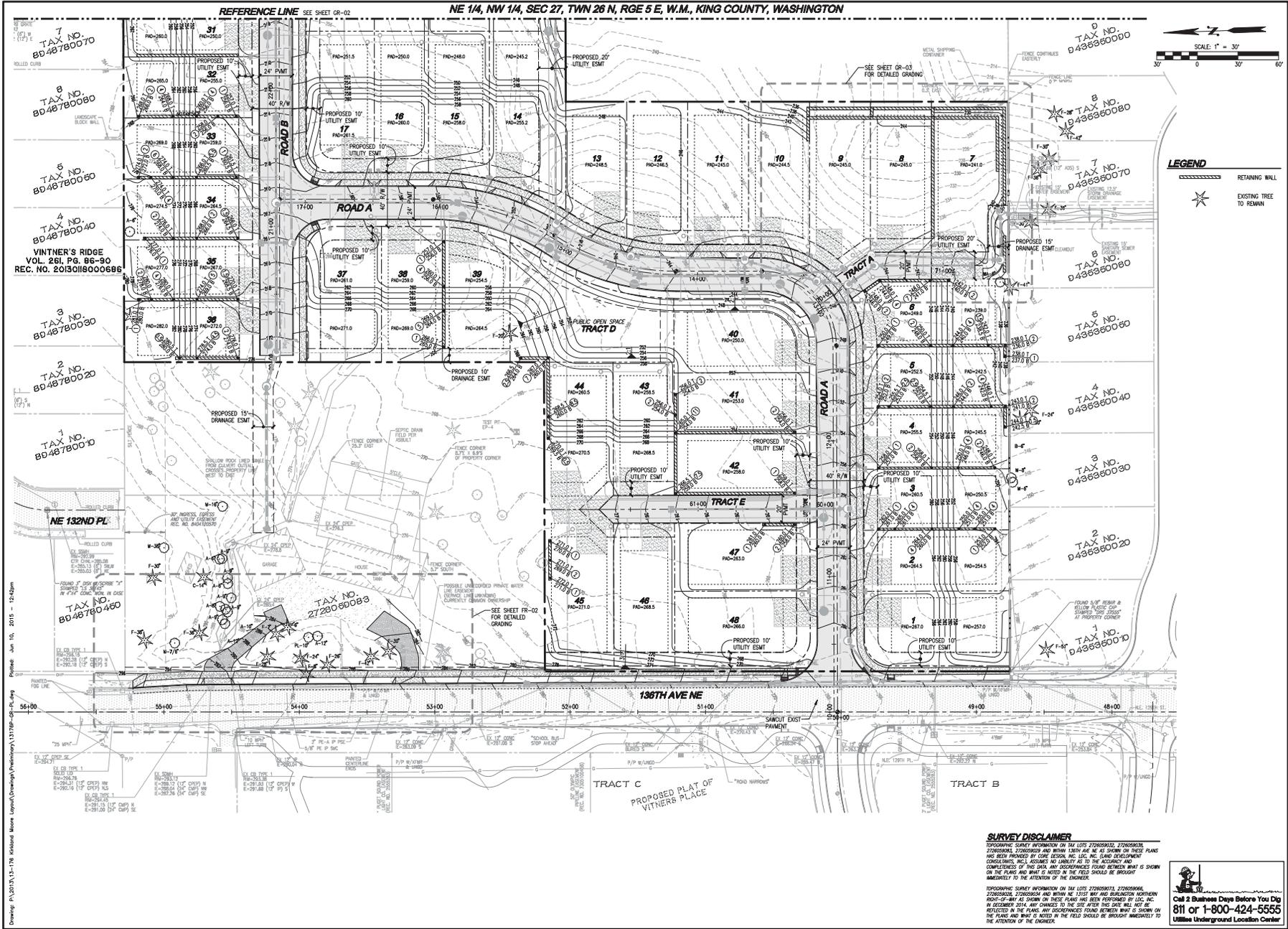
14201 NE 200TH ST #100
WOODVILLE, WA 98072
PHONE: (425) 806-1869
FAX: (425) 482-2893
WWW.LDCINC.COM

PULTE GROUP
MARINWOOD
PRELIMINARY PUD SITE PLAN



JOB NUMBER: 13-178
DRAWING NAME: SP-02
DESIGNER: MEV
CHECKING BY: RCB
DATE: 2-06-15
SCALE: 1"=30'
LOCATION: KIRKLAND

SP-02
SHEET 10 OF 35



NO.	DATE	REVISIONS
1	5-21-15	REVISED PER CITY COMMENTS DATED 2-17-15
2	6-10-15	MINOR GRADING REVISIONS

LDC
 Engineering
 Structural
 Planning
 Survey
 THE CIVIL ENGINEERING GROUP
 1000 N. 10TH ST., SUITE 200
 TUMACACI, WA 98563
 WWW.LDCGROUP.COM

PULTE GROUP
MARINWOOD
 PRELIMINARY GRADING PLAN



JOB NUMBER:	13-170
DRAWING NAME:	1317NP-GR-PL
DESIGNER:	MMW
CHECKED BY:	KCS
DATE:	2-06-15
SCALE:	1"=30'
CONTRACTOR:	KIRKLAND

GR-01
 SHEET 11 OF 35

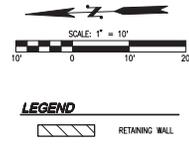
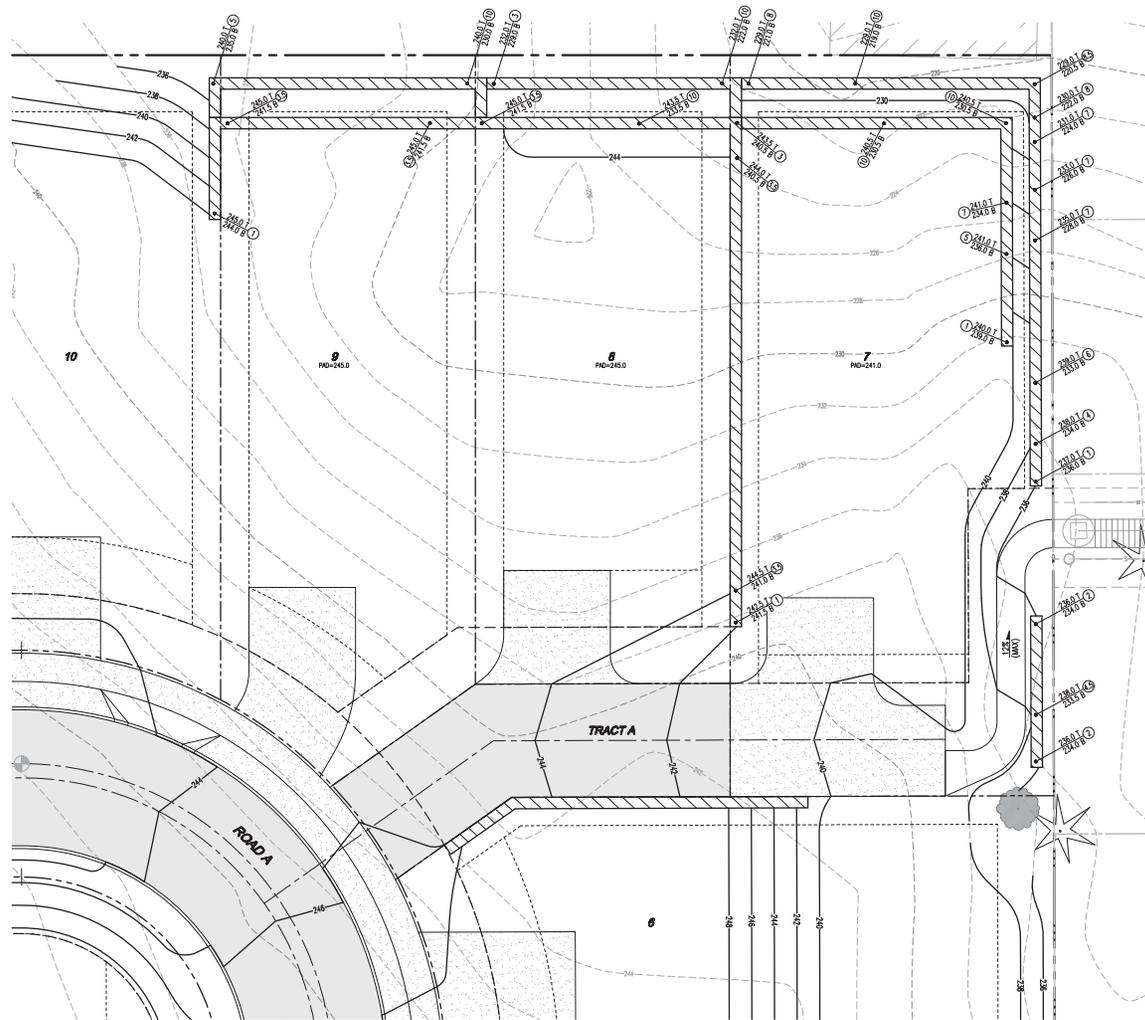
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811 or 1-800-424-5535
 Utilize Underground Location Center

Drawing: P:\2015\13-170 Preliminary Grading\Drawings\1317NP-GR-PL.dwg
 Date: July 10, 2015 10:52:45am
 Plot Size: 11.00 x 17.00
 Scale: 1"=30'
 Title: PRELIMINARY GRADING PLAN
 Author: MMW
 Date Plotted: 7/10/2015 10:52:45 AM
 Plot Device: HP DesignJet 500 Series
 Plot Style: LDC.ctb
 Plot Path: \\LDCGROUP\plotters\HP DesignJet 500 Series\HP DesignJet 500 Series.dwt
 User: mmw
 Job Number: 13-170
 Drawing Name: 1317NP-GR-PL

NE 1/4, NW 1/4, SEC 27, TWN 26 N, RGE 5 E, W.M., KING COUNTY, WASHINGTON



Drawing: P:\2013\14-178 Redmond_Marion_Lodge\Drawings\Preliminary\13176P-GR-03.dwg Plotted: Jul 15, 2015 12:43pm

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REVISIONS	
NO.	DATE
1	5-21-15
2	6-10-15

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 Engineering
 Structural
 Planning
 Survey
 THE CIVIL ENGINEERING GROUP
 1405 16th AVE. S.E.
 WOODLAND, WA 98096
 PH: 425.882.8888
 WWW.LDCORP.COM

**PULTE GROUP
 MARINWOOD**
 PRELIMINARY DETAILED GRADING



JOB NUMBER:	13-176
DRAWING NAME:	13176P-GR-03
DESIGNER:	MMW
DRAWING BY:	KCS
DATE:	2-06-15
SCALE:	1"=10'
AUTHORITY:	KIRKLAND

GR-03