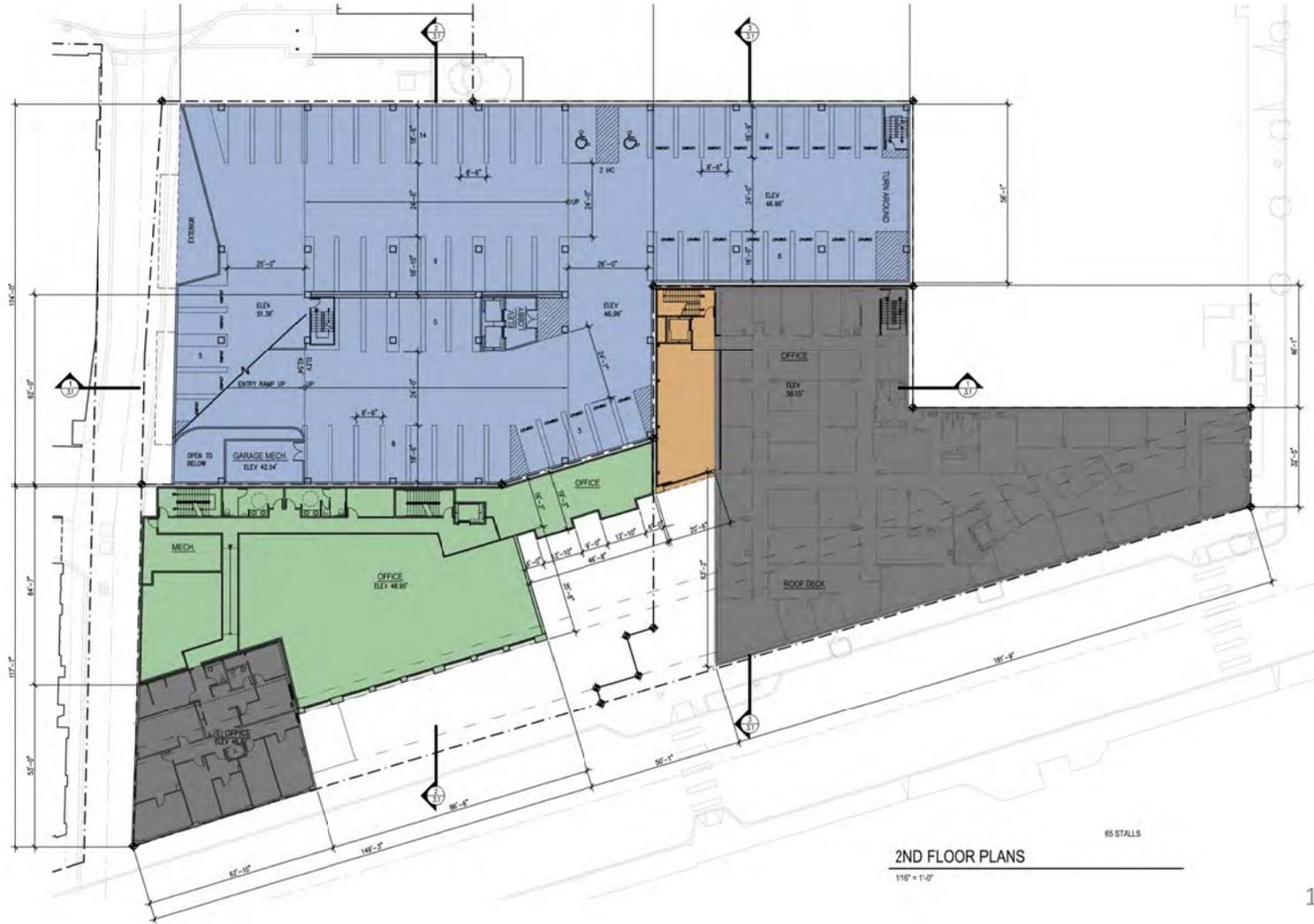


Lake Street Place

Kirkland, WA

2nd Floor Plan



Lake Street Place

Kirkland, WA

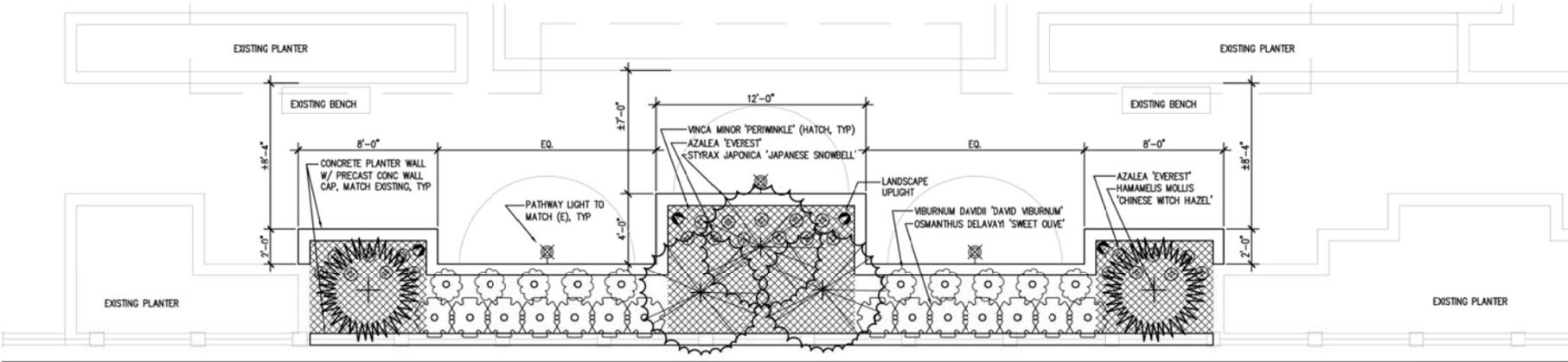
3rd Floor Plan



Lake Street Place

Kirkland, WA

Portsmouth public walkway - Landscape



2 LANDSCAPE PLAN - PORTSMOUTH IMPROVEMENTS

1/4" = 1'-0"



Lake Street Place

Kirkland, WA

Southeast Elevation - Option 1



6" Hardie plank rainscreen with 2" gaps – see mock-up

Lake Street Place

Kirkland, WA

Southeast Elevation - Option 2



4'x8' Hardie panel rainscreen with 2" gaps

Lake Street Place

Kirkland, WA

Southeast Elevation - Option 3



12"x24" tile infill – see mock-up

Lake Street Place

Kirkland, WA

South Elevation – All options



Option 1

Option 2

Option 3

Lake Street Place

Kirkland, WA

Overall East Elevation



Lake Street Place

Kirkland, WA

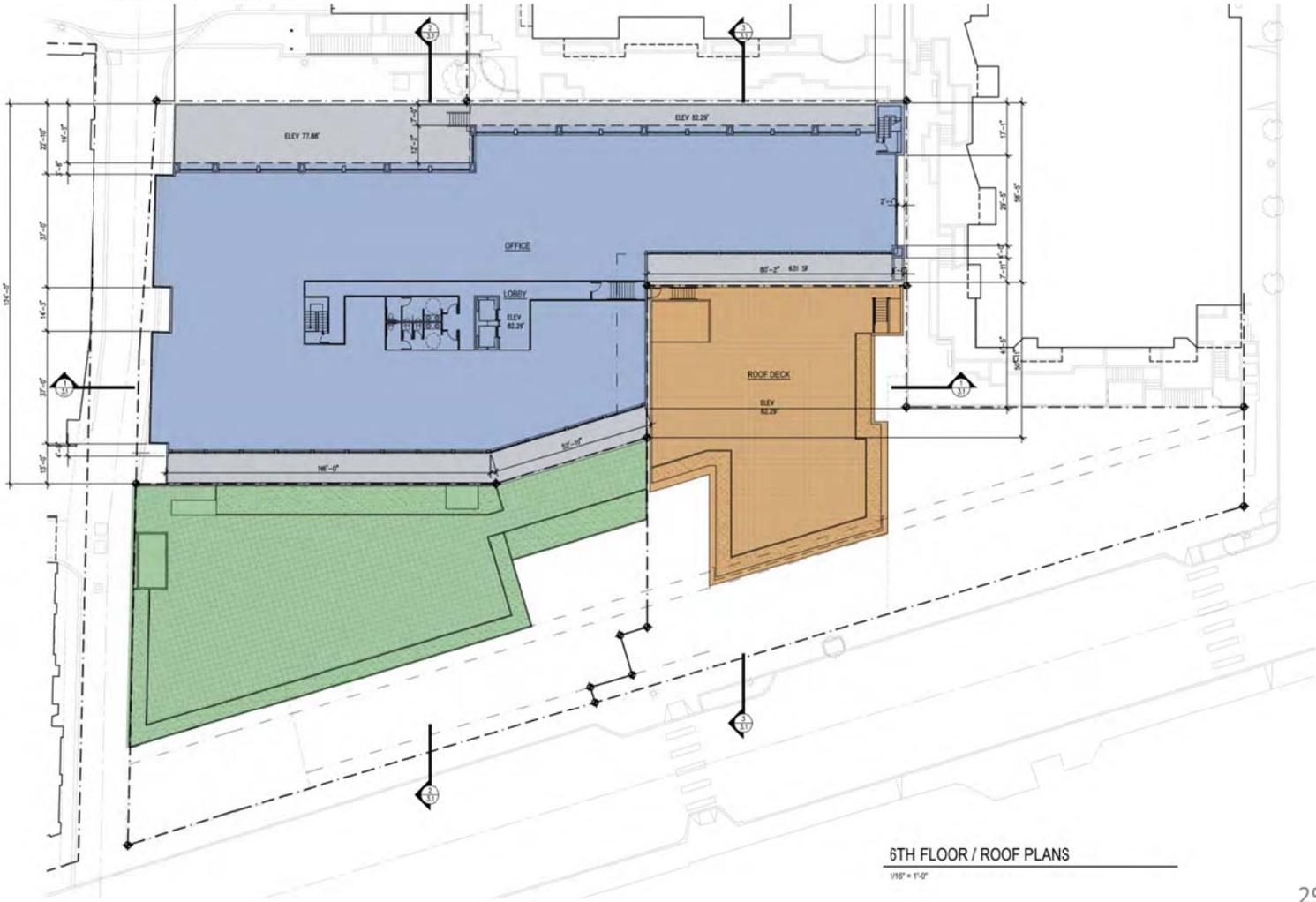
4th Floor Plan



Lake Street Place

Kirkland, WA

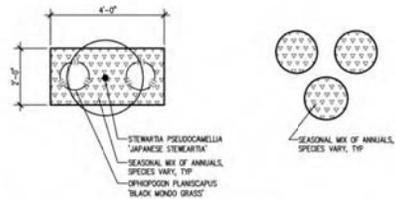
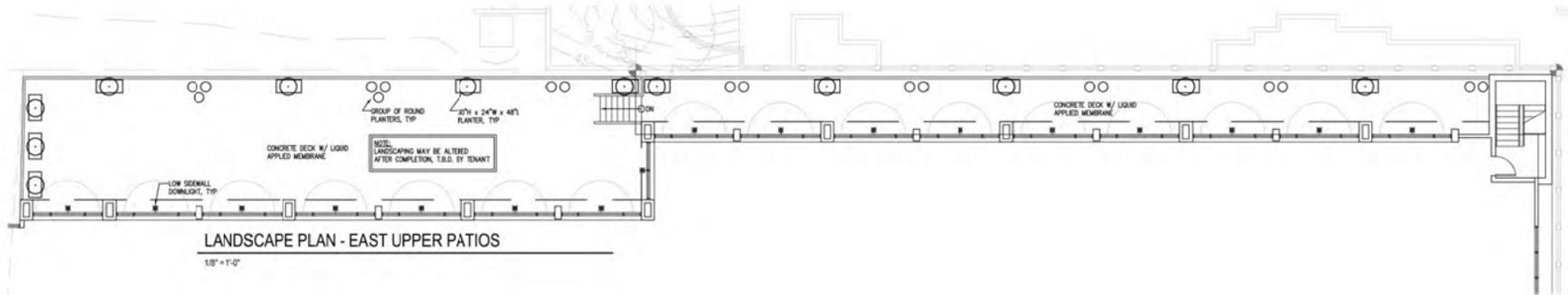
Upper Floor Plan



Lake Street Place

Kirkland, WA

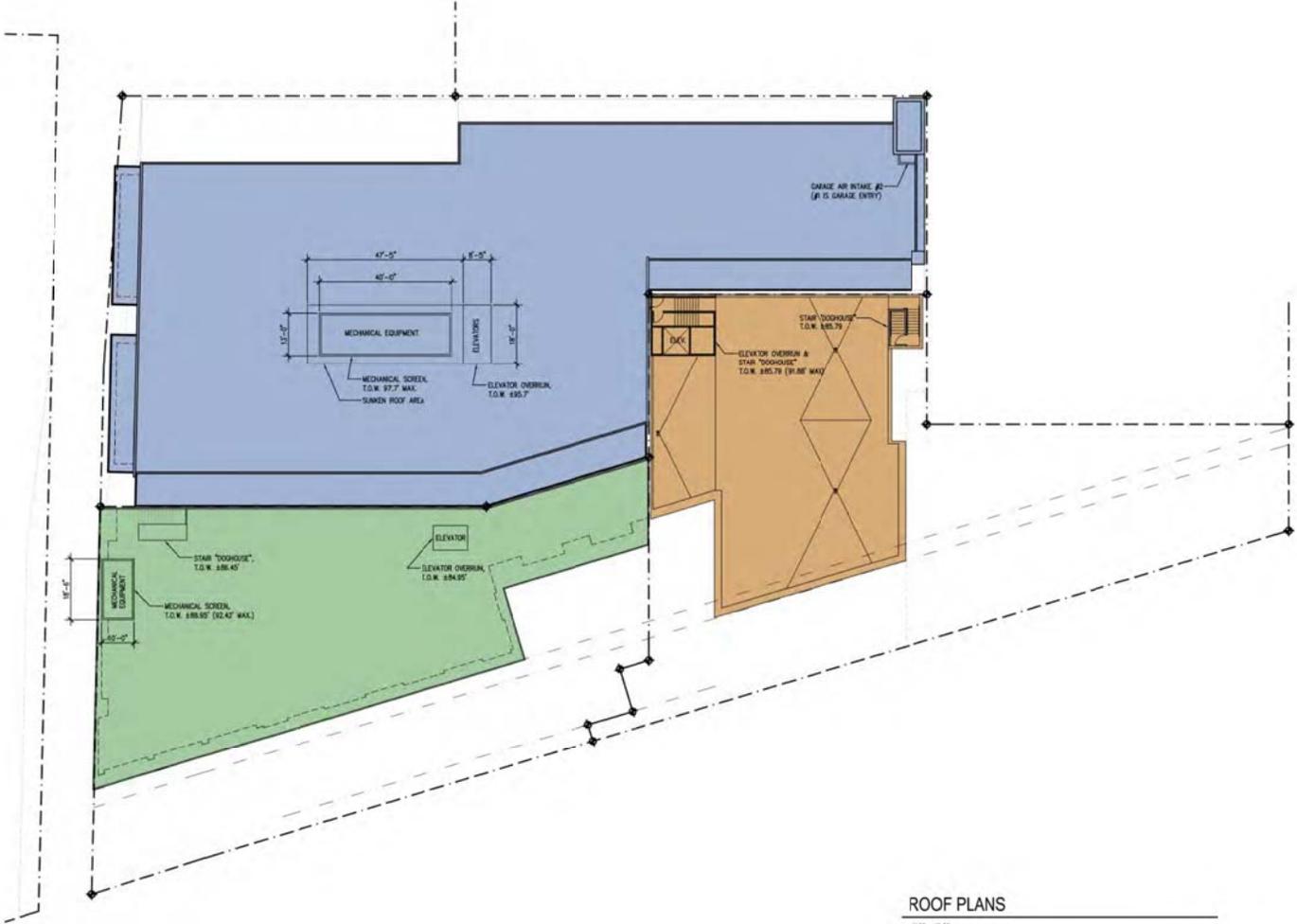
Upper Floor East Patio - Landscape



Lake Street Place

Kirkland, WA

Roof Plan



ROOF PLANS

1/8" = 1'-0"

Lake Street Place

Signage

Kirkland, WA

- Signs & signage are governed by KZC Chapter 100 and require separate sign permit(s).
- Signs are limited in installation type, number and total area.
- Applicant anticipates applying for Master Sign Plan.



Lake Street Place

Signage

Kirkland, WA

- Signs & signage are governed by KZC Chapter 100 and require separate sign permit(s).
- Signs are limited in installation type, number and total area.
- Applicant anticipates applying for Master Sign Plan.



Lake Street Place

Kirkland, WA

Facts

2008 DRB & City Council approved Lake Street Mixed-Use Project

- Owner had building permit and financing
- 224,500 sf Parking Garage with 522 parking stalls
- 45,000 sf Restaurant / Retail use
- 120,000 sf Office use
- Plus auxiliary support spaces
- **Total 417,000sf**
- (190,000 sf leasable)

Current Lake Street Place Proposal

- 83,800 sf Parking Garage with 252 parking stalls
- 26,600 sf Existing building area
- 79,150 sf New building area
- **Total 189,550 sf**
- (105,000 sf leasable)

Other Large Downtown Properties

- | | |
|----------------------------------|------------|
| • Lake Street Place (proposed) – | 105,000 sf |
| • Bank of America/The 101 – | 83,525 sf |
| • Merrill Gardens – | 136,743 sf |
| • Portsmouth Condominiums – | 204,546 sf |
| • Heathman Hotel – | 73,064 sf |
| • Kirkland Central – | 127,099 sf |
| • (areas do not include parking) | |



*All numbers approximate

Lake Street Place

Kirkland, WA

Current Proposal vs 2008 Proposal



Lake Street Place

Kirkland, WA

Current Proposal vs 2008 Proposal



Lake Street Place

Kirkland, WA

Current Proposal vs 2008 Proposal



Lake Street Place

Kirkland, WA

Current Proposal vs 2008 Proposal



Lake Street Place

Kirkland, WA

Design Response Conference



McLeod Development



DEVELOPMENT STANDARDS. DRV12-00921.

PLANNING, FIRE, AND PUBLIC WORKS (No comments from Building Dept.)

PLANNING DEPARTMENT - ZONING CODE STANDARDS

Lot Line Adjustment - Prior to submitting the building permit application for the project, the applicant shall submit a lot line adjustment application that matches the revised lot line configuration in Attachment 2.

5.10.920 Subject Property. The entire lot, series of lots or parcels on which a development or use is or will be located and that is otherwise subject to the provision of this code.

92.35 Prohibited Materials In Design Districts. If in a design district the following building materials are prohibited or limited in use: mirrored glass or reflective materials, corrugated fiberglass, chain link fencing, metal siding, concrete block, backlit awnings. Water spigots are required along building facades along sidewalks for cleaning and plant watering. Commercial buildings with more than one tenant shall install a cornerstone or plaque.

95.51.2.a Required Landscaping. All required landscaping shall be maintained throughout the life of the development. The applicant shall submit an agreement to the city to be recorded with King County which will perpetually maintain required landscaping. Prior to issuance of a certificate of occupancy, the proponent shall provide a final as-built landscape plan and an agreement to maintain and replace all landscaping that is required by the City.

95.44 Parking Area Landscape Islands. Landscape islands must be included in parking areas as provided in this section.

95.50 Tree Installation Standards. All supplemental trees to be planted shall conform to the Kirkland Plant List. All installation standards shall conform to Kirkland Zoning Code Section 95.45.

95.52 Prohibited Vegetation. Plants listed as prohibited in the Kirkland Plant List shall not be planted in the City.

100.25 Sign Permits. Separate sign permit(s) are required. In JBD and CBD cabinet signs are prohibited.

105.18 Pedestrian Walkways. All uses, except single family dwelling units and duplex structures, must provide pedestrian walkways designed to minimize walking distances from the building entrance to the right of way and adjacent transit facilities, pedestrian connections to adjacent properties, between primary entrances of all uses on the subject property, through parking lots and parking garages to building entrances. Easements may be required. In design districts through block pathways or other pedestrian improvements may be required. See also Plates 34 in Chapter 180.

105.32 Bicycle Parking. All uses, except single family dwelling units and duplex structures with 6 or more vehicle parking spaces must provide covered bicycle parking within 50 feet of an entrance to the building at a ratio of one bicycle space for each twelve motor vehicle parking spaces. Check with Planner to determine the number of bike racks required and location.

105.18 Entrance Walkways. All uses, except single family dwellings and duplex structures, must provide pedestrian walkways between the principal entrances to all businesses, uses, and/or buildings on the subject property.

105.18 Overhead Weather Protection. All uses, except single family dwellings, multifamily, and industrial uses, must provide overhead weather protection along any portion of the building, which is adjacent to a pedestrian walkway.

105.18.2 Walkway Standards. Pedestrian walkways must be at least 5' wide; must be distinguishable from traffic lanes by pavement texture or elevation; must have adequate lighting for security and safety. Lights must be non-glare and mounted no more than 20' above

the ground.

105.18.2 Overhead Weather Protection Standards. Overhead weather protection must be provided along any portion of the building adjacent to a pedestrian walkway or sidewalk; over the primary exterior entrance to all buildings. May be composed of awnings, marquees, canopies or building overhangs; must cover at least 5' of the width of the adjacent walkway; and must be at least 8 feet above the ground immediately below it. In design districts, translucent awnings may not be backlit; see section for the percent of property frontage or building facade.

105.19 Public Pedestrian Walkways. The height of solid (blocking visibility) fences along pedestrian pathways that are not directly adjacent a public or private street right-of-way shall be limited to 42 inches unless otherwise approved by the Planning or Public Works Directors. All new building structures shall be setback a minimum of five feet from any pedestrian access right-of-way, tract, or easement that is not directly adjacent a public or private street right-of-way. If in a design district, see section and Plate 34 for through block pathways standards.

105.58 Parking Lot Locations in Design Districts. See section for standards unique to each district.

105.65 Compact Parking Stalls. Up to 50% of the number of parking spaces may be designated for compact cars.

105.60.2 Parking Area Driveways. Driveways which are not driving aisles within a parking area shall be a minimum width of 20 feet.

105.60.3 Wheelstops. Parking areas must be constructed so that car wheels are kept at least 2' from pedestrian and landscape areas.

105.77 Parking Area Curbing. All parking areas and driveways, for uses other than detached dwelling units must be surrounded by a 6" high vertical concrete curb.

110.52 Sidewalks and Public Improvements in Design Districts. See section, Plate 34 and public works approved plans manual for sidewalk standards and decorative lighting design applicable to design districts.

110.60.5 Street Trees. All trees planted in the right-of-way must be approved as to species by the City. All trees must be two inches in diameter at the time of planting as measured using the standards of the American Association of Nurserymen with a canopy that starts at least six feet above finished grade and does not obstruct any adjoining sidewalks or driving lanes.

115.25 Work Hours. It is a violation of this Code to engage in any development activity or to operate any heavy equipment before 7:00 am. or after 8:00 pm Monday through Friday, or before 9:00 am or after 6:00 pm Saturday. No development activity or use of heavy equipment may occur on Sundays or on the following holidays: New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving, and Christmas Day. The applicant will be required to comply with these regulations and any violation of this section will result in enforcement action, unless written permission is obtained from the Planning official.

115.45 Garbage and Recycling Placement and Screening. For uses other than detached dwelling units, duplexes, moorage facilities, parks, and construction sites, all garbage receptacles and dumpsters must be setback from property lines, located outside landscape buffers, and screened from view from the street, adjacent properties and pedestrian walkways or parks by a solid sight-obscuring enclosure.

115.47 Service Bay Locations. All uses, except single family dwellings and multifamily structures, must locate service bays away from pedestrian areas. If not feasible must screen from view.

115.75.2 Fill Material. All materials used as fill must be non-dissolving and non-decomposing. Fill material must not contain organic or inorganic material that would be detrimental to the water quality, or existing habitat, or create any other significant adverse impacts to the environment.

115.90 Calculating Lot Coverage. The total area of all structures and pavement and any other impervious surface on the subject property is limited to a maximum percentage of total lot area. See the Use Zone charts for maximum lot coverage percentages allowed. Section 115.90 lists exceptions to total lot coverage calculations See Section 115.90 for a more detailed explanation of these exceptions.

115.95 Noise Standards. The City of Kirkland adopts by reference the Maximum Environmental Noise Levels established pursuant to the Noise Control Act of 1974, RCW 70.107. See Chapter 173-60 WAC. Any noise, which injures, endangers the comfort, repose, health or safety of persons, or in any way renders persons insecure in life, or in the use of property is a violation of this Code.

115.115.3.p HVAC and Similar Equipment: These may be placed no closer than five feet of a side or rear property line, and shall not be located within a required front yard; provided, that HVAC equipment may be located in a storage shed approved pursuant to subsection (3)(m) of this section or a garage approved pursuant to subsection (3)(o)(2) of this section. All HVAC equipment shall be baffled, shielded, enclosed, or placed on the property in a manner that will ensure compliance with the noise provisions of KZC 115.95.

115.115.d Driveway Setbacks. Parking areas and driveways for uses other than detached dwelling units, attached and stacked dwelling units in residential zones, or schools and day-cares with more than 12 students, may be located within required setback yards, but, except for the portion of any driveway which connects with an adjacent street, not closer than 5 feet to any property line.

115.120 Rooftop Appurtenance Screening. New or replacement appurtenances on existing buildings shall be surrounded by a solid screening enclosure equal in height to the appurtenance. New construction shall screen rooftop appurtenances by incorporating them in to the roof form.

115.135 Sight Distance at Intersection. Areas around all intersections, including the entrance of driveways onto streets, must be kept clear of sight obstruction as described in this section.

Prior to occupancy:

95.51.2.a Required Landscaping. All required landscaping shall be maintained throughout the life of the development. The applicant shall submit an agreement to the city to be recorded with King County which will perpetually maintain required landscaping. Prior to issuance of a certificate of occupancy, the proponent shall provide a final as-built landscape plan and an agreement to maintain and replace all landscaping that is required by the City

110.60.5 Landscape Maintenance Agreement. The owner of the subject property shall sign a landscape maintenance agreement, in a form acceptable to the City Attorney, to run with the subject property to maintain landscaping within the landscape strip and landscape island portions of the right-of-way. It is a violation to pave or cover the landscape strip with impervious material or to park motor vehicles on this strip.

110.60.6 Mailboxes. Mailboxes shall be installed in the development in a location approved by the Postal Service and the Planning Official. The applicant shall, to the maximum extent possible, group mailboxes for units or uses in the development.

110.75 Bonds. The City may require or permit a bond to ensure compliance with any of the requirements of the Required Public Improvements chapter.

FIRE FLOW

Available fire flow in the area is approximately 4,000 gpm, which is adequate for development. An additional hydrant may be required to provide coverage.

HYDRANTS

One new hydrant is required to be installed in front of the property. It shall be equipped with a 5" Storz fitting.

SPRINKLERS & STANDPIPES

Fire sprinklers and standpipes are required to be installed throughout the building. A separate permit is required from the Fire Department prior to installation. Submit three sets of plans, specifications and calculations for approval. All plans shall be designed and stamped by a person holding a State of Washington Certificate of Competency Level III certification. The system, including the underground supply line, shall be installed by a state licensed sprinkler contractor. REF RCW 18.60 State of Washington.

Note: Per the IFC and IBC, standpipes shall be operational when the progress of construction is not more than 35 feet in height above the lowest level of fire department access. The standpipe shall be extended as construction progresses to within one floor of the highest point of construction having secured decking or flooring.

FIRE ALARM

A fire alarm system is required to be installed throughout the building. A separate permit is required from the Fire Department prior to installation. Submit three sets of plans and specifications for approval. The system shall comply with Washington State Barrier Free requirements regarding installation of visual devices and pull stations. The specific requirements for the system can be found in Kirkland Operating Policy 10.

FIRE EXTINGUISHERS

Portable fire extinguishers are required per Section 906 of the IFC and Kirkland Municipal Code 21.20.105. Minimum rating shall be 2A10BC. Travel distance to a fire extinguisher shall not exceed 75 feet as measured along the route of travel. Extinguishers shall be mounted or in cabinets so that the top of the extinguisher is no more than 5 feet above the finished floor. Note: The exception noted in the IFC in which buildings with quick response sprinklers are not required to provide extinguishers was not adopted by Kirkland.

KEY BOX

A Key box is required (Knox Box). It shall be installed in an approved accessible location no higher than six feet above grade. In most cases it will be located at the front entrance to the building. The box may be purchased on-line at www.knoxbox.com; or by filling out an order form which is available from the Fire Department office. Contact the Fire Prevention Bureau at 425-587-3650 for more information.

BUILDING RADIO COVERAGE

Building Radio Coverage (800 MHz). Effective 1/1/07, all new buildings shall support adequate radio coverage for City emergency services workers, including but not limited to firefighters and police officers.

PUBLIC WORKS DEPARTMENT

You can review your permit status and conditions at www.kirklandpermits.net

PUBLIC WORKS CONDITIONS

Permit #: DRV12-00921

Project Name: Mcleod Lake Street Mixed Use

Project Address: 118 Lake Street South

Date: September 18, 2012

Public Works Staff Contacts

Land Use and Pre-Submittal Process:

Rob Jammerman, Development Engineering Manager

Phone: 425-587-3845 Fax: 425-587-3807

E-mail: rjammer@ci.kirkland.wa.us

Building and Land Surface Modification (Grading) Permit Process:

John Burkhalter, Development Engineering Supervisor

Phone: 425-587-3853 Fax: 425-587-3807

E-mail: jburkhal@ci.kirkland.wa.us

General Conditions:

1. All public improvements associated with this project including street and utility improvements, must meet the City of Kirkland Public Works Pre-Approved Plans and Policies Manual. A Public Works Pre-Approved Plans and Policies manual can be purchased from the Public Works Department, or it may be retrieved from the Public Works Department's page at the City of Kirkland's web site at www.ci.kirkland.wa.us.

2. This project will be subject to Public Works Permit and Connection Fees. It is the applicant's responsibility to contact the Public Works Department by phone or in person to determine the fees. The fees can also be review

- the City of Kirkland web site at www.ci.kirkland.wa.us. The applicant should anticipate the following fees:
- o Water and Sewer connection Fees (paid with the issuance of a Building Permit)
 - o Side Sewer Inspection Fee (paid with the issuance of a Building Permit)
 - o Water Meter Fee (paid with the issuance of a Building Permit)
 - o Right-of-way Fee
 - o Review and Inspection Fee (for utilities and street improvements).
 - o Traffic Impact Fee (paid with the issuance of Building Permit). For additional information, see notes below.

ENCLOSURE ATTACHMENT 1
APPLICANT'S RESPONSIBILITIES
DRV12-00921

3. The applicant must apply for a Concurrency Test Notice. Contact Thang Nguyen, Transportation Engineer, a 425-587-3869 for more information.
4. Building Permits associated with this proposed project will be subject to the traffic impact fees per Chapter 27.04 of the Kirkland Municipal Code. The impact fees shall be paid prior to issuance of the Building Permit(s).
5. Any buildings which have been demolished will receive a Traffic Impact Fee credit if a complete Building Permit is applied for within 5 years of the demolition of the existing building. This credit will be applied to the first Building Permit that is applied for within the project.
6. Provide a construction parking plan prior to issuance of a Building Permit.
7. All civil engineering plans which are submitted in conjunction with a building, grading, or right-of-way permit must conform to the Public Works Policy titled ENGINEERING PLAN REQUIREMENTS. This policy is contained in the Public Works Pre-Approved Plans and Policies manual.
8. All street improvements and underground utility improvements (storm, sewer, and water) must be designed by a Washington State Licensed Engineer; all drawings shall bear the engineers stamp.
9. All plans submitted in conjunction with a building, grading or right-of-way permit must have elevations which are based on the King County datum only (NAVD 88).
10. A completeness check meeting is required prior to submittal of any Building Permit applications.
11. Prior to issuance of any commercial or multifamily Building Permit, the applicant shall provide a plan for garbage storage and pickup. The plan shall be approved by Waste Management and the City.

Sanitary Sewer Conditions:

1. The existing sanitary sewer main within the public right-of-way along the front of the property is adequate.
2. Provide a 6-inch minimum side sewer stub to the building; plumbing code may dictate a larger side sewer line. Parking garage drains shall be connected to the sewer.

Water System Conditions:

1. The existing water main in the public right-of-way along the front of the subject property is adequate.
2. Provide water service to the building sized per the Uniform Plumbing Code. In mixed-use projects each use shall have a separate water meter, i.e., the retail use shall have a separate water meter from commercial office use.
3. All unused existing water services shall be abandoned at the water main.
4. Provide fire hydrants per the Fire Departments requirements.

Surface Water Conditions:

2009 KCSWDM

1. Provide temporary and permanent storm water control per the 2009 King County Surface Water Design Manual and the Kirkland Addendum. See Policies D-2 and D-3 in the PW Pre-Approved Plans for drainage review information, or contact city of Kirkland Surface Water staff at (425) 587-3800 for help in determining drainage review requirements.
2. If this project disturbs greater than one acre, the applicant is responsible to apply for a Construction Stormwater General Permit from Washington State Dept. of Ecology. Specific permit information can be found at the following website: <http://www.ecy.wa.gov/programs/wq/stormwater/construction/>
Among other requirements, this permit requires the applicant to prepare a Storm Water Pollution Prevention Plan

(SWPPP) and identify a Certified Erosion and Sediment Control Lead (CESCL) prior to the start of construction. The CESCL shall attend the City of Kirkland Public Works Department pre-construction meeting with a completed SWPPP.

3. Provide an erosion control plan with Building or Land Surface Modification Permit application. The plan shall be in accordance with the 2009 King County Surface Water Design Manual.
4. Construction drainage control shall be maintained by the developer and will be subject to periodic inspections. During the period from April 1 to October 31, all denuded soils must be covered within 15 days; between November 1 and March 31, all denuded soils must be covered within 12 hours. If an erosion problem already exists on the site, other cover protection and erosion control will be required.
5. All roof and driveway drainage must be tight-lined to the storm drainage system.

Street and Pedestrian Improvement Conditions:

1. The subject property abuts Lake Street (an Arterial) and a public alley. Zoning Code sections 110.10 and 110.25 require the applicant to make half-street improvements in rights-of-way abutting the subject property. Section 110.30-110.50 establishes that this street must be improved with the following:

Lake Street

- A. Remove and replace all of the existing curb and gutter (that has not already been replaced).
- B. Remove the existing sidewalk and install a new 10 ft wide (minimum) sidewalk with street trees in tree grates 30 ft on-center. The section of sidewalk in front of Hectors Restaurant that is less than 10 ft wide can be replaced to the same width (with no street trees) as long as that building remains in place.
- C. Install standard CBD pedestrian lighting 60 ft. on-center (except in front of Hectors)
- D. Install new storm drainage as necessary.
- E. The on-street parking must be maintained.

Alley

- A. The existing alley that runs east/west between this property and the Bank of America property (which has been redeveloped) shall be widened to 22 ft in width minimum to accommodate the two parking garages that will be using this alley for access. The Mcleod project shall dedicate enough right-of-way to encompass the 22 ft width across the project frontage (the dedication tapers from wide to narrow – east to west). Within the 22 ft. the City has agreed that a 4 ft wide sidewalk with a rolled curb and an asphalt paved alley will best serve both developments. The sidewalk will serve the pedestrian use in the alley and will also be mountable (with the rolled curb) in cases where two large vehicles need to pass; this curb and sidewalk has been installed on the north side of the alley

- B. The parking garage shall have one exit ramp and one entrance ramp.

2. A 2-inch asphalt street/alley overlay will be required where three or more utility trench crossings occur within 150 lineal ft. of street length or where utility trenches parallel the street centerline. Grinding of the existing asphalt to blend in the overlay will be required along all match lines.

3. All street and driveway intersections shall not have any visual obstructions within the sight distance triangle. See Public Works Pre-approved Policy R.13 for the sight distance criteria and specifications.

4. It shall be the responsibility of the applicant to relocate any above-ground or below-ground utilities which conflict with the project associated street or utility improvements.

5. More design and transportation review needs to be done regarding the loading bay area in the alley. City Sta is working with the applicant to develop a loading bay design that does not block the alley and provides adequate sight distance when exiting the parking garage.

HECTOR'S ADDITION
WOOD COLOR AT
FLOORS 3&4, SOUTH
END

HECTOR'S EXISTING
AND NEW PLASTER
COLOR AT FLOORS
3&4, NORTH END
AND ALLEY

HECTOR'S ADDITION
ROOF TOP PAVERS

COURTYARD
SURFACE ACCENT
WOOD (COLOR NOT
TEXTURE)

COURTYARD
SURFACE 8"X8"
ACCENT PAVERS

HECTOR'S EXISTING
PLASTER COLORS,
GREEN - WALLS,
BLUE - CORNICE

HECTOR'S ADDITION
NEW BRICK AT
SOUTH END

HECTOR'S ADDITION
EXISTING AND NEW
CMU PATTERN AT
ALLEY



Hector's Property Expansion

LAKE STREET PLACE

MSB & KWM ADDITION NEW ARCHITECTURAL STEEL, WINDOW MULLION & FLASHING COLOR

KWM ADDITON ROOF TOP PAVERS

KWM ADDITION EXISTING AND NEW PLASTER COLOR

NOT USED

NOT USED

MSB WINDOW MULLION & FLASHING COLOR

NOT USED



MSB CMU AT EAST ELEVATION, MUTUAL MATERIALS - CASTLE WHITE-GROUND FACE W/ SPLIT FACE ACCENT BANDS

MSB HARDIE PANEL PLANKS WITH BLACK ARCHITECTURAL STEEL DESIGN INTENT, SEE MOCK UP PHOTO FOR ALTERNATE CONDITION

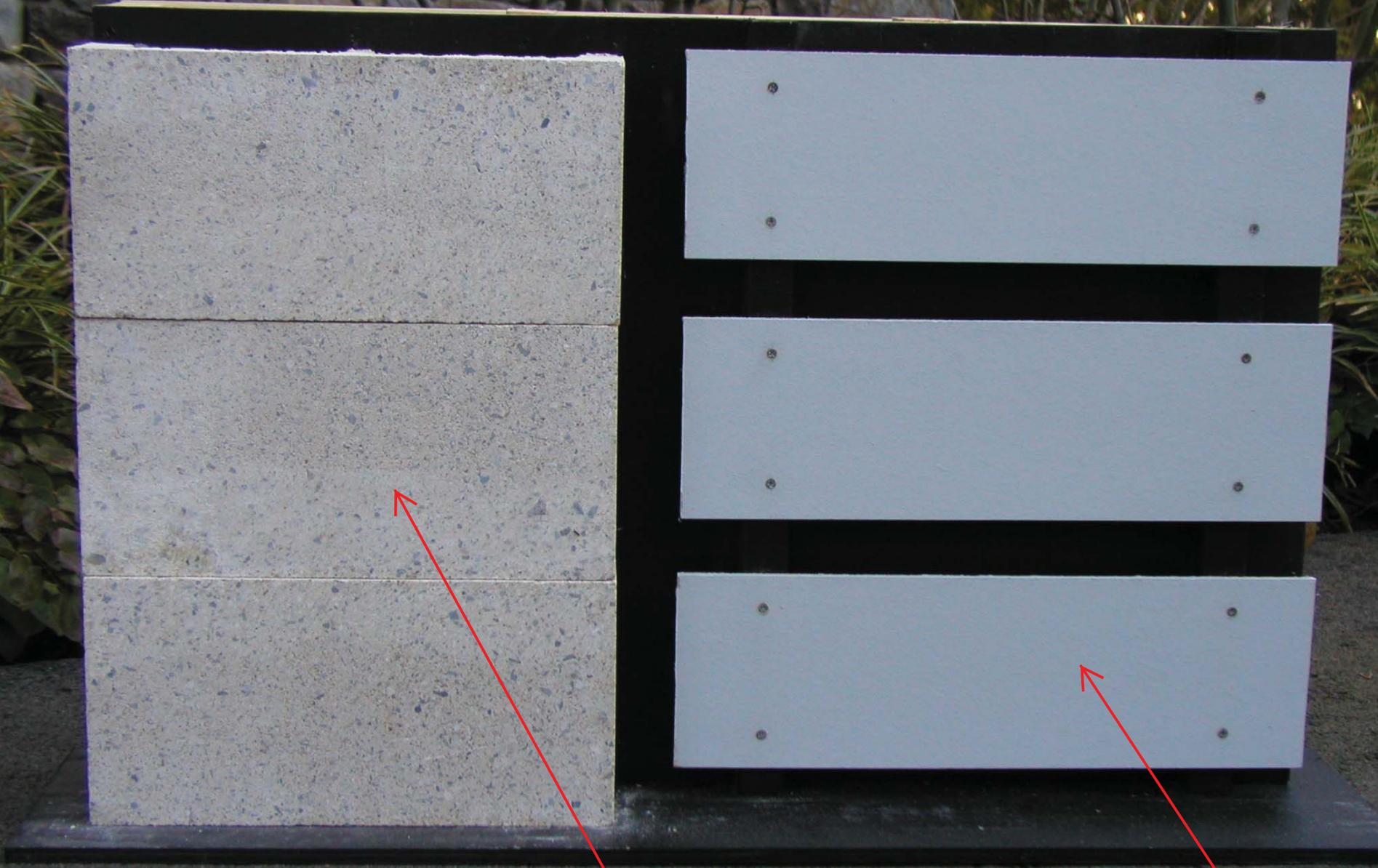
MSB CONCRETE BASE AT ALLEY

MSB TERRACOTTA COLOR



Kirkland Waterfront Market / Main Street Building

LAKE STREET PLACE



MSB CMU AT EAST ELEVATION,
MUTUAL MATERIALS - CASTLE
WHITE-GROUND FACE W/ SPLIT
FACE ACCENT BANDS

MSB HARDIE PANEL PLANK
RAINSREEN PAINTED LIGHT GRAY
WITH GAPS PAINTED BLACK

