



Photo # 2: West property line extension to Kirkland Way showing trees # 126—131 in August 2010.

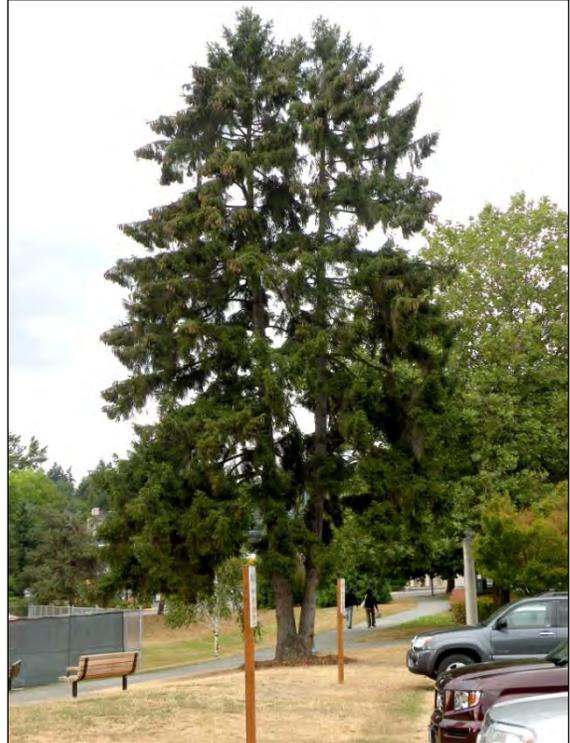


Photo # 3: Tree # 183 west of the west property line in Peter Kirk Park



Photo # 4: The base of # 183 showing the open wound and the included bark—the wound appears to be well compartmentalized.

We evaluated and documented 12 trees within 120 feet west of the west property line in Peter Kirk Park. The all are rated as *Significant* and *Viable*.



Photo # 5: looking from near the west side of the QFC building looking northwest at four park trees, the tennis courts, the skateboard park, and the play area.

Trees on the Subject Property

There are 37 trees along the southern property line that are in this category. Sixteen of the 37 trees, numbers 138 through 153, are a row of Lombardy Poplars, *Populus nigra 'Italica.'* They are growing in a row between the parking garage structure and the block retaining wall that is holding up the parking lot on the adjacent property to the south. The majority are in declining condition. Given the drought of the last two years and the limited soil volume they have to exploit, it is not surprising that they have deteriorated in the last five years. They are now suffering from a canker disease that this cultivar is vulnerable to all across North America. While the row is not a problem today, they are in such a poor state that I judge that they will not likely tolerate the stress of demolition and

reconstruction of the site unless all construction activity can be kept to existing limits. And, only if the trees are treated with fungicide, fertilizer, beneficial microbes, and proper irrigation. Even with these treatments I do not believe that this row of majestic trees can be retained.



Photos # 5 & 6: showing the row of Lombardy Poplars from various views as they were in August of 2010. In the last five years they have deteriorated considerably.



Photo # 7: Looking south at the row of Lombardy Poplar trees from the parking area in August 2010.



Photo # 8: Showing the crowns of the Poplars today, 9/14/15, and their declining condition. Instead of having dense healthy canopies and crowns, the top 15% of the canopy, the foliage is thin, pale in color, and has a lot of dieback associated with the Poplar Canker.

Trees # 154 – 167 are along the eastern and southern boundaries as one moves from the parking garage towards 6th Street. There is a Pyramidalis hedge along the southern property line between the parking lot and the apartments to the south. They have been given the number 165 for the entire hedge which consists of 37 trees.

Photo # 8: Panoramic view of the Pyramidalis Hedge of 37 plants listed as # 165



Trees 159 – 167

Right-of-Way Trees

There is one tree in a four by four foot planter box in the Kirkland Way sidewalk immediately west of the entrance to the parking lot; it is tree # 101. It will likely require tree protection during construction.



Photos # 9 & 10: Looking east on Central Way at trees # 188 – 207

There are 31 trees on the Central Way right-of-way. There is a row of 21 London Plane trees in a grass covered planter strip between the curb and the sidewalk. South of the sidewalk is a flower bed with 10 additional trees, shrubs, and a large sign.



Photo #11: Looking west along Central way

Note the Elevation difference between the street and the parking lot

In the planter bed south of the sidewalk that parallels Central Way are trees # 208 to 217. They are growing in an area between the sidewalk and the retaining wall at the edge of the parking lot. There are some utilities and the Park Place sign is located there.

The site plan shows a tree symbol that was given the number 211. The tree was a pine but, judging from the oxidation of the stump that remains, it was cut down years ago. It is included in the inventory to account for the symbol on the site plan.



Photo # 12: trees # 208 – 210 and the sign in the northeast corner of the property



Photo # 13: the stump of # 211

- Condition:
 - Each tree was given a *Current Health Rating* that ranged from Dead, Dying, Poor, Fair, Good, Very Good, to Excellent.
 - An additional category was used in this re-evaluation because there are six trees that were cut down in the 5 years since the original report. Only the stumps remain.
 - They were noted as *No Longer Present* in Attachment 2, *Tree inventory/Condition Spreadsheet* below. An “X” was drawn through its symbol on the survey and the letters “NLP” were noted next to the symbol.
 - For the notations in the *Condition Rating* on Attachment 2, *Tree inventory/Condition Spreadsheet* below the six removed trees were noted as follows:
 - For Column 18 Current Health Rating:
 - They are listed as *Dead*.
 - For Column 19, Viability:
 - They are listed as *Non-Viable*.

VIABILITY SUMMARY		
#	Condition	%
14	Non-Viable	10.7%
117	Viable	89.3%
131	Total # of Trees	100.0%

Tree Protection Measures

In order for trees to survive the stresses placed upon them in the construction process, tree protection must be planned in advance of equipment arrival on site. If tree protection is not planned integral with the design and layout of the project, the trees will suffer needlessly and possibly die. With proper preparation, often costing little or nothing extra to the project budget, trees can survive and thrive after construction. This is critical for

tree survival because damage prevention is the single most effective treatment for trees on construction sites. Once trees are damaged, the treatment options available are limited.

The minimum Tree Protection Measures in *Attachment 4, Tree Protection Measures* are on three separate sheets that can be copied and introduced into all relevant documents such as site plans, permit applications and conditions of approval, and bid documents so that everyone involved is aware of the requirements. These Tree Protection Measures are intended to be generic in nature. They will need to be adjusted to the specific circumstances of your site that takes into account the location of improvements and the locations of the trees.

WAIVER OF LIABILITY

There are many conditions affecting a tree's health and stability, which may be present and cannot be ascertained, such as, root rot, previous or unexposed construction damage, internal cracks, stem rot and more which may be hidden. Changes in circumstances and conditions can also cause a rapid deterioration of a tree's health and stability. Adverse weather conditions can dramatically affect the health and safety of a tree in a very short amount of time. While I have used every reasonable means to examine these trees, this evaluation represents my opinion of the tree health at this point in time. These findings do not guarantee future safety nor are they predictions of future events.

The tree evaluation consists of an external visual inspection of an individual tree's root flare, trunk, and canopy from the ground only unless otherwise specified. The inspection may also consist of taking trunk or root soundings for sound comparisons to aid the evaluator in determining the possible extent of decay within a tree. Soundings are only an aid to the evaluation process and do not replace the use of other more sophisticated diagnostic tools for determining the extent of decay within a tree.

As conditions change, it is the responsibility of the property owners to schedule additional site visits by the necessary professionals to ensure that the long-term success of the project is ensured. It is the responsibility of the property owner to obtain all required permits from city, county, state, or federal agencies. It is the responsibility of the property owner to comply with all applicable laws, regulations, and permit conditions. If there is a homeowners association, it is the responsibility of the property owner to comply with all Codes, Covenants, and Restrictions (CC&R's) that apply to tree pruning and tree removal.

This tree evaluation is to be used to inform and guide the client in the management of their trees. This in no way implies that the evaluator is responsible for performing recommended actions or using other methods or tools to further determine the extent of

internal tree problems without written authorization from the client. Furthermore, the evaluator in no way holds that the opinions and recommendations are the only actions required to insure that the tree will not fail. A second opinion is recommended. The client shall hold the evaluator harmless for any and all injuries or damages incurred if the evaluator's recommendations are not followed or for acts of nature beyond the evaluator's reasonable expectations, such as severe winds, excessive rains, heavy snow loads, etc.

This report and all attachments, enclosures, and references, are confidential and are for the use of the client concerned. They may not be reproduced, used in any way, or disseminated in any form without the prior consent of the client concerned and Gilles Consulting.

Thank you for calling Gilles Consulting for your arboricultural needs.

Sincerely,

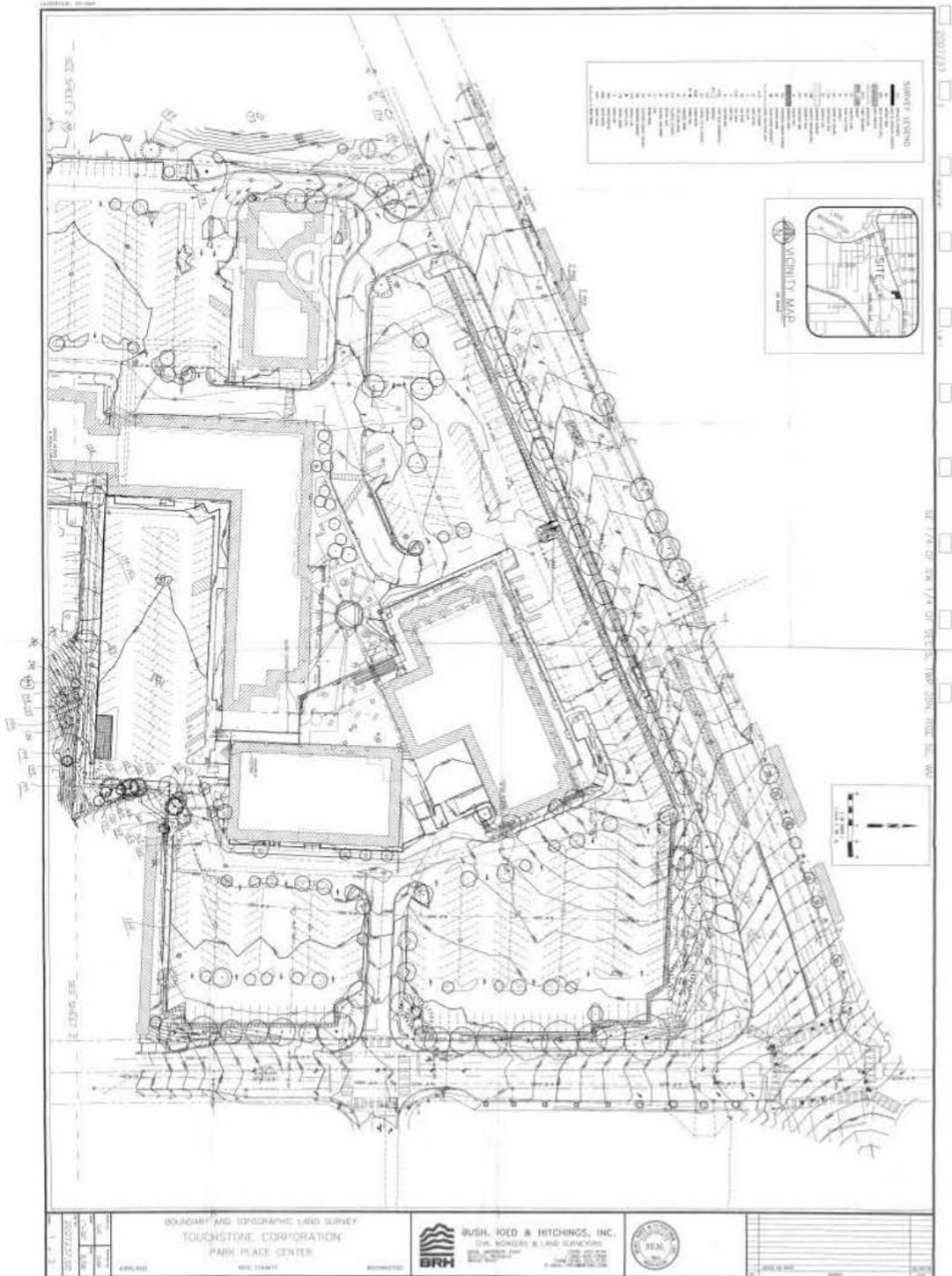


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ATTACHMENTS

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ATTACHMENT 1 - SITE PLAN



ATTACHMENT 2 - TREE INVENTORY/CONDITIONS SPREADSHEET

ABBREVIATED LEGEND--SEE GLOSSARY IN REPORT ATTACHMENTS FOR GREATER DETAIL		
#1	off the Subject Property, or a Right-of-Way tree.	
#2	Tree Location: Relative placement of the tree on the Subject Property.	
#3	Tree #: The unique tag number of each tree.	
#4	Species:	
	ABP/Pn	Austrian Black Pine, <i>Pinus nigra</i>
	BAC/Ca	Blue Atlas Cedar, <i>Cedrus atlantica</i>
	BCw/Pt	Black Cottonwood, <i>Populus trichocarpa</i>
	BLM/Am	Big Leaf Maple, <i>Acer macrophyllum</i>
	DC/Cd	Deodar Cedar, <i>Cedrus deodara</i>
	DF/Pm	Douglas Fir, <i>Pseudotsuga menziesii</i>
	EO/Or	English Oak, <i>Quercus robur</i>
	IC/Cd	Incense Cedar, <i>Calocedrus decurrens</i>
	GS/Sg	Giant Sequoia, <i>Sequoiadendron giganteum</i>
	JB/Bj	Jacquemont Birch, <i>Betula jacquemontii</i>
	JZ/ Zs	Japanese Zelkova, <i>Zelkova serrata</i>
	KC/Gd	Kentucky Coffeetree, <i>Gymnocladus dioica</i>
	LC/XCI	Leyland Cypress, x <i>Cupressocyparis leylandii</i>
	LP/Pxa	London Plane, <i>Platanus x acerifolia</i>
	LP/Pn 'I'	Lombardy Poplar, <i>Populus nigra 'Italica'</i>
	NS/Pa	Norway Spruce, <i>Picea abies</i>
	P/Psp.	Pear, <i>Pyrus sp.</i>
	POC/CI	Port Orford Cedar, <i>Chamaecyparis lawsoniana</i>
	PP/Pp	Ponderosa Pine, <i>Pinus ponderosa</i>
	P/To 'P'	Pyramidalis (Arborvitae), <i>Thuja occidentalis 'Pyramidalis'</i>
	RA/Ar	Red Alder, <i>Alnus rubra</i>
	RW/Ar	Red Maple, <i>Acer rubrum</i>
	ScP/Ps	Scots Pine, <i>Pinus sylvestris</i>
	SF/Ap	Spanish Fir, <i>Abies pinsapo</i>
	SSp/Ps	Sitka Spruce, <i>Picea sitchensis</i>
	SG/Ls	Sweetgum, <i>Liquidambar styraciflua</i>
	TcP/Pc	Thundercloud Plum, <i>Prunus cerasifera</i>
	TT/Lt	Tulip Tree, <i>Liriodendron tulipifera</i>
	WH/Th	Western Hemlock, <i>Tsuga heterophylla</i>
	WRC/Tp	Western Red Cedar, <i>Thuja plicata</i>
#5	DBH: Trunk diameter @ 4.5' above average ground level.	
#6	Tree Credit: This is based upon Table 95.35.1, Page 12, Chapter 95 of the Kirkland Municipal Code.	
#7	Drip Line: The radius, the distance from the trunk to the furthest branch tips.	
#8	Limits of Disturbance: The boundary between the area of minimum protection around a tree and the allowable site disturbance as determined by a qualified professional.	
#9	LCR: Live Crown Ratio - the amount of live canopy expressed as a % of the entire tree height	
#10	Symmetry: General shape of canopy and weight distribution of the tree around the trunk.	
#11	Foliage: General description of foliage density that indicates tree health and vigor.	
#12	Crown Condition: The most important external indication of tree health and vigor.	
#13	Trunk: Description of trunk condition or abnormalities if any.	
#14	Root Collar: The base of the tree where the trunk flares into the roots--defectss are noted here.	
#15	Roots: Root problems are noted here.	
#16	Comments: Additional observations about the tree's condition.	
#17	Significance: A "significant" tree is at least 6" in diameter measured at 4.5' above the average ground level.	
#18	Current Health Rating: A description of general health ranging from dead, dying, poor, fair, good, very good, to excellent.	
#19	Viability: A significant tree that is in good health with a low risk of failure due to structural defects, is relatively wind firm if isolated or remains as part of a grove, and is a species that is suitable for its location.	
#20	Recommendation: This is an estimate of whether or not the tree is of sufficient health, vigor, and structure to consider retaining.	
Trees with portions of their data in red ink are those that are Non-Viable and are recommended for removal.		

1	2	3	4	5	6	7	8 -- LIMITS OF DISTURBANCE				9	10	11	12	13	14	15	16	17	18	19	20
PROPERTY	TREE LOCATION	TREE #	SPECIES	DBH	TREE CREDIT	DRIP LINE	North	South	East	West	LOR	SYMMETRY	FOLIAGE	CROWN CONDITION	TRUNK	ROOT COLLAR	ROOTS	COMMENTS	SIGNIFICANCE	CURRENT HEALTH RATING	VIABILITY	RECOMMENDATION
Off property	Adjacent to entry drive	101	EO/ Qr	8.5"	0 . 0	14'	N/A	To curb	N/ A	To Adjacent property	7 5 %	Gen. sym.	Dense	Healthy	Straight	No Apparent Defects	Restricted	Growing in 4-foot by 4-foot sidewalk cut-out.	Significant	Very good	Viable	Potential to retain with Tree Protection Measures
Off property	Adjacent to entry drive	102	IC/C d	15.1 "	0 . 0	12'	N/A	To Side walk	12'	12'	9 8 %	Gen. sym.	Dense	Healthy	Forked at 6'	No Apparent Defects	Restricted	Trunk diameters are 9.0", 10.1", & 6.8" = single trunk of 15.1". Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Very good	Viable	Potential to retain with Tree Protection Measures
Off property	Adjacent to entry drive	103	SG/L s	5.3"	0 . 0	12'	N/A	To Side walk	12'	12'	8 5 %	Gen. sym.	Dense	Healthy	Typical	No Apparent Defects	Restricted	Growing in planter bed west of the drive lane and east of the parking lot.	Not Significant	Very good	Viable	Potential to retain with Tree Protection Measures
Off property	Adjacent to entry drive	104	IC/C d	10.2 "	0 . 0	10'	N/A	To Side walk	10'	10'	9 0 %	Gen. sym.	Dense	Healthy	Straight	No Apparent Defects	Restricted	Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Very good	Viable	Potential to retain with Tree Protection Measures
Off property	Adjacent to entry drive	105	IC/C d	14.3 "	0 . 0	12'	N/A	To Side walk	To curb	12'	9 8 %	Gen. sym.	Dense	Healthy	Forked at 6"	No Apparent Defects	Restricted	Trunk Diameters are 9.7 and 10.5 inches = single trunk of 14.7". Next to a phone bollard. Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Very good	Viable	Potential to retain with Tree Protection Measures

1	2	3	4	6	7	8 -- LIMITS OF DISTURBANCE				9	10	11	12	13	14	15	16	17	18	19	20	
PROPERTY	TREE LOCATION	TREE #	SPECIES	DBH	TREE CREDIT	DRIP LINE	North	South	East	West	LCR	SYMMETRY	FOLIAGE	CROWN CONDITION	TRUNK	ROOT COLLAR	ROOTS	COMMENTS	SIGNIFICANCE	CURRENT HEALTH RATING	VIABILITY	RECOMMENDATION
Off property	Adjacent to entry drive	106	IC/Cd	14.7"	0.0	15'	N/A	15'	To curb	15'	98%	Gen. sym.	Dense	Healthy	Straight	No Apparent Defects	Restricted	Open wound northeast side 18 inches to 4.5 feet. 1 to 2 years of wound wood production. Bark beetle infestation. Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Very good	Viable	Potential to retain with Tree Protection Measures
Off property	Adjacent to entry drive	107	WR C/Tp	12.0"	0.0	14'	14'	14'	To curb	14'	98%	Min. Asym.	Average	Average	Forked at 1'. Center rot	No Apparent Defects	Restricted	Trunk diameters are 9.4 & 7.5 inches = single trunk of 12.0". Open wound west side 4" to 1'. Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Good	Viable	Potential to retain with Tree Protection Measures
Off property	Adjacent to entry drive	108	WR C/Tp	9.3"	0.0	12'	12'	12'	To curb	12'	98%	Min. Asym.	Average	Average	Straight	No Apparent Defects	Restricted	Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Off property	Adjacent to entry drive	109	WR C/Tp	11.2"	0.0	14'	14'	14'	To curb	14'	99%	Min. Asym.	Average	Average	Straight	No Apparent Defects	Restricted	Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Off property	Adjacent to entry drive	110	WR C/Tp	10.2"	0.0	14'	14'	14'	To curb	To edge of property line	99%	Maj. Asym.	Average	Average	Bowed North	No Apparent Defects	Restricted	Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures

1	2	3	4	6	7	8 -- LIMITS OF DISTURBANCE				9	10	11	12	13	14	15	16	17	18	19	20	
PROPERTY	TREE LOCATION	TREE #	SPECIES	DBH	TREE CREDIT	DRIP LINE	North	South	East	West	LCR	SYMMETRY	FOLIAGE	CROWN CONDITION	TRUNK	ROOT COLLAR	ROOTS	COMMENTS	SIGNIFICANCE	CURRENT HEALTH RATING	VIABILITY	RECOMMENDATION
Off property	Adjacent to entry drive	111	WR C/Tp	7.6"	0.0	12'	12'	12'	To curb	To edge of property line	90%	Maj. Asym.	Average	Average		No Apparent Defects	Restricted	Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Off property	Adjacent to entry drive	112	WR C/Tp	8.3"	0.0	12'	12'	12'	To curb	To edge of property line	80%	Maj. Asym.	Average	Average	Center rot	Base rot	Restricted	Open wound on the west side from the base up to 10' with decay and early bark beetle infestation. Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Poor	Non-viable	Remove
Off property	Adjacent to entry drive	113	WR C/Tp	10.1"	0.0	14'	14'	14'	To curb	To edge of property line	85%	Min. Asym.	Average	Average	Slight Bowe at base and then Straight	No Apparent Defects	Restricted	Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Off property	Adjacent to entry drive	114	WR C/Tp	9.7"	0.0	12'	12'	12'	To curb	To edge of property line	90%	Min. Asym.	Average	Average	Center rot	Base rot	Restricted	Open wound on the west side from the base up to 13' with decay. Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Off property	Adjacent to entry drive	115	WR C/Tp	13.7"	0.0	16'	16'	16'	To curb	To edge of property line	80%	Gen. sym.	Average	Average	Straight	No Apparent Defects	Restricted	Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Good	Viable	Potential to retain with Tree Protection Measures

1	2	3	4	6	7	8 -- LIMITS OF DISTURBANCE				9	10	11	12	13	14	15	16	17	18	19	20	
PROPERTY	TREE LOCATION	TREE #	SPECIES	DBH	TREE CREDIT	DRIP LINE	North	South	East	West	LCR	SYMMETRY	FOLIAGE	CROWN CONDITION	TRUNK	ROOT COLLAR	ROOTS	COMMENTS	SIGNIFICANCE	CURRENT HEALTH RATING	VIABILITY	RECOMMENDATION
Off property	Adjacent to entry drive	116	WR C/Tp	17.1 "	0 . 0	22'	22'	22'	To curb	To edge of property line	90 %	Min. Asym.	Average	Average	Forked at 1.5'. Center rot	Base rot	Restricted	Trunk Diameters are 11.1 & 13.0 inches = single trunk of 17.1". Multiple open wounds on all sides of the base with decay and a bark beetle infestation. Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Off property	Adjacent to entry drive	117	WR C/Tp	21.2 "	0 . 0	18'	18'	18'	To curb	To edge of property line	90 %	Min. Asym.	Dense	Average	Forked at 6"	No Apparent Defects	Restricted	Trunk Diameters are 14.5 & 15.4 inches = single trunk of 21.2". Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Good	Viable	Potential to retain with Tree Protection Measures
Off property	Adjacent to entry drive	118	WR C/Tp	14.9 "	0 . 0	18	18	18	To curb	To edge of property line	85 %	Min. Asym.	Dense	Healthy	Straight	No Apparent Defects	Restricted	Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Good	Viable	Potential to retain with Tree Protection Measures
Off property	Adjacent to entry drive	119	WR C/Tp	20.1 "	0 . 0	22'	22'	22'	To curb	To parking lot	95 %	Min. Asym.	Dense	Healthy	Forked at 1' with included bark down to the base	No Apparent Defects	Restricted	Trunk diameters are 16.0 & 12.1 inches = single trunk of 20.1". One of the trunks has been cut off at 6". Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Good	Viable	Potential to retain with Tree Protection Measures
Off property	Adjacent to entry drive	120	WR C/Tp	19.5 "	0 . 0	20'	20'	20'	To curb	To parking lot	95 %	Gen. sym.	Average	Average	Straight	No Apparent Defects	Restricted	Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Good	Viable	Potential to retain with Tree Protection Measures

1	2	3	4	6	7	8 -- LIMITS OF DISTURBANCE				9	10	11	12	13	14	15	16	17	18	19	20	
PROPERTY	TREE LOCATION	TREE #	SPECIES	DBH	TREE CREDIT	DRIP LINE	North	South	East	West	LCR	SYMMETRY	FOLIAGE	CROWN CONDITION	TRUNK	ROOT COLLAR	ROOTS	COMMENTS	SIGNIFICANCE	CURRENT HEALTH RATING	VIABILITY	RECOMMENDATION
Off property	Adjacent to entry drive	121	WR C/Tp	18.7 "	0 . 0	20'	20'	20'	To curb	To parking lot	9 5 %	Min. Asym.	Average	Average	Straight	No Apparent Defects	Restricted	Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Good	Viable	Potential to retain with Tree Protection Measures
Off property	Adjacent to entry drive	122	IC/Cd	13.1 "	0 . 0	11'	11'	11'	To curb	To parking lot	9 5 %	Min. Asym.	Dense	Healthy	Forked at 3'. Included bark down to 2'.	No Apparent Defects	Restricted	Trunk diameters are 9.0 & 9.5 inches = single trunk of 13.1". Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Very good	Viable	Potential to retain with Tree Protection Measures
Off property	Adjacent to entry drive	123	WR C/Tp	15.5 "	0 . 0	14'	14'	14'	To curb	To parking lot	9 5 %	Maj. Asym.	Average	Average	Straight	No Apparent Defects	Restricted	Callused wound on the south side from the base up 6'. Wound appears to be compartmentalized. Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Good	Viable	Potential to retain with Tree Protection Measures
Off property	Adjacent to entry drive	124	WR C/Tp	17.4 "	0 . 0	18'	18'	18'	To curb	To parking lot	9 5 %	Maj. Asym.	Average	Average	Straight	No Apparent Defects	Restricted	Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Good	Viable	Potential to retain with Tree Protection Measures
Off property	Adjacent to entry drive	125	WR C/Tp	20.9 "	0 . 0	22'	22'	22'	To curb	To parking lot	9 5 %	Gen. sym.	Average	Average	Forked at 4' with included bark down to the base.	No Apparent Defects. Internal Structural weakness	Restricted	Parking lot damaged on west side 2'-3'. The diameter of the tree was taken at 24" above ground level for a trunk diameter of 20.9". Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Good	Viable	Potential to retain with Tree Protection Measures

1	2	3	4	5	6	7	8 -- LIMITS OF DISTURBANCE				9	10	11	12	13	14	15	16	17	18	19	20
PROPERTY	TREE LOCATION	TREE #	SPECIES	DBH	TREE CREDIT	DRIP LINE	North	South	East	West	LCR	SYMMETRY	FOLIAGE	CROWN CONDITION	TRUNK	ROOT COLLAR	ROOTS	COMMENTS	SIGNIFICANCE	CURRENT HEALTH RATING	VIABILITY	RECOMMENDATION
Off property	Adjacent to entry drive	126	TcP/ Pc	21.3 "	0 . 0	22'	To curb	To curb	To curb	To parking lot	90 %	Gen. sym.	Dense	Healthy	Forked at 4.5'. Typical	No Apparent Defects	Restricted	Trunk diameters are 9.1, 13.8, 9.0, & 10.0 inches = single trunk of 21.3". Next to fire hydrant. Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Very good	Viable	Potential to retain with Tree Protection Measures
Off property	Adjacent to entry drive	127	DC/ Cd	24.7 "	0 . 0	30'	To curb	To curb	To curb	To parking lot	85 %	Gen. sym.	Dense	Healthy	Straight	No Apparent Defects	Restricted	There is an open wound on the east side from 6"-1'. The wound appears to have compartmentalized. Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Very good	Viable	Potential to retain with Tree Protection Measures
Off property	Near NE corner of performing arts center	128	WR C/ Tp	16.3 "	0 . 0	13'	To building	To curb	To curb	To sidewalk	95 %	Gen. sym.	None. Trimming	Average	Straight	No Apparent Defects	Restricted	3.5' SW of power transformer box. Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Off property	Near NE corner of performing arts center	129	WH/ Th	11.1 "	0 . 0	NLP	To building	To curb	To curb	To sidewalk	NLP	NLP	NLP	NLP	Leans NW	No Apparent Defects	Restricted	No longer present. The tree is now a stump approximately 10" high and a 9.5" diameter. Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Poor	Non-viable	Remove
Off property	Near NE corner of performing arts center	130	WR C/ Tp	17.3 "	0 . 0	18'	To building	To curb	To curb	To curb	90 %	Min. Asym.	Dense	Healthy	Forked at 10' with included bark down 2'.	No Apparent Defects	Restricted	Trunk has slight lean east. Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Good	Viable	Potential to retain with Tree Protection Measures

1	2	3	4	5	6	7	8 -- LIMITS OF DISTURBANCE				9	10	11	12	13	14	15	16	17	18	19	20
PROPERTY	TREE LOCATION	TREE #	SPECIES	DBH	TREE CREDIT	DRIP LINE	North	South	East	West	LCR	SYMMETRY	FOLIAGE	CROWN CONDITION	TRUNK	ROOT COLLAR	ROOTS	COMMENTS	SIGNIFICANCE	CURRENT HEALTH RATING	VIABILITY	RECOMMENDATION
Off property	Near NE corner of performing arts center	131	WR C/TP	26.2"	0.0	22'	To curb	To curb	To curb	To curb	95%	Min. Asym.	Dense	Healthy	Forked at 6"	No Apparent Defects	Restricted	Trunk diameters are 16.2 & 20.6 inches = single trunk of 26.2". Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Good	Viable	Potential to retain with Tree Protection Measures
Subject property	Near SW corner of performing arts center	132	RM/Ar	8.3"	1.0	20'	To curb	To curb	To curb	To curb	90%	Maj. Asym.	Average	Average	Leans North	Planted high	Restricted	Girdling and circling roots at base. Growing in planter bed west of the drive lane and east of the parking lot.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Off property	Peter Kirk Park	133	P/Ps p.	4.7"	0.0	7'	7'	7'	7'	To sidewalk	85%	Gen. sym.	Stressed. Average	Regenerating/Average	Typical	Base rot	Restricted	Open wound on the west side from the base to 4" with decay. Growing in the lawn west of the QFC building.	Not Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Off property	Peter Kirk Park	134	P/Ps p.	4.9"	0.0	12'	12'	12'	12'	To sidewalk	90%	Gen. sym.	Dense	Regenerating/Average	Straight	No Apparent Defects	Restricted	Growing in the lawn west of the QFC building.	Not Significant	Good	Viable	Potential to retain with Tree Protection Measures
Off property	Peter Kirk Park	135	P/Ps p.	5.1"	0.0	12'	12'	12'	12'	12'	65%	Gen. sym.	Average	Regenerating/Average	Slight lean. Serpentine	No Apparent Defects	-	Growing in the lawn west of the QFC building.	Not Significant	Fair	Viable	Potential to retain with Tree Protection Measures

1	2	3	4	5	6	7	8 -- LIMITS OF DISTURBANCE				9	10	11	12	13	14	15	16	17	18	19	20
PROPERTY	TREE LOCATION	TREE #	SPECIES	DBH	TREE CREDIT	DRIP LINE	North	South	East	West	LCR	SYMMETRY	FOLIAGE	CROWN CONDITION	TRUNK	ROOT COLLAR	ROOTS	COMMENTS	SIGNIFICANCE	CURRENT HEALTH RATING	VIABILITY	RECOMMENDATION
Off property	Peter Kirk Park	136	GS/Sg	26.6"	0.0	12'	12'	12'	12'	12'	99%	Gen. sym.	Average	Weak	Straight	No Apparent Defects	-	Growing in the lawn west of the QFC building.	Significant	Good	Viable	Potential to retain with Tree Protection Measures
Off property	Adjacent Property planter bed	137	DC/Cd	12.7"	0.0	18'	To curb	To curb	To curb	To curb	90%	Gen. sym.	Average	Healthy	Bowed SW	No Apparent Defects	Restricted	Growing in planter bed by sidewalk and parking lot that is 17' by 16'.	Significant	Good	Viable	Potential to retain with Tree Protection Measures
Subject property	Near SW corner of parking garage	138	LP/Pn''	40.1"	16.0	26'	To structure	To retaining wall	26'	8'	90%	Gen. sym.	Thin/necrotic	Healthy	Typical	No Apparent Defects	Restricted	Growing in strip between parking structure and block retaining wall. Dead branches found in the canopy along with canker.	Significant	Good	Viable	Potential to retain with Tree Protection Measures
Subject property	South of parking garage	139	LP/Pn''	32.9"	12.0	24'	To structure	To retaining wall	24'	24'	65%	Min. Asym.	Thin/necrotic	Average	Forked at 4'. Typical	No Apparent Defects	Restricted	Trunk diameters are 27.3 & 18.3 inches + single trunk of 32.9". Growing in strip between parking structure and block retaining wall. Dead branches found in the canopy along with canker.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Subject property	South of parking garage	140	LP/Pn''	21.5"	6.0	24'	To structure	To retaining wall	24'	24'	60%	Maj. Asym.	Thin/necrotic	Average	Slight lean east. Typical	No Apparent Defects	Restricted	Growing in strip between parking structure and block retaining wall. Dead branches found in the canopy along with canker.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures

1	2	3	4	6	7	8 -- LIMITS OF DISTURBANCE				9	10	11	12	13	14	15	16	17	18	19	20	
PROPERTY	TREE LOCATION	TREE #	SPECIES	DBH	TREE CREDIT	DRIP LINE	North	South	East	West	LCR	SYMMETRY	FOLIAGE	CROWN CONDITION	TRUNK	ROOT COLLAR	ROOTS	COMMENTS	SIGNIFICANCE	CURRENT HEALTH RATING	VIABILITY	RECOMMENDATION
Subject property	South of parking garage	141	LP/P n 'l'	19.4 "	5 . 0	22'	To structure	To retaining wall	22'	22'	6 0 %	Maj. Asym.	Thin/necrotic	Average	Typical. Serpentine	No Apparent Defects	Restricted	Growing in strip between parking structure and block retaining wall. Dead branches found in the canopy along with canker.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Subject property	South of parking garage	142	LP/P n 'l'	19.7 "	5 . 0	22'	To structure	To retaining wall	22'	22'	6 5 %	Gen. sym.	Thin/necrotic	Average	Typical	No Apparent Defects	Restricted	Growing in strip between parking structure and block retaining wall. Dead branches found in the canopy along with canker.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Subject property	South of parking garage	143	LP/P n 'l'	17.6 "	4 . 0	18'	To structure	To retaining wall	18'	18'	7 5 %	Min. Asym.	Thin/necrotic	Average	Typical. Serpentine	No Apparent Defects	Restricted	Center rot and surface roots. Growing in strip between parking structure and block retaining wall. Dead branches found in the canopy along with canker.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Subject property	South of parking garage	144	LP/P n 'l'	15.7 "	3 . 0	16'	To structure	To retaining wall	16'	16'	7 0 %	Min. Asym.	Thin/necrotic	Average	Typical	No Apparent Defects	Restricted	Callused wound on the south side at the base up to 1' with decay and surface roots. Growing in strip between parking structure and block retaining wall. Dead branches found in the canopy along with canker.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Subject property	South of parking garage	145	LP/P n 'l'	12.8 "	2 . 0	14'	To structure	To retaining wall	14'	14'	6 5 %	Min. Asym.	Thin/necrotic	Average	Typical	No Apparent Defects	Restricted	Surface roots. Growing in strip between parking structure and block retaining wall. Dead branches found in the canopy along with canker.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures

1	2	3	4	6	7	8 -- LIMITS OF DISTURBANCE				9	10	11	12	13	14	15	16	17	18	19	20	
PROPERTY	TREE LOCATION	TREE #	SPECIES	DBH	TREE CREDIT	DRIP LINE	North	South	East	West	LCR	SYMMETRY	FOLIAGE	CROWN CONDITION	TRUNK	ROOT COLLAR	ROOTS	COMMENTS	SIGNIFICANCE	CURRENT HEALTH RATING	VIABILITY	RECOMMENDATION
Subject property	South of parking garage	146	LP/P n 'l'	14.5 "	3 . 0	10'	To building	To retaining wall	10'	10'	8 0 %	Gen. sym.	Thin/necrotic	Weak	Bowed south	No Apparent Defects	Restricted	Growing in strip between parking structure and block retaining wall. Surface roots with decay. Dead branches in the canopy and canker.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Subject property	South of parking garage	147	LP/P n 'l'	15.1 "	3 . 0	12'	To building	To retaining wall	12'	12'	8 5 %	Min. Asym.	Thin/necrotic	Weak	Typical	Partially exposed	Restricted	Growing in strip between parking structure and block retaining wall. Surface roots with decay. Dead branches in the canopy and canker	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Subject property	South of parking garage	148	LP/P n 'l'	15.6 "	3 . 0	10'	To building	To retaining wall	10'	10'	8 5 %	Min. Asym.	Thin/necrotic	Weak	Typical	No Apparent Defects	Restricted/ Surface	Growing in strip between parking structure and block retaining wall. Surface roots with decay. Dead branches in the canopy and canker	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Subject property	South of parking garage	149	LP/P n 'l'	10.3 "	1 . 0	10'	To building	To retaining wall	10'	10'	8 0 %	Min. Asym.	Thin/necrotic	Weak	Serpentine	No Apparent Defects	Restricted	Growing in strip between parking structure and block retaining wall. Surface roots with decay. Dead branches in the canopy and canker	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Subject property	South of parking garage	150	LP/P n 'l'	16.6 "	0 . 0	14'	To building	To retaining wall	14'	14'	8 5 %	Maj. Asym.	Spars e	Dead	Typical	No Apparent Defects	Restricted	Growing in strip between parking structure and block retaining wall. Surface roots with decay. Dead branches in the canopy and canker	Significant	Dying	Non-viable	Remove

1	2	3	4	6	7	8 -- LIMITS OF DISTURBANCE				9	10	11	12	13	14	15	16	17	18	19	20	
PROPERTY	TREE LOCATION	TREE #	SPECIES	DBH	TREE CREDIT	DRIP LINE	North	South	East	West	LCR	SYMMETRY	FOLIAGE	CROWN CONDITION	TRUNK	ROOT COLLAR	ROOTS	COMMENTS	SIGNIFICANCE	CURRENT HEALTH RATING	VIABILITY	RECOMMENDATION
Subject property	South of parking garage	151	LP/P n 'I'	20.1 "	6 . 0	14'	To building	To retaining wall	14'	14'	8 0 %	Min. Asym.	Thin/necrotic	Weak	Serpentine	No Apparent Defects	Restricted	Growing in strip between parking structure and block retaining wall. Surface roots with decay. Dead branches in the canopy and canker	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Subject property	South of parking garage	152	LP/P n 'I'	12.8 "	2 . 0	10'	To building	To retaining wall	10'	10'	7 0 %	Min. Asym.	Thin/necrotic	Weak	Typical	No Apparent Defects	Restricted	Growing in strip between parking structure and block retaining wall. Surface roots with decay. Dead branches in the canopy and canker	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Subject property	South of parking garage	153	LP/P n 'I'	27.7 "	9 . 0	16'	To building	To retaining wall	16'	16'	9 5 %	Gen. sym.	Thin/necrotic	Weak	Typical	No Apparent Defects	Restricted	Growing in strip between parking structure and block retaining wall. Surface roots with decay. Dead branches in the canopy and canker	Significant	Good	Viable	Potential to retain with Tree Protection Measures
Subject property	South of SE corner of parking garage	154	ABP/P n	20.7 "	6 . 0	16'	To building	To sidewalk	To sidewalk	16'	9 5 %	Min. Asym.	Thin/necrotic	Weak	Serpentine	Rot	Restricted	Growing in strip between parking structure and block retaining wall. Growing in 4' planter box between the sidewalk and building structure. Dead branches in the canopy. English ivy extends from the base up to 4'.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Subject property	East of SE corner of parking garage	155	ScP/ Ps	14.5 "	3 . 0	20'	20'	20'	To retaining wall	To sidewalk	8 5 %	Min. Asym.	Average	Average	Slight lean west	No Apparent Defects	Restricted	Growing in planter bed between sidewalk and rock retaining wall.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures

1	2	3	4	6	7	8 -- LIMITS OF DISTURBANCE				9	10	11	12	13	14	15	16	17	18	19	20	
PROPERTY	TREE LOCATION	TREE #	SPECIES	DBH	TREE CREDIT	DRIP LINE	North	South	East	West	LCR	SYMMETRY	FOLIAGE	CROWN CONDITION	TRUNK	ROOT COLLAR	ROOTS	COMMENTS	SIGNIFICANCE	CURRENT HEALTH RATING	VIABILITY	RECOMMENDATION
Subject property	East of parking garage	156	DF/P m	11.9 "	1 . 0	16'	16'	16'	To retaining wall	To sidewalk	8 5 %	Min. Asym.	Average	Average	Straight	English Ivy	Restricted	English Ivy extends up to 10'. Growing in planter bed between sidewalk and rock retaining wall. The base of the tree is 18" east of the sidewalk.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Subject property	East of parking garage	157	DF/P m	10.4 "	1 . 0	15'	15'	15'	To retaining wall	To sidewalk	8 5 %	Min. Asym.	Average	Average	Straight	English Ivy	Restricted	The base of the tree is against the sidewalk. Growing in planter bed between sidewalk and rock retaining wall.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Subject property	East of parking garage	158	RM/Ar	11.6 "	1 . 0	20'	To curb	To sidewalk	To curb	20'	8 0 %	Min. Asym.	Average	Average	Slight lean west. Forked at 8'.	No Apparent Defects	Restricted	Tree is growing in a planter bed next to stairs, sidewalk, drive lane and fire hydrant. Surface roots	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Subject property	East of parking garage	159	RM/Ar	8.0"	1 . 0	20'	To curb	To property line	To curb	To curb	7 5 %	Min. Asym.	Average	Average	Slight lean NW	No Apparent Defects	Restricted	Girdling root on the west side covering 10% of the circumference.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Subject property	East of parking garage	160	DF/P m	13.3 "	2 . 0	15'	15'	To property line	15'	15'	8 5 %	Min. Asym.	Dense	Healthy	Straight	No Apparent Defects	Restricted	Early bark beetle infestation. Surface roots in all directions.	Significant	Good	Viable	Potential to retain with Tree Protection Measures

1	2	3	4	6	7	8 -- LIMITS OF DISTURBANCE				9	10	11	12	13	14	15	16	17	18	19	20	
PROPERTY	TREE LOCATION	TREE #	SPECIES	DBH	TREE CREDIT	DRIP LINE	North	South	East	West	LCR	SYMMETRY	FOLIAGE	CROWN CONDITION	TRUNK	ROOT COLLAR	ROOTS	COMMENTS	SIGNIFICANCE	CURRENT HEALTH RATING	VIABILITY	RECOMMENDATION
Subject property	East of parking garage	161	RM/Ar	7.9"	1.0	18'	To curb	To property line	To curb	18'	85%	Maj. Asym.	Average	Average	Leans north	No Apparent Defects	Restricted	The base of the tree is 4' south of drive lane curb.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Subject property	East of parking garage	162	DF/Pm	15.3"	3.0	18'	To curb	To property line	To curb	18'	80%	Maj. Asym.	Average	Healthy	Slight bowed SW	No Apparent Defects	Restricted	Early bark beetle infestation.	Significant	Good	Viable	Potential to retain with Tree Protection Measures
Subject property	East of parking garage	163	BLM/Am	7.4"	1.0	14'	To curb	To property line	To curb	14'	40%	Maj. Asym.	Dense	Healthy	Leans south	No Apparent Defects	Restricted		Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Subject property	East of parking garage	164	DF/Pm	11.9"	1.0	15'	To curb	To property line	15'	15'	80%	Maj. Asym.	Thin	Average	Bowed south	No Apparent Defects	Restricted	Early Bark beetle infestation.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Subject property	East of parking garage	165	P/To 'P'	0.0"	0.0	5'	To curb	To property line	5'	5'	98%	Min. Asym.	Dense	Healthy	Typical	No Apparent Defects	Restricted	Row of 37 shrub/trees between the parking lot curb and the rock retaining wall.	Not Significant	Good	Viable	Potential to retain with Tree Protection Measures

1	2	3	4	6	7	8 -- LIMITS OF DISTURBANCE				9	10	11	12	13	14	15	16	17	18	19	20	
PROPERTY	TREE LOCATION	TREE #	SPECIES	DBH	TREE CREDIT	DRIP LINE	North	South	East	West	LCR	SYMMETRY	FOLIAGE	CROWN CONDITION	TRUNK	ROOT COLLAR	ROOTS	COMMENTS	SIGNIFICANCE	CURRENT HEALTH RATING	VIABILITY	RECOMMENDATION
Off property	East of parking garage	166	LC/X Cl	8.2"	0.0	10'	To retaining wall	To building	10'	10'	85%	Gen. sym.	Dense	Healthy	Bowed at base	No Apparent Defects	Restricted	Original stake wire embedded in tree at 2'.	Significant	Good	Viable	Potential to retain with Tree Protection Measures
Off property	East of parking garage	167	LC/X Cl	8.7"	0.0	12'	To retaining wall	To fence	12'	To transformer	85%	Gen. sym.	Average	Healthy	Serpentine	No Apparent Defects	Restricted	Stake wire girdled at 2.5'.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Off property	East of parking garage	168	DF/P m	6.4"	0.0	0'	N/A	N/A	N/A	N/A	0%	None	None	Dead	Straight	No Apparent Defects	Restricted	Girdling wire in steak at 3.5'. Growing the planter bed between the sidewalk and the rock retaining wall.	Significant	Dead	Non-viable	Remove
Off property	East of parking garage	169	DF/P m	18.5"	0.0	28'	28'	28'	To sidewalk	To property line	80%	Gen. sym.	Average	Average	Straight	No Apparent Defects	Restricted	English Ivy extends up to 30" and early bark beetle infestation. Dead branches in canopy. Growing the planter bed between the sidewalk and the rock retaining wall.	Significant	Good	Viable	Potential to retain with Tree Protection Measures
Off property	East of parking garage	170	RA/Ar	8.5"	0.0	14'	14'	14'	To retaining wall	To sidewalk	70%	Maj. Asym.	Average	Suppressed	Leans south. Serpentine	No Apparent Defects	Restricted	Growing the planter bed between the sidewalk and the rock retaining wall.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures

1	2	3	4	5	6	7	8 -- LIMITS OF DISTURBANCE				9	10	11	12	13	14	15	16	17	18	19	20
PROPERTY	TREE LOCATION	TREE #	SPECIES	DBH	TREE CREDIT	DRIP LINE	North	South	East	West	LCR	SYMMETRY	FOLIAGE	CROWN CONDITION	TRUNK	ROOT COLLAR	ROOTS	COMMENTS	SIGNIFICANCE	CURRENT HEALTH RATING	VIABILITY	RECOMMENDATION
Off property	East of parking garage	171	BCw/Pt	14.0"	0.0	26'	26'	26'	To retaining wall	To sidewalk	85%	Min. Asym.	Dense	Healthy	Serpentine	Partially exposed	Restricted	Growing the planter bed between the sidewalk and the rock retaining wall.	Significant	Good	Viable	Potential to retain with Tree Protection Measures
Off property	South of parking garage	172	RA/Ar	9.3"	0.0	26'	26'	To property line	To retaining wall	26'	80%	Gen. sym.	Dense	Regenerating/Healthy	Bowed at base	Partially exposed			Significant	Good	Viable	Potential to retain with Tree Protection Measures
Off property	South of parking garage	173	SS/Pop	7.5"	0.0	13'	To sidewalk	To property line	13'	13'	96%	Min. Asym.	Dense	Healthy	Straight	No Apparent Defects	Restricted	English Ivy extends up to 6'	Significant	Very good	Viable	Potential to retain with Tree Protection Measures
Off property	South of parking garage	174	LP/Pn'l	20.5"	0.0	32'	To sidewalk	To property line	32'	32'	85%	Gen. sym.	Dense	Healthy	Typical	No Apparent Defects	Restricted	Callused wound on the south side from 1'-3'. Growing the planter bed between the sidewalk and the rock retaining wall. The base of the tree is 4' west of the parking lot.	Significant	Very good	Viable	Potential to retain with Tree Protection Measures
Off property	South of parking garage	175	PP/Pop	9.3"	0.0	12'	12'	To sidewalk	12'	To stairs	70%	Min. Asym.	Average	Average	Forked at 4'	No Apparent Defects	Restricted	The trunk diameters of 7.3 & 5.8 inches = single trunk of 9.3". Growing the planter bed between the sidewalk and the rock retaining wall.	Significant	Good	Viable	Potential to retain with Tree Protection Measures

1	2	3	4	5	6	7	8 -- LIMITS OF DISTURBANCE				9	10	11	12	13	14	15	16	17	18	19	20
PROPERTY	TREE LOCATION	TREE #	SPECIES	DBH	TREE CREDIT	DRIP LINE	North	South	East	West	LCR	SYMMETRY	FOLIAGE	CROWN CONDITION	TRUNK	ROOT COLLAR	ROOTS	COMMENTS	SIGNIFICANCE	CURRENT HEALTH RATING	VIABILITY	RECOMMENDATION
Off property	South of parking garage	176	PP/Pp	10.7"	0.0	16'	To sidewalk	To sidewalk	16'	To stairs	90%	Min. Asym.	Average	Average	Leans north	No Apparent Defects	Restricted	Growing in the planter bed between the sidewalk and the rock retaining wall.	Significant	Good	Viable	Potential to retain with Tree Protection Measures
Off property	South of parking garage	177	PP/Pp	9.8"	0.0	14'	14'	To building	To stairs	14'	65%	Min. Asym.	Average	Average	Straight	No Apparent Defects	Restricted	Growing in the planter bed between the sidewalk and the rock retaining wall.	Significant	Good	Viable	Potential to retain with Tree Protection Measures
Off property	South of parking garage	178	ScP/Ps	12.8"	0.0	14'	15'	To building	To stairs	15'	65%	Gen. sym.	Average	Healthy	Straight	No Apparent Defects	Restricted	Growing in the planter bed between the sidewalk and the rock retaining wall.	Significant	Good	Viable	Potential to retain with Tree Protection Measures
Subject property	South of parking garage	179	ScP/Ps	10.6"	1.0	14'	16'	To building	To stairs	14'	90%	Maj. Asym.	Thin	Average	Straight	No Apparent Defects	Restricted	Growing in the planter bed between the sidewalk and the rock retaining wall.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Off property	South of parking garage	180	ABP/Pn	-	0.0													No Longer Present.				

1	2	3	4	5	6	7	8 -- LIMITS OF DISTURBANCE				9	10	11	12	13	14	15	16	17	18	19	20
PROPERTY	TREE LOCATION	TREE #	SPECIES	DBH	TREE CREDIT	DRIP LINE	North	South	East	West	LCR	SYMMETRY	FOLIAGE	CROWN CONDITION	TRUNK	ROOT COLLAR	ROOTS	COMMENTS	SIGNIFICANCE	CURRENT HEALTH RATING	VIABILITY	RECOMMENDATION
Off property	South of parking garage	181	PP/Pp	-	0.0													No Longer Present.				
Off property	South of parking garage	182	PP/Pp	-	0.0													No Longer Present.				
Off property	Peter Kirk Park	183	NS/Pa	25.1"	0.0	20.0	To sidewalk	20'	To parking lot	20'	95%	Gen. sym.	Dense	Healthy	Forked at 2.5' with Sap flow	No Apparent Defects	Restricted	Trunk diameters of 19.8 & 15.4 inches = single trunk of 25.1". Open wound on the east side with decay. Wound appears to be compartmentalized	Significant	Good	Viable	Potential to retain with Tree Protection Measures
Off property	Peter Kirk Park	184	GS/Sg	23.9"	0.0	14.0	14'	14'	To sidewalk	14'	95%	Gen. sym.	Dense	Healthy	Straight	No Apparent Defects		Growing in lawn between sidewalk on east and north sides and tennis courts.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Off property	Peter Kirk Park	185	GS/Sg	21.2"	0.0	12.0	12'	12'	To sidewalk	12'	95%	Gen. sym.	Dense	Healthy	Straight	No Apparent Defects			Significant	Fair	Viable	Potential to retain with Tree Protection Measures

1	2	3	4	5	6	7	8 -- LIMITS OF DISTURBANCE				9	10	11	12	13	14	15	16	17	18	19	20
PROPERTY	TREE LOCATION	TREE #	SPECIES	DBH	TREE CREDIT	DRIP LINE	North	South	East	West	LCR	SYMMETRY	FOLIAGE	CROWN CONDITION	TRUNK	ROOT COLLAR	ROOTS	COMMENTS	SIGNIFICANCE	CURRENT HEALTH RATING	VIABILITY	RECOMMENDATION
Off property	Peter Kirk Park	186	GS/Sg	19.8 "	0 . 0	12.0	To sidewalk	12'	To sidewalk	13'	9 5 %	Gen. sym.	Dense	Healthy	Straight	No Apparent Defects			Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Right-of-way	SE of Central Way	187	LP/Pxa	25.4 "	0 . 0	34.0	To curb	To sidewalk	To curb	To sidewalk	8 0 %	Gen. sym.	Average	Average	Typical	Girdling root on the east side	Restricted on all sides	Growing in 6' planter bed between the curb and the sidewalk. Heavy anthracnose infection. Surface roots in all directions.	Significant	Very good	Viable	Potential to retain with Tree Protection Measures
Right-of-way	SE of Central Way	188	LP/Pxa	15.6 "	0 . 0	30.0	To curb	To sidewalk	30'	30'	8 5 %	Gen. sym.	Average	Weak	Typical	Partially exposed	Restricted	Growing in 6' planter bed between the curb and the sidewalk.	Significant	Good	Viable	Potential to retain with Tree Protection Measures
Right-of-way	SE of Central Way	189	LP/Pxa	11.6 "	0 . 0	26.0	To curb	To sidewalk	26'	26'	8 0 %	Min. Asym.	Thin	Weak	Typical	Partially exposed	Restricted	Growing in 6' planter bed between the curb and the sidewalk. Surface roots in all directions.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Right-of-way	SE of Central Way	190	LP/Pxa	16.0 "	0 . 0	28.0	To curb	To sidewalk	28'	28'	8 5 %	Gen. sym.	Average	Weak	Typical	Partially exposed	Restricted	Growing in 6' planter bed between the curb and the sidewalk. Surface roots in all directions.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures

1	2	3	4	5	6	7	8 -- LIMITS OF DISTURBANCE				9	10	11	12	13	14	15	16	17	18	19	20
PROPERTY	TREE LOCATION	TREE #	SPECIES	DBH	TREE CREDIT	DRIP LINE	North	South	East	West	LCR	SYMMETRY	FOLIAGE	CROWN CONDITION	TRUNK	ROOT COLLAR	ROOTS	COMMENTS	SIGNIFICANCE	CURRENT HEALTH RATING	VIABILITY	RECOMMENDATION
Right-of-way	SE of Central Way	191	LP/Pxa	0.0"	0.0													No longer present.				
Right-of-way	SE of Central Way	192	LP/Pxa	14.3"	0.0	0.0	To curb	To side walk	30'	30'	80%	Gen. sym.	Average	Average	Typical	Partially Exposed	Restricted	'Growing in 6' planter bed between the curb and the sidewalk. Surface roots in all directions	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Right-of-way	SE of Central Way	193	LP/Pxa	13.7"	0.0	0.0	To curb	To side walk	32'	32'	85%	Min. Asym.	Average	Average	Typical	No Apparent Defects	Restricted	Growing in 6' planter bed between the curb and the sidewalk. Dead branches found in the canopy.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Right-of-way	SE of Central Way	194	LP/Pxa	15.4"	0.0	0.0	To curb	To side walk	30'	30'	85%	Min. Asym.	Thin	Weak	Typical	No Apparent Defects	Restricted	'Growing in 6' planter bed between the curb and the sidewalk.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Right-of-way	SE of Central Way	195	LP/Pxa	17.4"	0.0	0.0	To curb	To side walk	34'	34'	85%	Min. Asym.	Average	Average	Typical	Partially Exposed	Restricted	'Growing in 6' planter bed between the curb and the sidewalk.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures

1	2	3	4	5	6	7	8 -- LIMITS OF DISTURBANCE				9	10	11	12	13	14	15	16	17	18	19	20
PROPERTY	TREE LOCATION	TREE #	SPECIES	DBH	TREE CREDIT	DRIP LINE	North	South	East	West	LCR	SYMMETRY	FOLIAGE	CROWN CONDITION	TRUNK	ROOT COLLAR	ROOTS	COMMENTS	SIGNIFICANCE	CURRENT HEALTH RATING	VIABILITY	RECOMMENDATION
Right-of-way	SE of Central Way	196	LP/Pxa	16.7"	0.0	0.0	To curb	To side walk	32'	32'	85%	Min. Asym.	Average	Average	Typical	No Apparent Defects	Restricted	'Growing in 6' planter bed between the curb and the sidewalk.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Right-of-way	SE of Central Way	197	LP/Pxa	16.8"	0.0	0.0	To curb	To side walk	26'	26'	89%	Min. Asym.	Average	Average	Typical	No Apparent Defects	Restricted	'Growing in 6' planter bed between the curb and the sidewalk.	Significant	Good	Viable	Potential to retain with Tree Protection Measures
Right-of-way	SE of Central Way	198	LP/Pxa	0.0"	0.0	0.0												No longer present.				
Right-of-way	SE of Central Way	199	LP/Pxa	24.2"	0.0	0.0	To curb	To side walk	40'	40'	95%	Gen. sym.	Average	Average	Typical	No Apparent Defects	Restricted	'Growing in 6' planter bed between the curb and the sidewalk.	Significant	Good	Viable	Potential to retain with Tree Protection Measures
Right-of-way	SE of Central Way	200	LP/Pxa	18.1"	0.0	0.0	To curb	To side walk	34'	34'	90%	Min. Asym.	Average	Average	Typical	No Apparent Defects	Restricted	Growing in 6' planter bed between the curb and the sidewalk. Surface roots in all directions. Sidewalk and curb damage.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures

1	2	3	4	6	7	8 -- LIMITS OF DISTURBANCE				9	10	11	12	13	14	15	16	17	18	19	20	
PROPERTY	TREE LOCATION	TREE #	SPECIES	DBH	TREE CREDIT	DRIP LINE	North	South	East	West	LCR	SYMMETRY	FOLIAGE	CROWN CONDITION	TRUNK	ROOT COLLAR	ROOTS	COMMENTS	SIGNIFICANCE	CURRENT HEALTH RATING	VIABILITY	RECOMMENDATION
Right-of-way	SE of Central Way	201	LP/Pxa	13.7 "	0.0	0.0	To curb	To side walk	30'	30'	85%	Min. Asym.	Thin	Weak	Typical	Partially exposed	Restricted	Growing in 6' planter bed between the curb and the sidewalk. Surface roots in all directions.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Right-of-way	SE of Central Way	202	LP/Pxa	12.5 "	0.0	0.0	To curb	To side walk	24'	24'	85%	Min. Asym.	Thin	Weak	Typical	Girdling root	Restricted	Growing in 6' planter bed between the curb and the sidewalk. Surface roots in all directions.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Right-of-way	SE of Central Way	203	LP/Pxa	12.5 "	0.0	0.0	To curb	To side walk	26'	26'	85%	Min. Asym.	Thin	Average	Typical	No Apparent Defects	Restricted	Growing in 6' planter bed between the curb and the sidewalk. Surface roots in all directions. Open wound on the East side from the base up to 4.5'. Possible accident 3 years ago with good wound wood production.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Right-of-way	SE of Central Way	204	LP/Pxa	14.8 "	0.0	0.0	To curb	To side walk	22'	22'	85%	Min. Asym.	Weak	Weak	Typical	Girdling root on 40%	Restricted	'Growing in 6' planter bed between the curb and the sidewalk. Girdling root.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Right-of-way	SE of Central Way	205	LP/Pxa	17.4 "	0.0	0.0	To curb	To side walk	28'	28'	85%	Min. Asym.	None	Weak	Typical	Partially Exposed	Restricted	Growing in 6' planter bed between the curb and the sidewalk. Surface roots in all directions. Girdling root on the east side covering 15% of the circumference. Callused wound on the east side from 1'-5'. Cankers on trunk.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures

1	2	3	4	5	6	7	8 -- LIMITS OF DISTURBANCE				9	10	11	12	13	14	15	16	17	18	19	20
PROPERTY	TREE LOCATION	TREE #	SPECIES	DBH	TREE CREDIT	DRIP LINE	North	South	East	West	LCR	SYMMETRY	FOLIAGE	CROWN CONDITION	TRUNK	ROOT COLLAR	ROOTS	COMMENTS	SIGNIFICANCE	CURRENT HEALTH RATING	VIABILITY	RECOMMENDATION
Right-of-way	SE of Central Way	206	LP/Pxa	19.7 "	0 . 0	0.0	To curb	To side walk	28'	28'	8 5 %	Min. Asym.	Average	Weak	Wound with internal decay. Typical	Partially exposed	Restricted	Growing in 6' planter bed between the curb and the sidewalk. Surface roots in all directions. Cankers on trunk.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Right-of-way	SE of Central Way	207	LP/Pxa	18.8 "	0 . 0	0.0	To curb	To side walk	24'	24'	8 5 %	Min. Asym.	Thin/none	Average	Typical	Partially exposed	Partially exposed	Growing in 6' planter bed between the curb and the sidewalk. Surface roots in all directions. Callused wound on the east side from the base to 4.5'. Appears to be compartmentalized. Cankers on trunk.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Subject property	SE of Central Way	208	ScP/Ps	15.7 "	3 . 0	0.0	16'	16'	16'	16'	9 5 %	Gen. sym.	Dense	Regenerating/Healthy	Leans North	No Apparent Defects	Pulled	'Growing in 6' planter bed between the curb and the sidewalk. Surface roots on the south side.	Significant	Very good	Viable	Potential to retain with Tree Protection Measures
Subject property	SE of Central Way	209	PP/PP	19.4 "	5 . 0	18.0	18'	18'	18'	18'	9 5 %	Min. Asym.	Average	Average	Straight	No Apparent Defects	Restricted	'Growing in 6' planter bed between the curb and the sidewalk. Surface roots in all directions.	Significant	Good	Viable	Potential to retain with Tree Protection Measures
Subject property	SE of Central Way	210	PP/PP	17.7 "	4 . 0	12.0	12'	To retaining wall	12'	To sign	9 0 %	Min. Asym.	Average	Average	Forked at 6'	Partially exposed	Restricted	The base of the tree is 9' north of the rock retaining wall.	Significant	Good	Viable	Potential to retain with Tree Protection Measures

1	2	3	4	5	6	7	8 -- LIMITS OF DISTURBANCE				9	10	11	12	13	14	15	16	17	18	19	20
PROPERTY	TREE LOCATION	TREE #	SPECIES	DBH	TREE CREDIT	DRIP LINE	North	South	East	West	LCR	SYMMETRY	FOLIAGE	CROWN CONDITION	TRUNK	ROOT COLLAR	ROOTS	COMMENTS	SIGNIFICANCE	CURRENT HEALTH RATING	VIABILITY	RECOMMENDATION
Right-of-way	SE of Central Way	211	P/Ps	-	0.0													No longer present. Stump only				
Right-of-way	SE of Central Way	212	SSp/Ps	11.6"	0.0	0.0	To sidewalk	To retaining wall	10'	10'	85%	Min. Asym.	Average	Regenerating/Weak	Leans north	No Apparent Defects	Restricted	Surface roots in all directions. Bark Beetle infestation. Girdling roots on the east side covering 10% of the circumference.	Significant	Poor	Non-viable	Remove
Right-of-way	SE of Central Way	213	SSp/Ps	18.1"	0.0	0.0	To sidewalk	To retaining wall	14'	14'	95%	Maj. Asym.	Average	Regenerating/Average	Typical	Partially exposed	Restricted	The base of the tree is 6' north of the retaining wall. Bark beetle infestation and sap sucker activity.	Significant	Poor	Non-viable	Remove
Right-of-way	SE of Central Way	214	LP/Pxa	20.4"	0.0	0.0	To sidewalk	To retaining wall	30'	30'	85%	Min. Asym.	Average	Average	Typical	No Apparent Defects	Restricted/Surface	The base of the tree is 2' south of the sidewalk. There are surface roots in all directions and popping bark on the trunk. Cankers on trunk.	Significant	Good	Viable	Potential to retain with Tree Protection Measures
Subject property	SE of Central Way	215	LP/Pxa	19.4"	5.0	0.0	To sidewalk	To retaining wall	28'	28'	85%	Min. Asym.	Thin	Weak	Typical	No Apparent Defects	Restricted/Surface	The base of the tree is 2.5' south of the sidewalk	Significant	Fair	Viable	Potential to retain with Tree Protection Measures

1	2	3	4	5	6	7	8 -- LIMITS OF DISTURBANCE				9	10	11	12	13	14	15	16	17	18	19	20
PROPERTY	TREE LOCATION	TREE #	SPECIES	DBH	TREE CREDIT	DRIP LINE	North	South	East	West	LCR	SYMMETRY	FOLIAGE	CROWN CONDITION	TRUNK	ROOT COLLAR	ROOTS	COMMENTS	SIGNIFICANCE	CURRENT HEALTH RATING	VIABILITY	RECOMMENDATION
Subject property	SE of Central Way	216	DF/P m	18.3"	5.0	0.0	To sidewalk	To retaining wall	18'	18'	96%	Min. Asym.	Dense	Healthy	Straight	Partially exposed	Restricted	Bark Beetle infestation and an apparent recent crown raise.	Significant	Good	Viable	Potential to retain with Tree Protection Measures
Subject property	SE of Central Way	217	LP/P xa	17.0"	0.0	0.0	To sidewalk	To retaining wall	26'	26'	85%	Maj. Asym.	None	Weak	Typical	Partially exposed	Restricted	Surface roots in all Directions.	Significant	Poor	Non-viable	Remove
Off property	Peter Kirk Park	168	JZ/Zs	5.4"	0.0	0.0	12.0	12.0	12.0	12.0	65%	Gen. sym.	Dense	Healthy	Straight/ Typical	No Apparent Defects	No Apparent Defects		Not Significant	Very good	Viable	Potential to retain with Tree Protection Measures
Off property	Peter Kirk Park	169	BAC /Ca	4.4"	0.0	0.0	12.0	To building	12.0	12.0	98%	Gen. sym.	Thin	Regenerating/ Average	Straight	No Apparent Defects	No Apparent Defects		Not Significant	Fair	Viable	p\
Off property	Peter Kirk Park	170	TT/L t	11.1"	0.0	0.0	18.0	To side walk	18.0	18.0	95%	Gen. sym.	Dense	Healthy	Typical	No Apparent Defects	No Apparent Defects		Significant	Very good	Viable	Potential to retain with Tree Protection Measures

1	2	3	4	5	6	7	8 -- LIMITS OF DISTURBANCE				9	10	11	12	13	14	15	16	17	18	19	20
PROPERTY	TREE LOCATION	TREE #	SPECIES	DBH	TREE CREDIT	DRIP LINE	North	South	East	West	LCR	SYMMETRY	FOLIAGE	CROWN CONDITION	TRUNK	ROOT COLLAR	ROOTS	COMMENTS	SIGNIFICANCE	CURRENT HEALTH RATING	VIABILITY	RECOMMENDATION
Off property	Peter Kirk Park	171	JZ/Zs	9.3"	0.0	0.0	20.0	20.0	20.0	20.0	70%	Gen. sym.	Dense	Healthy	Center rot/ Typical	Base rot	No Apparent Defects	Callused wound on the south side from the base up to 9". Appears to have been compartmentalized.	Significant	Good	Viable	Potential to retain with Tree Protection Measures
Subject property	SW of Bank	172	LP/Pxa	28.9"	1.0	0.0	36.0	To sidewalk	To property line	To sidewalk	98%	Gen. sym.	Dense	Healthy	Straight	Partially exposed	Restricted/ Surface		Significant	Good	Viable	Potential to retain with Tree Protection Measures
Off property	Peter Kirk Park	173	JB/Bj	7.6"	0.0	0.0	15.0	15.0	15.0	To the tennis court	80%	Gen. sym.	Average	Regenerating/ Dying	Center rot/ Typical	No Apparent Defects	No Apparent Defects	Bronze birch borer exit hole. Rot pockets/ branch collar wound.	Significant	Dying	Non-viable	Remove
Off property	Peter Kirk Park. Between the NE corner of the tennis court and the sidewalk.	174	ScP/Ps	14.5"	0.0	0.0	To sidewalk	18'	18'	18'	70%	Min. Asym.	Average	Regenerating/ Fair	Slightly serpentine	No Apparent Defects	Restricted	The base of the tree is 1" south of the sidewalk. Appears to be sap sucker activity.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures

1	2	3	4	6	7	8 -- LIMITS OF DISTURBANCE				9	10	11	12	13	14	15	16	17	18	19	20	
PROPERTY	TREE LOCATION	TREE #	SPECIES	DBH	TREE CREDIT	DRIP LINE	North	South	East	West	LCR	SYMMETRY	FOLIAGE	CROWN CONDITION	TRUNK	ROOT COLLAR	ROOTS	COMMENTS	SIGNIFICANCE	CURRENT HEALTH RATING	VIABILITY	RECOMMENDATION
Off property	Peter Kirk Park	175	ScP/ Ps	15.3 "	0 . 0	14.0	To sidewalk	14.0	14.0	14.0	8 5 %	Gen. sym.	Average	Flagging	Slightly serpentine	No Apparent Defects	Restricted	The base of the tree is approximately 7' south of the sidewalk. Signs of sap sucker activity.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Off property	Peter Kirk Park	176	ScP/ Ps	15.6 "	0 . 0	17.0	To sidewalk	17'	17'	17'	8 0 %	Gen. sym.	Average	Flagging	Slightly serpentine	No Apparent Defects	No Apparent Defects	Growing in small circular cut out in the sidewalk.	Significant	Fair	Viable	Potential to retain with Tree Protection Measures
Off property	Peter Kirk Park	177	RM/ Ar	6.1"	0 . 0	14.0	14.0	To sidewalk	14.0	To sidewalk	7 5 %	Gen. sym.	Dense	Healthy	Typical	No Apparent Defects	Restricted	Growing southwest of the skateboard park in front of the sidewalk and just west of the park bench.	Significant	Excellent	Viable	Potential to retain with Tree Protection Measures
Off property	Peter Kirk Park	178	POC /Cl	21.6 "	0 . 0	13.0	To sidewalk	To sidewalk	13'	13'	8 5 %	Gen. sym.	Dense	Regenerating/ Average	Straight	No Apparent Defects	Restricted	Growing in the lawn between the sidewalk and the skate park.	Significant	Very good	Viable	Potential to retain with Tree Protection Measures
Off property	Peter Kirk Park	179	POC /Cl	26.8 "	0 . 0	17.0	To sidewalk	17.0	17.0	17.0	9 5 %	Gen. sym.	Dense	Healthy	Straight	No Apparent Defects	Restricted	The base of the tree is approximately 4' south of the sidewalk.	Significant	Very good	Viable	Potential to retain with Tree Protection Measures

1	2	3	4	5	6	7	8 -- LIMITS OF DISTURBANCE				9	10	11	12	13	14	15	16	17	18	19	20
PROPERTY	TREE LOCATION	TREE #	SPECIES	DBH	TREE CREDIT	DRIP LINE	North	South	East	West	LCR	SYMMETRY	FOLIAGE	CROWN CONDITION	TRUNK	ROOT COLLAR	ROOTS	COMMENTS	SIGNIFICANCE	CURRENT HEALTH RATING	VIABILITY	RECOMMENDATION
Off property	Peter Kirk Park	180	KC/ Gd	7.4"	0 . 0	18.0	Around sculpture	Around sculpture	Around sculpture	Around sculpture	8 5 %	Gen. sym.	Dense	Healthy	Bowed/ Typical	No Apparent Defects	No Apparent Defects		Significant	Very good	Viable	Potential to retain with Tree Protection Measures
Off property	Peter Kirk Park	181	JZ/ Zs	11.9 "	0 . 0	24.0	24.0	24.0	24.0	24.0	9 0 %	Gen. sym.	Dense	Healthy	Typical	No Apparent Defects	No Apparent Defects	Located north of the performing arts center.	Significant	Excellent	Viable	Potential to retain with Tree Protection Measures
						1,574	Total number of <i>Tree Credits</i> of the subject property trees included in this report.															

ATTACHMENT 3 - GLOSSARY

Terms Used in This Report, on the Tree Condition / Inventory Spreadsheet, and Their Significance

Terms Used in This Report, on the Tree Condition / Inventory Spreadsheet, and Their Significance

In an effort to clearly present the information for each tree in a manner that facilitates the reader's ability to understand the conclusions I have drawn for each tree, I have collected the information in a spreadsheet format. This spreadsheet was developed by Gilles Consulting based upon the *Tree Risk Assessment in Urban Areas and the Urban/Rural Interface* course manual and the *Tree Risk Assessment Form*, both sponsored by the Pacific Northwest Chapter of the International Society of Arboriculture, and the *Hazard Tree Evaluation Form* from the book, *The Evaluation of Hazard Trees in Urban Areas*, by Matheny and Clarke. The descriptions were left brief on the spreadsheet in an effort to include as much pertinent information as possible, to make the report manageable, and to avoid boring the reader with infinite levels of detail. However, a review of these terms and descriptions will allow the reader to rapidly move through the report and understand the information.

- 1) **PROPERTY**—Whether the tree is on or off the Subject Property, or a Right-of-Way tree.
- 2) **TREE LOCATION**—Relative placement of the tree.
- 3) **TREE #**—the unique tag number of each tree.
- 4) **SPECIES**—this describes the species of each tree with both most readily accepted common name and the officially accepted scientific name.
- 5) **DBH**—Diameter Breast Height. This is the standard measurement of trees taken at 4.5 feet above the average ground level of the tree base.
 - i) Occasionally it is not practical to measure a tree at 4.5 feet above the ground. The most representative area of the trunk near 4.5 feet is then measured and noted on the spreadsheet. For instance, a tree that forks at 4.5 feet can have an unusually large swelling at that point. The measurement is taken below the swelling and noted, e.g. '28.4" at 36"'.
 - (1) Every effort is made to distinguish between a single tree with multiple stems and several trees growing close together at the bases.
 - ii) Trees with multiple stems are listed as a "clump of x," with x being the number of trunks in the clump. Measurements may be given as an average of all the trunks, or individual measurements for each trunk may be listed.
- 6) **TREE CREDIT**—Tree Credit based on Trunk Diameter
- 7) **DRIP LINE**— the radius, the distance from the trunk to the furthest branch tips.
- 8) **LIMITS OF DISTURBANCE**— The boundary between the area of minimum protection around a tree and the allowable site disturbance as determined by a qualified professional. Distances from the center of the trunk were derived on a case

by case basis looking at the unique circumstances of each property and each tree on that property.

- 9) **% LCR**—Percentage of Live Crown Ratio. The relative proportion of green crown to overall tree height. This is an important indication of a tree's health. If a tree has a high percentage of Live Crown Ratio, it is likely producing enough photosynthetic activity to support the tree. If a tree has less than 30% to 40% LCR, it can create a shortage of needed energy and can indicate poor health and vigor.
- 10) **SYMMETRY**—is the description of the form of the canopy, i.e., the balance or overall shape of the canopy and crown. This is the place I list any major defects in the canopy shape, e.g. does the tree have all its foliage on one side or in one unusual area? Symmetry can be important if there are additional defects in the tree such as rot pockets, cracks, loose roots, weak crown, etc. Symmetry is generally categorized as Generally Symmetrical, Minor Asymmetry or Major Asymmetry:
- i) Gen. Sym.—Generally Symmetrical. The canopy/foliage is generally even on all sides with spacing of scaffold branches typical for the species, both vertically and radially.
 - ii) Min. Asym.—Minor Asymmetry. The canopy/foliage has a slightly irregular shape with more weight on one side, but appears to be no problem for the tree.
 - iii) Maj. Asym.—Major Asymmetry. The canopy/foliage has a highly irregular shape for the species with the majority of the weight on one side of the tree. This can have a significant impact on the tree's stability, health and hazard potential—especially if other defects are noted such as cracks, rot, or root defects.
- 11) **FOLIAGE/BRANCH**—describes the foliage of the tree in relation to a perfect specimen of that particular species. First the branch growth and foliage density is described, and then any signs or symptoms of stress and/or disease are noted. The condition of the foliage, or the branches and buds for deciduous trees in the dormant season, are important indications of a tree's health and vigor.
- i) For Deciduous trees in the dormant season:
 - (1) The structure of the deciduous tree is visible.
 - (2) The quantity and quality of buds indicates health, and is described as good bud set, average bud set, or poor bud set. These are abbreviated in the spreadsheet as: gbs, abs, or pbs.
 - (3) The amount of annual shoot elongation is visible and is another major indication of tree health and vigor. This is described as:
 - a) Excellent, Good, Average, or Short Shoot Elongation. These are abbreviated in the spreadsheet as ESE, GSE, ASE, or SSE.
 - ii) For evergreen trees year round and deciduous trees in leaf, the color and density of the foliage indicates if the tree is healthy or stressed, or if an insect infestation, a bacterial, fungal, or viral infection is present. Foliage is categorized on a scale from:
 - (1) Dense—extremely thick foliage, an indication of healthy vigorous growth,

- (2) Good—thick foliage, thicker than average for the species,
- (3) Normal/Average—thick foliage, average for the species, an indication of healthy growth,
- (4) Thin or Thinning—needles and leaves becoming less dense so that sunlight readily passes through; an indication that the tree is under serious stress that could impact the long-term survivability and safety of the tree,
- (5) Sparse—few leaves or needles on the twigs, an indication that the tree is under extreme stress and could indicate the future death of the tree,
- (6) Necrosis—the presence of dead twigs and branchlets. This is another significant indication of tree health. A few dead twigs and branches are reasonably typical in most trees of size. However, if there are dead twigs and branchlets all over a certain portion of the tree, or all over the tree, these are indications of stress or attack that can have an impact on the tree's long-term health.
- (7) Hangers—a term to describe a large branch or limb that has broken off but is still hanging up in the tree. These can be particularly dangerous in adverse weather conditions.

- 12) **CROWN CONDITION**—the crown is uppermost portion of the tree, generally considered the top 10 to 20% of the canopy or that part of the canopy above the main trunk in deciduous trees and above the secondary bark in evergreen trees.
- i) The condition of the tree's crown is a reflection of the overall health and vigor of the entire tree. The crown is one of the first places a tree will demonstrate stress and pathogenic attack such as root rot.
 - ii) If the **Crown Condition** is healthy and strong, this is a good sign. If the crown condition is weak, broken out, or shows other signs of decline, it is an indication that the tree is under stress. It is such an important indication of health and vigor that this is the first place a trained forester or arborist looks to begin the evaluation of a tree. Current research reveals that, by the time trees with root rot show significant signs of decline in the crown, fully 50% or more of the roots have already rotted away. **Crown Condition** can be described as:
 - (1) Healthy Crown—exceptional growth for the species.
 - (2) Average Crown—typical for the species.
 - (3) Weak Crown—thin spindly growth with thin or sparse needles.
 - (4) Flagging Crown—describes a tree crown that is weak and unable to grow straight up.
 - (5) Dying Crown—describes obvious decline that is nearing death.
 - (6) Dead Crown—the crown has died due to pathological or physical injury. The tree is considered to have significant stress and/or weakness if the crown is dead.
 - (7) Broken out—a formerly weak crown condition that has been broken off by adverse weather conditions or other mechanical means.

- (8) Regenerated or Regenerating—formerly broken out crowns that are now growing back. Regenerating crowns may appear healthy, average, or weak and indicate current health of the tree.
- (9) Suppressed—a term used to describe poor condition of an entire tree or just the crown. Suppressed crowns are those that are entirely below the general level of the canopy of surrounding trees which receive no direct sunlight. They are generally in poor health and vigor. Suppressed trees are generally trees that are smaller and growing in the shade of larger trees around them. They generally have thin or sparse needles, weak or missing crowns, and are prone to insect attack as well as bacterial and fungal infections.
- 13) **TRUNK**—this is the area to note any defects that can have an impact on the tree’s stability or hazard potential. Typical things noted are:
- i) FORKED—bifurcation of branches or trunks that often occur at a narrow angle.
 - ii) INCLUDED BARK—a pattern of development at branch or trunk junctions where bark is turned inward rather than pushed out. This can be a serious structural defect in a tree that can and often does lead to failure of one or more of the branches or trunks, especially during severe, adverse weather conditions.
 - iii) EPICORMIC GROWTH—this is generally seen as dense thick growth near the trunk of a tree. Although this looks like a healthy condition, it is, in fact the opposite. Trees with Epicormic Growth have used their reserve stores of energy in a last ditch effort to produce enough additional photosynthetic surface area to produce more sugars, starches and carbohydrates to support the continued growth of the tree. Generally speaking, when conifers in the Pacific Northwest exhibit heavy amounts of Epicormic Growth, they are not producing enough food to support their current mass and are already in serious decline.
 - iv) INTERNAL STRUCTURAL WEAKNESS—a physical characteristic of the tree trunk, such as a **kink, crack, rot pocket, or rot column** that predisposes the tree trunk to failure at the point of greatest weakness.
 - v) BOWED—a gradual curve of the trunk. This can indicate an Internal Structural Weakness or an overall weak tree. It can also indicate slow movement of soils or historic damage of the tree that has been corrected by the curved growth.
 - vi) KINKED—a sharp angle in the tree trunk that indicates that the normal growth pattern is disrupted. Generally this means that the internal fibers and annual rings are weaker than straight trunks and prone to failure, especially in adverse weather conditions.
 - vii) GROUND FLOWER—an area of deformed bark near the base of a tree trunk that indicates long-term root rot.

- 14) **ROOT COLLAR**—this is the area where the trunk enters the soil and the buttress roots flare out away from the trunk into the soil. It is here that signs of rot, decay, insect infestation, or fungal or bacterial infection are noted. **NAD** stands for **No Apparent Defects**.
- 15) **ROOTS**—any abnormalities such as girdling roots, roots that wrap around the tree itself that strangle the cambium layer and kill the tree, are noted here.
- 16) **COMMENTS**—this is the area to note any additional information that would not fit in the previous boxes or attributes about the tree that have bearing on the health and structure of the tree.
- 17) **SIGNIFICANCE**—a “significant” tree is at least 6” in diameter measured at 4.5’ above the average ground level.
- 18) **CURRENT HEALTH RATING**— a description of general health ranging from dead, dying, poor, senescent, suppressed, fair, good, very good, to excellent.
- 19) **VIABILITY**— a significant tree that is in good health with a low risk of failure due to structural defects, is relatively wind firm if isolated or remains as part of a grove, and is a species that is suitable for its location.
- (1) Please note that many trees may be listed as “Non-Viable” due to poor health, poor structure, or the tree may be below the size threshold for a “Viable Tree.” However, it is worth examining the Non-Viable Trees to determine if any or all of them can be left on the property. They can add significant benefit to the landscape and contribute to wildlife habitat.
- 20) **RECOMMENDATION**— this is an estimate of whether or not the tree is of sufficient health, vigor, and structure that it is worth retaining. Specific recommendations for each tree are included in this column. They may include anything from pruning dead wood, mulching, aerating, injecting tree-based fertilizer into the root system, shortening into a habitat tree or wildlife snag, or to completely removing the tree.
- i) **Monitor:** “Monitor” is a specific recommendation that the tree be re-evaluated on a routine basis to determine if there are any significant changes in health or structural stability. “Monitor annually” (or bi-annually, tri-annually, etc.)” means the tree should be looked at once every year (or every 2 or 3 years, etc.) This yearly monitoring can be a quick look at the trees to see if there are any significant changes. Significant changes such as storm damage, loss of crown, partial failure of one or more roots, etc. require that a full evaluation be done of the tree at that time.
 - ii) **Potential to retain with tree protection measures:** means that the tree appears to have the internal resources, the health and vigor, structural stability, and the wind firmness to be able to withstand the stresses of construction if development requirements and construction requirements allow.
 - iii) **Habitat or Remove:** means that the tree has a high potential to fail and cause either personal injury or property damage—in other words the tree has been declared a hazard tree and should be dealt with prior to the next large storm.

If it is at all possible the recommendation is to leave some of the trunk standing for wildlife habitat and some of the trunk on the ground as a nurse log. The height of the standing habitat tree depends upon the size of the tree, the condition of the tree, and the distance to a probable target. It should be short enough so that when it does fail years in the future it will not cause personal injury or property damage. Nurse logs can be laid horizontally across the slope to aid with erosion control and to provide microenvironments for new plantings. The nurse logs may need to be staked in place to prevent their movement and potential harm to people. If for some reason this is not possible that should be removed for safety.

NOTE: TREES WITH THE SAME DESCRIPTION AND DIFFERENT RATINGS:

Two trees may have the same descriptions in the matrix boxes, one may be marked “Significant,” while another may be marked “Non-Significant.” The difference is in the degree of the description, i.e., “early necrosis” versus “advanced necrosis” for instance. Another example is “center rot” or “base rot”. In a Western Red Cedar tree, the presence of low or even moderate rot is not significant and does not diminish the strength of the tree. However, low levels of rot in the base of a Douglas Fir tree, in an area known to have virulent pathogens present, is highly significant and predisposes that tree to windthrow.

ATTACHMENT 4 - TREE PROTECTION MEASURES

In order for trees to survive the stresses placed upon them in the construction process, tree protection must be planned in advance of equipment arrival on site. If tree protection is not planned integral with the design and layout of the project, the trees will suffer needlessly and will possibly die. With proper preparation, often costing little, or nothing extra to the project budget, trees can survive and thrive after construction. This is critical for tree survival because damage prevention is the single most effective treatment for trees on construction sites. Once trees are damaged, the treatment options available are limited.

The following minimum Tree Protection Measures are included on three separate sheets so that they can be copied and introduced into all relevant documents such as site plans, permit applications and conditions of approval, and bid documents so that everyone involved is aware of the requirements. These Tree Protection Measures are intended to be generic in nature. They will need to be adjusted to the specific circumstances of your site that takes into account the location of improvements and the locations of the trees.

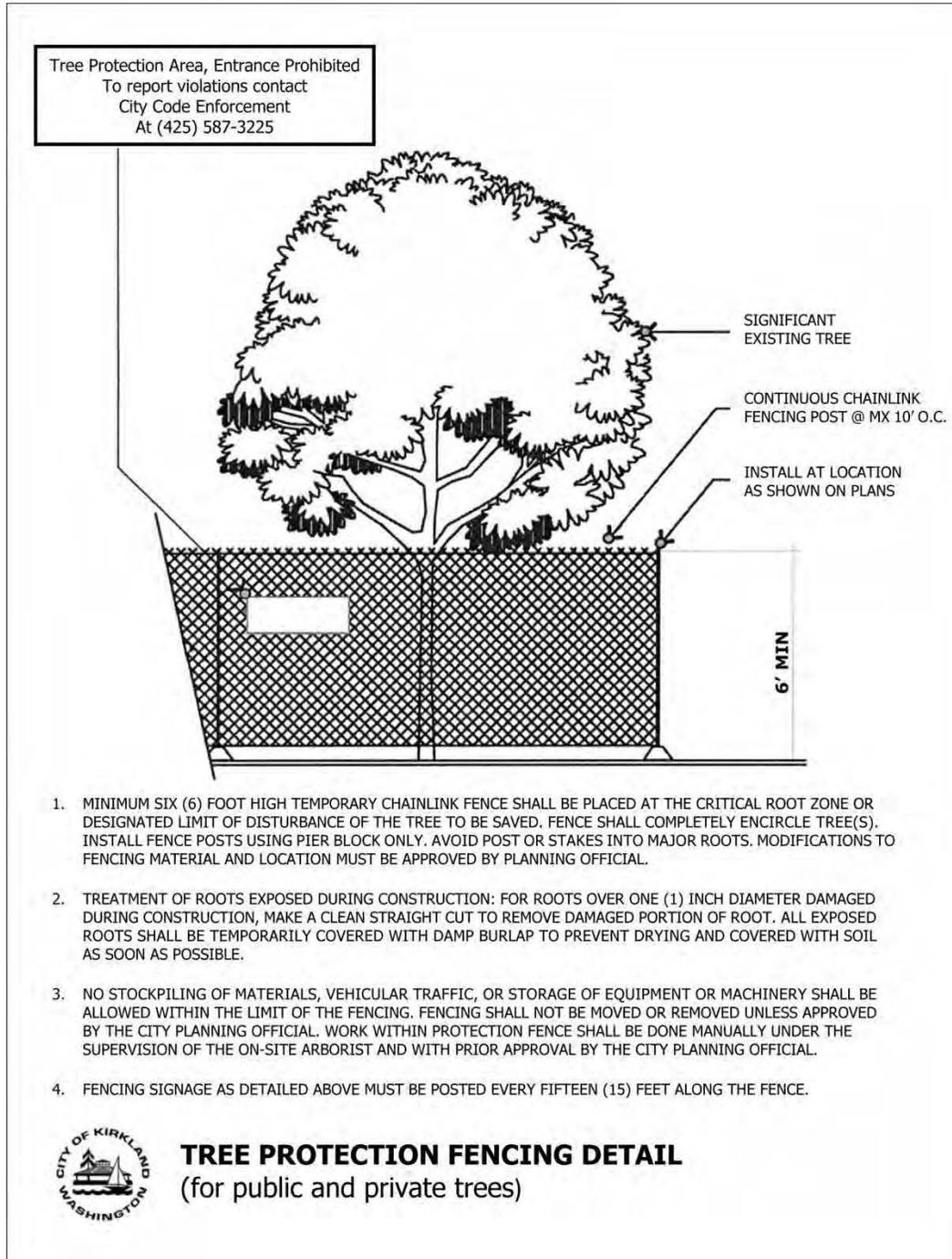
TREE PROTECTION MEASURES:

1. Tree Protection Fences will need to be placed around each tree or group of trees to be retained.
 - a. Tree Protection Fences are to be placed according to the attached drawing and as noted in the attached Tree Inventory/Conditions Spreadsheet, Column 6 - Limits of Disturbance.
 - b. Tree Protection Fences must be inspected prior to the beginning of any construction work/activities.
 - c. Nothing must be parked or stored within the Tree Protection Fences—no equipment, vehicles, soil, debris, or construction supplies of any sorts.
2. Cement trucks must not be allowed to deposit waste or wash out materials from their trucks within the Tree Protection Fences.
3. The Tree Protection Fences need to be clearly marked with the following or similar text in four inch or larger letters:

TREE PROTECTION AREA, ENTRANCE PROHIBITED

**To report violations contact
City Code Enforcement at
425-587-3225**

4. The area within the Tree Protection Fencing must be covered with wood chips, hog fuel, or similar materials to a depth of 8 to 10 inches. The materials should be placed prior to beginning construction and remain until the Tree Protection Fencing is taken down.
5. When excavation occurs near trees that are scheduled for retention, the following procedure must be followed to protect the long term survivability of the tree:
 - a. An International Society of Arboriculture, (ISA) Certified Arborist must be working with all equipment operators.
 - i. The Certified Arborist should be outfitted with a shovel, hand pruners, a pair of loppers, a handsaw, and a power saw (a “sawsall” type reciprocating saw is recommended).
 - b. The hoe must be placed to “comb” the material directly away from the trunk as opposed to cutting across the roots.
 - i. Combing is the gradual excavation of the ground cover plants and soil in depths that only extend as deep as the tines of the hoe.
 - c. When any roots of one inch diameter or greater, of the tree to be retained, is struck by the equipment, the Certified Arborist should stop the equipment operator.
 - d. The Certified Arborist should then excavate around the tree root by hand/shovel and cleanly cut the tree root.



TREE PROTECTION AREA

Entrance Prohibited

To report violations contact

City Code Enforcement

At (425) 587-3225

ATTACHMENT 5 - REFERENCES

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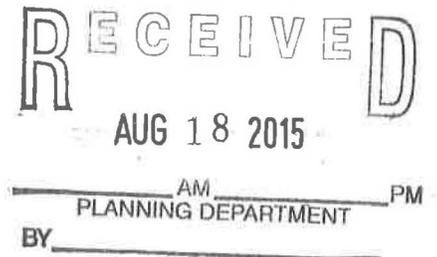
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14. Watson, Gary W., and Neely, Dan, eds. *Trees & Building Sites*. Savoy: The International Society of Arboriculture Press, 1995.

August 18, 2015

Angela Ruggeri, City of Kirkland
Senior Planner, Planning and Building Department

Design Review Board City of Kirkland

RE: Permit No. DRV15-01462
Parkplace Shopping Center



Thank you for the opportunity to provide public input at the Design Review Board meeting.

I realize what a huge decision this is for the City of Kirkland. To design and develop a space that fits with the existing city structures, needs of the community and public approval and use is very difficult.

I drove through the existing Parkplace last night on the way home and could not visualize the development of Phases 1-3 that the current applicants are proposing. In addition, when the Review Board considers the pending proposal from Microsoft requesting a building of up to 8 levels, the mass of the buildings in that area is overwhelming! In addition, the Kirkland Performing Arts Center is a major cultural attraction for the community and the height and mass of the proposals, including Phase 3 Building H, seem designed to significantly negatively impact and dwarf the Arts Center.

Kirkland has done such a great job developing a livable, vibrant, open space community that I am confused that the proposal for Parkplace is so far beyond the design and capacity of current developments. I personally think that Bellevue has lost the opportunity to create a community that is appealing and would hate to see the City of Kirkland start to develop the density and building heights that close in the desirable characteristics that make people want to live here.

The zoning of 5 levels of construction seems to have worked well overall and in reviewing the packet presented last night I see that the developers are not only requesting 8 levels but, in addition, Penthouse/metal panels and roof screen on the top; resulting in an incredible height of the buildings. I walked through the downtown area this morning and the condos developed on State and Kirkland Ave. are all 5 levels maximum and are attractive and not overshadowing the rest of the structures in the downtown area.

I would strongly request that the developers operate within the existing zoning of five levels for the overall construction as the maximum.

I wondered why the residential proposals are for apartments rather than condos or a mix of the two. I believe that the level of ownership and connection to the City of Kirkland is met through condo ownership to a greater level than apartment renters.

The public input of the first presenter regarding the vehicle traffic flow seems very important. The space for the "plaza" development seems very limited and highly impacted by the flow of vehicle traffic. On page 59 Phase 1 Development Concept Pedestrian Circulation - Park Level, the arrows indicate that pedestrians will be circulating from buildings E, A and F directly across the vehicle road. This does not create a sense of openness, relaxation and invitation to enjoy the plaza concepts. It poses a safety concern such as the recent tragic accident at Redmond Town Center where the young child darted out into oncoming traffic.

Have we looked at Redmond Town Center as to building height? I don't believe that it is 8 levels plus penthouse/profile metal panels at roof screen in design. I simply have to ask "why" the City of Kirkland is considering such a variance to the current zoning. The Design Review Board has to know that once an "exception" is granted to one developer then it will quickly become the new zoning norm (i.e. the pending Microsoft proposal).

Thank you for providing access to the information on the proposal. I am still very disappointed in the overall direction of the project. It is extremely difficult to understand how such a massive compact development is seen as a positive addition to the downtown Kirkland Community. Have you considered the impact on the small retail businesses in the current downtown area and the possibility of a closure of businesses thus creating the vacancies that the current Parkplace building has? The downtown area is vital to the connection to the waterfront and distinctive quality of Kirkland.

I realize that this is after the formal input opportunity, however, I would request that these thoughts be shared with the Review Board and developers.

Sincerely,



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