

KIRKLAND PARKPLACE

Mixed-Use Development

457 CENTRAL WAY
KIRKLAND, WA 98033

DESIGN RESPONSE CONFERENCE
SUBMITTAL DATE: OCTOBER 30, 2015
PRESENTATION DATE: NOVEMBER 2, 2015

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RYAN
BUILDING LASTING RELATIONSHIPS

TALON
PRIVATE CAPITAL

INTRODUCTION

PROJECT INFORMATION

LOCATION	457 Central Way Kirkland, WA 98033
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LANDSCAPE ARCHITECT	Hewitt 101 Stewart Street Suite 200 Seattle, WA 98101 Kris Snider 206.624.8154 ksnider@hewittseattle.com

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Reviewed by: _____

INTRODUCTION

Project Summary - Phase 1

DEVELOPMENT OBJECTIVES



This submittal contains information regarding Site development as well as retail out-buildings.

Additional information is provided for:

- Site and hardscape materials
- Lighting and amenities
- (Plant selections will be reviewed at the next DRC meeting)

Buildings

- Building B Stand alone retail at Level two Plaza near residential
- Building F1 semi-attached retail/grand stair near garage entry
- Building F level two retail concepts
- Building G Stand alone retail at the Level one western plaza
- Escalator canopy
- Great room

SITE DEVELOPMENT (APPROX. AREAS)

	PHASE 1 BUILDINGS						TOTAL: PHASE 1	TOTAL: FULL BUILD-OUT		
	A	E	F	B	F1	G				
Office	--	194,000	189,000	--	--	--	383,000	605,000	SF	up to 650,000 SF
Residential	168,000	--	--	--	--	--	168,000	285,000	SF	up to 300,000 SF
Retail	3,000	31,000	47,000	4,000	1,600	2,000	86,000	100,000	SF	up to 125,000 SF
Grocery	--	--	47,000	--	--	--	47,000	47,000	SF	
Retail/Entertainment	--	--	--	--	--	--	--	40,000	SF	
Health Club	--	--	--	--	--	--	--	13,000	SF	
Totals	171,000	224,000	284,000	4,000	1,600	2,000	686,600 *	1,115,000	SF	up to 1,175,000 SF

* BUILDING D: 69,000 SF office building to be removed after Building F is occupied

SITE PLAN | OVERALL

Kirkland Parkplace | DESIGN REVIEW | 11.02.2015

SITE PLAN + LANDSCAPE CONCEPTS



SITE PLAN + LANDSCAPE CONCEPTS - ENLARGEMENT - LEVEL 1

Kirkland Parkplace | DESIGN REVIEW | 11.02.2015



SITE PLAN | CENTRAL PLAZA ENLARGEMENT LEVEL 2

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SITE PLAN + LANDSCAPE CONCEPTS

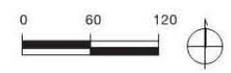


SITE PERMANENT LANDSCAPE CONCEPTS

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HARDSCAPE

- STANDARD CONCRETE- PEDESTRIAN AND VEHICULAR
- SPECIALTY CONCRETE - PEDESTRIAN AND VEHICULAR
- PEDESTRIAN PEDESTAL PAVERS (LEVEL 2)
- SECONDARY ROAD AND PARKING - ASPHALT
- CRUSHED STONE (LEVEL 2)
- WOOD DECKING
- WATER FEATURES WITH GRANITE PAVERS



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MATERIALS PLAN | ENLARGEMENT 1

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STANDARD CONCRETE PEDESTRIAN AND VEHICULAR



2'X2' SCORED CONCRETE SIDEWALKS SCORED CONCRETE CROSSINGS CONCRETE ROAD

SPECIALTY PAVING CONCRETE WITH INTEGRAL COLOR (SANDBLAST AND SEALED FINISH AND TOP SEEDED SURFACE)



SANDBLASTED FINISH PAVING FIELD TOP SEEDED FINISH ACCENT BANDS INTEGRAL BUFF COLOR (DAVIS PALOMINO OR SIM.)

WOOD BENCH / SEAT



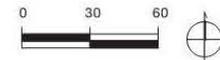
IPE OR SIMILAR

WATER FEATURE



WATER JETS FLUSH WITH GRANITE PAVEMENT SURFACE BUFF COLOR GRANITE (OR SIM.)

SITE PLAN + LANDSCAPE CONCEPTS



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SITE PLAN - LANDSCAPE CONCEPTS - ELEMENT 2

Kirkland Parkplace | DESIGN REVIEW | 11.02.2015

STANDARD CONCRETE PEDESTRIAN AND VEHICULAR



2'X2' SCORED CONCRETE SIDEWALKS SCORED CONCRETE CROSSINGS CONCRETE ROAD
SPECIALTY PAVING (CONCRETE WITH SANDBLAST AND SEALED FINISH AND TOP SEEDED SURFACE WITH INTEGRAL COLOR)



SANDBLASTED FINISH TOP SEEDED FINISH INTEGRAL BUFF COLOR (DAVIS PALOMINO)

WOOD DECKING (IPE OR SIMILAR)



STADIUM SEATING AND WOOD DECKING BENCHES AT CENTRAL PLAZA WOONERF

PEDESTRIAN PEDESTAL PAVERS

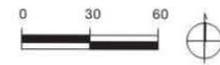
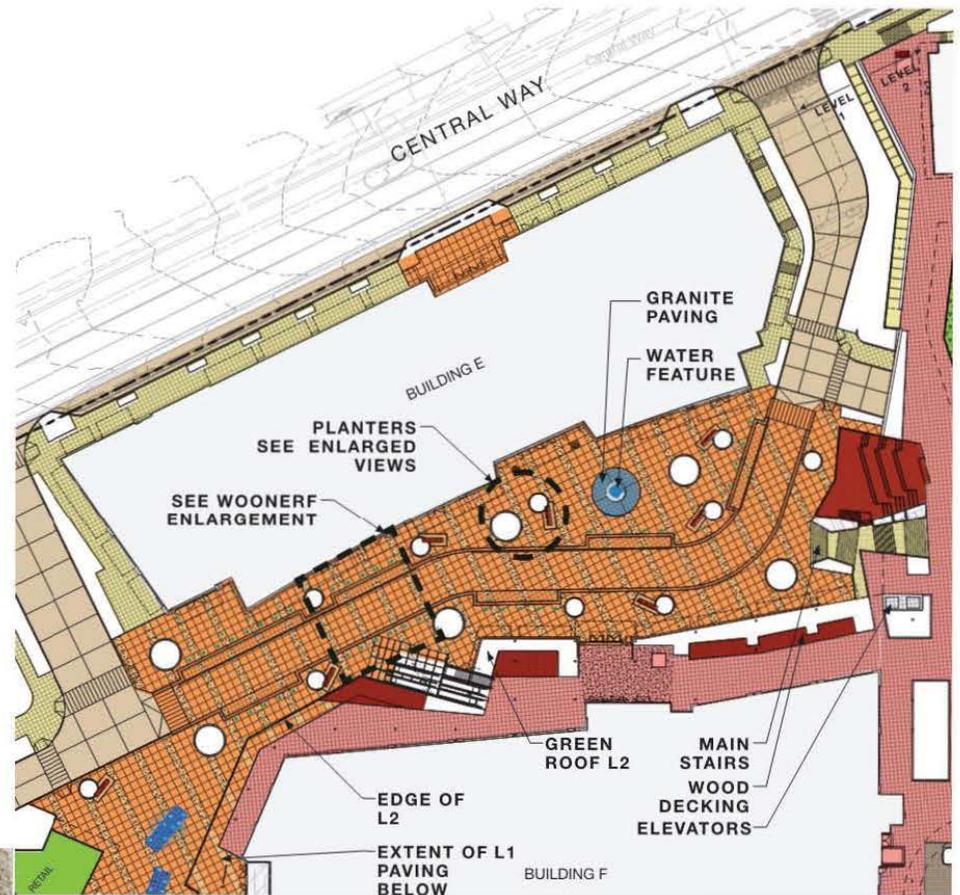


2' X 2' STANDARD PRECAST PEDESTAL PAVER AT L2 - BLEND OF 2 GRAY COLORS W/ TAN ACCENT
PEDESTAL PAVERS COLORS: GRAY, CHARCOAL, TAN - (MUTUAL MATERIALS VANCOUVER BAY SERIES OR SIM.)

WATER FOUNTAIN



WATER FEATURE WITH GRANITE PAVING SURROUND BUFF COLOR GRANITE (OR SIM.)



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CENTRAL PLAZA - WOONERF | ENLARGEMENT

Kirkland Parkplace | DESIGN REVIEW | 11.02.2015

SITE PLAN + LANDSCAPE CONCEPTS



PRECAST TACTILE WARNING PAVER AND TRENCH DRAIN AT EDGE OF VEHICULAR THROUGH WAY



PLAZA TREE PLANTER AND TREE CANOPY

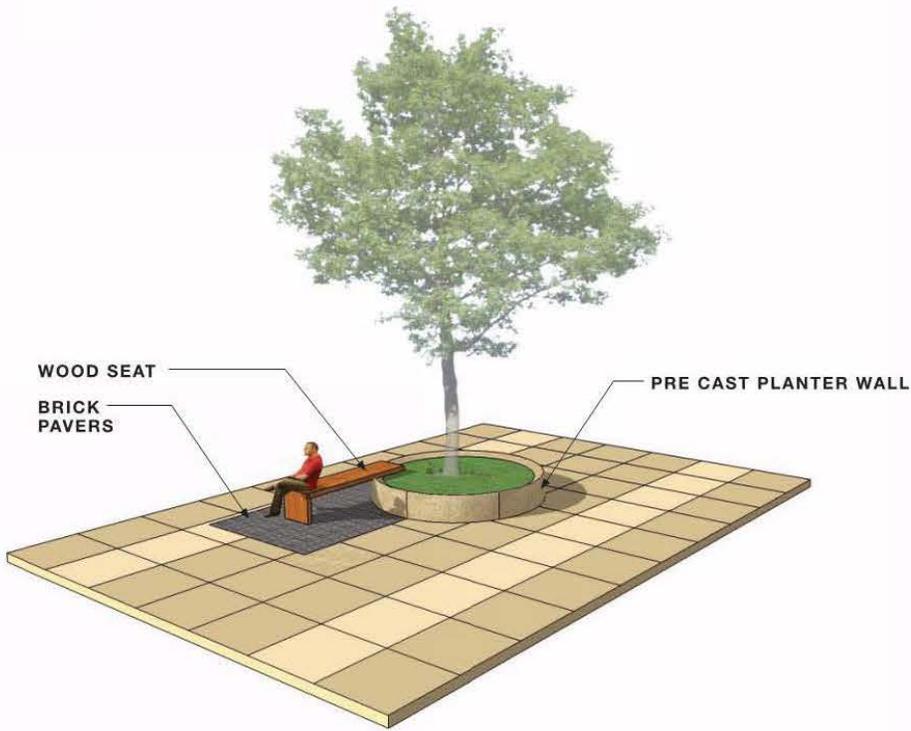


BOLLARDS

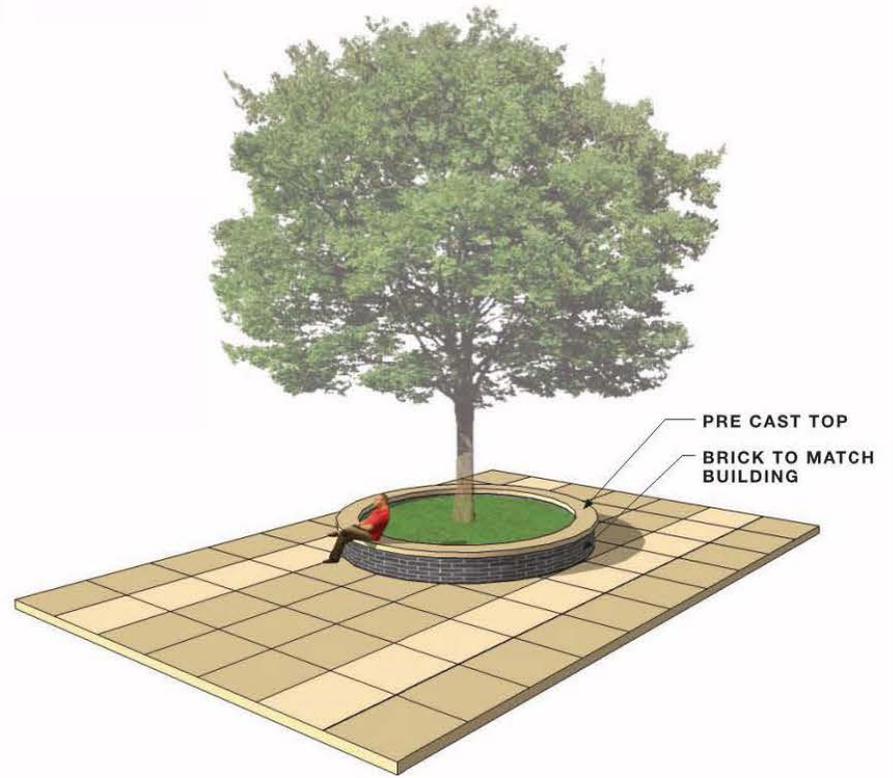


SITE PLAN & LANDSCAPE CONCEPTS | PLANTER VIEWS

Kirkland Parkplace | DESIGN REVIEW | 11.02.2015



10 FT DIAMETER PLANTER WITH INTEGRAL WOOD SEAT



16 FT DIAMETER PLANTER WITH CAP

COLLINSWOERMAN | TALON | KIRKLAND PARKPLACE | NOVEMBER 2, 2015

MATERIALS PLAN | ENLARGEMENT 3

Kirkland Parkplace | DESIGN REVIEW | 11.02.2015

STANDARD CONCRETE PEDESTRIAN AND VEHICULAR



2'X2' SCORED CONCRETE SIDEWALKS



SCORED CONCRETE CROSSINGS



CONCRETE ROAD

CRUSHED STONE



CRUSHED STONE SURFACING AT FREESTANDING PLANTER AREA



BOTTICINO / CREAM COLOR

WOOD DECKING (IPE OR SIMILAR)



STADIUM SEATING AND DECKING

PEDESTRIAN PEDESTAL PAVERS



2' X 2' STANDARD PRECAST PEDESTAL PAVER AT L2 - BLEND OF 2 GRAY COLORS W/ TAN ACCENT

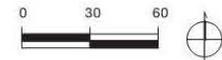
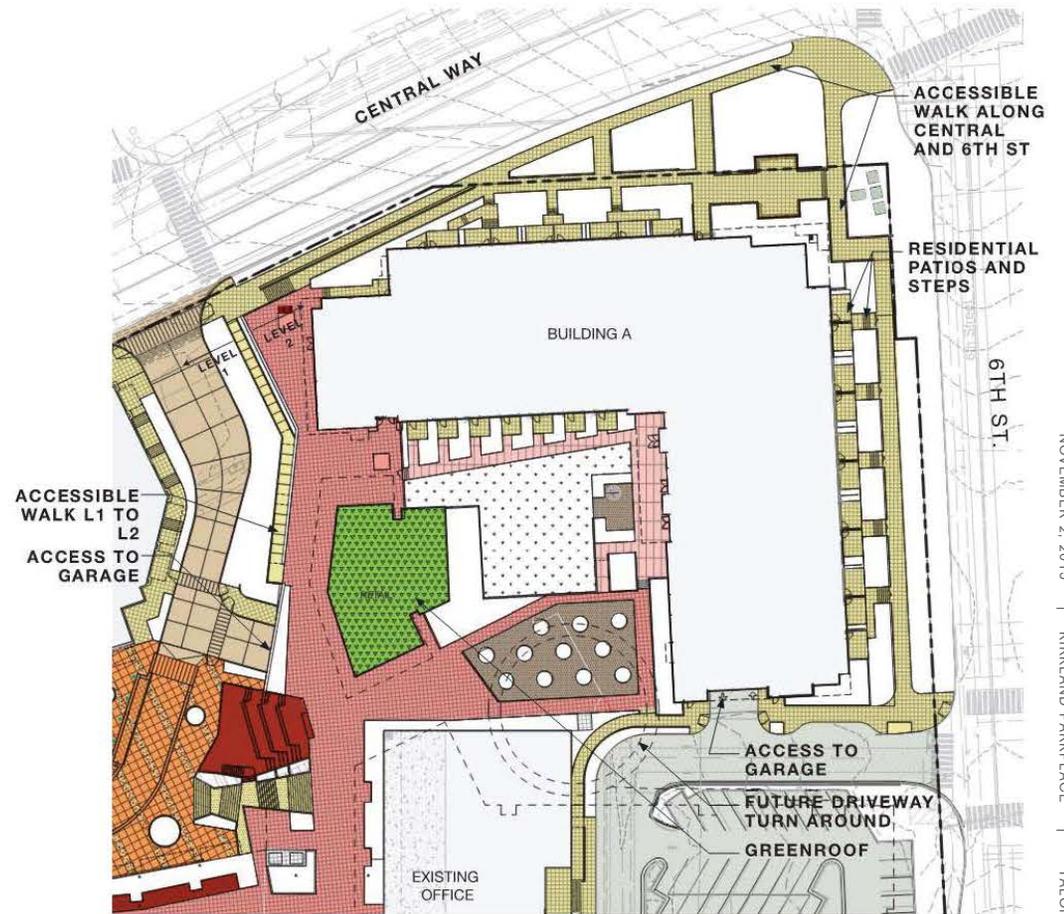


PEDESTAL PAVERS COLORS: GRAY, CHARCOAL, TAN - (MUTUAL MATERIALS VANCOUVER BAY SERIES OR SIM.)



1'X3' PLANK PRECAST PAVER AT RESIDENTIAL BUILDING

SITE PLAN + LANDSCAPE CONCEPTS



SITE PLAN LANDSCAPE CONCEPTS ELEMENT 4

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STANDARD CONCRETE PEDESTRIAN AND VEHICULAR



2'X2' SCORED CONCRETE SIDEWALKS



SCORED CONCRETE CROSSINGS

CRUSHED STONE



CRUSHED STONE SURFACING AT FREESTANDING PLANTER AREA



BOTTICINO / CREAM COLOR

WOOD DECKING (IPE OR SIMILAR)



PLAYGROUND SURFACE

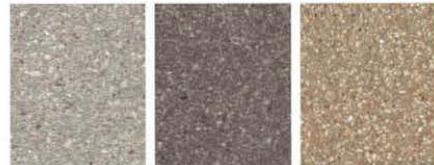


RUBBERIZED SAFETY PLAY SURFACE

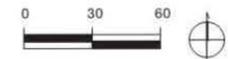
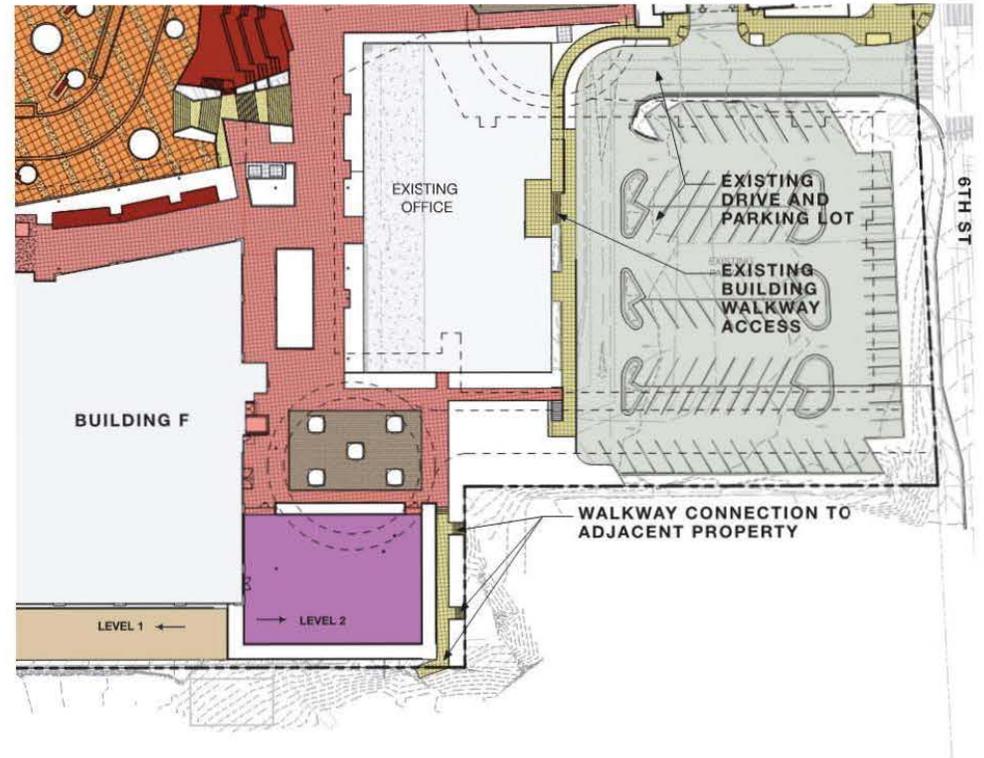
PEDESTRIAN PEDESTAL PAVERS



2' X 2' STANDARD PRECAST PAVER BLEND OF 3 COLORS



PEDESTAL PAVERS COLORS: GRAY, CHARCOAL, TAN - (MUTUAL MATERIALS VANCOUVER BAY SERIES OR SIM.)



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SITE LIGHTING PLAN

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SITE PLAN + LANDSCAPE CONCEPTS

RIGHT-OF-WAY*

- Vehicular and/or Pedestrian Pole Light (to be coordinated with City of Kirkland)

PRIMARY INTERNAL STREET*

- Vehicular and/or Pedestrian Pole Light
- Uplight (In Landscape)

PEDESTRIAN PLAZAS*

- Pedestrian Pole Light / Feature Light
- Step / Wall Lighting
- Light Bollards
- Uplight (In Landscape)

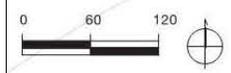
PARKING AREAS*

- Vehicular Pole Light

REPRESENTATIVE MANUFACTURER'S*

- LUMEC
- KIM
- POULSEN
- BK LIGHTING
- SISTEMALUX

* LIGHT TYPES SHOWN ARE REPRESENTATIVE OF STYLE AND QUALITY. FINAL SELECTIONS INCLUDING MANUFACTURER AND QUANTITY TO BE DETERMINED. TYPES OF LIGHTING WITHIN EACH ZONE MAY VARY DEPENDING ON FINAL LIGHTING PLAN.



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NOVEMBER 2, 2015 | KIRKLAND PARKPLACE | TALON | COLLINSWOERMAN

SITE PLAN & LANDSCAPE CONCEPTS

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SITE AMENITIES**



CONCRETE SEATING /
SITE WALLS

PARK BENCH

PLAZA BENCH



BIKE RACK

SEASONAL COLOR - PLANTERS



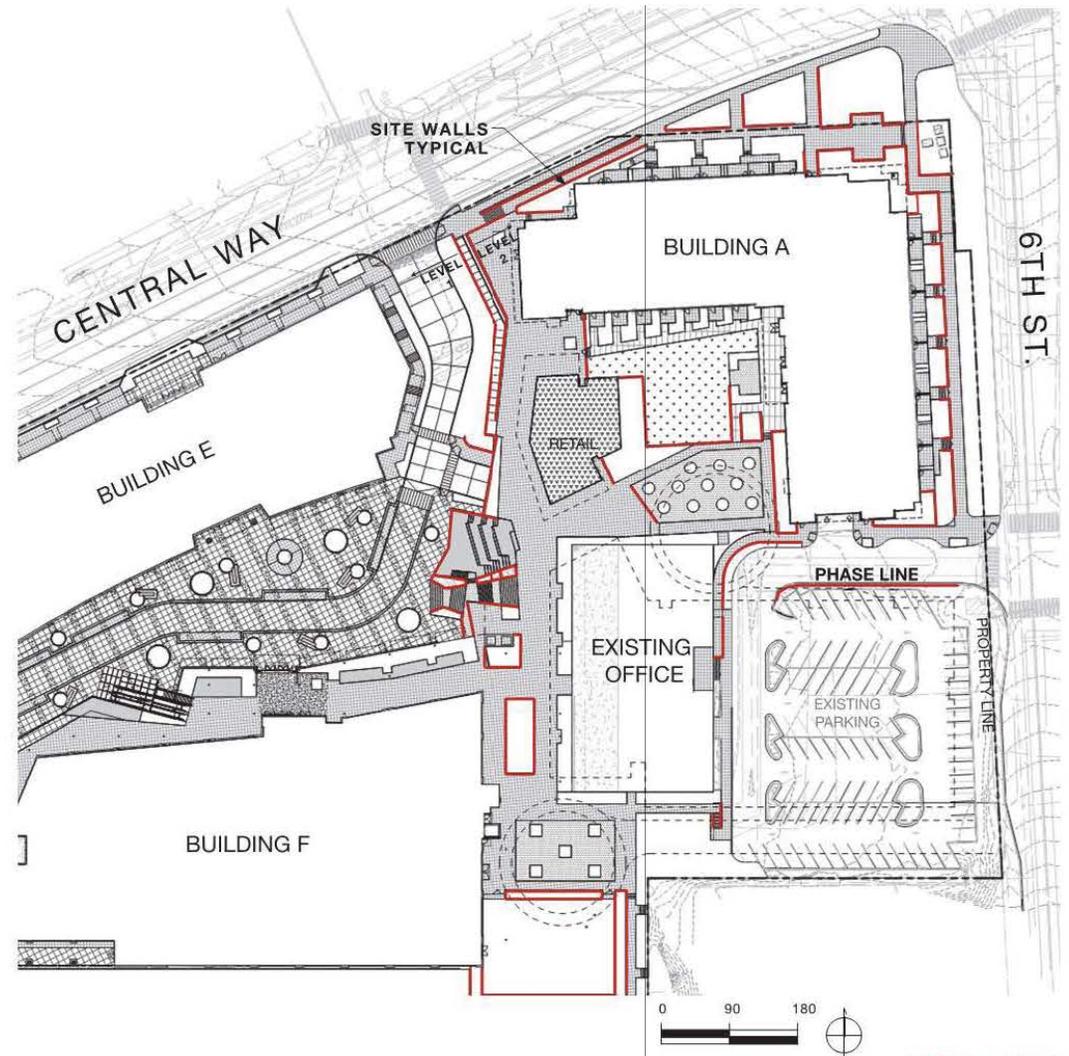
TABLES AND
UMBRELLAS

MOVABLE
FURNITURE

WASTE RECEPTACLE

**FINAL AMENITY MANUFACTURERS AND MODELS TO BE DETERMINED

SITE SEAT WALL / LOW WALL DIAGRAM



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FEATURE BUILDINGS AND SPACES

DESIGN INTENT

The buildings and elements highlighted in this section, along with the level one retail already reviewed, form the framework for the two-level pedestrian experience at both the Park and Plaza levels (Levels one and two). The free standing buildings define plaza edges, activate pedestrian plazas and pathways, and provide human scale elements at key locations throughout the project. Their impact extends to the upper levels of the project as well as Peter Kirk Park and adjoining properties and roadways. Taken together they weave together a common language of forms and materials that stitches together the primary pedestrian spaces on both plaza levels.

THE FOLLOWING ELEMENTS ARE INCLUDED IN THIS SUBMITTAL:

- Building B Stand -alone retail at Level two Plaza near residential
- Building F1 semi-attached retail/grand stair near garage entry
- Building F level two retail concepts
- Building G Stand- alone retail at the Level one western plaza
- Escalator canopy
- Great room

MINOR MODIFICATION IS REQUESTED FOR TWO ELEMENTS:

- Building G -setback from Park
- Daycare plaza (east side of building F) – setback from adjoining property.



DESIGN CONCEPT | BUILDING G

Overview + Minor Modification

SUMMARY

BUILDING G

Building G occupies the western edge of the Park Plaza, helping to define this important space and providing activation to both the project and the park. The building is approximately 2000 sf and will likely be occupied by a restaurant/café/coffee shop use that will spill out onto the plaza under the large overhang of the sheltering roof.

Natural wood and abundant glass give the building an airy open feel facing the plaza while a more solid back of house element, also clad in wood, provides a buffer to the adjacent roadway. The northern and southern portions of the west façade also open up to views of the park.

A green roof caps the building, providing a calming visual presence to the office and retail users at level two and above. The slope of the roof will allow portions of the green roof to be visible from grade as well. Wood and steel columns provide an additional layer of texture, detail and human scale to the building.

LOCATOR MAP



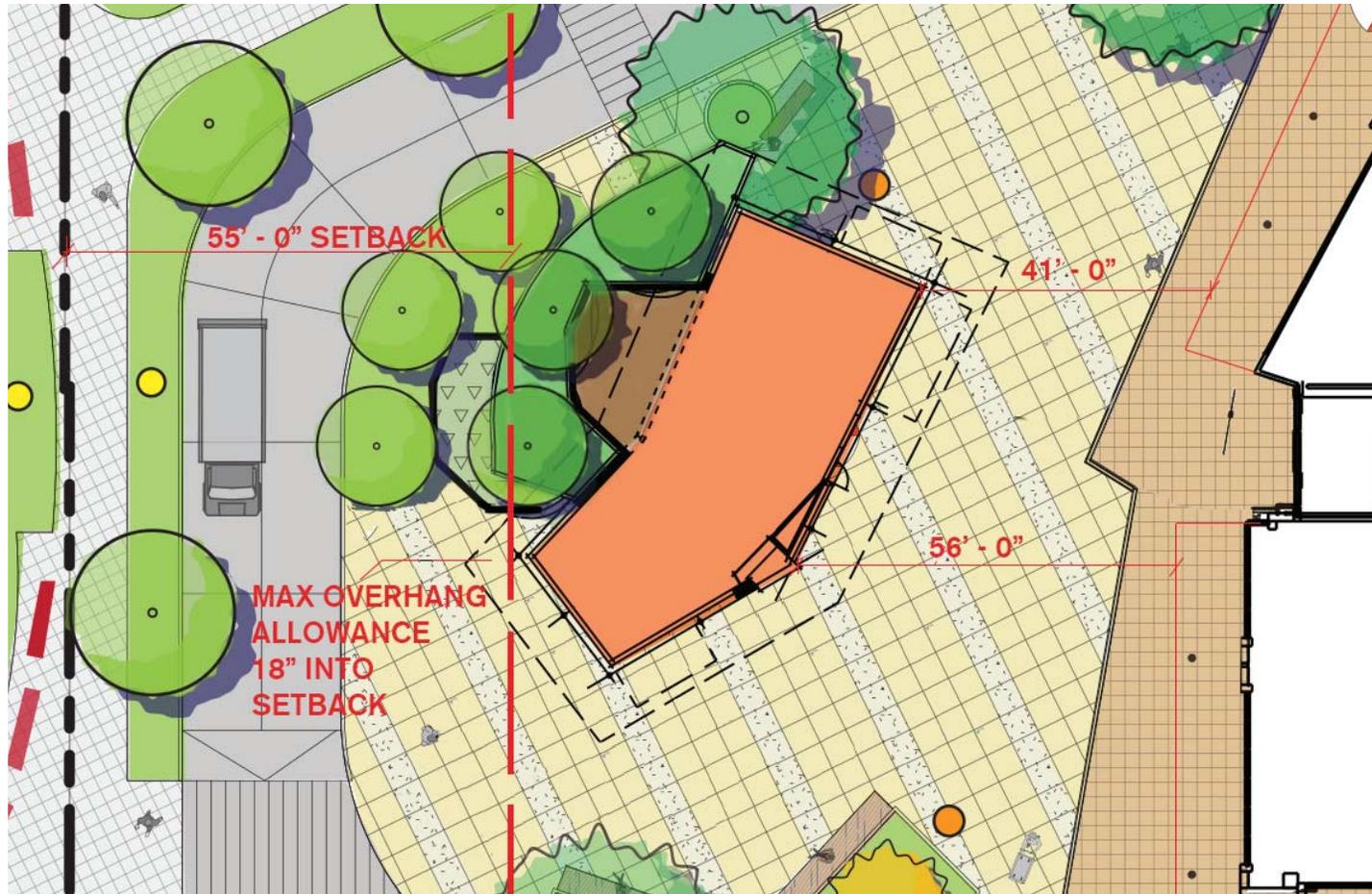
LEVEL 1 PLAN



DESIGN CONCEPT | BUILDING G

Minor Modification

AREA PLAN: BUILDING G OUTSIDE 55'-0" SETBACK



MINOR MODIFICATION REQUEST

A minor modification to the required 55'-0" setback from the park edge is requested for building G. This building as shown encroaches into the 55 foot setback by approximately 13 and half feet as measured to the building face. The roof overhang would encroach approximately 21 feet.

The preferred building placement allows for a properly scaled plaza with space for seating at building G as well as space for outdoor display and circulation adjacent to the grocery. In addition, the plaza fountains will need appropriate space around them to allow full utilization and enjoyment without compromising seating and circulation. Moving the building and overhang out of the setback completely would eliminate a significant portion of the fountains and compromise the plaza width.

The current distance from the face of building G to the grocery at the narrowest

MINOR MODIFICATION REQUEST (CONT.)

point is approximately 60 feet, and moving the building out of the setback would reduce this plaza width to approximately 41 feet (roof overhangs can encroach 18 inches into setbacks). The allowed building height in this portion of the site is 60 feet and four stories. At one story and twenty two feet in height, this building is significantly lower than allowed.

The building configuration places a landscape buffer and the more solid, back of house portion of the building at the roadway bend, where there is no pedestrian crossing, while opening up the north, south and east facades to the plaza. The northern and southern portions of the west facades also open up to views of the park.

Keeping the building closer to the roadway allows the cross walks at the north and south ends of the building to pass by the glassy ends of the building and connect directly to the plaza.

AREA PLAN: BUILDING G WITHIN 55'-0" SETBACK

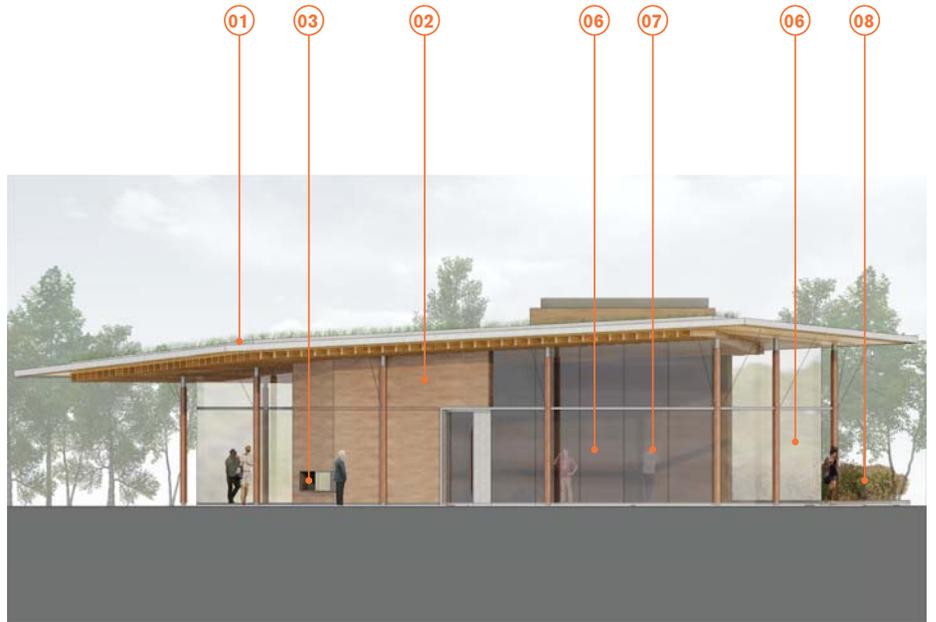


DESIGN CONCEPT | BUILDING G

Elevations

NORTH ELEVATION

EAST ELEVATION



LEGEND

01 GREEN ROOF

03 INDOOR OUTDOOR FIREPLACE

05 BACK OF HOUSE

07 RETAIL STOREFRONT

02 WOOD RAINSCREEN

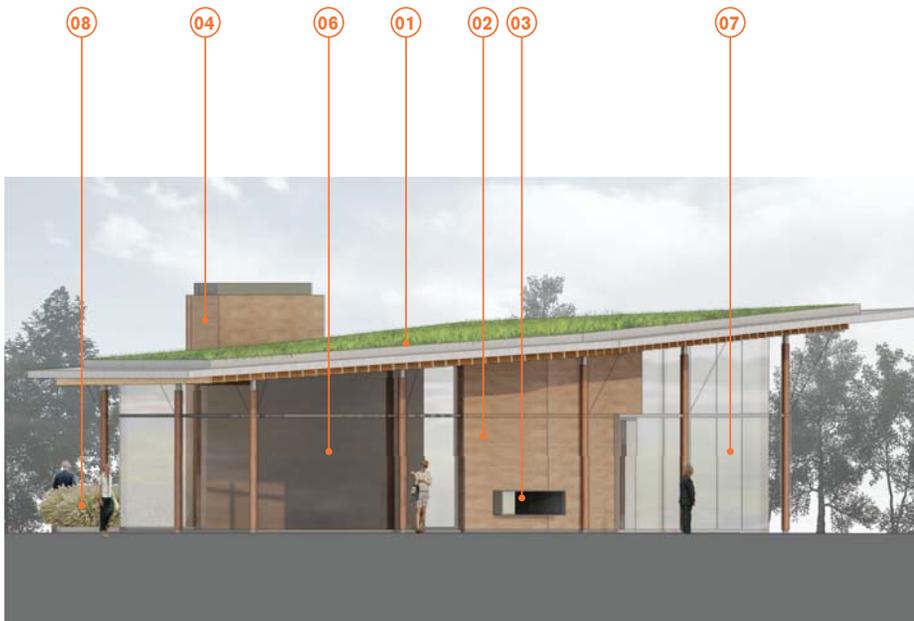
04 SIGNAGE

06 POTENTIAL ROLL-UP OR PIVOT DOORS

08 PLANTED AREA

SOUTH ELEVATION

WEST ELEVATION



01 GREEN ROOF

03 INDOOR OUTDOOR FIREPLACE

05 BACK OF HOUSE

07 RETAIL STOREFRONT

02 WOOD RAINSCREEN

04 SIGNAGE

06 POTENTIAL ROLL-UP OR PIVOT DOORS

08 PLANTED AREA

LEGEND

DESIGN CONCEPT | BUILDING G

Perspectives

1) NORTHWEST PERSPECTIVE



2) NORTH PERSPECTIVE



3) EAST PERSPECTIVE

4) SOUTH PERSPECTIVE



DESIGN CONCEPT | BUILDING F1 + GRAND STAIR

Overview

SUMMARY

BUILDING F1 + GRAND STAIR

Building F1 occupies a central node in the project, as it is located at the knuckle formed by the eastern and central portions of the project. It is wrapped on one side by the parking garage entry, and on the other by the grand stair and elevator (which serves parking level P2 through level 2). The building will house one or two retailers, and the roof above will be an amphitheater overlook facing west toward Peter Kirk Park.

The grand stair provides a primary pedestrian link through the project and is also used to access public restrooms on level 1.5 (tucked over the garage entry ramp). The elevator and enclosed stairway also provide access to these restrooms while additionally serving bicycle storage and lockers in the parking garage at level P1 and P2.

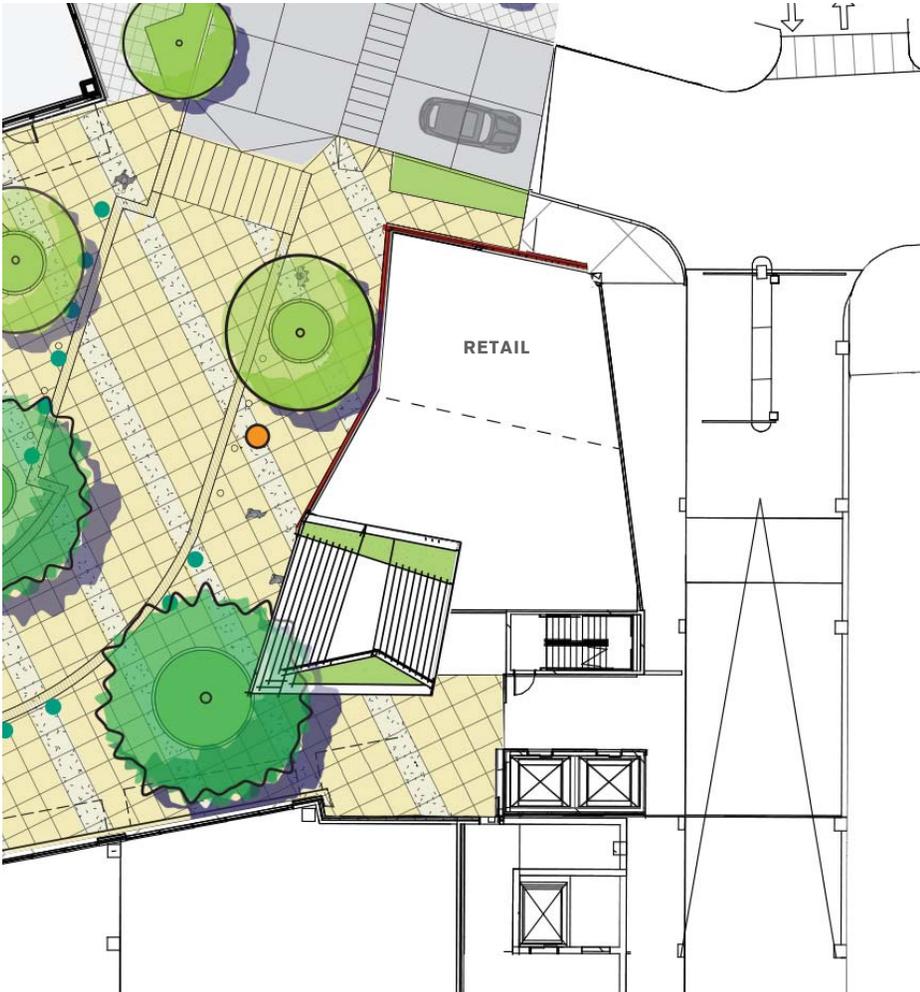
LOCATOR MAP



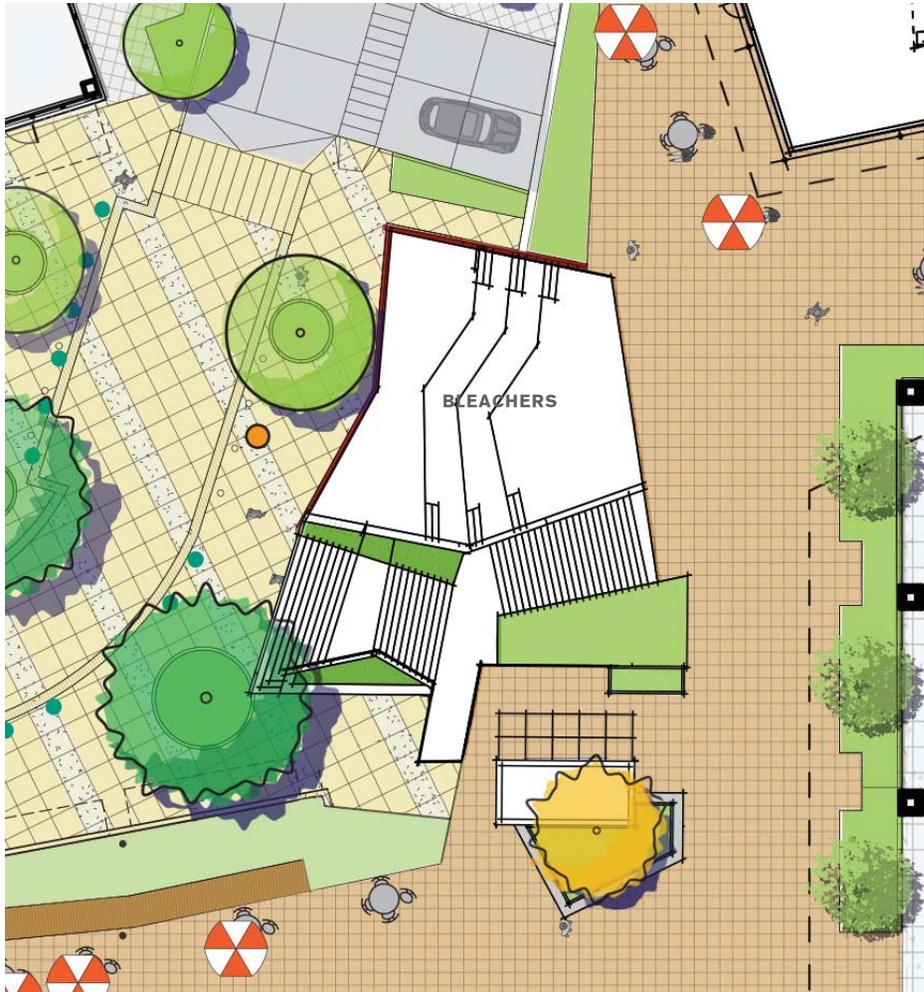
DESIGN CONCEPT | BUILDING F1 + GRAND STAIR

Floor Plans

LEVEL 1 PLAN



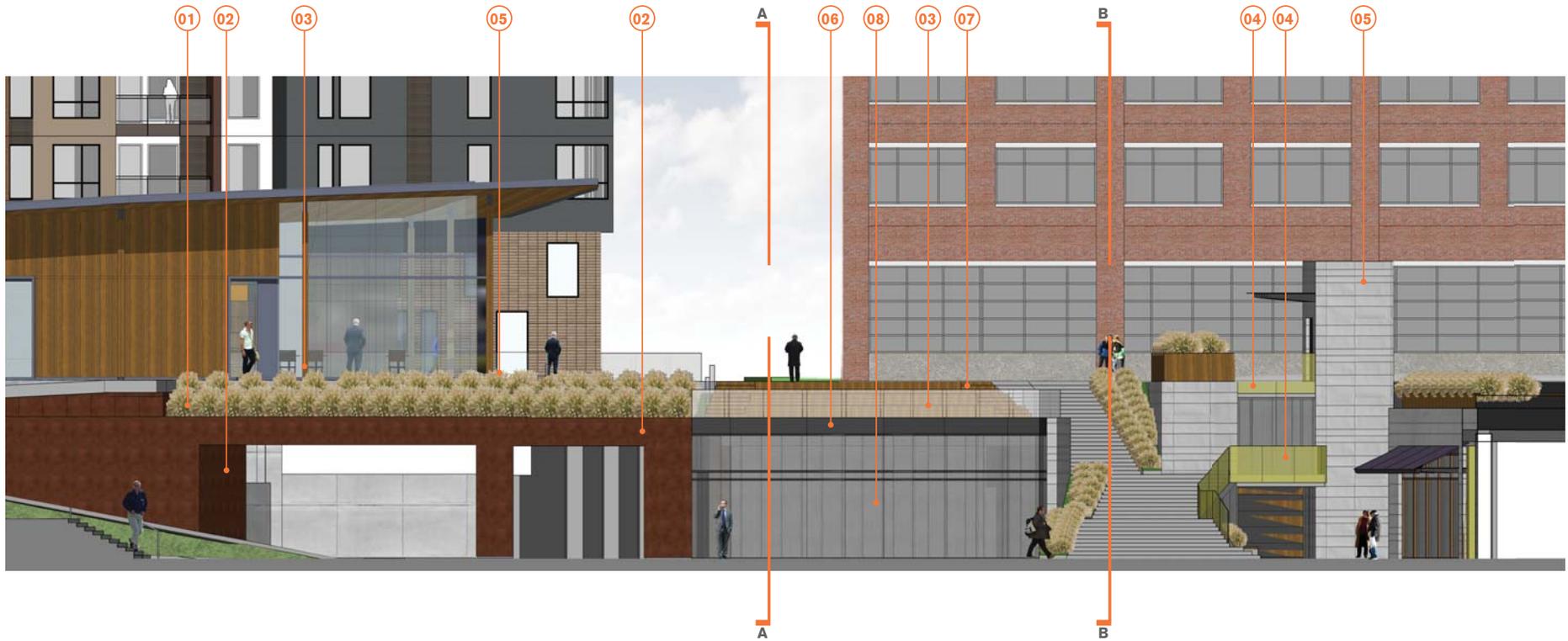
LEVEL 2 PLAN



DESIGN CONCEPT | BUILDING F1 + GRAND STAIR

Elevations

WEST ELEVATION



LEGEND

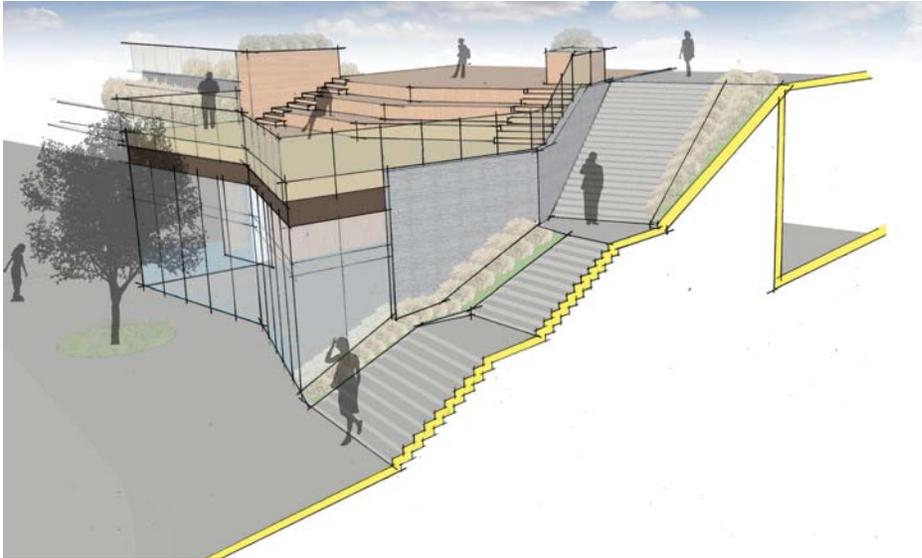
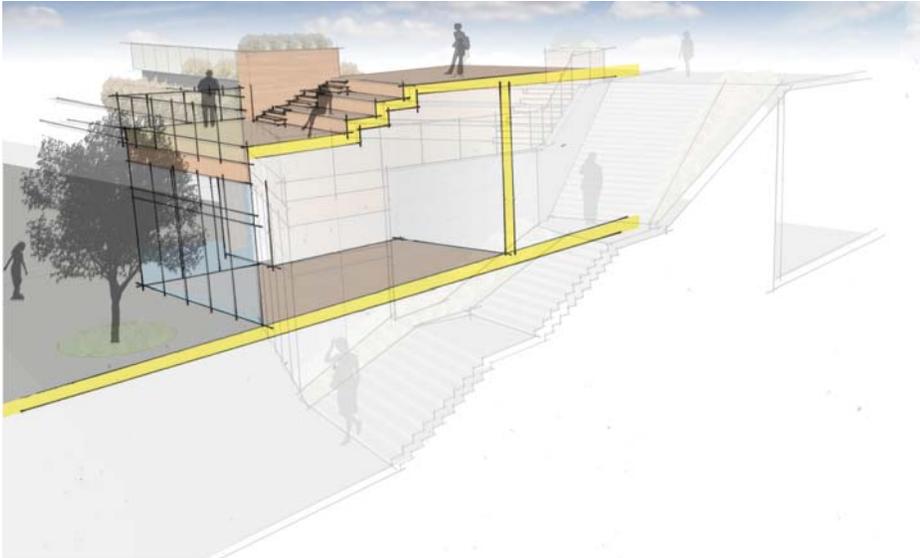
- | | | | |
|--|------------------|----------------------------|-------------------|
| 01 STAINED CONCRETE | 03 CABLE RAIL | 05 CEMENT BOARD RAINSCREEN | 07 WOOD BLEACHERS |
| 02 CORTEN (OR SIMILAR) OR STAINED CONCRETE | 04 GLASS RAILING | 06 METAL PANEL | 08 STOREFRONT |

DESIGN CONCEPT | BUILDING F1 + GRAND STAIR

Sections

A) SECTION AT RETAIL SPACE

B) SECTION AT GRAND STAIR



DESIGN CONCEPT | BUILDING F1 + GRAND STAIR

Perspectives

PERSPECTIVE FROM WEST



PERSPECTIVE FROM EAST



DESIGN CONCEPT | BUILDING F1 + GRAND STAIR

Perspectives

PERSPECTIVE FROM SOUTH



PERSPECTIVE FROM SOUTHWEST



NOOD OOD OOD OOD | OODLAND OOD OOD | TALON | COLLINSWOERMAN

DESIGN CONCEPT | BUILDING B

Overview

SUMMARY

BUILDING B

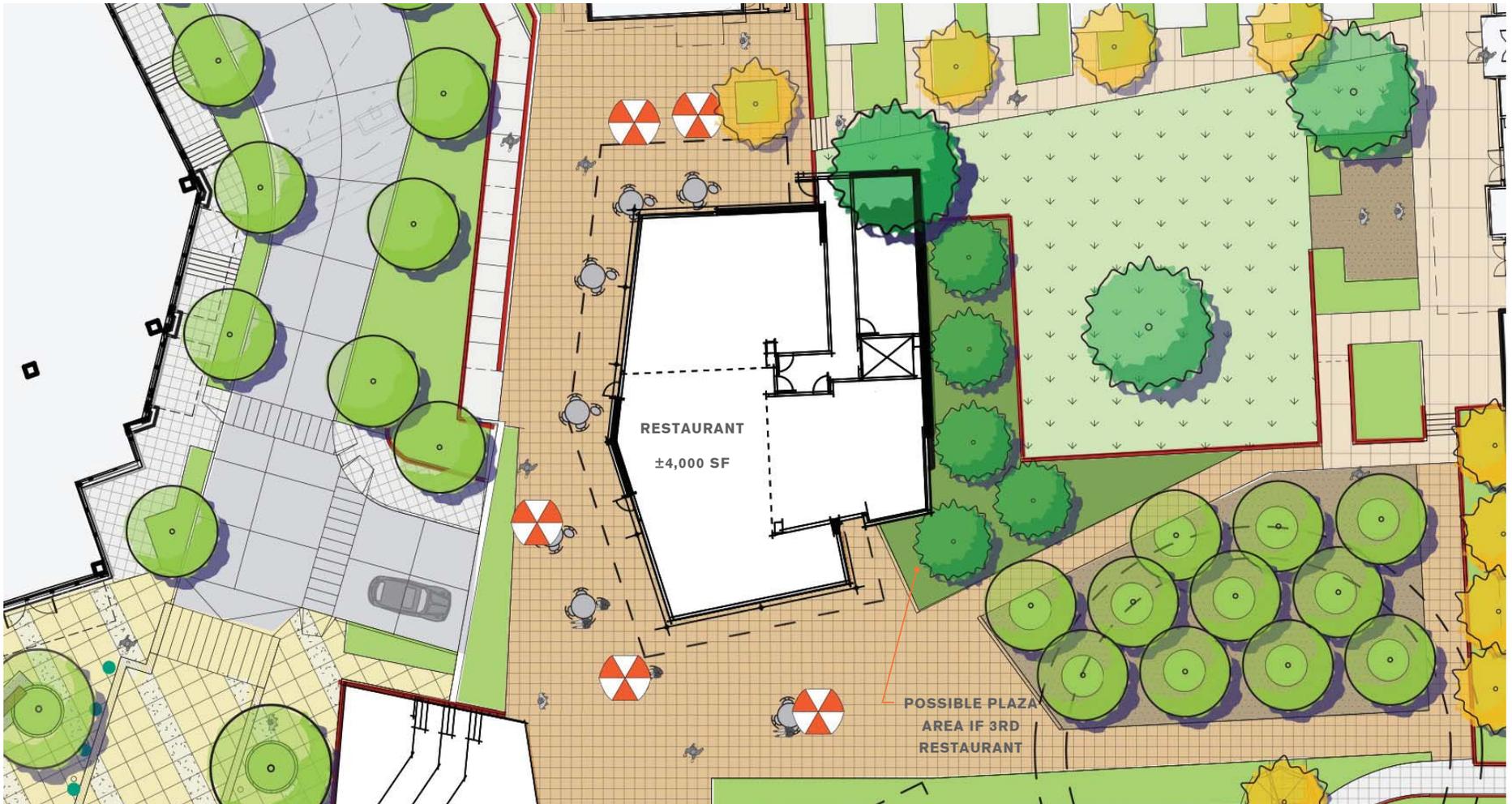
Building B will house several restaurants at the Plaza level and provides an important low scale visual element and buffer between the public retail and pedestrian area and semi-private residential uses. Similar to building G, a sloping green roof provides shelter for the public and a welcome roof scape for residents and office workers looking down from above.

The architectural language of building B ties strongly to building G as well as the escalator canopy with wood and glass expression that opens to the west, north and south. The back of house area is more solid, providing a back drop of wood to enhance the privacy of the residential courtyard to the east. The restaurant can be one, two or three operators, and doors and operable walls/windows will be configured for the buildout when tenants are selected.

LOCATOR MAP



LEVEL 1 PLAN



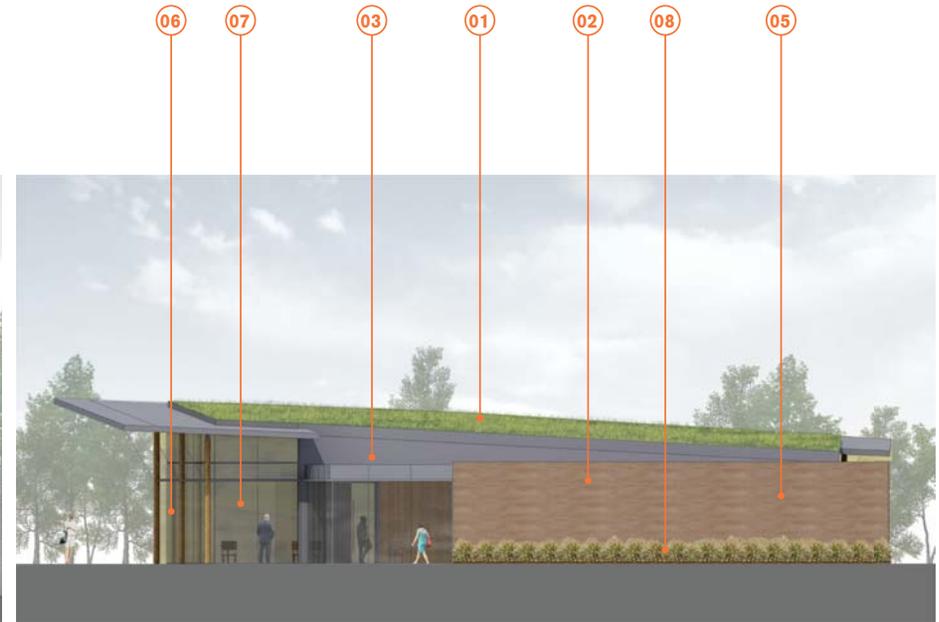
DESIGN CONCEPT | BUILDING B

Elevations

NORTH ELEVATION



EAST ELEVATION



LEGEND

01 GREEN ROOF

03 METAL PANEL

05 BACK OF HOUSE

07 RETAIL STOREFRONT

02 WOOD RAINSCREEN

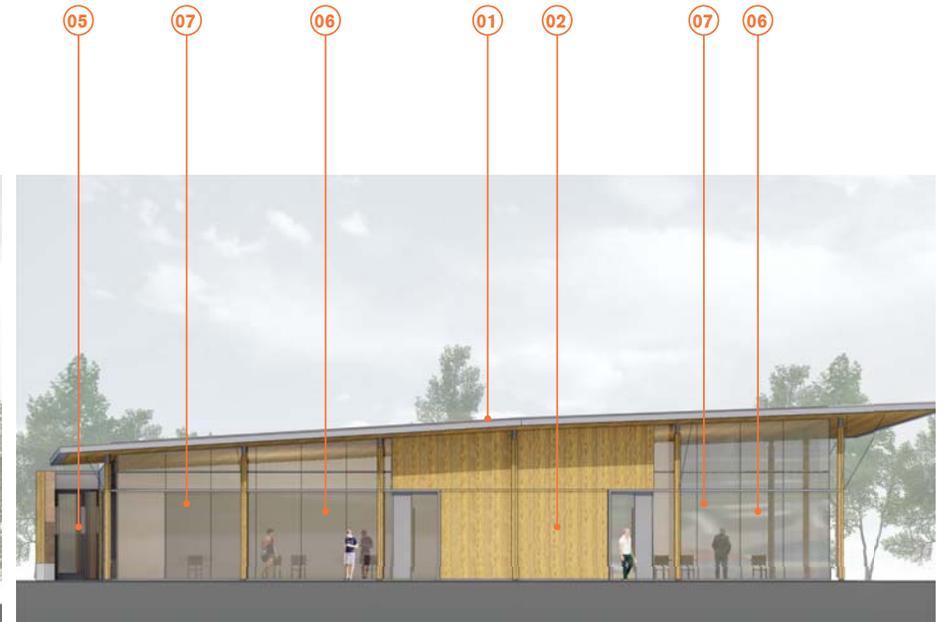
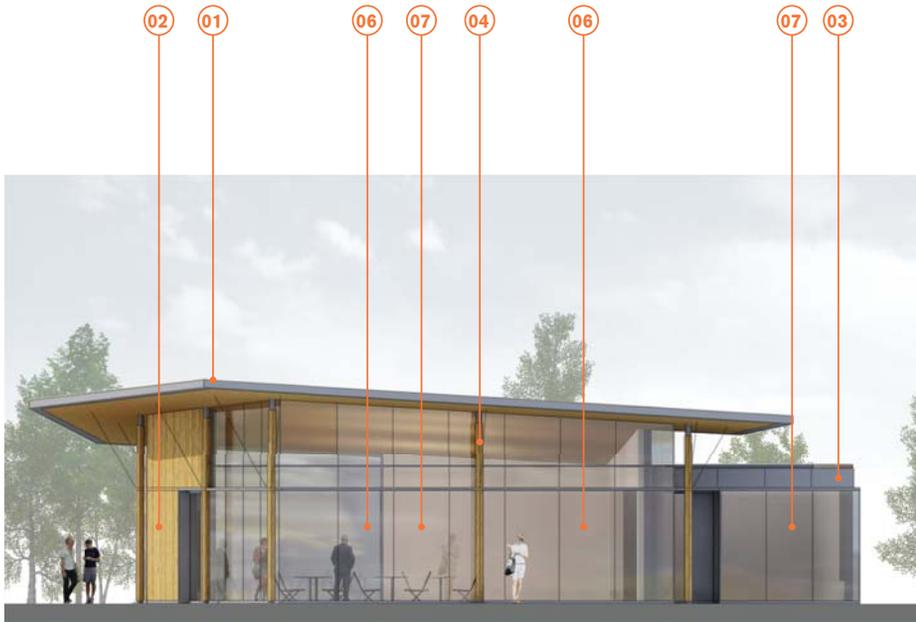
04 WOOD / STEEL COLUMNS

06 POTENTIAL ROLL-UP OR PIVOT DOORS

08 PLANTED AREA

SOUTH ELEVATION

WEST ELEVATION



LEGEND

01 GREEN ROOF

03 METAL PANEL

05 BACK OF HOUSE

07 RETAIL STOREFRONT

02 WOOD RAINSCREEN

04 WOOD / STEEL COLUMNS

06 POTENTIAL ROLL-UP OR PIVOT DOORS

08 PLANTED AREA

DESIGN CONCEPT | BUILDING B

Perspectives

PERSPECTIVE FROM NORTHEAST



PERSPECTIVE FROM NORTHWEST



PERSPECTIVE FROM SOUTHEAST



PERSPECTIVE FROM SOUTH



DESIGN CONCEPT | BUILDING F - ESCALATOR CANOPY

Overview

SUMMARY

BUILDING F- ESCALATOR CANOPY

The escalators and stair at building F connect the level one (park level) to level two (plaza level). An additional set of escalators provide access from the P1 parking level to the park level, providing a primary route from parking to grade for a significant portion of the retail patrons.

These circulation elements also provide a primary way-finding and orientation node as well as a visual point of reference. The canopy provides not only weather protection on the escalator but relates visually to the other stand-alone retail with the use of wood in combination with steel structure.

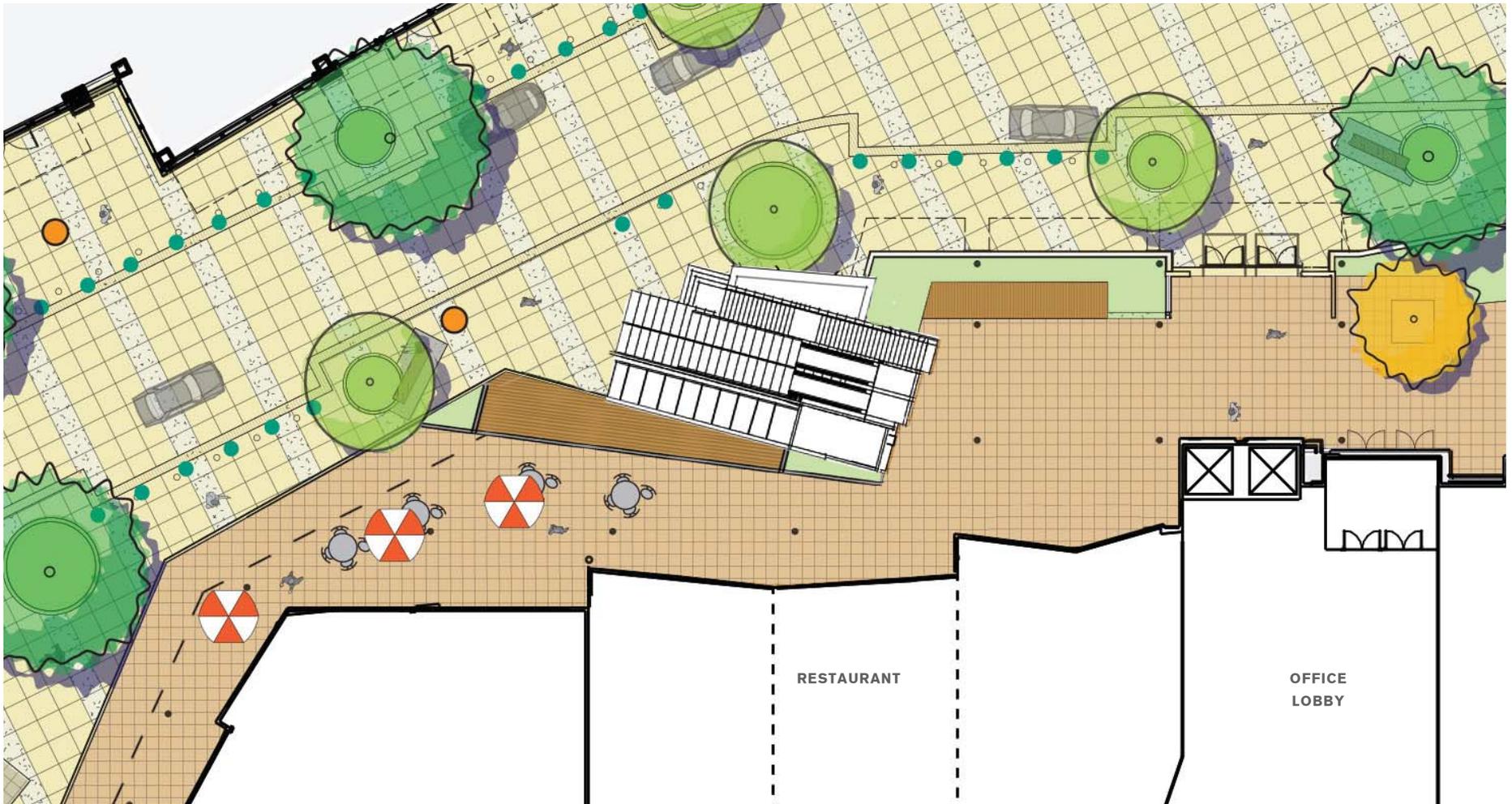
The three "leaf" arrangement of the canopy segments provides maximum visual transparency to the retail at L2.

LOCATOR MAP



DESIGN CONCEPT | BUILDING F - ESCALATOR CANOPY
Floor Plans

LEVEL 1 PLAN



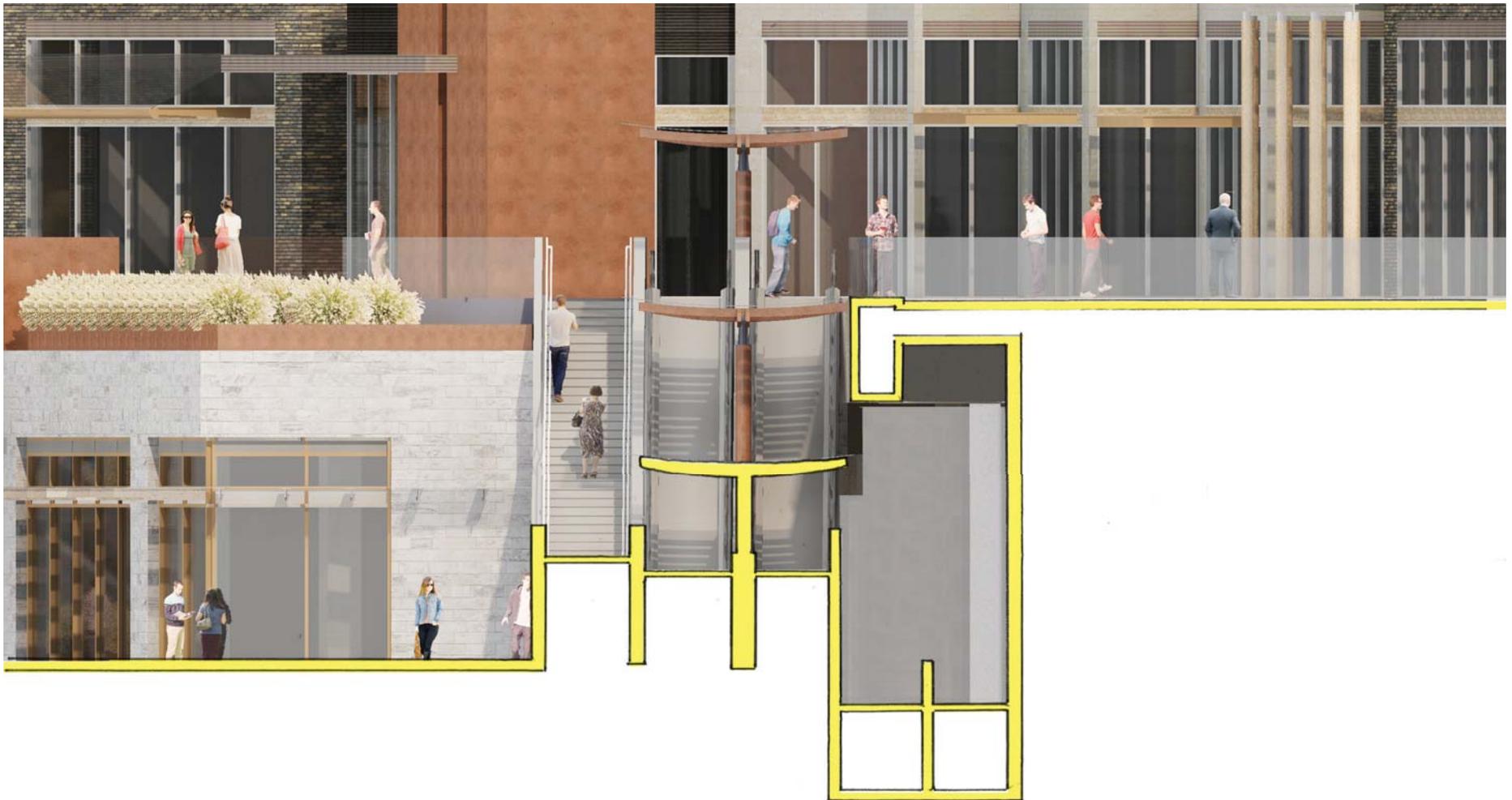
DESIGN CONCEPT | BUILDING F - ESCALATOR CANOPY
Elevations

NORTH ELEVATION



DESIGN CONCEPT | BUILDING F - ESCALATOR CANOPY
Sections

TRANSVERSE SECTION AT ESCALATOR



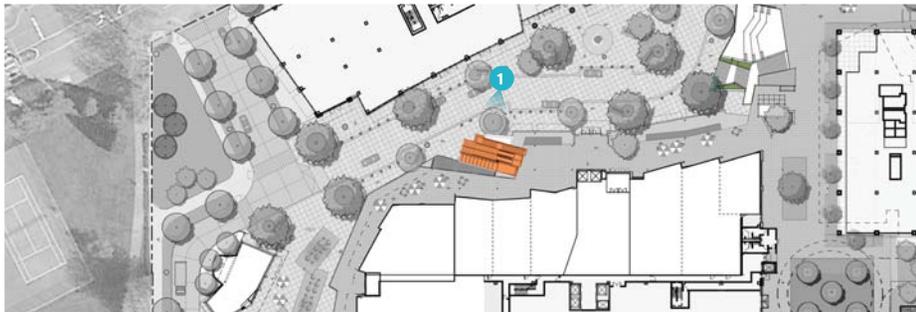
DESIGN CONCEPT | BUILDING F - ESCALATOR CANOPY

Perspectives

NORTHEAST PERSPECTIVE



EAST PERSPECTIVE FROM LEVEL 2



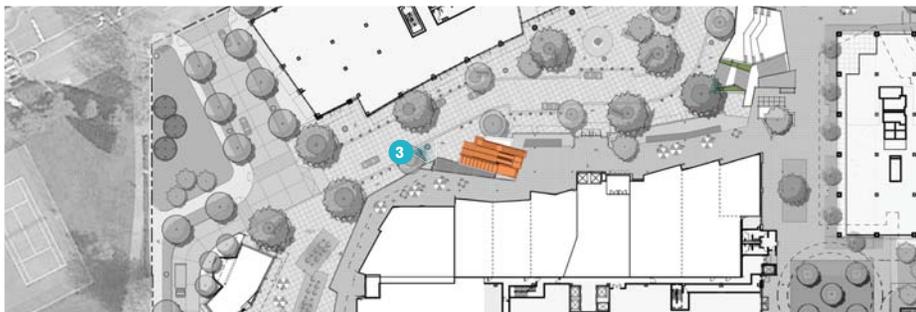
DESIGN CONCEPT | BUILDING F - ESCALATOR CANOPY

Perspectives

WEST PERSPECTIVE



NORTH PERSPECTIVE



DESIGN CONCEPT | BUILDING F - LEVEL 2 RETAIL CONCEPT (TO BE DEVELOPED)

Overview

SUMMARY

BUILDING F-LEVEL 2 RETAIL

The level 2 retail facades at building F have been revised to create additional modulation while simplifying materials. The straight-line geometry of the north facade is now broken up with projecting planes that create facets, and allows not only a more articulated facade, but increases visibility into and out of the restaurants that will occupy this level.

Final details of the store fronts and canopies will be determined through interaction with the with individual restaurant tenants.

The stone or brick framework will remain fixed, but it is anticipated that the tenants will utilize extensive operable doors to open the restaurant spaces to the plaza. Potential trellis elements can be added to further define and protect outdoor seating areas.

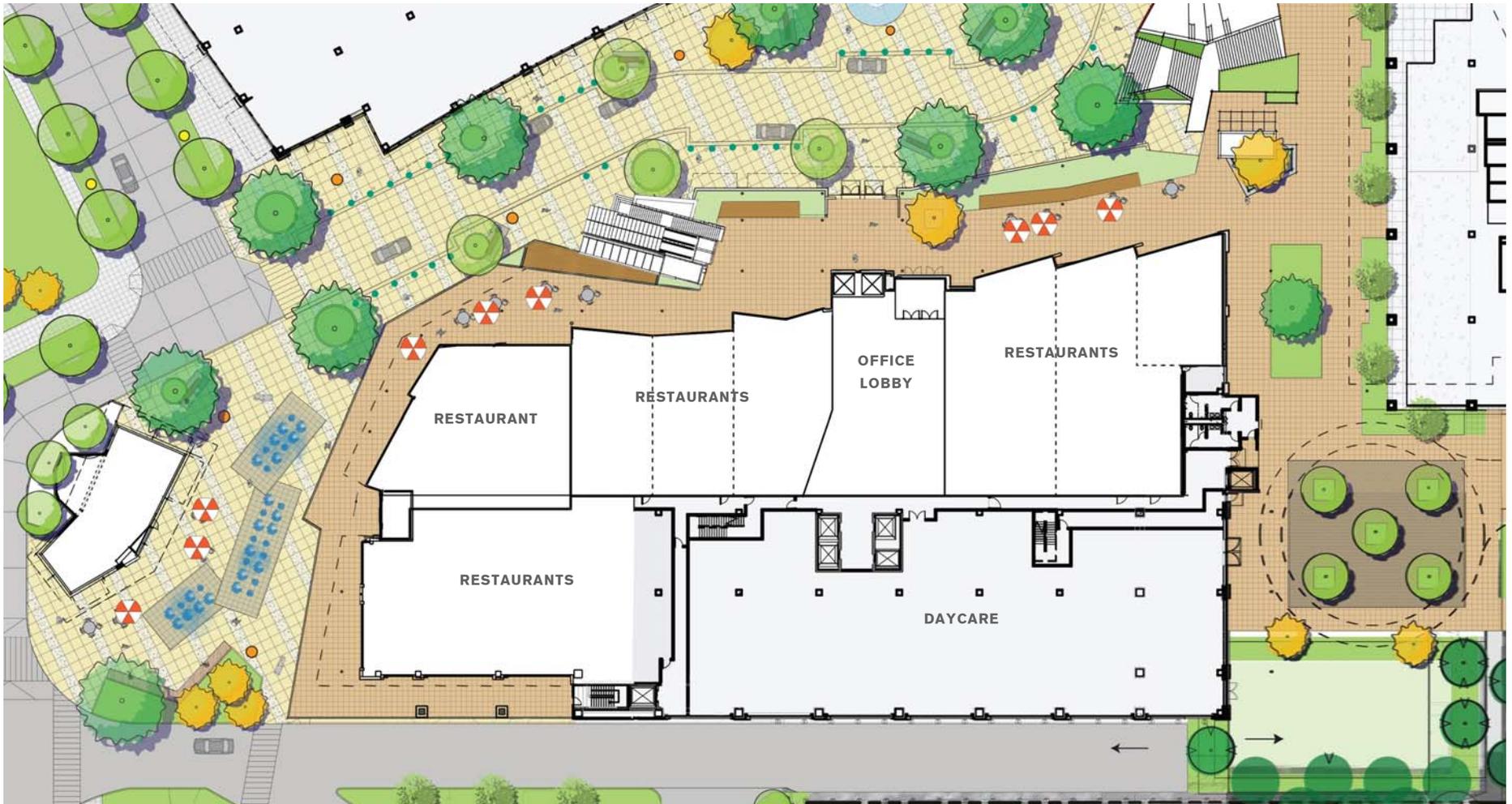
LOCATOR MAP



DESIGN CONCEPT | BUILDING F - LEVEL 2 RETAIL CONCEPT (TO BE DEVELOPED)

Floor Plans

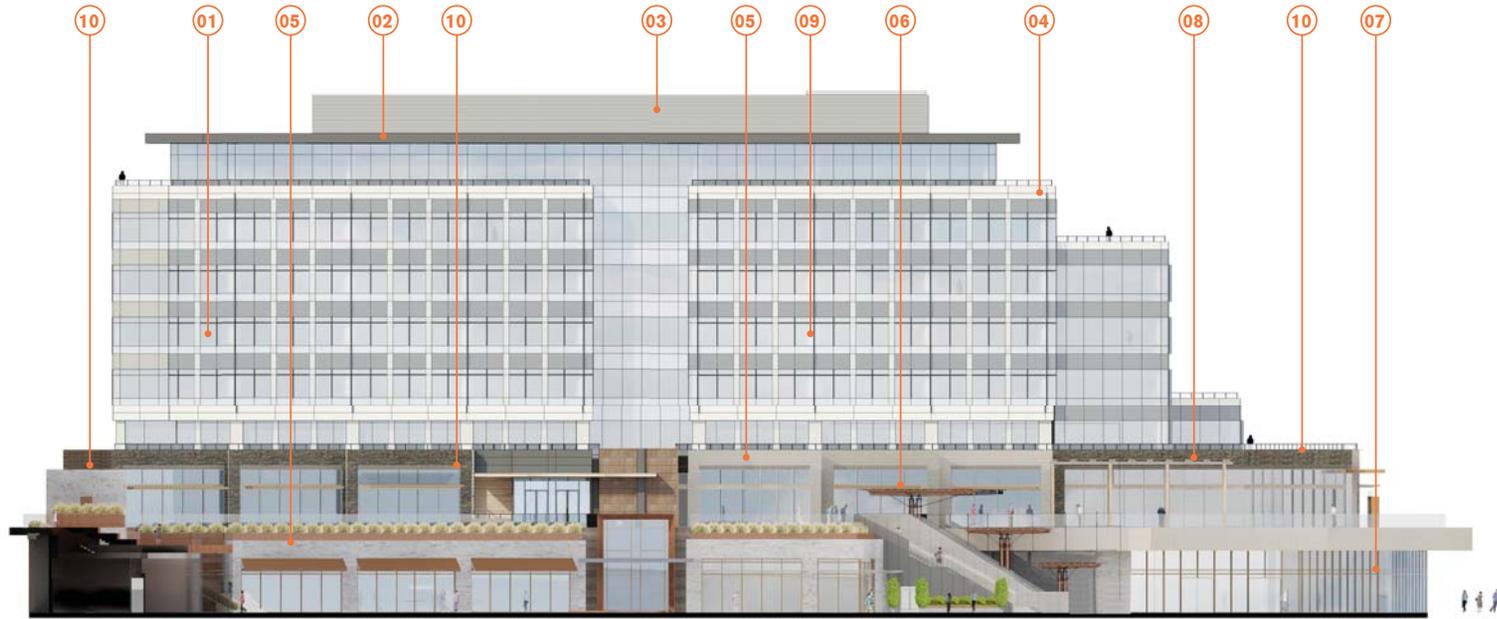
LEVEL 1 PLAN



DESIGN CONCEPT | BUILDING F - LEVEL 2 RETAIL CONCEPT (TO BE DEVELOPED)

Elevations

NORTH ELEVATION



LEGEND

- | | | | |
|--|------------------------|------------------------------|----------|
| 01 UNITIZED CURTAIN WALL | 04 METAL PANELS | 07 L1 RETAIL STOREFRONT | 10 BRICK |
| 02 METAL PANEL EYEBROW | 05 STONE | 08 POTENTIAL TRELLIS ELEMENT | |
| 03 PROFILE METAL PANELS AT ROOF SCREEN | 06 CANOPY AT ESCALATOR | 09 VERTICAL FINS | |

DESIGN CONCEPT | BUILDING F - LEVEL 2 RETAIL CONCEPT (TO BE DEVELOPED)

Elevations

ENLARGED WEST ELEVATION



LEGEND

- 01 UNITIZED CURTAIN WALL
- 02 POTENTIAL WAYFINDING KIOSK
- 03 METAL RAINSCREEN
- 04 STONE CLADDING
- 05 BRICK
- 06 PRECAST CONCRETE
- 07 L1 RETAIL STOREFRONT
- 08 POTENTIAL TRELLIS ELEMENT
- 09 VARYING RETAIL CANOPIES
- 10 RAINSCREEN

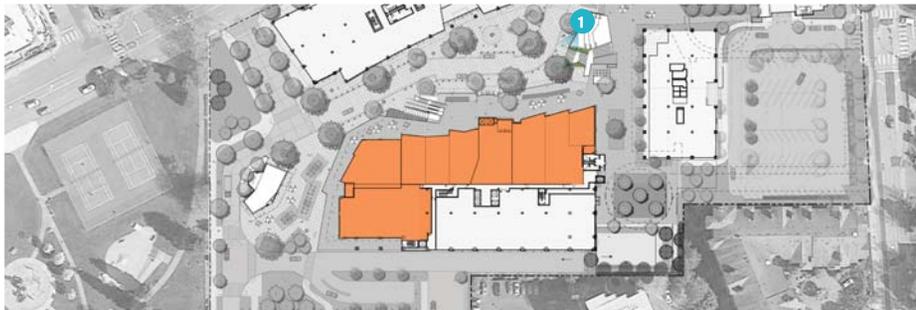
DESIGN CONCEPT | BUILDING F - LEVEL 2 RETAIL CONCEPT (TO BE DEVELOPED)

Perspectives

1) NORTHEAST AERIAL PERSPECTIVE



2) EAST PERSPECTIVE ALONG BUILDING F LEVEL 2 RETAIL



DESIGN CONCEPT | BUILDING F - LEVEL 2 RETAIL CONCEPT (TO BE DEVELOPED)
Perspective

3) NORTHWEST AERIAL PERSPECTIVE



4) WEST PERSPECTIVE ALONG BUILDING F LEVEL 2 RETAIL



DESIGN CONCEPT | BUILDING E - GREAT ROOM

Overview

SUMMARY

GREAT ROOM

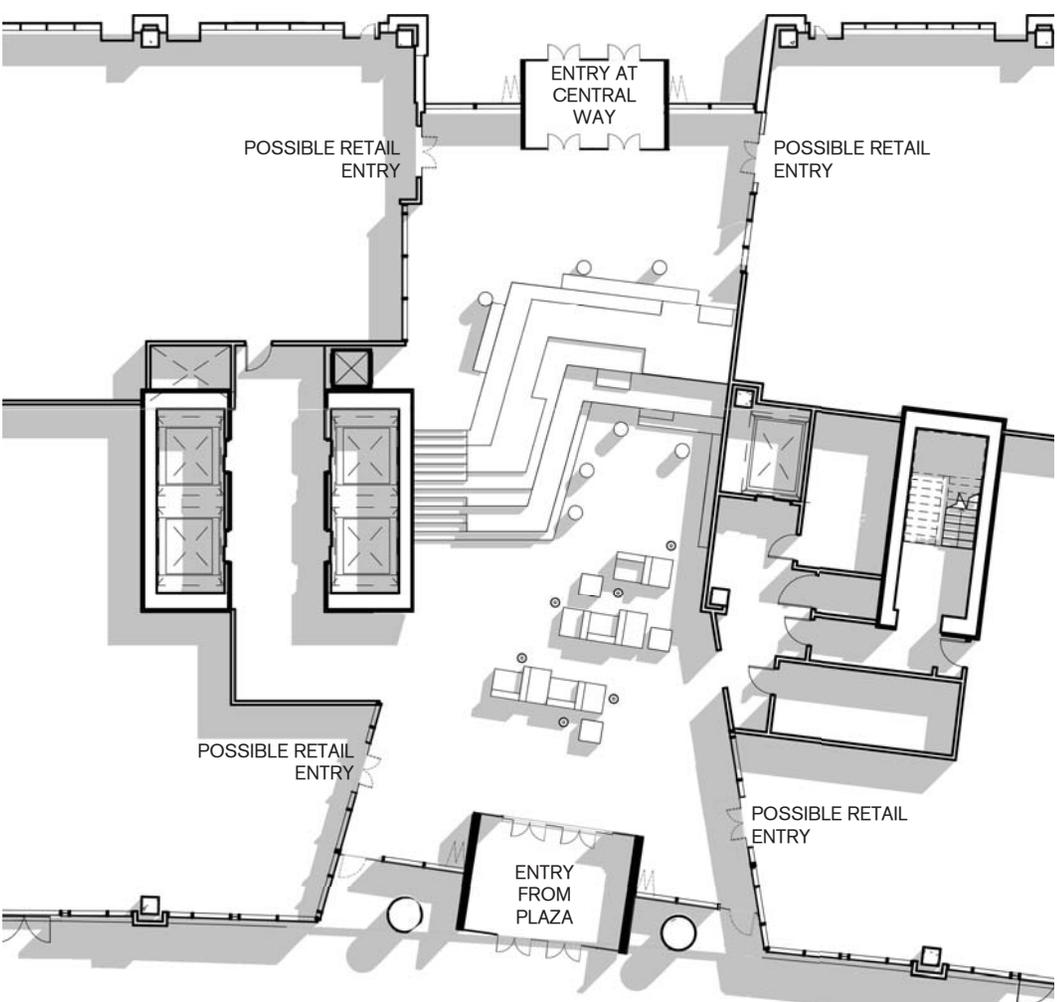
The great room will be a two story enclosed “room” that will serve as a multi-purpose space, accommodating office workers, public, retail patrons and pedestrians. It will incorporate a grand stair/bleacher area, recalling the bleachers above building F1, and providing a relaxed atmosphere to work, eat lunch, hang out or listen to a speaker or performer.

An accessible lift will be provided for an accessible route of travel from Central Way into the site. A skybridge will connect the east and west level two office areas, and provide additional animation to the space. Vestibules at either end will ensure comfort while operable windows/doors at the south façade extend the space to the internal main street plaza. Retail entries are possible at both upper and lower levels, depending on the tenant requirements.

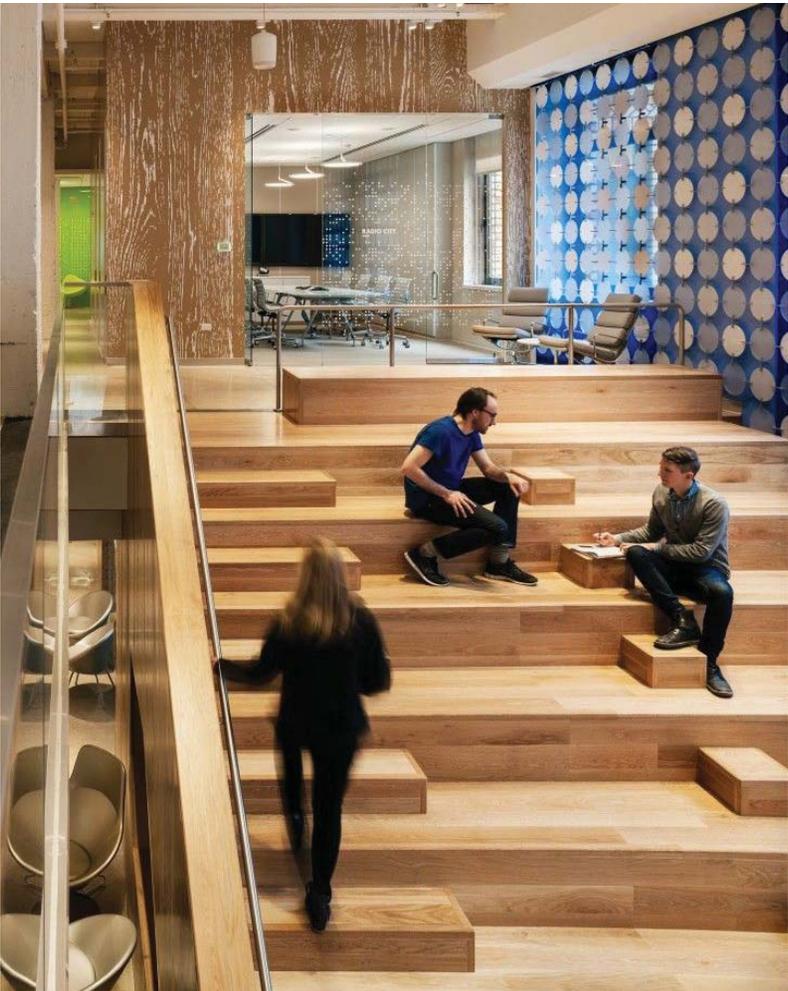
LOCATOR MAP



CONCEPTUAL LAYOUT



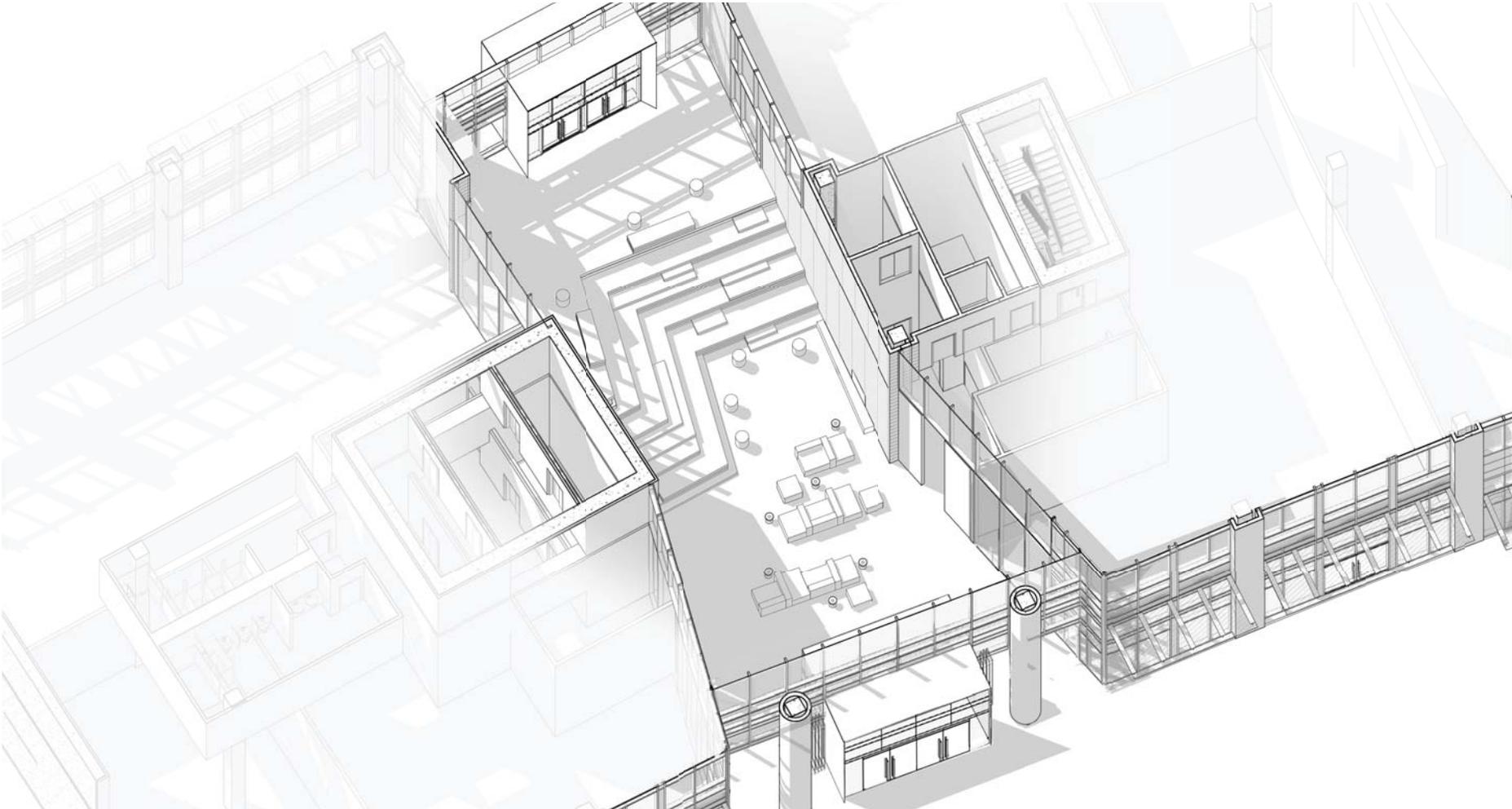
GREAT ROOM BLEACHER CONCEPT



DESIGN CONCEPT | BUILDING E - GREAT ROOM

Axonometric Diagram

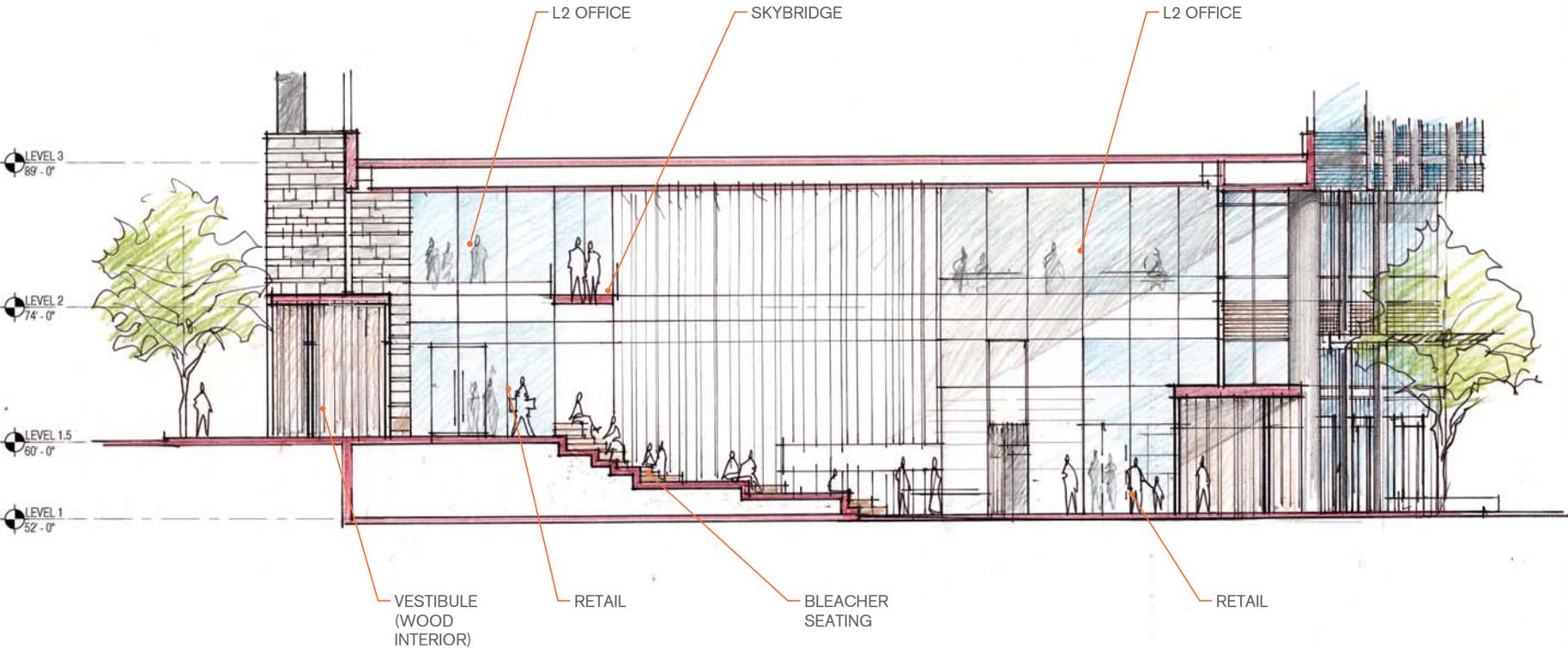
DIAGRAM OF GREAT ROOM DESIGN CONCEPT



DESIGN CONCEPT | BUILDING E - GREAT ROOM

Section

NORTH SOUTH SECTION (FACING EAST)



MINOR MODIFICATION

Daycare Plaza At Setback

SUMMARY

A minor modification to the 25 foot setback is requested for the Plaza area over the loading dock at building F. The structured plaza will exceed the limits for height of structures within setbacks, in part because the grade at the adjoining property to the south (Continental Plaza) in this area is steeply sloped towards the property line from the face of the building.

The plaza will be used for outdoor play space for the Daycare adjacent to it in Building F. The daycare will require a minimum of 5,500 sf of area to support the enrollment, and the location is in a protected area of the site.

This portion of the site must accommodate pedestrian access from the adjoining office and residential properties through the site. Currently a pathway consisting of stairs connects from the Continental plaza building to a gravel path alongside the existing structured parking at Kirkland Park place, bypasses a dumpster area and connects the retail area at near the existing QFC.

The access from the Watermark apartments is along a paved parking access road and onto a set of concrete steps ending on top of the structured parking. A new pathway will be constructed on the east side of the Daycare play area that will connect to both pathways and potentially provide one additional connection. This pathway will then connect to the sidewalk/ plaza area between the existing office and building F, and eventually along the future access road to 6th street.

The plaza level will be several feet lower than the existing first floor of the Continental Plaza building and around 8 feet lower than the first floor of the Watermark apartments. The plaza will serve to screen the level one loading area adjacent to the grocery from view from the adjoining properties, enhance the pedestrian connection to both properties and create valuable space for the daycare.

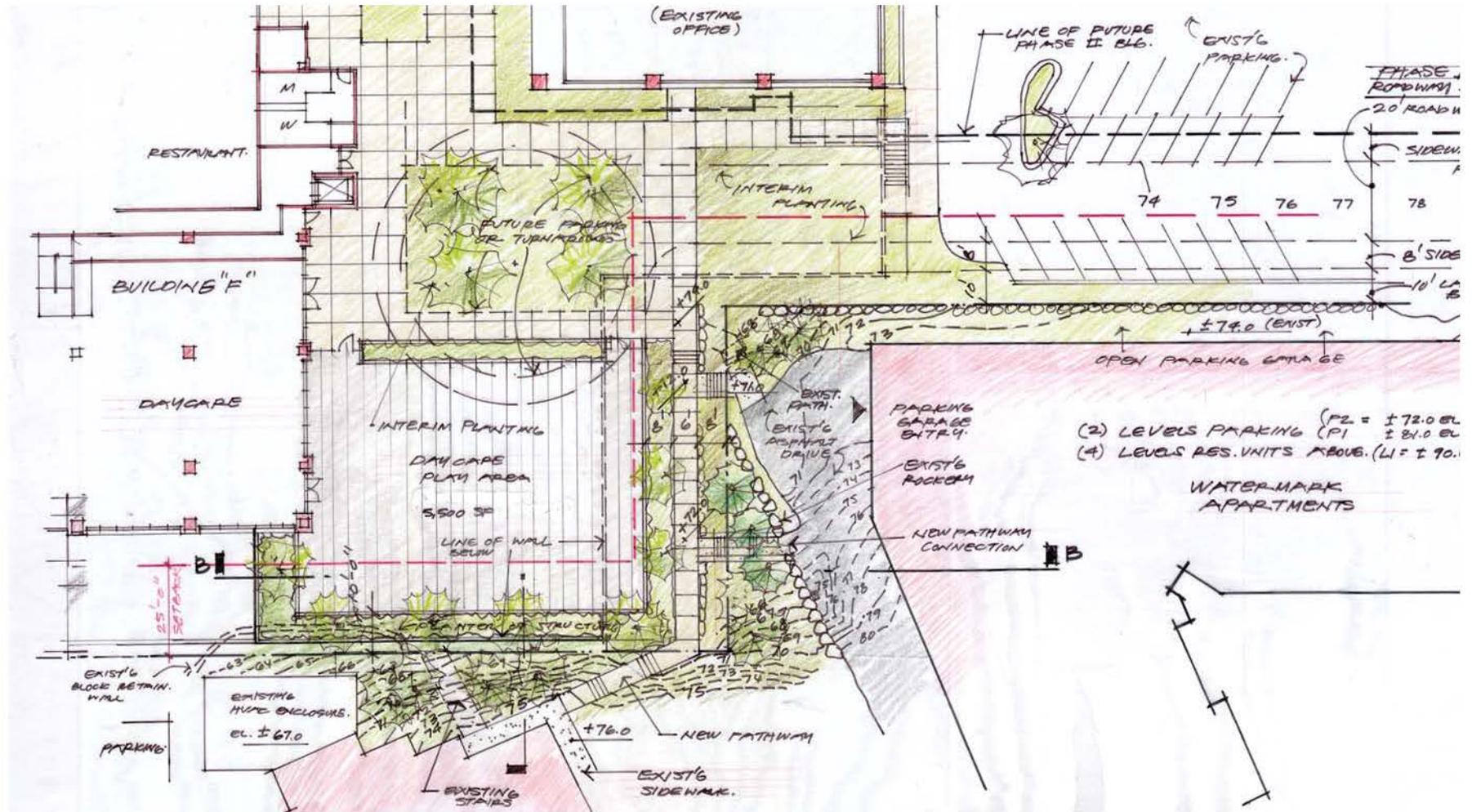
Given the open maneuvering area and long spans required for the loading area, the plaza cannot be cut back to the south setback line, as the required supporting columns would prohibit truck movement in and out of the loading area. Leaving the loading area uncovered would be detrimental to the project and the adjoining properties as well.

LOCATOR MAP



MINOR MODIFICATION
Floor Plans

DAYCARE PLAZA AT SETBACK

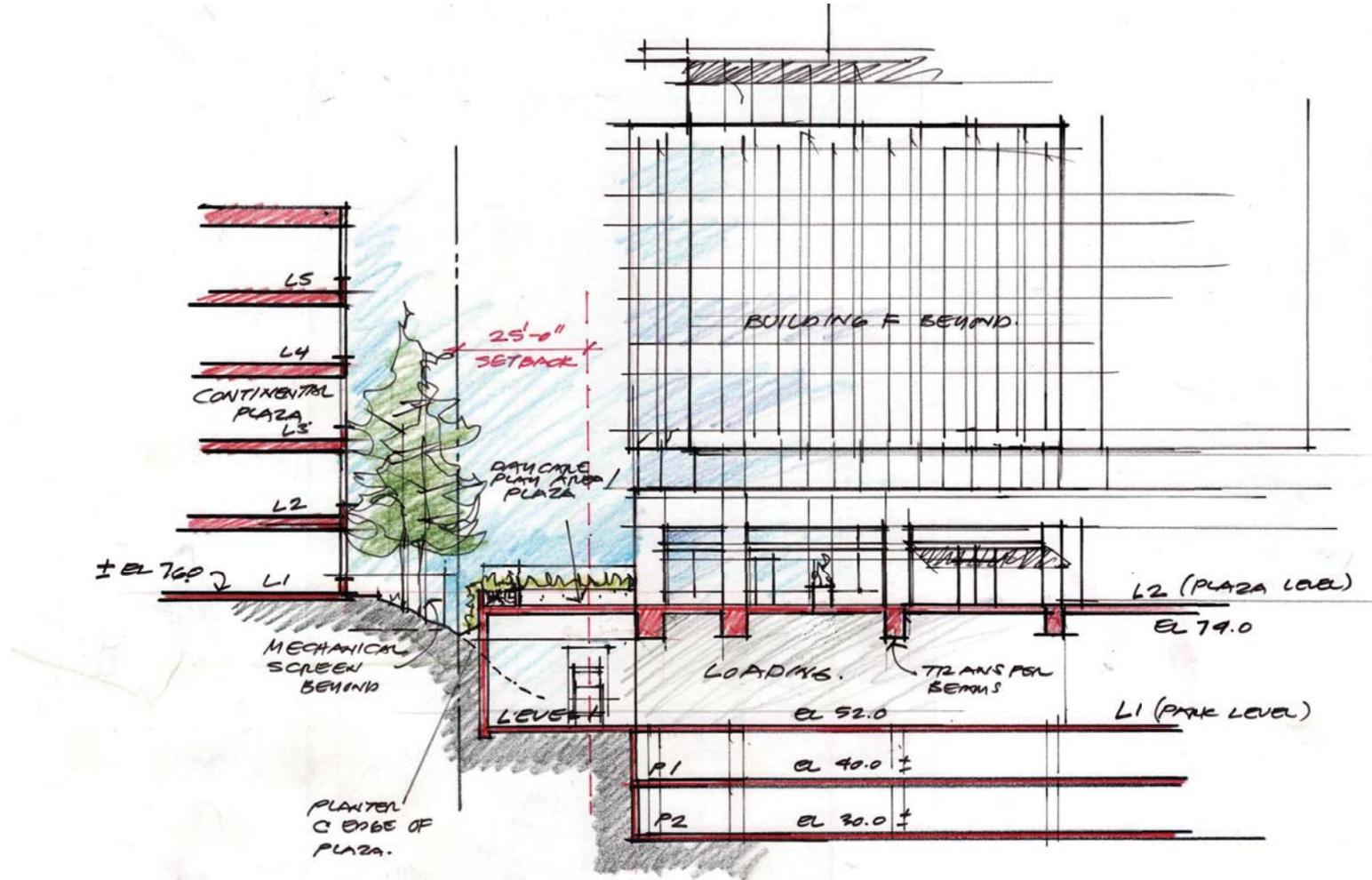


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MINOR MODIFICATION

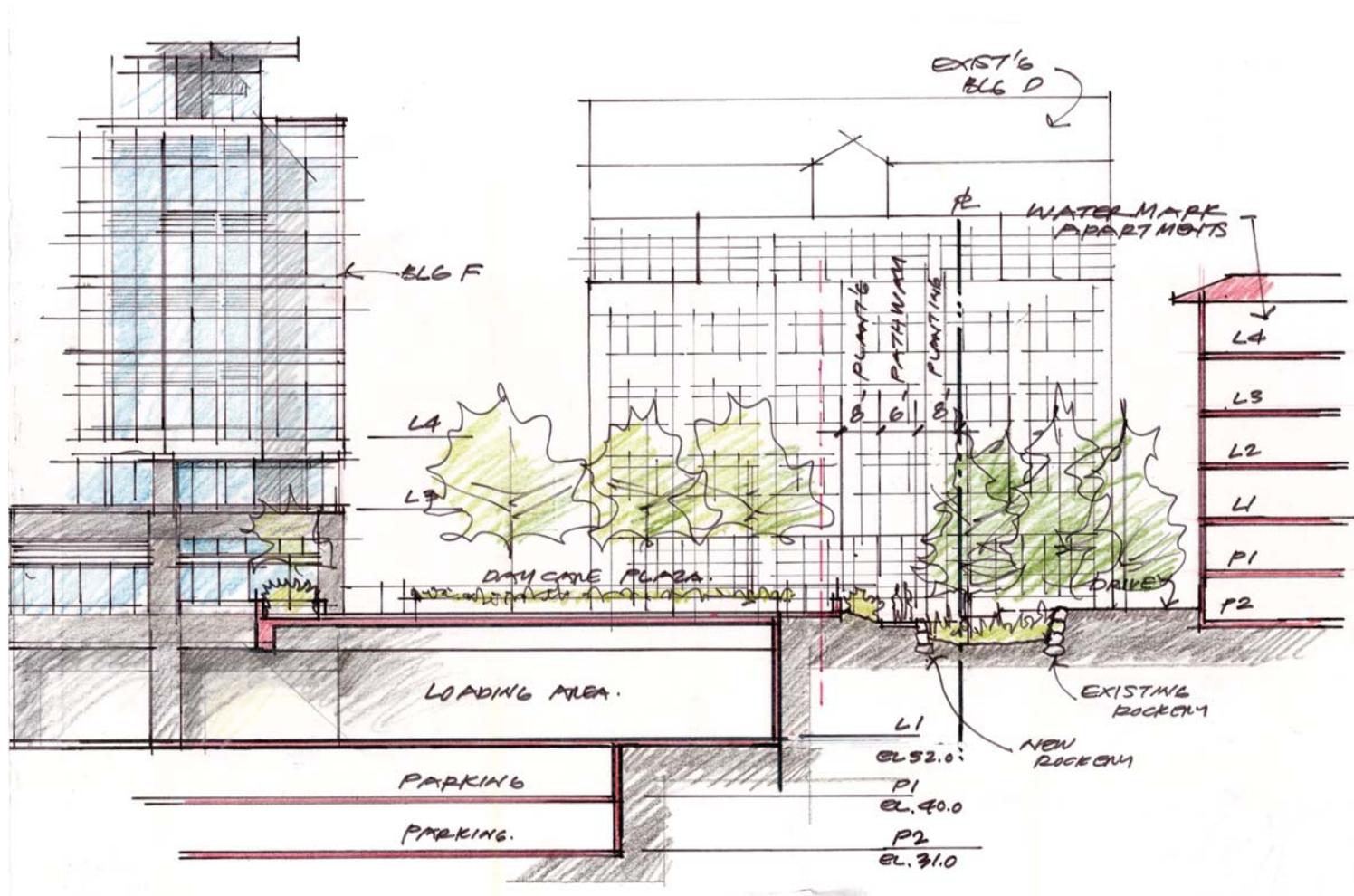
Sections

NORTH SOUTH SECTION (FACING WEST)



MINOR MODIFICATION
Sections

EAST WEST SECTION (FACING NORTH)



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