

Park at Forbes Creek Stream Buffer Reduction

RS 8.5

11110 Forbes Creek Drive

PLA 9

TL 10D

TL 10E

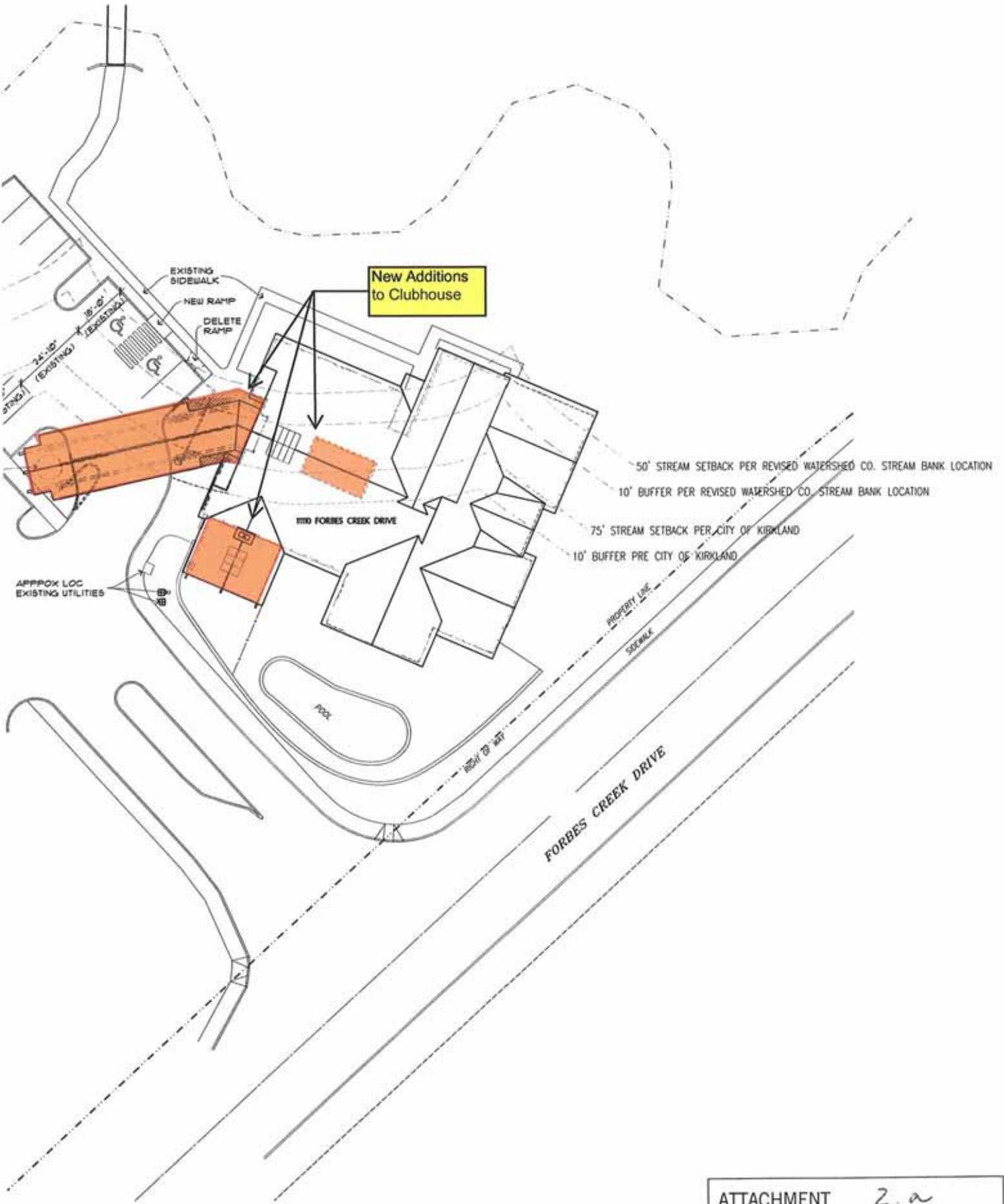
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RS 8.5

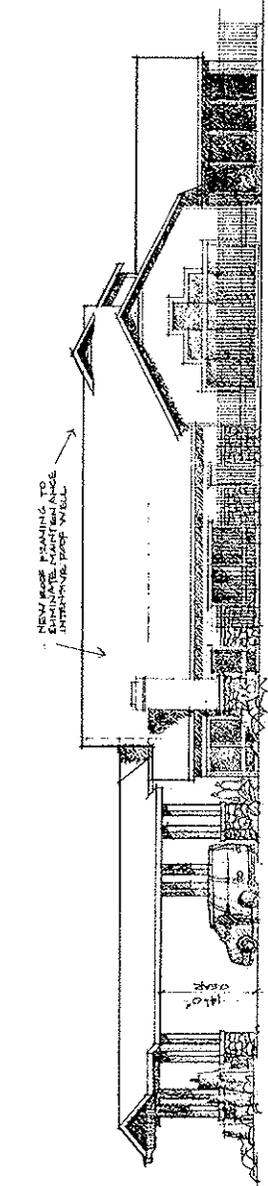
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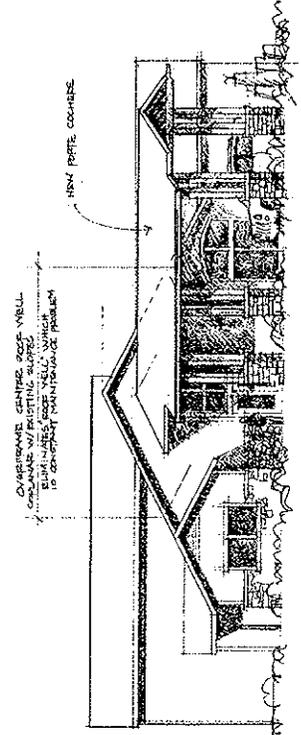
ATTACHMENT 1
2016-0024



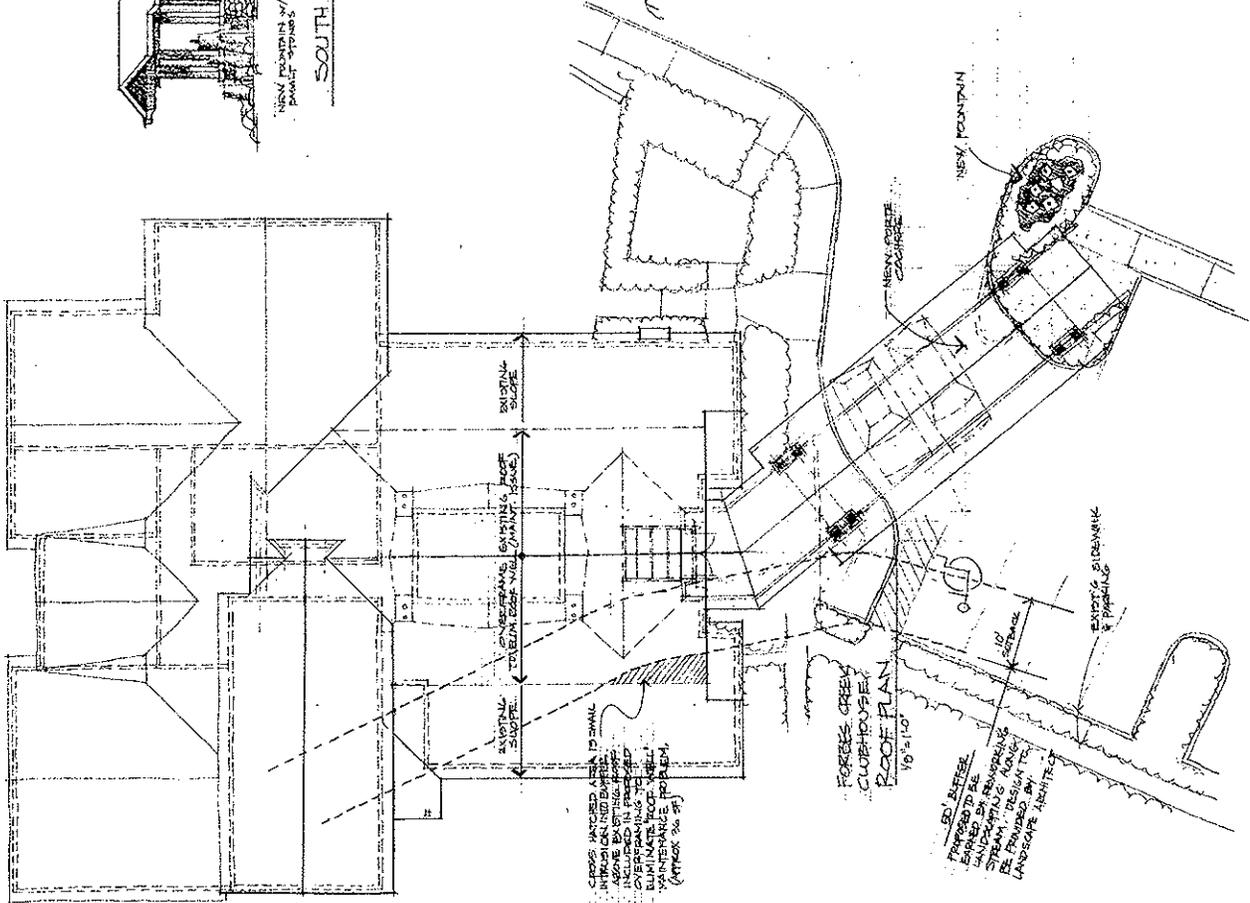
ATTACHMENT 2.a
20N06-00024



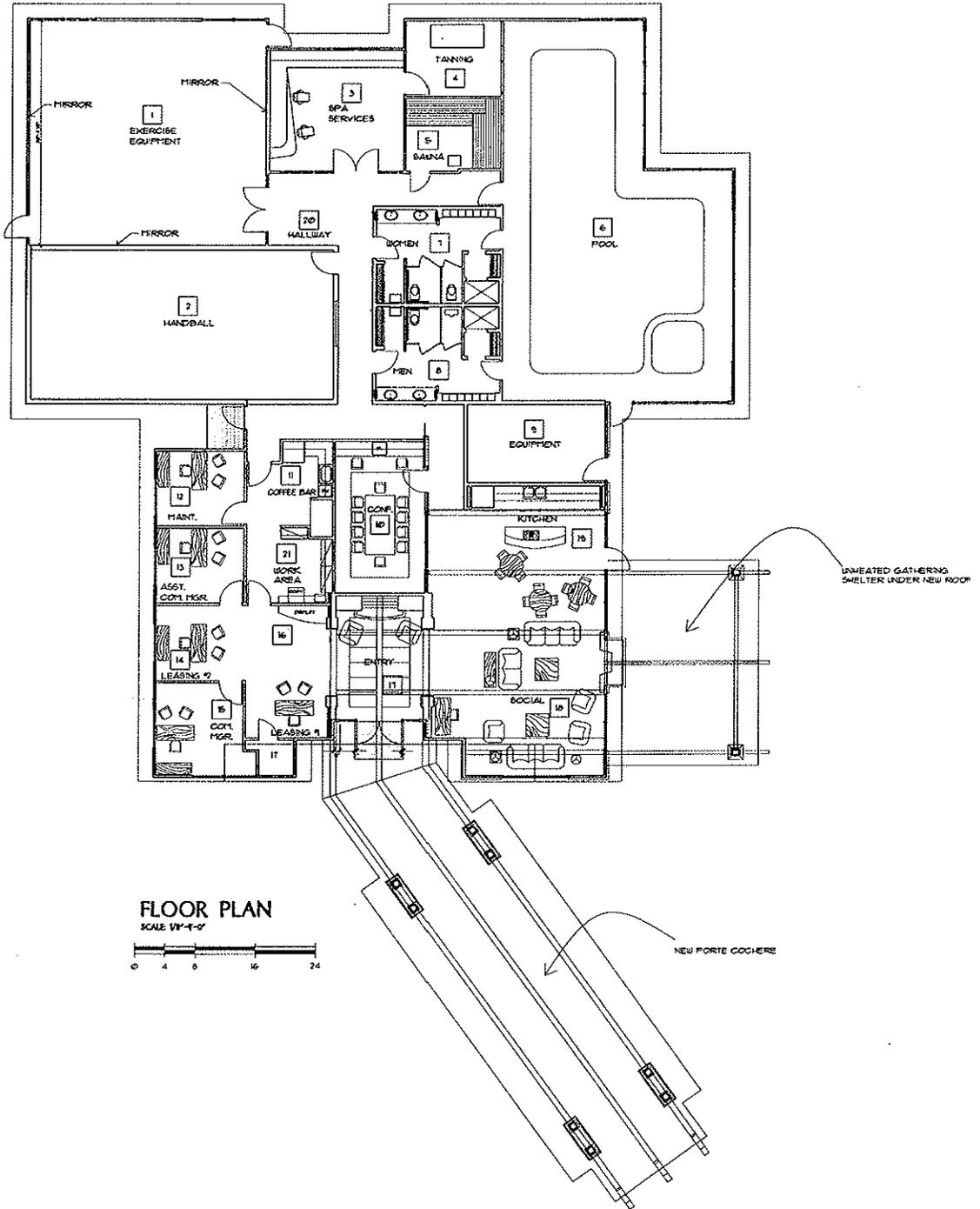
NEW STONE BASE & WALL COURSE IN SELECTED AREAS
 NEW POINTS W/ PANEL SYSTEMS
SOUTH ELEVATION
 1/8" = 1'-0"



OVERSEAS CENTER ROOF WELL CONTAINS W/ EXISTING SLOPE EXHIBITS ROOF WELL WHICH IS CONSIDERED MAINTENANCE PROBLEM
 NEW STONE W/ POINTS
WEST ELEVATION
 1/8" = 1'-0"



FORBES CREEK CLUBHOUSE ROOF PLAN
 1/8" = 1'-0"





FORBES CREEK RESTORATION PLANTING

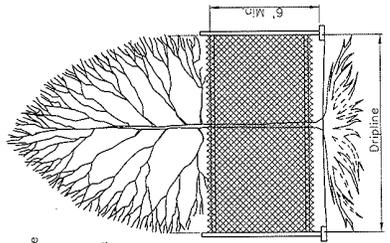
11110 Forbes Creek Drive, Kirkland, WA



NO.	DATE	DESCRIPTION
1	11/10/05	ISSUED FOR PERMIT
2	11/10/05	ISSUED FOR PERMIT
3	11/10/05	ISSUED FOR PERMIT
4	11/10/05	ISSUED FOR PERMIT
5	11/10/05	ISSUED FOR PERMIT
6	11/10/05	ISSUED FOR PERMIT
7	11/10/05	ISSUED FOR PERMIT
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9	11/10/05	ISSUED FOR PERMIT
10	11/10/05	ISSUED FOR PERMIT

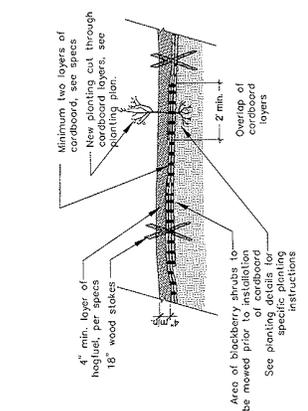
LANDSCAPE DETAIL SHEET

4 OF 4 SHEETS

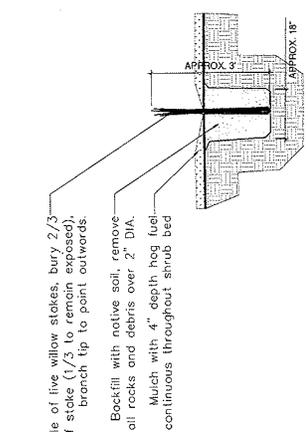


- NOTES:**
- 6' high temporary chain-link fence shall be placed at dripline of tree to be saved. Fence shall completely encircle tree(s). Install fence posts using pier blocks only. Avoid driving posts or stakes into major roots.
 - Treatment of roots exposed during construction: for roots over 1" in diameter damaged during construction, make a clean straight cut to remove exposed roots. All exposed roots shall be temporarily covered with damp burlap to prevent drying, and covered with soil as soon as possible.
 - Work within protection fence shall be done manually. No stockpiling of materials, vehicular traffic, or storage of equipment or machinery shall be allowed within the limit of the fencing.

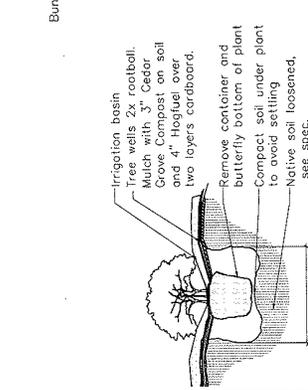
Tree Protection Detail



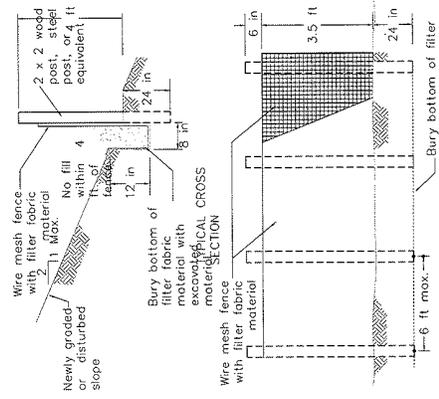
Planting and Cardboard Detail



Live Stake Planting Detail

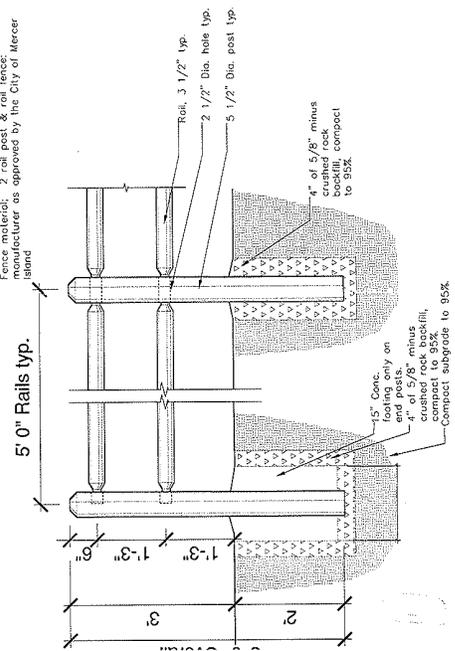


Planting Detail

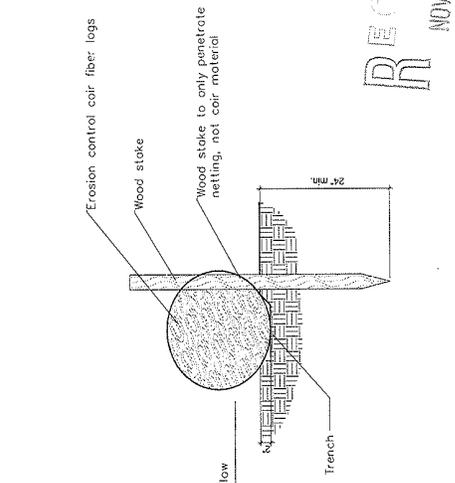


- NOTES:**
- Fence shall not be installed on slopes steeper than 2:1.
 - Joints in filter fabric shall be overlapped 6 inches.
 - Use post, staples, wire rings, or equivalent to attach fabric to wire fence.
 - Remove sediment when it reaches 1/3 fence height.

Silt Fence Detail



Two Rail Fence Detail



Coir Log Detail

RECORDED
NOV 10 2005
PLAN
By: [Signature]

Construction Notes and Specifications

Work Sequence for the Wetland Buffer Enhancement Area

Note: specifications for items in bold can be found below under "Material Specifications and Definitions."

- 1) All plant installation is to take place during the dormant season (October 15th – March 1st), for best survival. Debris and weed removal should precede plant installation by no more than one month.
- 2) Remove and trash or other debris from the site.
- 3) Invasive weed removal methodology
 - a. Remove Himalayan blackberry from all areas to be planted (see sheets 1 & 2). This shall consist of cutting and removing of all canes from the buffer area.
 - b. Removal of blackberry roots, to the maximum extent practical is also required for best success.
 - i. Decompact the blackberry removal area using a small, walk-behind tiller.
 - ii. Rake the soil with a metal-tined rake, removing as many of the loosened blackberry roots as is practical.
 - iii. Removal of blackberry roots in the within the vicinity of the stream should be done by hand and the stream should be properly protected from soil run-off with gravel-filled bags backed by a layer of plastic so as to create an impenetrable barrier.
 - c. Remove ivy from the site wherever it occurs, cut and remove from tree trunks. Remove all roots by hand. Removal of ivy roots in the within the vicinity of the stream should be done by hand and the stream should be properly protected from soil run-off with sandbags backed by a layer of plastic so as to create an impenetrable barrier.
 - d. Remove any other invasive weed encountered including butterfly bush, Scot's broom, Japanese knotweed, bindweed/morning glory, laurels, English holly, etc.
- 4) Prepare a planting pit for each plant per the planting details.
- 5) Layout plants generally per plan, but adjusting for microsite conditions so as to avoid damage to existing native plants. See planting plan sheet 2 for more specific layout notes.
- 6) Mulch each plant with a circular wood chip mulch ring, four inches thick and extending at least to the drip-line of the plant.
- 7) Install a temporary irrigation system capable of covering the entire planted area. Insure that irrigation system is fully functional for the time period of June 1 through September 15th.
- 8) Install four sensitive areas signs along the southern and eastern edge of the sensitive areas tract, as shown on the plan view sheets.

Material Specifications and Definitions

- 1) Wood chip mulch: "Arborist chips" (chipped woody material) approximately 1 to 3 inches in maximum dimension (not sawdust or hog fuel). This material is commonly available from arborists or tree-pruning companies.
- 2) Fertilizer: Slow release, granular fertilizer such as Osmocotem[™] or equal product. Follow manufacturers instructions for application. Keep fertilizer in a weather-tight container while on site. Most retail nurseries carry this product. Note that fertilizer is to be applied only in years two through five, and not in the first year.
- 3) Temporary irrigation system: System capable of supplying a minimum of 2 inches of water per week from June 1st through September 30th for the first two years following installation. This system can be run off of hoses run from the house water supply with enough sprinkler heads to cover the planted area.

Maintenance

The site will be maintained for five years following completion of the construction. The site may be owner maintained or the work can be hired out to a private landscaping company.

Note: specifications for items in bold can be found above under "Material Specifications and Definitions."

- 1) Replace each plant found dead in the summer monitoring visits during the upcoming fall dormant season (October 15th to March 1st).
- 2) Invasive weed maintenance plan
 - a. Twice yearly, the site should be inspected for encroachment of blackberry and ivy from adjacent areas. Canes moving in from outside the enhancement area should be cut back to well beyond the enhancement area. All ivy should also be removed.
 - b. It is expected that blackberry root removal will not be 100% effective in eliminating all viable plant material. Re-sprouting vines will emerge from the removal area. These new shoots shall be treated with herbicide by a licensed applicator at least once per year throughout the 5-year period (or until no-longer sprouting), or more frequently if directed by King County. Application shall be by wick-type application method and not by a spray-type method.
- 3) Remove weeds and weed roots from beneath each installed plant to a distance of 18 inches from the main plant stem. Weeding should occur at least twice during the spring and summer. Frequent weeding will result in lower mortality and lower plant replacement costs.
- 4) Operate the irrigation system to supply a minimum of 2 inches of water per week from June 1st through September 30th for the first two years following installation. More watering may be necessary during very hot and dry weather. Less watering may be warranted during unseasonable summer rainfall.
- 5) Apply slow release granular fertilizer annually in the spring (by June 1st) of years two through five.
- 6) Mulch the weeded areas beneath each plan with wood chips as necessary to

maintain a 4-inch thick mulch ring and keep down weeds.

7) Do not weed area with string trimmer (weed whacker/weed eater). Native plants are easily damaged and killed and weeds easily recover after trimming.

RECEIVED

NOV 10 2005

HSC Real Estate

THE PARK AT FORBES CREEK CLUBHOUSE EXPANSION

AM
PLANNING DEPARTMENT

Wetland Buffer Averaging & Enhancement Plan

Prepared by Barker Landscape Architects 11/08/06

City of Kirkland File Number ZON06-00024

Executive Summary

The applicant seeks to construct a small addition to the Clubhouse at The Park at Forbes Creek (a large apartment community) located at 11110 Forbes Creek Drive in Kirkland, King County, Washington. The lot contains Forbes Creek, tributary to Juanita Bay of Lake Washington.

The Forbes Creek Clubhouse Buffer restoration area is approximately 17,818 sf, in size. Forbes Creek, a Class A stream borders the North end of the property. The planting area within the stream buffer setback is to be restored using native plants. Large existing ornamental trees should remain within the mitigation area, as they provide shading and structural diversity within the buffer area, consequently infill planting is proposed in approximately 9009 s.f. on the north, east and west sides of the Clubhouse as shown on attached plans.

This mitigation plan fulfills the requirements of KZC 90.100, Stream Buffer Modification. The primary objective of the plan is to create a net improvement in buffer function.

Proposed Stream Buffer Enhancement

The stream buffer is forested with a mix of red alder, quaking aspen, black cottonwood, willows, western red cedar, douglasfir, a sparse understory of blackberries, a few sword ferns, and many non-native red maples, rhododendrons, himalayan blackberries, extensive lawn, and assorted ornamental plantings along the building and parking edges.

Trees are generally under 12" diameter, and much of the streambank is overgrown with blackberry vines. Habitat values are diminished by the invasive plants and the proximity of mowed and fertilized lawn and ornamental plantings. The stream enters the site on the east and exits at the west of the north property line. Substrate contains mixed gravels and compacted glacial till. There is little downed large woody debris is prevalent. The proposed building addition is relatively small, but the proposed enhancement contains 9009 s.f. of new native planting.

The enhancement areas were selected to maximize the biological enhancement potential. The ornamental landscaping on the north side of the Clubhouse building has lowered the functional value of the buffer. It has been cleared of native vegetation and planted with non-native ornamental species. The invasive species English ivy has invaded the vegetated buffer from this area and is proliferating to the stream bank. As part of the mitigation, the ivy will be removed from the entire

ATTACHMENT Z.C

ZON06-00024

area, including tree trunks. Because the species is so invasive, it will also be removed from the stream, although this would be avoided with other species because of the potential for disturbance during root system removal. Best management practices will be employed to avoid any erosion or sedimentation during removal. The landscaped area will be replanted with native shrubs and trees per the enclosed planting plan. Surrounding areas will also be planted with native species.

Himalayan blackberry will be removed throughout the enhancement area. This species is particularly common along the south edge of the site. It will be removed up to the property line in this area. Invasive species removal and native species planting success will be maintained and monitored for five years to ensure that it meets performance standards.

Enhancement Area Goals

- 1) Remove non-native species from the enhancement area.
- 2) Establish a native plant community within the enhancement area.
- 3) Maintain and monitor the enhancement area for 5 years.

Objectives

- 1) Remove approximately 2,500 sf of Himalayan blackberry from the buffer area.
- 2) Remove all English ivy from the enhancement area
- 3) Establish a native plant community across a 9009 sf area of the stream buffer area using 3 native coniferous tree species, 3 native deciduous tree species, and 8 native shrub species.
- 4) Restore approximately 9000 sf of landscaped area on the stream side of the property to native buffer vegetation.
- 5) Maintain health and viability of the enhancement plantings and continue to maintain enhancement area free of non-native, invasive species.

Performance Standards – Wetland Buffer Enhancement Area

- 1) 100% survival by the end of year one.
- 2) 85% survival in years two through five.
- 3) 80% cover by native shrubs and trees by year five.
- 4) Less than 10% cover by invasive plant species in the buffer enhancement area.

Monitoring Methods

An as-built plan will be prepared prior to permit approval. The as-built plan shall be a mark-up of the planting plan included in this plan set (Sheet 2). The mark up shall document any differences in plant placement or other components differing from the proposed plan. Monitoring shall take place four times (and in conjunction with the other mitigation sites for this project), once each in Years One, Two, Three, and Five.

First-year monitoring shall commence in the first late summer or early fall, subsequent to plant installation (ideally before deciduous leaves begin to drop). The

following will be recorded and reported in an annual monitoring report to be submitted to Kirkland.

- 1) Counts of installed plants by species (years one and two only).
- 2) Visual estimate of non-native, invasive weed cover.
- 3) Photographic documentation from fixed reference points.
- 4) Intrusions into the planting areas, vandalism or other actions that impair the intended functions of the planted areas.
- 5) Recommendations for maintenance or repair of the planted areas.

Contingencies

If there are significant problems with the revegetation areas meeting performance standards, the Bond-holder shall work with the City of Kirkland to develop a Contingency Plan. Contingency Plans can include, but are not limited to replanting dead plants, additional soil amendments or mulch; additional plant installation; erosion control; and plant substitutions of type, size, quantity, and location.

Forbes Creek Clubhouse Stream Buffer Enhancement

Our proposal for the enhancement of the Forbes Creek Clubhouse stream buffer addresses the City of Kirkland's Municipal code, Section 90.100. The following are our responses to the specific requirements listed within this section:

a. It is consistent with *Kirkland's Streams, Wetlands and Wildlife Study* (The Watershed Company, 1998) and the *Kirkland Sensitive Areas Regulatory Recommendations Report* (Adolfson Associates, Inc., 1998);

Our proposed stream buffer replanting plan complies with both section 4.0 of *Kirkland Sensitive Areas Regulatory Recommendations Report* (Adolfson Associates, Inc., 1998), and section 4.5 of *Kirkland's Streams, Wetlands and Wildlife Study* (The Watershed Company, 1998). We believe we have adequately addressed the issues of water quality, Coho salmon and cutthroat trout habitat, storm water and erosion, and protection of wildlife habitat.

b. It will not adversely affect water quality;

We have recommended removing noxious weeds from the creek side, and replanting with native species. This will help control erosion and mechanically filter water returning to the creek, thereby improving water quality.

c. It will not adversely affect fish, wildlife, or their habitat;

Our enhancement project will increase habitat for wildlife, increase beneficial insects and birds, and offer protection vegetative protection for fish.

d. It will not have an adverse effect on drainage and/or storm water detention capabilities;

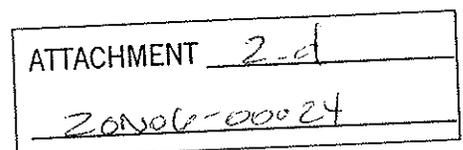
The Forbes Creek Clubhouse buffer enhancement project will decrease water taken offsite by increasing the amount of vegetative material onsite.

e. It will not lead to unstable earth conditions or create an erosion hazard or contribute to scouring actions;

The enhancement project decreases erosion by increasing soil binding vegetation on the stream bank.

f. It will not be materially detrimental to any other property or the City as a whole;

The enhancement project is not materially detrimental to any other property or the City as a whole.



g. Fill material does not contain organic or inorganic material that would be detrimental to water quality or to fish, wildlife, or their habitat;

No fill material will be used. A course wood chip or arborist's mulch will be added to suppress weeds and decrease the need for irrigation.

h. All exposed areas are stabilized with vegetation normally associated with native stream buffers, as appropriate;

The entire zone is densely planted with native plant material.

i. There is no practicable or feasible alternative development proposal that results in less impact to the buffer.

The building is existing and outdated. The stream buffer enhancement is proposed in order to obtain a buffer reduction to allow maintenance and upgrading of the building as shown in the plans which

1. show a rework of the roof and infill of an internal courtyard within the existing footprint;
2. show a Porte Cochere addition with its foundations outside of the reduced buffer area. A small section (approx 3 sf) of the Porte Cochere roof would be within the ten foot buffer setback approx 14 feet in the air;
3. plans will show repair of siding, installation of better windows, new roofing, addition of some minor stone accents to the siding; and
4. extensive **internal** remodeling of the facility including new trusses in the area of the social room, new materials throughout, reworking of some internal walls, repainting overall,

The existing roof and lack of entry protection make the existing building sub-standard. It is not practical nor monetarily feasible to relocate this important facility; and why, we are proposing the stream buffer reduction via planting and associated measures shown on the submitted plans to achieve the 4 aspects of repair and upgrade noted just above.

CITY OF KIRKLAND
123 FIFTH AVENUE, KIRKLAND, WASHINGTON 98033-6189 (425) 587-3225

DEVELOPMENT STANDARDS
CASE NO.: ZON06-00024
PCD FILE NO.: ZON06-00024

Date:
11/22/2006

FIRE DEPARTMENT CONDITIONS

Up to 25 percent may be added to the building without requiring sprinklers. A one-time sprinkler exception shall be recorded to run with the title for the building.

ATTACHMENT <u>3</u>
<u>ZON06-00024</u>

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF KIRKLAND,
AUTHORIZING SETTLEMENT OF CERTAIN LAWSUITS NOW PENDING
IN KING COUNTY SUPERIOR COURT IN WHICH THE CITY APPEARS
AS DEFENDANT, AND AUTHORIZING AND DIRECTING THE ATTORNEY
FOR THE CITY OF KIRKLAND TO SIGN ON BEHALF OF THE CITY
THE STIPULATION FOR ENTRY OF ORDER, JUDGMENT AND DECREE.

WHEREAS, Local Improvement District No. 115 provides
for a complex series of necessary public improvements,
including streets, water facilities for both fire and
domestic use requirements, storm drainage facilities,
sanitary sewer facilities, and certain improvements in
stream bed protections to Forbes Creek; and

WHEREAS, as provided in the ordinance creating Local
Improvement District No. 115, the cost of the improvements
is to be paid for by a grant from the United States in
the approximate amount of one million dollars, with the
balance of the estimated cost to be paid by Local
Improvement District assessments against the property
within the District; and

WHEREAS, a challenge to the validity of the formation
of Local Improvement District No. 115 has been raised in
King County Superior Court Cause No. 828778 by Kirkland
Sand and Gravel, Inc. and others, primarily alleging that
the inclusion of their properties within the Local
Improvement District boundaries, which included virtually
only property zoned light industrial, was arbitrary and
capricious in light of the subsequent change in zoning on
the plaintiffs' property from light industrial to Planned
Area Nine less than a month later; and

WHEREAS, said parties in King County Superior Court
Cause No. 828976, and Wallace Litchfield in King County
Superior Court Cause No. 830556, have also challenged the
adoption of and validity of the new Land Use Policies or
Comprehensive Plan and the Zoning Code for the City of
Kirkland, as adopted pursuant to Ordinances No. 2346 and
2347; and

WHEREAS, there has been presented to the Kirkland
City Council a proposed Stipulation for settlement of all
three of said lawsuits; and

WHEREAS, the continued pendency of King County
Superior Court Cause No. 828778 impedes the ability of the
City to proceed with the improvements provided for by
Local Improvement District No. 115; and

ATTACHMENT 4

20N06-00024

WHEREAS, the City Council, having reviewed said proposed Stipulation and considered the same in the light of the Land Use Policies and zoning amendments adopted for Planned Area Nine (all of the properties subject to the three lawsuits constitute Planned Area Nine) under Ordinance No. 2346 and Ordinance No. 2347, concludes that the residential land use and maximum potential developed density of said Planned Area Nine which may be developed pursuant to the proposed Stipulation for settlement, including the conditions imposed therein on development, is in general conformity with the policies and guidelines and land use regulations for Planned Area Nine, and neither substantially nor significantly differs from the land use and maximum potential developed density available for Planned Area Nine under Ordinances No. 2346 and 2347; and

WHEREAS, fair and reasonable resolution of litigation through settlement is, when possible to obtain, within the public interest and a public benefit;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Kirkland as follows:

Section 1: The attorney for the City of Kirkland is hereby authorized and directed to sign on behalf of the City of Kirkland, the Stipulation for Entry of Order, Judgment and Decree, a copy of which is attached to the original of this Resolution as Exhibit A, and by this reference is incorporated herein, and to present the same together with appropriate orders, judgments and decrees carrying out said Exhibit A to the court for entry.

Section 2. Upon entry of the Order, Judgment and Decree, the provisions thereof shall, insofar as the City of Kirkland is concerned, be administered as though said Order, Judgment and Decree were an integral part of the Land Use Policies Plan and the Zoning Code Regulations of the City of Kirkland, insofar as they apply to Planned Area Nine.

PASSED BY MAJORITY VOTE of the Kirkland City Council in regular meeting on the 7th day of November, 1977.

SIGNED IN AUTHENTICATION THEREOF on the 7th day of November, 1977.


MAYOR pro tem

ATTEST:


Director of Administration and Finance
(ex officio City Clerk)

R-2474

RESOLUTION A -

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF KIRKLAND APPROVING SETTLEMENT BY CERTAIN LAND USE JUDICIAL REVIEW ACTIONS RELATING TO APPROVAL BY THE CITY OF KIRKLAND OF A PRELIMINARY PLANNED UNIT DEVELOPMENT WITHIN THE AREA APPEARING ON THE KIRKLAND ZONING MAP AS PLANNED AREA 9 AND AUTHORIZING AND DIRECTING THE KIRKLAND CITY ATTORNEY TO SIGN ON BEHALF OF THE CITY SUCH COURT DOCUMENTS, INCLUDING STIPULATION FOR JUDGMENT AND AGREED JUDGMENT, AS MAY BE NECESSARY TO AFFECT SAID SETTLEMENT.

Whereas, the Kirkland City Council by Resolution R2925 adopted June 21, 1982, approved a preliminary planned unit development for the area appearing on the Kirkland zoning map as Planned Area 9; and

Whereas, thereafter the applicant therefor and certain citizens and a citizens group known as [CBA] did appeal said approval under King County Superior Court consolidated Cause Numbers K2-2-09147-0 and K2-2-09448-0; and

Whereas, the parties through their respective attorneys in said consolidated judicial review causes have proposed settlement which will affect or modify said preliminary unit development in the following particulars:

1. The provisions of the preliminary planned unit development, for the property as adopted and approved by the City of Kirkland on June 21, 1982 in Resolution R2925 shall be unchanged and shall apply to the preliminary planned unit development except as follows:

(a) The site plan to be allowed for the preliminary planned unit development, including structures three stories in height, shall be that certain illustrative site plan - Forbes Creek Property (the revised site plan) prepared by TRA under project no. 39600 dated August, 1986, a copy of which is attached as Exhibit A-3, and incorporated herein by reference.

(b) The unit density to be allowed by the preliminary planned unit development shall be reduced from 522 to 496.

(c) The parking spaces to be allowed by the preliminary planned unit development shall be reduced from 933 to 920.

(d) The conditions of the preliminary planned unit development, a copy of which is attached hereto as Exhibit A-4, as adopted by the City of Kirkland in said Resolution R2925, shall be

ATTACHMENT

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20506-00024

unchanged and shall apply to the preliminary planned unit development; except that:

(i) The water and sewer fees shall in accordance with the memorandum from Larry Larse to Ralph Thomas dated June 26, 1986, copy of which is attached as Exhibit A-5.

(ii) The traffic mitigation conditions shall be revised in accordance with the memorandum dated June 12, 1986 from Larry Larse to Joe Tovar and Ralph Thomas, copy of which is attached hereto as Exhibit A-6.

(iii) Phasing shall not be required in the construction of the project depicted on the revised site plan, provided, however, that if the project construction schedule is for a period of less than five (5) years, the City of Kirkland shall be reimbursed for any resultant of hiring extra construction inspectors.

(iv) In lieu of paying the parks fee described in the conditions of approval attached as Exhibit A-4, the owners of the property shall, upon completion of the project, donate and convey to the City of Kirkland for park purposes, the open space between Crestwood Park and the extension of N.E. 106th, to be built in conjunction with the project, except a 100 foot wide strip running along the southern edge of the roadway as depicted by shading on said revised site plan in the southwesternmost corner of the property. The said donated parkland shall be left in a natural state by the City and no public parking, picnic area, structures or roads shall be placed upon the donated parkland by the City.

(v) All remaining open space areas depicted on the revised site plan, including buffers shall be made permanent open space areas through recorded covenants running with the land. Such covenants to be in the form of Exhibit A-7 attached.

Whereas, the Kirkland City Council has reviewed said proposed settlement and the preliminary planned unit development modifications resulting therefrom, and finds the same to be not in violation of the development standards for said Planned Area 9, and to be in the public interest; now, therefore,

Be it resolved by the City Council of the City of Kirkland as follows:

Section 1. The proposed settlement and resultant modifications to the preliminary planned unit development heretofore approved by City of Kirkland Resolution R2925 adopted July 21, 1982, all as set forth in the Stipulation for Judgment attached to the original copy of this Resolution as Exhibit A and by this reference incorporated herein, are hereby approved by the Kirkland City Council.

Section 2. The City Attorney for the City of Kirkland is hereby authorized and directed to sign on behalf of the City of Kirkland said Stipulation for Judgment, together with any and all other court documents including an agreed Judgment consistent with said Stipulation which may be required to affect said settlement.

Section 3. The SLPA responsible official for the City of Kirkland, having reviewed the action hereby taken by the City Council in adopting this Resolution, and having issued a Declaration of Nonsignificance pursuant to the provisions of RCW Chapter 43.21C and Kirkland Ordinance 2830, the City Council hereby directs that there be published a notice of this action in the manner provided for by RCW 43.21C.080(1).

Passed by majority vote of the Kirkland City Council in regular open meeting on September 2, 1986.

Louis Cooper
MAYOR

ATTEST:

Janice Perry Deputy City Clerk
Director of Administration & Finance
(ex officio City Clerk)

CITY OF KIRKLAND
PLANNING AND COMMUNITY DEVELOPMENT

NOTICE OF APPROVAL

City of Kirkland Approval Date: July 2, 1987

Termination Date: Development activity or use of land must begin or a complete building permit application must be submitted before July 1, 1988.

APPLICANT OR AGENT: Lincoln Properties, Attn: Scott Springer

Address: 1745 114th Ave SE, Suite 100, Bellevue 98004 Phone: 455-4813

NAME OF PROJECT The Park at Forbes Creek

This NOTICE OF APPROVAL is granted to Lincoln Properties
for The Park at Forbes Creek (Final Planned Unit Development) (applicant)

Located at approximately (Bounded on So. by BNRR, E. by 116th Ave NE, W. by 108th Ave. NE & N. by Apx. NE 111th St. (if extended) in Kirkland,

Washington. Said permit is subject to the facts found in the adopted reports and exhibits of File No. I-87-20, Resolution/Ordinance No. N/A and the attached conditions and development standards. Failure to meet or maintain strict compliance shall be grounds for revocation in accordance with the Kirkland Zoning Ordinance No. 2740 as amended. (see reverse side for appeal information.)

The applicant must also comply with any federal, state or local statutes, ordinances or regulations applicable to this project. This Notice of Approval does not authorize grading or building without issuance of the necessary permits from the Kirkland Building Department.

CITY OF KIRKLAND
PLANNING AND COMMUNITY DEVELOPMENT
Joseph W. Tovar, Director

By: Joan Lieberman-Brill
(Signature)
Joan Lieberman-Brill

Title: Planner

Attachment: Conditions and Development Standards
SEPA Conditions (if applicable)
(OVER, PLEASE)

ATTACHMENT <u>6</u>
<u>Z0N06-00024</u>

OFFICIAL NOTICE OF DATE AND PLACE
FOR COMMENCEMENT OF JUDICIAL REVIEW (APPEAL)

1. A request for judicial review (appeal) of the decision on this action must be filed in King County Superior Court on or before August 1, 1987 (within 30 days of the final decision of the City). This time limit is established by Section 145.110, Kirkland Zoning Code.

2. If issues under RCW 43.21C (the State Environmental Policy Act--SEPA) are to be raised in the judicial appeal:

- A. The "SEPA" appeal must be filed with the King County Superior Court within 30 days of the date of this notice; and
- B. A "Notice of Intent to Raise SEPA issues by Judicial Appeal" must be filed with the City of Kirkland responsible official, within 30 days of the date of this notice, unless the last day to file a request for judicial review set forth in paragraph 1 above, occurs prior to 30 days from the date of this notice, in which case, the notice of intent must be filed with the Kirkland responsible official by the date set forth in paragraph 1 above.

THIS NOTICE dated July 6, 1987,

Distribution of Notice of Approval	Applicant and/or Primary Contact Person Fire and Building Department Public Works Department Parks Department Assigned Planner Notice of Approval Notebook Formal File (original)
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CONDITIONS OF APPROVAL - I-87-20 - THE PARK AT FORBES CREEK

1. This application is subject to the applicable requirements contained in the Kirkland Municipal Code, Zoning Code, Building and Fire Code. It is the responsibility of the applicant to ensure compliance with the various provisions contained in these ordinances. Attachment 4, Development Standards, is provided in this report to familiarize the applicant with some of the additional development regulations. This attachment does not include all of the additional regulations.
2. The Department of Planning and Community Development shall be authorized to approve modifications to the approved site plan, unless:
 - a. There is a change in use and the Zoning Code establishes different or more rigorous standards for the new use than for the existing use; or
 - b. The Planning Director determines that there will be substantial changes in the impacts on the neighborhood or the City as a result of the change (see Conclusion II.6.b.).
3. No work other than that necessary to carry out the terms of the hydraulic permit approval and grading permit may commence prior to completion of the street vacation requested under File No. VC-87-43 (Conclusion IIB.2.).
4. During all development activity the applicant shall follow recommendations set forth in the soils report dated April 1987, by Golder Associates (Conclusion IIA.2.b).
5. Timing of all grading activity shall be at the discretion of the building department based on weather conditions (see Conclusion IID.3.b.1)b.) (3)(d)54 and (e)63) and (g)76 and (h) 80).
6. A security guard shall be present on the site during all nonconstruction hours as an alternate to construction phase perimeter fencing (Conclusion IID.3.b.1)b)(3)(k) 117 and (u) 197).
7. The Director of Planning and Community Development shall reserve the right to restrict hours of operation based on noise and vibration from construction activities, which otherwise would be allowed from 7 a.m. to 8 p.m. weekdays and Saturdays (see Conclusion II.D.4.b. and H.2.b.).
8. The applicant shall apply for a separate sign permit for all signs on the site (see Conclusion II.F.2.d.).
9. *done ✓* Prior to issuance of a grading or building permit the applicant shall submit to the Department of Planning and Community Development for approval a public information brochure which encourages preservation of Forbes Creek. This brochure shall be distributed to all construction personnel prior to commencement of development activity (II.D.3.b.1)b)(3)(u)194).
10. Prior to stockpiling any fill or excavation fines on the site, the Building Department shall approve of the location (see Conclusion IID.3.b.1) b)(3) (i)91).

11. At the time of picking up the grading permit, the applicant shall submit to the Department of Public Works water and sewer fees in accordance with the memo from Larry Larse to Ralph Thomas dated June 26, 1986 (as shown in Attachment 3.f) see Conclusion II.3.b.1)a)1(d)(I) and II.3.b.1)b.)(3)(b)11.

12. Prior to issuance of a grading permit the applicant shall:

done ✓
a. Submit to the Department of Planning and Community Development a revised landscape plan for the relocated portion of Forbes Creek and the area between Ponds C and D and E and the gabion wall on the south side of Forbes Creek approved in writing by the Department of Fisheries (see Conclusions II.A.3.b.2 and II.D.3.b.1) b)(3)(c)28).

done ✓
b. Submit to the Department of Planning and Community Development an approved hydraulic project approval permit (see Conclusion II.D.3.b.1)b)(3)(c)31 and 33).

done ✓
c. Submit to the Department of Planning and Community Development a revised grading plan showing the exact location of the gabion wall as agreed upon by the Department of Fisheries in writing (Conclusion II.D.3.b.1)b)(3)(c)38).

done ✓
d. Submit to the Department of Planning and Community Development for recording with the King County Records and Elections Division, a notarized covenant indemnifying the City from any loss, including claims made, therefore, resulting from slopes exceeding 15 percent on the site (see Conclusion II.D.3.b.1)b)(3)(d)59, (e)65, (g)79, (h)87, and (i)92).

done ✓
e. Submit to the Department of Planning and Community Development for recording with the King County Records and Elections Division, a notarized covenant indemnifying the City from any loss, including claims made, therefore, resulting from the existence of Forbes Creek on the site (see Conclusion II.D.3.b.1)b)(3)(d)59 and (i)92).

done ✓
f. Provide written approval from METRO all plans for grading, erosion control and construction activities which affect the METRO interceptor, or existing sewer lines. Any subsequent changes of these plans must be approved in writing by METRO (see Conclusion II.D.3.b.1)b)(3)(f)71, (s)185, and (u)193).

done ✓
g. Submit to the Department of Planning and Community Development for approval a "Construction Phase Traffic Plan." Providing analysis of hours of operation, truck routing, vehicle trips per day, measures to limit construction traffic to off-peak hours, and methods to keep roads as clean as practicable and providing that the building official has "stop work" authority and may require asphalt treated base (ATB) to ensure compliance (see Conclusion II.H.2.b).

done ✓

h. Submit to the Department of Planning and Community Development a letter from a professional surveyor attesting to the fact that the outside limits of all areas to be graded have been flagged off (see Conclusion IIA.3.b.1. and II.H.2.a.).

done ✓

12.1 Prior to stream diversion into the newly constructed channel the applicant shall submit a letter from the Department of Fisheries indicating their approval of the newly constructed channel (see Conclusion II.D.3.b.1)b)(3)(c)36).

done ✓

13. During stream diversion a Department of Fisheries Representative shall be present (see Conclusion II.D.3.b.1)b)(3)(c)37).

-Tom Schadt
Parametrics.

14. After stream rechannelization of Forbes Creek and associated landscaping is complete, the Department of Planning and Community Development shall inspect a construction phase temporary chain link fence along the entire reach of the overflow channel and the rechannelized stream including stream side landscaping. The fence shall remain until vegetation has established itself (Conclusion II.D.3.b.1)b)(3)(c)38).

15. Prior to issuance of a building permit the applicant shall:

✓ a. Submit to the Department of Planning and Community Development for approval, a revised landscape plan indicating: the 40-foot wide buffer as indicated in Attachment 8 planted with evergreen trees as set forth on Landscape Plan L-4, 8-10 feet on center, in two staggered rows except where significant trees can be substituted and along the western drainage swell where trees should be planted above elevation 48 (see Conclusions II.A.3.b.1) and 4.b., II.D.3.b.1.b)(3)(a)2 and 4, and (1)122).

✓ b. Submit to the Department of Planning and Community Development for approval, a revised landscape schedule for the site (other than stream bed areas) utilizing those species which have food value for birds as listed on Attachment 16 (see Conclusion II.D.3.b.1)b)(3)(b)22).

New Condition 15.c: "Submit a concomitant agreement in a form acceptable to the City Attorney, which commits the applicant to pay to the City sufficient funds to enable the City to secure additional temporary building inspector and public works inspector services as are deemed necessary by the City's Building Department Manager and Public Works Director, respectively. In making written determinations, said City officials shall estimate the duration and amount of man-hours necessary to properly inspect and manage the construction of both building and site improvements, and consider the extent to which these are beyond the capacity of the City to staff with current levels of inspectors. Said written determinations shall be provided to the applicant, who may then request a review with said officials. Ultimate authority to set the amount and duration of said temporary inspector funds shall rest with the City Manager, provided that in no case shall the duration exceed the construction life of the buildings or improvements nor exceed a total of the equivalent of two full-time temporary employees. Any temporary inspectors secured with said funds shall be hired by and solely responsible to the City. If deemed appropriate, the City may assign the temporary inspector(s) directly to this project, or to other projects, if that would enable permanent inspectors to spend more time on this project."

d. Submit to the Department of Planning and Community Development and Park Department a revised pedestrian trail plan showing:

✓ (1) a Forbes Creek viewing area and interpretive plaques in the vehicle/pedestrian bridge portion of the pedestrian trail on its eastern side, or in a location mutually agreed upon by the applicant and the City of Kirkland; and

✓ (2) improvements to the existing portion of trail from NE 106th Street to NE 104th Street (within the unimproved Sixth Street right-of-way) including: ten-foot wide cleared area, six-foot wide gravel path, railroad tie steps, lighting, and signs identifying it for public purposes at the trail heads; and

✓ (3) that all other portions of the trail include six feet of pavement with all weather surfacing which sets it apart from other vehicular or private pedestrian areas, and is also conducive for bicycle use, lighting, and identification signs at all trail heads (see Conclusions II.D.3.b.1)b)(1)(g), (2)(d), (3)(a)9, (3)(b)18 and (3)(r)177).

✓ e. Remove all junk, trash, car bodies, etc., and the Department of Planning and Community Development shall inspect for compliance (see Conclusions II.D.3.b.1)b)(1)(h) and (2)(e) and (3)(b)19).

✓ f. Submit to the Department of Planning and Community Development a revised site plan indicating that the private mailboxes are outside of the 50-foot wide drainage easement for Forbes Creek as measured from the thread of the relocated portion of the stream (see Conclusion II.D.3.b.1)b)(3)(c)27).

g. Submit to the Department of Planning and Community Development the following revised Civil Plans:

✓ 1) Pages 6/22 through 13/22, indicating street trees planted 30 feet on center within root deflectors, and having a two inch caliper and a canopy beginning at least eight feet above finished grade;

✓ 2) Pages 9/22 through 13/22, indicating that the 5-foot wide sidewalk meanders through the 7-foot wide landscape strip; and

✓ 3) Pages 18/22 through 19/22, indicating street trees planted 30 feet on center within root deflectors along the property line, and having a two inch caliper and a canopy beginning at least eight feet above finished grade.

✓ h. Submit to the Department of Planning and Community Development for approval, a lighting plan for the pedestrian trail between the cul-de-sacs on 112th Avenue NE and NE 108th Street and Crestwoods Park (see Conclusion II.D.3.b.1)b)(3)(n)153).

✓ i. Treat all on-site emergency traffic lanes with "Asphalt Treated Base" (ATB) surfacing subject to inspection by the Fire Department (see Conclusion II.D.3.b.1)b)(3)(q)171

15. j. Submit to Department of Planning and Community Development written approval from the garbage hauler for location of dumpsters (see Conclusion II.D.3.b.1)b)(3)(t)188).

✓ k. Submit to the Department or Public Works a set aside account or irrevocable letter of credit in the amount determined by the Department of Public Works for use by the City during grading and construction to correct emergency storm water runoff or erosion problems on the site when the developer is unable or unwilling to correct. This amount shall be no less than the amount required to stabilize all disturbed areas and to prevent any environmental degradation. Should this fund be utilized, a "stop work order" shall be in effect until the fund is reestablished at its original level (Conclusion II.D.3.b.1)b)(3)(j)108).

16. Prior to issuance of a occupancy permit for any building the applicant shall:

✓ a. Submit to Department of Planning and Community Development for recording a concomitant agreement for the proportionate share of the cost of signalization, and a cash deposit for signal phase change for the following intersections, respectively:

- 1) Market Street and NE 106th Street (17 percent)
- 2) NE 116th Street and 120th Avenue NE (45 percent)

(See Conclusions II.D.3.b.1)a)(1)(d)(II) and b)(3)(m)134 and 141).

✓ b. Convey to the City in the form acceptable to the City Attorney, the open space between Crestwood Park and the extension of NE 106th Street, except for a 100-foot wide strip running along the southern edge of the roadway as depicted in Attachment 7 (see Conclusion II.D.3.b.1)a)(1)(d)(iv)).

✓ c. Submit for recording, in the form acceptable to the City Attorney, the equitable covenant as shown in Attachment 3.h. for all permanent open space including buffers (see Conclusion II.D.3.b.1)a)(1)(d)(v), II.D.3.b.1)b)(3)(a)6 and (b)20, 21, 23, 24 and 25, and (d)52).

✓ d. Submit to Department of Planning and Community Development for recording a public pedestrian trail easement in a form acceptable to the City attorney for the public trail from 112th Avenue NE and NE 108th Street through the site and connecting to Crestwoods Park (see Conclusion II.D.3.b.1)b)(1)(h)).

✓ e. Submit for approval by the Department of Planning and Community Development a public information brochure, approved by the Department of Fisheries in writing, describing the value of Forbes Creek as a fisheries habitat and recommending ways for residents to assist in maintaining the quality of the creek (see Conclusion II.D.3.b.1).b)(3)(c)47).

- ✓ f. Submit to the Department of Planning and Community Development a security device to ensure maintenance of landscaping, the permanent storm water retention system, and other site improvements for 2 years (see Conclusions II.D.3.b.1)b)(3)(j)107 and II.F.2.b.).
- g. Submit to the Department of Planning and Community Development for approval, a "transit plan" to provide peak hour shuttle service between the Kingsgate Park and Ride and the site. The plan shall include the number of vans to be provided, how the system will be managed, a method for insuring that tenants receive this transit information, and a priority parking area for high occupancy vehicles (see Conclusions II.D.3.b.1)b)(3)(o)160 and 161).
- ✓ h. Complete a gravel pedestrian access path in the location set forth in 15.d. above (see Conclusion II.F.2.C.).
- ✓ i. Complete all site improvements indicated on the site plan and all landscaping on the landscape plans approved by the Department of Planning and Community Development at the time of application for building permit for that particular building (see Conclusion II.F.1.c).
- ✓ j. Complete all stream work indicated on the stream plans approved by the Washington State Department of Fisheries at the time of application for Hydraulic Project Approval permits (see Conclusion II.D.3.b.1)b)(3)(u)192).
- ✓ k. Install a fully operational permanent storm water control system (see Conclusion II.F.2.e.).
- ✓ l. Submit to the Department of Planning and Community Development for recording a flood plain drainage easement in a form acceptable to the City Attorney, for the revised flood plain area within the site. Minor grading, clearing, and revegetation should be allowed to occur within this area only upon written approval by the Department of Planning and Community Development (see Conclusion II.D.3.b.1)b)(3)(e)60).
- ✓ m. Submit to the Department of Planning and Community Development for recording a drainage easement acceptable to the City Attorney for Forbes Creek. The easement shall be 50 feet wide on both sides of Forbes Creek as measured from the thread of the stream. No intrusions are allowed within this easement except for roads, utilities and appurtenances drainage ponds B, C, D, and E, the parking lot for the recreation complex, the recreation complex, necessary landscaping, gabion, and rockeries to enhance Forbes Creek, and the pedestrian trail, except upon approval by the Department of Planning and Community Development (see Conclusion II.D.3.b.1)b)(3)(c)27).

- n. Complete all public right-of-way improvements to 112th Avenue N.E. and N.E. 108th Street, consistent with civil plans approved by the Department of Public Works at the time of application for grading and right-of-way permits. These improvements must be consistent with civil plans dated April 16, 1987, including any revisions required in I.B.5.g. above (see Conclusion IID.3.b.(3)(p)162.
 - o. Install N.E. 106th Street and improve it with ATB between 108th Avenue N.E. and 116th Avenue N.E. consistent with civil plans approved by the Department of Public Works at the time of application for grading and right-of-way permits. These improvements must be consistent with civil plans dated April 16, 1987 including any revisions required in I.B.15.g. above (see Conclusion II.D.3.b.(3)(p)162.
 - p. Install or bond for all other public right-of-way improvements consistent with civil plans approved by the Department of Public Works at the time of grading and right-of-way permits. These improvements must be consistent with civil plans dated April 16, 1987 including any revisions required in I.B.15.g. above (see Conclusion II.D.3.b.(3)(p)162, 163, 164, 165, 166 and 167).
17. Complete all off-site public right-of-way improvements indicated on the civil plans approved by the Department of Public Works at the time of application for grading and right-of-way permits at a ratio to building occupancy satisfactory to the Department of Public Works. These improvements must be consistent with civil plans dated April 16, 1987, including any revisions required in I.B.15.g. above (see Conclusion II.D.3.b.1)b(3)(p)162, 163, 164, 165, 166 and 167).
"Said civil plans shall also be revised to include one-half street improvements where the project abuts 108th Avenue N.E. (see addition to Conclusion II.D.1.b.)."
18. Prior to issuance of occupancy permit of no more than 10 buildings, (45 percent of the total buildings) operation of the transit shuttle service system should commence (see Conclusion III.D.3.b.1)b(3)(o)160).
19. Prior to issuance of occupancy permit of more than 11 buildings, all landscaping between the gabion and ponds and along the relocated portion of Forbes Creek must be completed consistent with Hydraulic Project Approval, Landscape Plan L-5 (Attachment li) and with I.B.1.2.a. above (see Conclusion IIF.2.c.).
20. Prior to issuance of occupancy permit of more than 11 buildings, the pedestrian trail shall be completed consistent with I.B.15.d. above (see Conclusion IIF.2.c.).
21. Prior to issuance of occupancy permit for any building within the northeast section, all perimeter landscaping in that section shall be completed (see Conclusion IIF.2.c.).
22. Prior to issuance of occupancy permit for any building within the north or central section, all perimeter landscaping in those sections shall be completed (see Conclusion IIF.2.c.)

23. Prior to issuance of occupancy permit for any building within the southwest section, all perimeter landscaping in that section shall be completed (see Conclusion IIF.2.c.).
24. Prior to issuance of occupancy permit for the last building, the applicant shall:
 - a. Underground all existing overhead utility lines abutting the subject property. Specifically along the west side of 116th Avenue NE, along the east side of 108th Avenue NE and those running through the subject property along NE 108th Street subject to concurrence with Puget Power (see Conclusion II.E.2.).
 - b. Submit to the Department of Planning and Community Development for recording with the King County Records and Elections Division an agreement to continually maintain the landscaping within the 116th Avenue NE, 108th Avenue NE, and NE 106th Street rights-of-way and within the cul-de-sac landscape islands at 112th Avenue NE and NE 108th Street (see Conclusion II.F.2.a.).
 - c. Comply with all technical committee requirements (see Conclusion II.G.2.).
 - d. Complete all on and off site improvements indicated on approved development plans for this project.
25. In lieu of completing any required improvements, a security device to cover the cost of installing the improvements may be submitted if the criteria in Zoning Code Section 175.10.2 are met (see Conclusion IIF.2.c.)

Development Standards

Lincoln Properties, File No. I-87-20

A. Department of Planning and Community Development

1. Zoning Code (1972):

- a) Chapter 23.27, Planned Areas
- b) Chapter 23.36, Performance Standards
- c) Chapter 23.40, Landscaping Screening and Fencing

B. Department of Public Works

- 1. a) Sanitary Sewer: Per previous memorandum and Conditions 183-186
- b) Authority: K.M.C. Title 15
- 2. a) Domestic Water: Per previous Conditions 179-182
- b) Authority: K.M.C. Title 15
- 3. a) Storm Water: No fixed plans, 30, 32, 92, 101
- b) Authority: Zoning Code Chapter 107
- 4. a) Right-of-Way Improvements: See Condition 10, Condition 162 - contribute share of signal at N.E. 116th and 20th Place N.E. prior to building permit
- b) Authority: Zoning Code Chapter 110;

- 5. a) Other: All improvements to be completed prior to Certificate of Occupancy; pedestrian trails should be a minimum of 6 feet wide within 10 feet of cleared area and lighted

C. Building Department

- 1. Relevant Building Code Requirements: Occupants on floors above the second story and in basement shall have an access to not less than two separate exits from the floor or basement; UBC Section 3303(a)
- 2. Dumpster: Trash enclosure should be located in such a manner that the dumpster can be removed by the garbage truck, not by hand.

- 3. Other: Handicapped parking stalls must be arranged so as to not cross traffic when going to and from stalls why are none of handicapped stalls covered?
- 4. The relocation of Forbes Creek Food Plain appears to be acceptable.

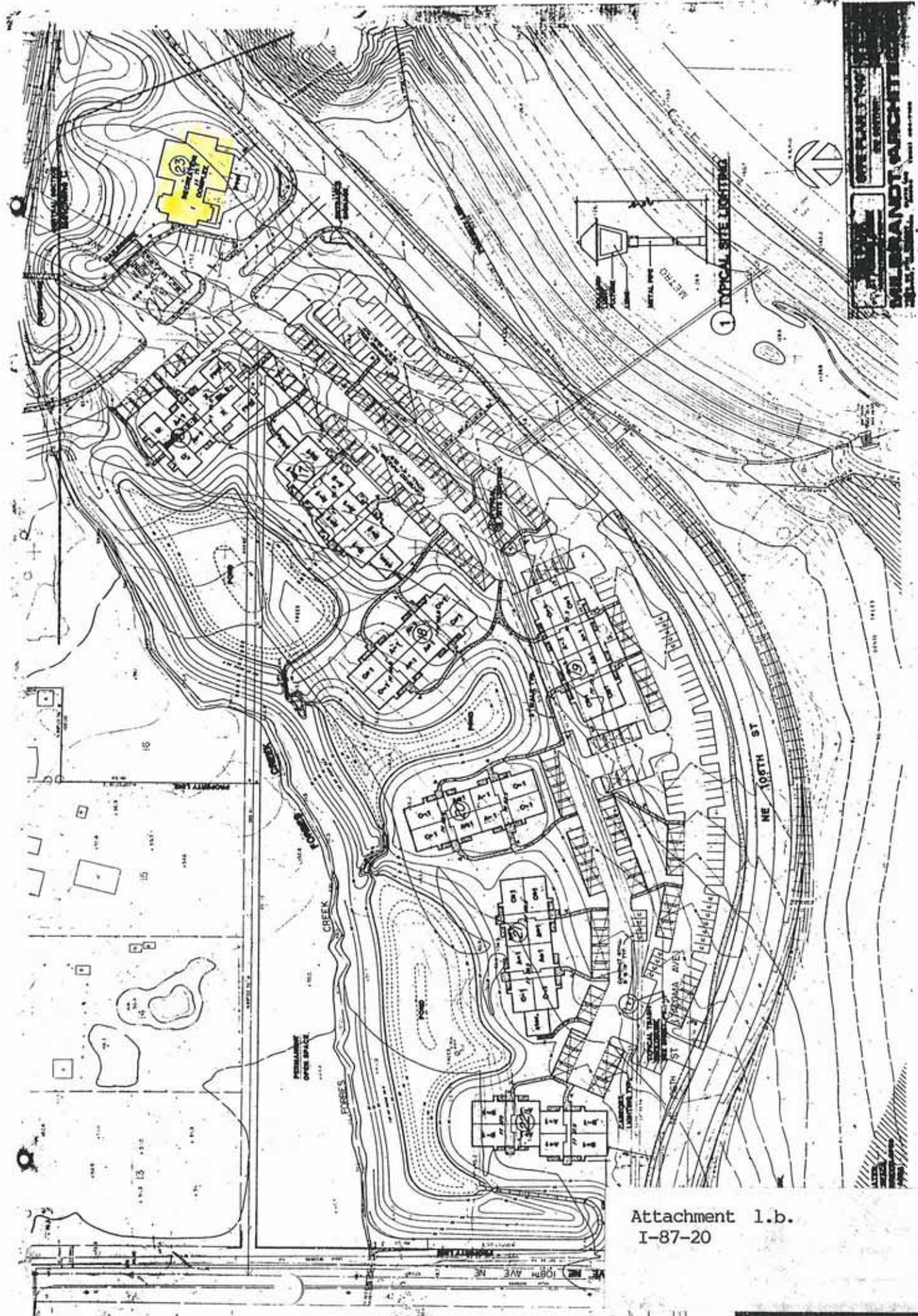
D. Fire Department F.D. Ref. #H3-2 and 13-3

1. Emergency Access:

- a) Fire Lanes (UFC 10.207): X
- b) Turn-around (UFC 10.207):
- c) Grade: X; not to exceed 15%
- 2. Fire Hydrants (UFC 10.301): X
- 3. Fire Alarm Systems (KMC 21.08.213): X
- 4. Fire Extinguishers (UFC 10.301): X
- 5. Key Box (UFC 10.209): X
- 6. Sprinkler System (UFC 10.309): X; may be required
- 7. Vertical Standpipe (UFC 10.312): X; may be required
- 8. Horizontal Standpipe (UFC 2.102):
- 9. State Fire Marshal Approval:
- 10. Fire Flow Information (UFC 10.301): 4,950 gpm available at 20 psi at N.E. 108th Street and 112th Avenue N.E. (3/82); fire flow requirement to be determined at time of building permit application

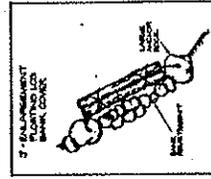
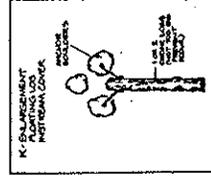
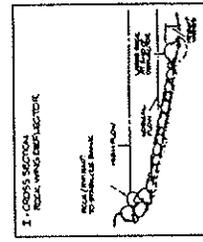
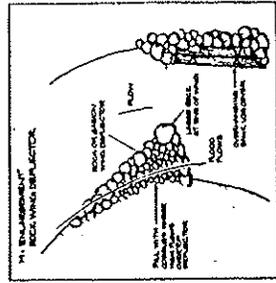
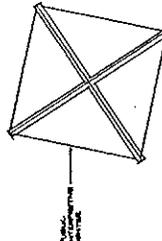
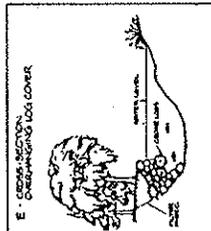
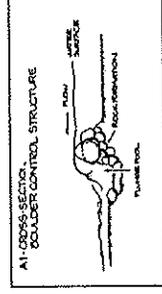
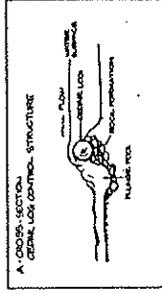
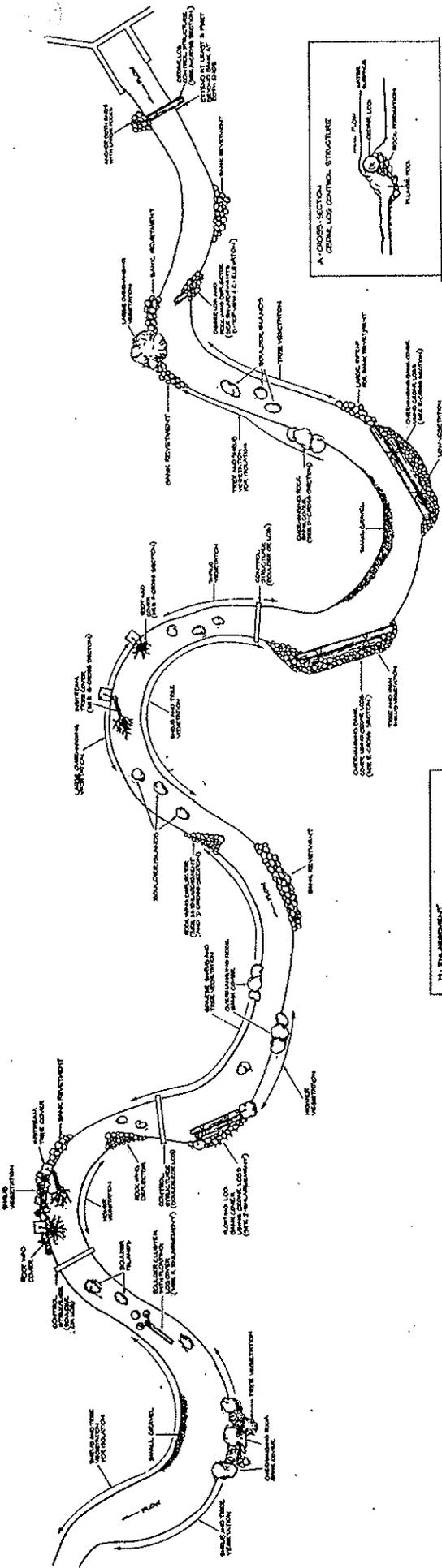
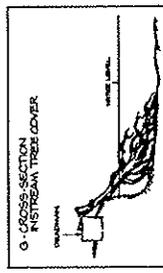
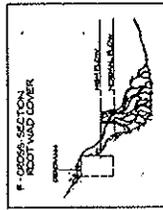
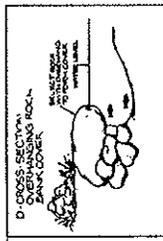
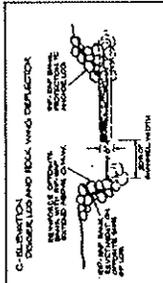
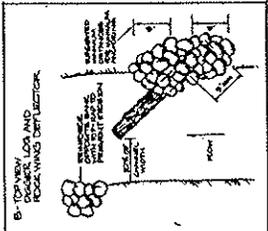
11. Other:

- a) Fire lanes will be required; locations will be indicated at time of building permit applications;
- b) grade of roadway throughout development shall not exceed 15%;
- c) fire hydrants will be required - number and location will be determined at time of building permit application;

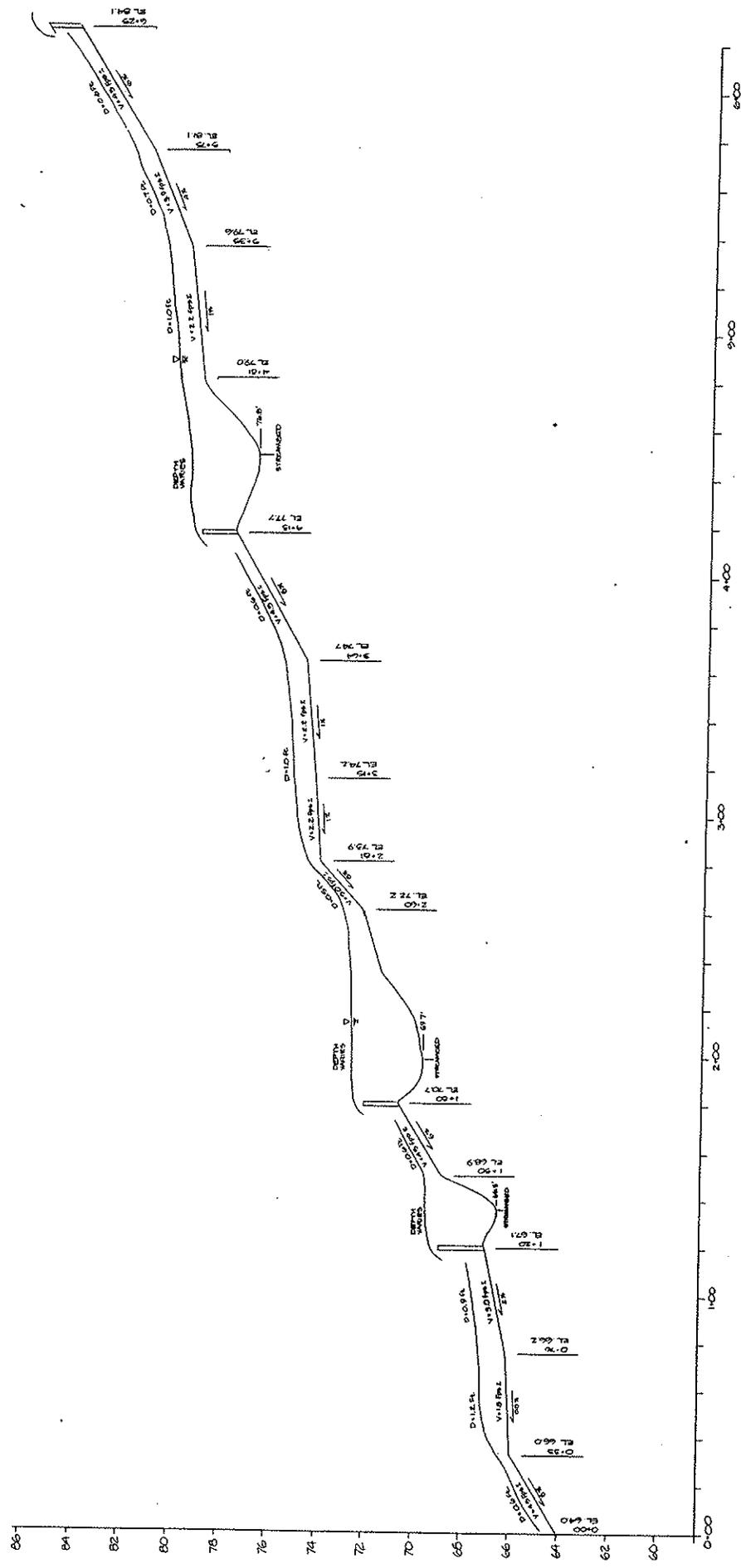


SITE PLAN
 OF
MILBRAND ARCHITECTS
 212 S. 10TH ST., SUITE 200
 OMAHA, NE 68102

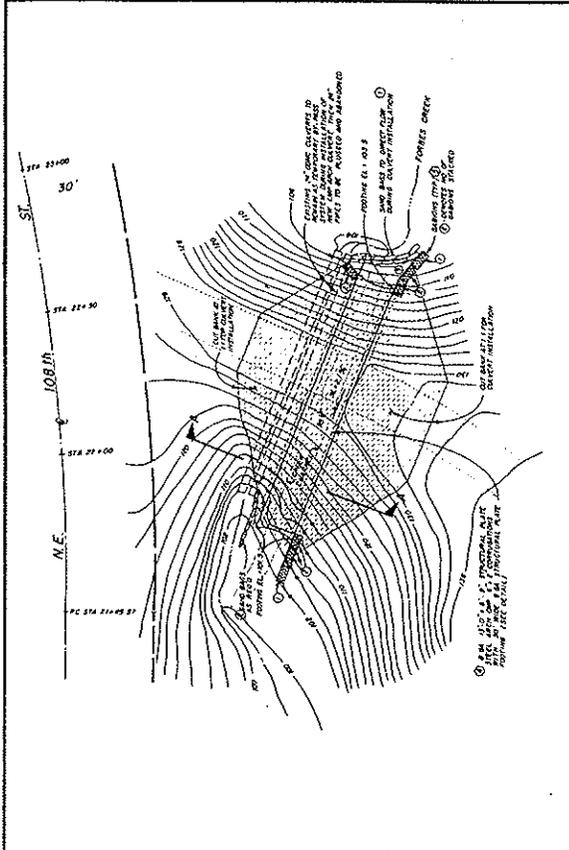
Attachment 1.b.
I-87-20



SHEET NO.		15	
FOR2			
PROJECT: FORKES CREEK FISH HARBOR PLAN			
DATE: 30-10-83			
PREPARED BY: P. B. BENTLEY, INC.			
DRAWN BY: P. B. BENTLEY			
CHECKED BY: P. B. BENTLEY			
SCALE: 1" = 10'			
DATE: 30-10-83			
NO.	REVISED	BY	DATE



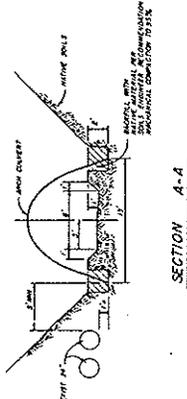
NO.	REVISION	DATE	BY	CHECKED	APPROVED	ONLY VERTICAL 1"=20' HORIZONTAL 1"=120' DATE 4/7/87	
						PARMETRIX, INC. 1000 W. 10th St., Suite 100 Lincoln, NE 68502 (402) 441-1111	
						PROJECT FORD'S CREEK HYDROLOGIC PROFILE AT 4 CFS 25 MARCH 85 1468-01	
						SHEET NO. 2 3	



METRO EASEMENT CULVERT REPLACEMENT

1" = 20'

- METRO EASEMENT CULVERT REPLACEMENT REQUIREMENTS**
1. All culverts along existing roadway shall be built south of existing roadway.
 2. All culverts shall be constructed with concrete.
 3. All culverts shall be constructed with a minimum of 18" concrete on all sides.
 4. All culverts shall be constructed with a minimum of 18" concrete on all sides.
 5. All culverts shall be constructed with a minimum of 18" concrete on all sides.
 6. All culverts shall be constructed with a minimum of 18" concrete on all sides.
 7. All culverts shall be constructed with a minimum of 18" concrete on all sides.
 8. All culverts shall be constructed with a minimum of 18" concrete on all sides.
 9. All culverts shall be constructed with a minimum of 18" concrete on all sides.
 10. All culverts shall be constructed with a minimum of 18" concrete on all sides.



SECTION A-A
1" = 8'

CONCRETE: USE AN ALA INTERMEDIATE AGGREGATE TO USE STANDARD 34.9 FOR ALL CONCRETE CONSTRUCTION. USE 4" x 7" x 14" BY VOLUME. ALL STRUCTURAL 1/2" BARS OF CONCRETE SHALL BE PLACED AND A MINIMUM OF 1" SLURRY A MINIMUM OF 5" REINFORCEMENT. CONCRETE REINFORCING SHALL BE RECORDED BARS PER ASTM A618-70, GRADE 60, TYPICAL. 15x21 251. REINFORCEMENT DETAILS SHALL BE 18" BARS PER STANDARD PRACTICE. LAY ALL BARS 30 BAR DIAMETERS OR 18" BARS MINIMUM.

WALL BARS - EXPOSED TO EARTH OR WATER 3" UNIFORM SPACES - EACH FACE

FOOTINGS: ALL FOOTINGS SHALL BE FORMED ON UNDISTURBED SOILS. THE FOOTING FOOTINGS SHALL BE A MINIMUM OF 18" BARS PER GRADE. A SOIL BEARING VALUE OF 100 PSF HAS BEEN USED. EFFECTIVE FLUID PRESSURE ON FEET OF 90 PCF (100) HAS BEEN USED.

CONTRACT INFORMATION

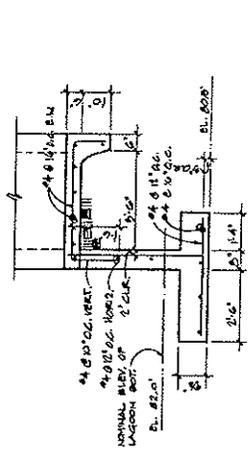
LINCOLN PROPERTY CO.
1000 WASHINGTON ST. N.W.
WASHINGTON, D.C. 20004

THE PARK AT FORBES CREEK
FORBES CREEK REALIGNMENT

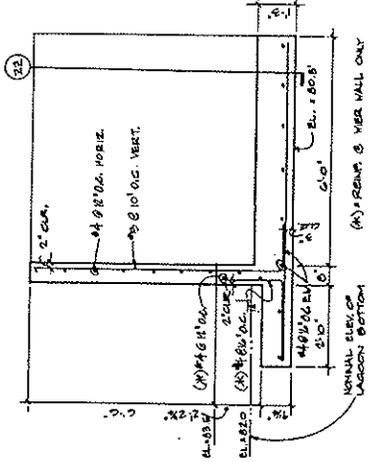
1000 WASHINGTON ST. N.W.
WASHINGTON, D.C. 20004

FORBES CREEK REALIGNMENT
1000 WASHINGTON ST. N.W.
WASHINGTON, D.C. 20004

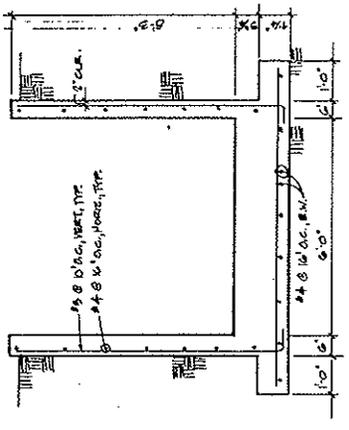
DATE: 8/1/00
SCALE: AS SHOWN
PROJECT: FORBES CREEK REALIGNMENT



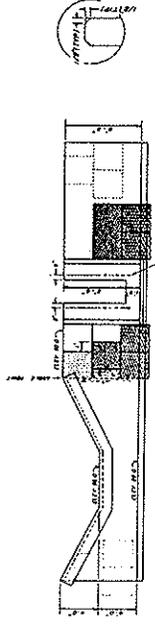
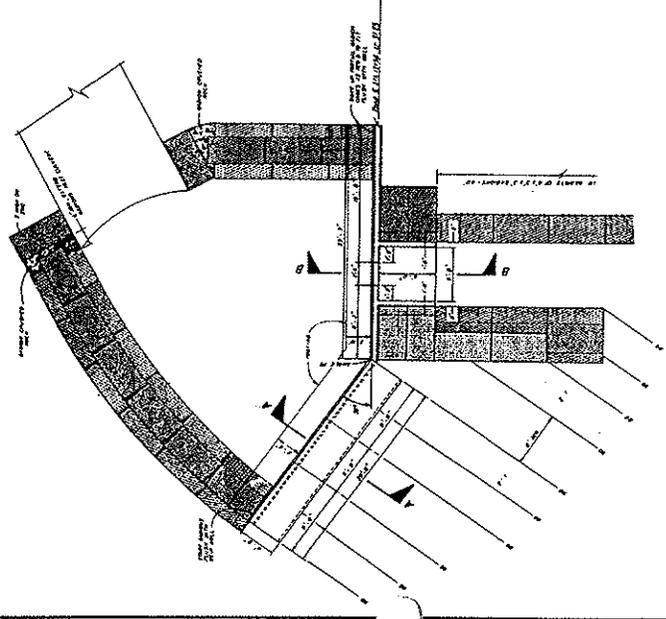
SECTION A-A



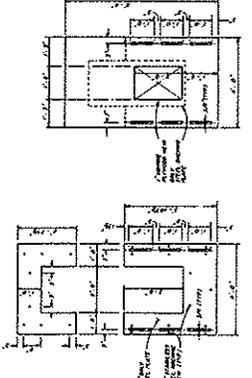
SECTION B-B



SECTION 2-2



FRONT

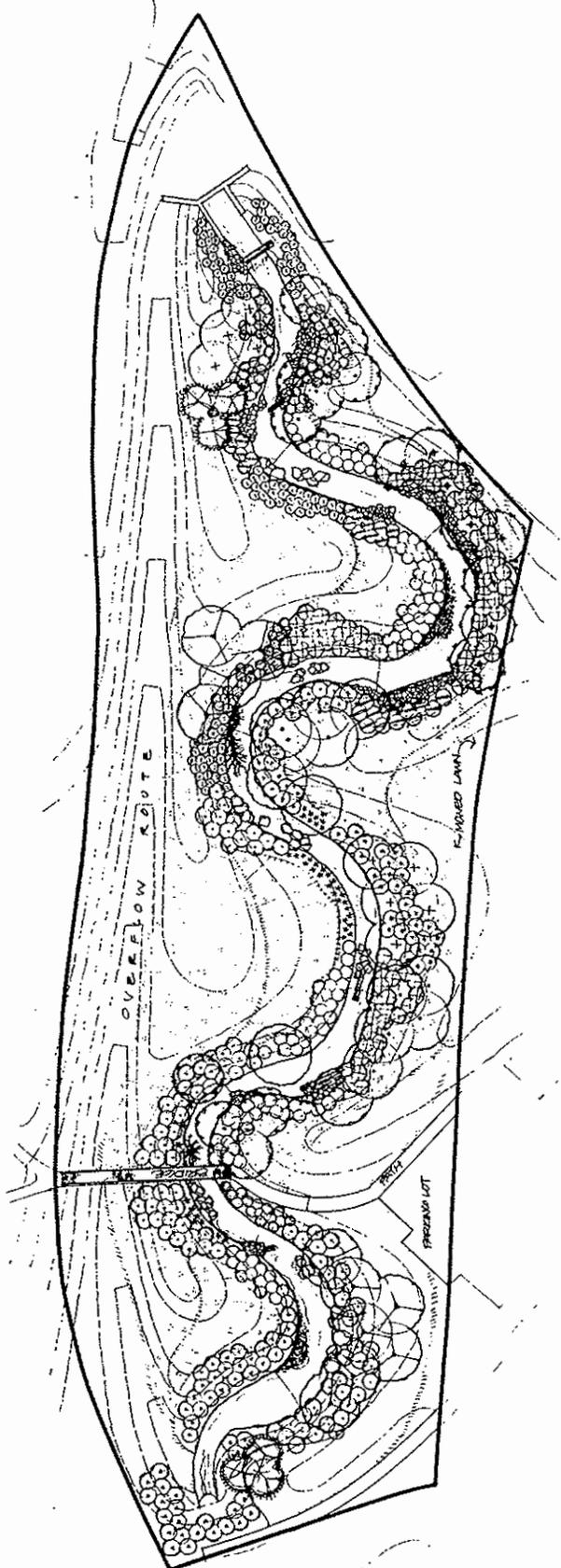


PLYWOOD WEIR DETAIL

BACKING PLATE DETAIL

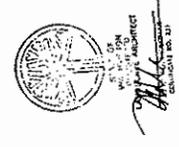
FORBES CREEK WEIR/OVERFLOW

1" = 8'



STREAMBED PLANT LIST

SYMBOL	QTY	BOTANICAL/Common Name	SIZE/REMARKS
○	11	ACER INCORNICATUM / BIG LEAF MAPLE	2" x 6", 12" x 14" Ht., 8" B.
○	11	ALNUS OREGANA / OREGON RED ALDER	12" x 10" Ht., 8" B., SINGLE
○	12	BETULA PENNSYLVANICA / WEEPING BIRCH	10" x 12" Ht., 8" B., CLUMP
○	0	PLATANUS ACERIFOLIA / LONDON PLANE TREE	2" x 6", 12" x 14" Ht., 8" B.
○	0	SORBUS ACERIFOLIA / MOUNTAIN ASH	2" x 6", 10" x 12" Ht., 8" B.
○	0	TAXUS RICKARDII / WESTERN RED CEDAR	7" x 8" Ht., 8" B.
○	72	AMBROSIA ALBA / SERVICE BERRY	5" x 4" Ht., 24" x 30" Ht.
○	100	CORNUS STOLONIFERA / RECTING DOGWOOD	2" x 4" Ht., 15" x 18" Ht.
○	100	GAULTHERIA SILLIMANII / SALAL	2" x 4" Ht., 12" x 15" Ht.
○	3	LOXICERA INVOLUCRATA / TWIN BERRY	2" x 4" Ht.
○	100	RUPESTRIS ALNIFOLIA / SWAMP BERRY	2" x 4" Ht., 24" x 30" Ht.
○	21	RIBES SAUNDERSII / RED FLOWERING CURRANT	5" x 4" Ht., 18" x 24" Ht.
○	20	RUPESTRIS ALNIFOLIA / SWAMP BERRY	2" x 4" Ht., 18" x 24" Ht.
○	13	SPERMA TOXICUM / WESTERN SPIDER	CLUMP, 16" x 24" Ht., 4" B., COLLECTED
○	45	TYNNA LATIFOLIA / OXALIS	CLUMP, COLLECTED OR NURSERY STOCK
○	0	CALAMAGROSTIS CANADENSIS / COULDLINT	SEED @ RATE OF 1 1/4 LBS / 1000 SQ FT
○	0	PHELIUM PRATENSE / TIMOTHY	1 1/4 LBS / 1000 SQ FT
○	0	PERA CANETI / BLUEGRASS	1 1/4 LBS / 1000 SQ FT



Scale: 1" = 20'-0"

LANDSCAPE PLAN
L-5
STREAMBED PLANTING

THE PARK
AT FORBES CREEK
LANDSCAPE ARCHITECTS

MILBRANDT ARCHITECTS
1800 4TH AVENUE
SEATTLE, WASHINGTON 98101

Welman Design Group
1800 4TH AVENUE
SEATTLE, WASHINGTON 98101

file
1-87-20

CITY OF KIRKLAND
Planning & Community Development
MEMORANDUM

Date: May 9, 1988
To: Joseph W. Tovar
From: Joan Lieberman-Brill *JLB.*
Subject: THE PARK AT FORBES CREEK RECREATION FACILITIES

The above referenced facility was not a requirement or condition of approval of either the preliminary or final PUD for The Park at Forbes Creek, File No. 1-87-20. These voluntary improvements will serve the tenants and their guests only.

The applicant's approved building plans indicate about a 8,800 square foot recreational center which will contain one indoor swimming pool and jacuzzi and one outdoor pool. An exercise/workout room, a separate aerobics room with two sun beds and one racquet ball court will be inside of this recreational facility as well. In addition, the site will have a third swimming pool and two big toys for kids located at the eastern end of the site between Buildings 4 and 5, which is in the family area of the planned unit development. Finally, a sports court and tennis court are located near the large pond just northwest of the recreational center.

0689D/296A/JLB:cw

ATTACHMENT <u>7</u>
<u>Zoning 0024</u>

THE PARK

AT FORBES CREEK

A PLANNED UNIT DEVELOPMENT
KIRKLAND, WASHINGTON

LINCOLN PROPERTY CO.
BELLEVUE, WASHINGTON



cc: Mayor

RECEIVED

APR 28 1988

CITY OF KIRKLAND



April 27, 1988

Terry Ellis
Kirkland City Manager
Kirkland City Hall
123 Fifth Avenue
Kirkland, WA 98033

Dear M. Ellis:

I read with interest the article in Sunday's (4/10/88) Journal-America, "Kirkland concerned about business duplication." This has been a concern of ours for sometime.

*/// Specifically, Columbia Athletic Club at Juanita Bay has been paying property taxes for seven years. Our owner, Cy Oskoui, and the club manager, Anne Sims, are active in the Kirkland Chamber of Commerce and Rotary organizations. Yet the City has taken the Lincoln housing development being built one mile from our club and conditioned them to build an athletic facility.

At first glance, this would not appear to be beneficial to Lincoln Properties or our club at Juanita Bay. After seven years, our club is still not full and a club relies on residents within a five mile radius.

I would appreciate a chance to discuss this matter with you and the possible ways our club could assist and work with the community needs.

Sincerely,

Sue Justen
General Manager

SJ/wg

cc: Doris Cooper, Mayor
Kirkland City Council

CITY OF KIRKLAND

123 FIFTH AVENUE KIRKLAND, WASHINGTON 98033-6189 (206) 828-1257

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
MEMORANDUM

To: Joseph W. Tovar
From: Linda Phillips
Date: JANUARY 9, 1991
Subject: ACCESSORY USES-PARK AT FORBES CREEK P.U.D.,
File No. I-87-20

I. INTRODUCTION

The management of The Park at Forbes Creek is planning to remodel the private recreation complex which is an existing element of the development. Marsha Tenaka, architect in charge of the project, has requested your approval of a beverage bar and grocery convenience center to be constructed in space currently used for management offices and a landscaped courtyard near the entrance to the recreation center. (See attachment 1)

Nancy Carlson, Angela Ruggeri and I visited the site on Friday, December 14.

II. RECOMMENDATIONS

Based on the facts and conclusions in sections VI., VII., and VIII. and the attachments to this report, I recommend approval of the addition of a beverage bar to the Park at Forbes Creek Recreation Center as an accessory to the approved recreation use. In addition, I recommend approval of a grocery convenience center as an accessory to the residential use of the PUD. Approval should be subject to the following conditions:

1. There shall be no outside signs or advertising of the beverage bar or the grocery convenience center.
2. The beverage bar and grocery convenience center shall be used exclusively by residents, their guests, and employees of the Park at Forbes Creek.
3. Kirkland Planning Department review and approval shall be required prior to expansion of the beverage bar and/or the grocery convenience center.

ATTACHMENT <u>8</u>
<u>2000000004</u>

III. PROPOSAL

The proposal is to convert 450 square feet of office and courtyard space in the present recreation complex at the Park at Forbes Creek to a beverage bar and convenience center (See attachment 2). Plans include the addition of a refreshment counter and tables and chairs for customer seating. Plans for the proposed convenience grocery center consist of three shelf units and a refrigerator. The purpose of the proposal is to allow residents and guests to purchase refreshments while using the recreation facilities and to purchase small amounts of staple food items without leaving the Park at Forbes Creek.

IV. HISTORY

The Park at Forbes Creek is a Planned Unit Development, approved on July 2, 1987, File number I-87-20. The recreation complex is an approved element of the P.U.D. (See attachment 3).

V. SITE DESCRIPTION

The development is located on a 66 acre site north of Forbes Creek Drive. NE 116th Street forms the eastern boundary of the development, and 108th Ave. NE is the western boundary. It consists of 22 buildings which contain 496 residential units, and a separate building which houses the recreation complex and management offices. Private roads provide access to buildings in the development. Access to the development is from Forbes Creek Drive. Private roads provide access to the buildings within the development.

VI. ZONING OF SITE

The Park at Forbes Creek is located within Planned Area 9 (PLA 9). Land use is regulated by the Kirkland Zoning Code, the provisions of the final Park at Forbes Creek P.U.D., and the Kirkland Comprehensive Plan.

VII. ZONING CODE COMPLIANCE

1. a. Fact Regulations for accessory uses, facilities, and activities are set forth in Section 115.10. (see attachment 4)
b. Conclusion Based on the facts and conclusions discussed below, the proposal complies with the criteria established for accessory uses.
2. a. Fact As stated by 115.10.1, accessory uses, facilities, and activities associated with a use permitted in a zone are permitted as part of that permitted use.
b. Fact Refreshment facilities are often associated with recreation facilities similar to the Park at Forbes Creek complex.
c. Fact Retail sales of food are often associated with residential use, i.e., neighborhood grocery stores and urban mixed use complexes providing packaged food staples and deli items.

d. Conclusion The proposed uses are normally associated with the existing permitted uses of the Park at Forbes Creek PUD.

3. a. Fact As stated by 115.10.1, The accessory use, facility, or activity must be clearly secondary to the permitted use.

b. Fact The proposed floor space to be used for the beverage bar and convenience center is relatively small when compared to the total area of the recreation complex. The proposed 450 square feet is 6% of the gross floor area of the recreation/office complex which is 7630 square feet.

c. Conclusion Because of the limited space proposed to be used and restriction of use to residents of Forbes Creek Park, each proposed use is clearly secondary to the permitted use.

VIII. IMPACTS TO THE NEIGHBORHOOD AND SURROUNDING DEVELOPMENT

1. a. Fact The refreshment bar and grocery convenience center would be enclosed by the recreation center. and use would be limited to Park at Forbes Creek employees, residents and guests.

b. Conclusion This proposal if approved will not cause additional impacts to the neighborhood or the City.

2. a. Fact Required parking for final P.U.D. approval of the Park at Forbes Creek was determined by Zoning Code Chapter 105, Section 25, which provides that the planning official may establish the need for parking on a case-by-case basis determined by actual demand and existing circumstances. The subject development contains 906 vehicle parking spaces for 496 residential units, or approximately 1.5 spaces per unit. An additional 14 spaces are specifically reserved for staff employed in the recreation complex, visitors, and delivery vehicles. Presently 4 people are employed at the complex. All employees live in The Park at Forbes Creek. Three or four staff parking spaces are regularly in use, including one for the company truck. One new staff person would be required for operation of the refreshment bar.

b. Conclusion Considering the number of people employed within the recreation complex and its exclusive use by employees, residents, and guests of residents of the Park at Forbes Creek, additional delivery and vehicle parking spaces would not be required for the proposed use.

3. a. Fact The entrance to the recreation complex is monitored. Use is restricted by staff members during hours of operation and the management offices are located adjacent to the entrance.

b. Conclusion Since the uses proposed are not available to the general public, the proposal would not generate additional vehicle traffic from outside the complex.

WJA

WHITELEY JACOBSEN AND ASSOCIATES
ARCHITECTS / ENGINEERS / PLANNERS

306 Seattle Tower 1218 Third Avenue Seattle, WA 98101
Telephone (206) 623-0331 FAX (206) 467-8441

November 28, 1990

RECEIVED

NOV 29 1990

AM
PLANNING DEPARTMENT PM
BY _____

Linda Phillips
Assistant Planner
City of Kirkland
Planning and Community Development
123 Fifth Avenue
Kirkland, Washington 98033

Dear Ms Phillips,

We are pleased to present this proposal for the remodel of the existing Recreation Building at The Park at Forbes Creek. Enclosed are drawings of the PUD site plan, existing facility, proposed floor plan and a building section. We understand that the proposed Beverage Bar/Convenience Center addition is a use different from the approved uses of the existing Planned Unit Development. In submitting this proposal, we wish to introduce the intentions of the program to the Planning Department to be discussed at the weekly staff meeting. We hope to show that the proposed remodel will have minor impact on the existing PUD and surrounding neighborhood. Your input during the design process will be greatly appreciated. We would like to learn how our proposal is received at the staff meeting in order to mold our formal application into a suitable addition under the current zoning regulations.

The Recreation Building at The Park at Forbes Creek currently houses sports and exercise spaces such as a racquet court, weight and aerobics rooms, tanning booths, pocket billiards, indoor pool and spa and the accessory uses which customarily accompany these functions. In addition, the Recreation Building is center to the daily business and operation of the apartment complex. Offices, conference rooms and a reception area accommodate these activities.

We propose to convert 450 square feet of existing office, conference room and courtyard into a Beverage Bar and Convenience Center for the exclusive use of the apartment residents. The owners of the complex are eager to provide residents with amenities which will enhance their stay at The Park. The Beverage Bar is envisioned as an added recreational feature that will service the users of this complex. The menu will include coffee, tea, soft drinks, bottled juices, popcorn and chips.

The seating area of the Beverage Bar is located in the existing open-air courtyard. We propose roofing over this 240 square foot courtyard which is centered in the structure and not visible (even with the proposed roof) from the exterior of the building. The conversion of this courtyard will have minor impact (less than 1/100 of a percent) upon the original lot coverage calculation.

The Convenience Center is proposed in order to alleviate short automobile trips into town for common, single grocery items. Its purpose is to offer apartment residents with a nearby source at which small quantities of flour or milk, for example, can be purchased to fulfill an immediate short term need. Inventory will be centered around basic household goods in small packaged quantities. The list will include flour, sugar, bread, milk, butter, eggs, detergent, aspirin.

ATTACHMENT 1
FILE NO. ACCESSORY USES
1-87-20

The Beverage Bar/Convenience Center will be entirely housed in the existing Recreation Building with no signage or appurtenances exposed on the exterior of the structure. The operation and utilization of the Beverage Bar/Convenience Center will be managed under the same general regulations as are the adjacent recreation facilities, which are restricted to resident-use within specified posted times.

Truck deliveries to the Convenience Center will be accommodated in the parking area immediately adjacent to the Recreation Building. This parking area is designated for "Office and Customer Parking Only" and is separate from assigned residential spaces.

We hope this proposal is received favorably and is viewed as an amenity to the PUD.
Please contact us if there are any questions.

Very truly yours,

Whiteley Jacobsen and Associates, P.S.
Architects / Engineers / Planners



Marsha Tanaka
Architect