



**CITY OF KIRKLAND**  
**Planning and Community Development Department**  
**123 Fifth Avenue, Kirkland, WA 98033**  
**425.587.3225 www.kirklandwa.gov**

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**MEMORANDUM**

**To:** Design Review Board  
**From:** Tony Leavitt, Associate Planner  
**Date:** September 1, 2015  
**File No.:** DRV15-01554  
**Subject:** **PARK LANE MIXED USE PROJECT  
DESIGN RESPONSE CONFERENCE**

**I. MEETING GOALS**

At the September 8, 2015 Design Review Board (DRB) meeting, the DRB should conduct a Design Response Conference and determine if the project is consistent with the design guidelines contained in Design Guidelines for Pedestrian Oriented Business Districts, as adopted in Kirkland Municipal Code (KMC) Section 3.30.040.

During the Design Response Conference, the DRB should provide feedback on the following topics:

- Building massing and modulation
- Pedestrian access and plaza design
- Landscaping
- Materials, colors, and details

**II. PROPOSAL**

The subject property is located at 151 3<sup>rd</sup> Street (see Attachment 1). The applicant is proposing to construct a new mixed-use project that would consist of ground floor retail tenant space and residential lobby space with 4 floors of residential units above. The project contains approximately 128 residential units and 13,246 square feet of ground floor retail space (see Attachment 2). Parking is proposed within a ground floor and below-grade parking structure accessed from Main Street.

**III. SITE**

The subject property currently contains a vacant building (most recently used as an antique mall) and parking lot (currently being used as a public pay lot). The site is relatively flat with minimal elevation changes. The property has street frontage along 3<sup>rd</sup> Street to the east, Park Lane to the north, Main Street to the west and a public alley to south. 3<sup>rd</sup> Street, Park Lane, and Main Street are designated as *Pedestrian Oriented Streets*.

The following list summarizes the zoning designation, uses, and allowed heights of properties adjacent to the subject property:

*North:* CBD 1B. Mixed Retail Uses. Maximum height is 55’.

*East:* Park. Peter Kirk Park and the Downtown Transit Center.

*South:* CBD 1A. Hotel, Retail and Bank Uses. Maximum height is 45'.

*West:* CBD 1A. Retail Uses. Maximum height is 45'.

Additional photographs prepared by the applicant that show the surrounding properties are contained in Attachment 2.

#### **IV. CONCEPTUAL DESIGN CONFERENCE**

A Conceptual Design Conference was held on July 6, 2015. The DRB provided direction to the applicant in preparation for the Design Response Conference. At the meeting, the DRB discussed:

- A. How the design guidelines affect or pertain to the proposed development.
- B. Which guidelines applied to the proposed development; and
- C. The application materials that are needed for the Design Response Conference.

The DRB's feedback from the conference is summarized in Section V.B below under the DRB's discussion on the various design topics.

#### **V. DESIGN RESPONSE CONFERENCE**

The Design Review Board reviews projects for consistency with design guidelines for pedestrian-oriented business districts, as adopted in Kirkland Municipal Code Chapter 3.30. In addition to the standard guidelines contained in the *Design Guidelines for Pedestrian-Oriented Business Districts*, the following information summarizes key guidelines which apply specifically to the project or project area. See also Section VI for information regarding zoning regulations and how they affect the proposed development.

##### **A. Pedestrian-Oriented Design Guidelines**

###### **1. General**

The following is a list of key design issues and/or design techniques that should be addressed with this project as identified in the design guidelines.

- Building Scale
  - Vertical and horizontal modulation
  - Architectural scale
- Pedestrian-Orientation
  - Plazas
  - Pedestrian friendly building fronts
  - Blank wall treatment
- Landscaping
- Building material, color, and detail

See the adopted Design Guidelines for Pedestrian-Oriented Business Districts for complete text and explanations.

###### **2. Special Considerations for Downtown Kirkland**

In addition to the standard guidelines contained in the *Design Guidelines for Pedestrian-Oriented Business Districts*, the following list summarizes some of the key guidelines which apply specifically to the project or project area.

- Most of the business core of Kirkland is already developed with fairly narrow sidewalks. New development should provide sidewalks at the recommended width. Providing wider sidewalks throughout downtown is a long-term endeavor.
- Retail frontages in the Central Business District should have a 15' story height to ensure diverse retail tenants and enhance the pedestrian experience. Where these taller retail stories are required, special attention to storefront detailing is necessary to provide a visual connection between pedestrian and retail activity.
- A strong street tree planting scheme is especially important in downtown because of the variety of scale and architecture encouraged in private development. Major entries into Kirkland, especially along Central Way, Kirkland Avenue, Lake Street, and Market Street, should be unified by a strong street tree program.
- Parking lot location and design is critical on busy entry streets such as Market Street, Central Way, Lake Street, Kirkland Avenue, and in the congested core area where pedestrian activities are emphasized. The *Downtown Plan* calls for limiting the number of vehicle curb cuts.
- Pedestrian features should be differentiated from vehicular features; thus fenestration detailing, cornices, friezes, and smaller art concepts should be concentrated in Design Districts 1 and 2, while landscaping and larger architectural features should be concentrated in Design Districts 3, 5, 7, and 8.
- Large-scale developments, particularly east of the core area, should stress continuity in streetscape on the lower two floors. Setback facades and varied forms should be used above the second stories.
- The Downtown Plan's mandate for high-quality development should also be reflected in sign design.
- No internally lit plastic-faced or can signs should be permitted.
- All signs in the downtown should be pedestrian-oriented.

## **B. Compliance with Design Guidelines**

### **1. Scale**

#### **a. DRB Discussion**

The DRB expressed a preference for massing Option 3. Option 3 included modulation that created the look and feel of multiple buildings. The DRB requested the following items for submittal:

- Additional development of the building corners along Park Lane at Main and 3<sup>rd</sup> Streets.
- Additional work on the retail and residential lobby relationship including various layout options. Include detailed floor plans for all levels.
- Elevations showing the treatment (including materials, openings, etc) of the southwest and southeast facades along the alley.
- Additional structure cross sections that include the right-of-ways.

- A sun study that shows the sun exposure of around the structure for various seasons.
- A model showing the views and upper story step backs.
- Perspective drawings that do not include the landscaping. Include a perspective from the NE Corner (3rd and Park) looking south towards the library and the Heathman Hotel.
- Perspective drawings from any upper story terraces.
- Balcony details including the use of varying styles and materials.

b. Supporting Design Guidelines

The *Design Guidelines for Pedestrian Oriented Business Districts* contain the following policy statements that address the use of these techniques:

- All building fronts should have pedestrian-friendly features (see Design Guidelines, page 10 for examples)
- Special Consideration for the CBD - Retail frontages in the Central Business District should have a 15' story height to ensure diverse retail tenants and enhance the pedestrian experience. Where these taller retail stories are required, special attention to storefront detailing is necessary to provide a visual connection between pedestrian and retail activity.
- Storefronts should be highly transparent with windows of clear vision glass beginning no higher than 2' above grade to at least 10' above grade. Windows should extend across, at a minimum, 75% of the façade length. Continuous window walls should be avoided by providing architectural building treatments, mullions, building modulation, entry doors, and/or columns at appropriate intervals.
- Lobbies for residential, hotel, and office uses may be allowed within the required retail storefront space provided that the street frontage of the lobby is limited relative to the property's overall retail frontage and that the storefront design of the lobby provides continuity to the retail character of the site and the overall street.
- All buildings on pedestrian-oriented streets should be encouraged to have upper-story activities overlooking the street, as well as balconies and roof decks with direct access from living spaces. Planting trellises and architectural elements are encouraged in conjunction with decks and bay windows. Upper-story commercial activities are also encouraged.
- All building entries should be well lit. Building facades in pedestrian areas should provide lighting to walkways and sidewalks through building-mounted lights, canopy- or awning-mounted lights, and display window lights. Encourage variety in the use of light fixtures to give visual variety from one building facade to the next. Back-lit or internally-lit translucent awnings should be prohibited.
- Successful pedestrian-oriented plazas are generally located in sunny areas along a well-traveled pedestrian route. Plazas must provide plenty of sitting areas and amenities and give people a sense of enclosure and safety.

- Commercial developments should have well defined, safe pedestrian walkways that minimize distances from the public sidewalk and transit facilities to the internal pedestrian system and building entrances.
- Blank walls should be avoided near sidewalks, parks, and pedestrian areas. Where unavoidable, blank walls should be treated with landscaping, art, or other architectural treatments.
- Varied window treatments should be encouraged. Ground floor uses should have large windows that showcase storefront displays to increase pedestrian interest. Architectural detailing at all window jambs, sills, and heads should be emphasized.
- Architectural building elements such as arcades, balconies, bay windows, roof decks, trellises, landscaping, awnings, cornices, friezes, art concepts, and courtyards should be encouraged.
- Special Consideration for the CBD - Pedestrian features should be differentiated from vehicular features; thus fenestration detailing, cornices, friezes, and smaller art concepts should be concentrated in Design Districts 1 and 2, while landscaping and larger architectural features should be concentrated in Design Districts 3, 5, 7, and 8.
- Vertical building modulation should be used to add variety and to make large buildings appear to be an aggregation of smaller buildings.
- Horizontal building modulation may be used to reduce the perceived mass of a building and to provide continuity at the ground level of large building complexes.

c. Staff Analysis

*As requested by the DRB, the applicant has provided detailed plans of massing Option 3 for review (see Attachment 2).*

*The DRB should provide input on the following items:*

- *Does the building provide enough horizontal and/or vertical modulation when viewed from key vantages?*
- *Are the alley corners at Main and 3<sup>RD</sup> Streets adequately treated?*
- *Is the residential lobby and amenity space limited relative to the property's overall retail frontage and does the storefront design of the lobby provide continuity to the retail character of the site and the overall street?*
- *Do the proposed balconies provide enough variety?*

**2. Open Space and Landscaping**

a. DRB Discussion

The DRB had the following recommendations regarding open space and landscaping:

- Detailed plans for the second story terraces including landscaping and privacy screening.
- Detailed plans for the pedestrian plaza including hardscape materials, landscaping and the sculpture design.

- Additional development of the plant palette.

b. Supporting Design Guidelines

The *Design Guidelines and Zoning Regulations* contain the following guideline addressing the visual quality of landscapes:

- KZC Chapter 95 requires that a landscape plan be approved as part of the Design Review Process.
- The placement and amount of landscaping for new and existing development should be mandated through design standards. Special consideration should be given to the purpose and context of the proposed landscaping. The pedestrian/auto landscape requires strong plantings of a structural nature to act as buffers or screens.
- The pedestrian landscape should emphasize the subtle characteristics of the plant materials. The building landscape should use landscaping that complements the building's favorable qualities and screens its faults.
- Special Consideration for the CBD - A strong street tree planting scheme is especially important in downtown because of the variety of scale and architecture encouraged in private development. Major entries into Kirkland, especially along Central Way, Kirkland Avenue, Lake Street, and Market Street, should be unified by a strong street tree program.

c. Staff Analysis

*The DRB should review the landscape treatment around the building, within the pedestrian plaza, and on the building terraces. Landscaping should be placed in areas to help mitigate building massing and enhance the pedestrian experience along the project frontages.*

*The DRB should provide input on the following items:*

- *What changes, if any, are needed to the landscape plan?*
- *Are there other opportunities for landscaping?*

**3. Building Materials, Color, and Details**

a. DRB Discussion

This topic was not discussed in detail at the Conceptual Design Conference.

b. Staff Analysis

*Attachment 2, Sheets 18 and 19 contains color elevation drawings and callouts for the proposed building materials. The applicant has been directed to bring larger material samples to the DRB meeting. The DRB should provide feedback to the applicant regarding the proposed materials and colors.*

**VI. KEY ZONING REGULATIONS**

The applicant's proposal is also subject to the applicable requirements contained in the Kirkland Municipal Code, Zoning Code, Fire and Building Code, and Public Works Standards. It is the responsibility of the applicant to ensure compliance with the various provisions contained in these ordinances. Attachment 3, Development Standards, is

provided to familiarize the applicant with some of these additional development regulations. These regulations and standards are not under the review authority of the DRB and will be reviewed for compliance as part of the building permit review for the project.

In terms of zoning, development on the subject property is subject to the regulations in CBD 1B (see Attachment 4) as well as other applicable KZC sections. The following regulations are important to point out as they form the basis of any new development on the site. Below are some of the key zoning standards that apply to the development followed by staff comment in italics.

- A. Permitted Uses: Permitted uses in this zone include, but are not limited to retail, restaurants, office, and stacked dwelling units. Office and residential uses may not be located on the ground floor of a structure unless there is an intervening retail use.

*Staff Comment: The applicant is proposing ground floor retail and a residential lobby. The DRB has the authority to allow residential lobbies on the ground floor subject to specific design guidelines. The upper stories will consist of only residential uses. The majority of the parking for the project is proposed in a below-grade parking structure.*

- B. Upper Story Setbacks: Along Third and Main Street, within 40 feet of these right-of-ways, all stories above the second story shall maintain an average setback of 10 from the property line. Along Park Lane, within 40 feet of the right-of-way all stories above the second story shall maintain an average setback of at least 20 feet from the property line.

*Staff Comment: The applicant has submitted initial calculations (see Attachment 2, Sheet 7) that show compliance with the upper story setback requirement. The applicant will be required to demonstrate continued compliance with the upper story setbacks during the Design Response Conference review and the future building permit application.*

- C. Height: CBD 1B allows a maximum height of 55 feet measured above each abutting right-of-way (the alley in this case is not included). In addition, KZC Section 50.62.2 requires that the minimum ground floor height is 15' for retail, restaurant, and other ground floor uses. Within CBD 1B, the height of rooftop appurtenances and related screening shall not exceed the maximum applicable height limitation beyond the height exceptions established in subsections KZC 50.62.3a and b. In addition, the appurtenances and screening shall be integrated into the design of the parapet or peaked roof form. The height of rooftop appurtenances and the height of related screening may not be modified through KZC 115.120.

*Staff Comment: The applicant must demonstrate compliance with the City's height requirements as part of any building permit*

- D. Parking: Retail uses must provide one parking space for each 350 square feet of gross floor area. Restaurant uses must provide one parking space for each 125 square feet of gross floor area. Ordinance 4487, recently passed by the City Council, requires the following parking standards for stacked dwelling units:
- 1.2 stalls per studio unit
  - 1.3 stalls per 1 bedroom unit
  - 1.6 stalls per 2 bedroom unit

- 1.8 stalls per 3 or more bedroom unit
- Guest Parking: A minimum 10% of the total number of required parking spaces shall be provided for guest parking and located in a common area accessible by guests. If the required number of guest parking spaces results in a fraction, the applicant shall provide the number of spaces equal to the next higher whole number.

*Staff Comment: Staff has not yet evaluated the proposed project for compliance with the City's parking regulations. The applicant must demonstrate compliance with the City's parking requirements as part of any building permit.*

- E. Sidewalks: 3rd Street, Park Lane, and Main Street are designated as Pedestrian Oriented Streets. KZC Section 50.05.4 requires a minimum 12 foot wide sidewalk with an average width of 13 feet along the entire frontage of the subject property. The final sidewalk configuration shall be approved through the design review process.

**VII. PUBLIC COMMENT**

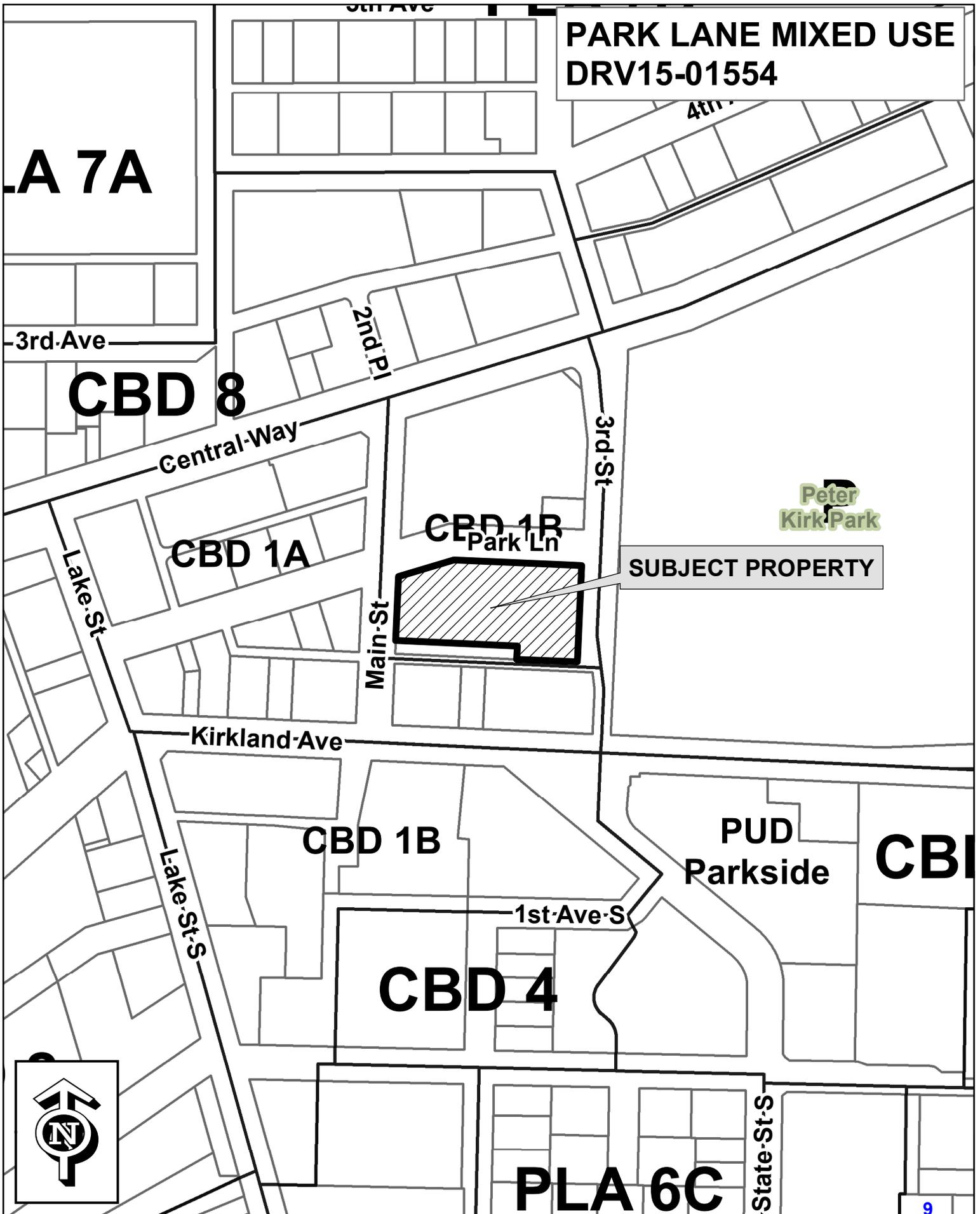
Prior to the finalization and distribution of this staff memo, no public comment was received.

**VIII. SUBSEQUENT MODIFICATIONS**

Modifications to the approval may be requested and reviewed pursuant to the applicable modification procedures and criteria in effect at the time of the requested modification.

**IX. ATTACHMENTS**

1. Vicinity Map
2. Development Plans
3. Development Standards
4. CBD 1B Use Zone Chart



**PARK LANE MIXED USE  
DRV15-01554**

**A 7A**

3rd Ave

**CBD 8**

Central Way

**CBD 1A**

**CBD 1B**  
Park Ln

**SUBJECT PROPERTY**

Peter Kirk Park

Kirkland Ave

**CBD 1B**

**PUD  
Parkside**

**CBI**

Lake St-S

1st Ave-S

**CBD 4**

**PLA 6C**

State St-S



# Design Response Conference **Park Lane Mixed-Use** Design Proposal Packet

A Proposed Mixed-Use Residential Development  
for Kirkland Main Street, LP



PARK LANE MIXED USE

KIRKLAND, WA

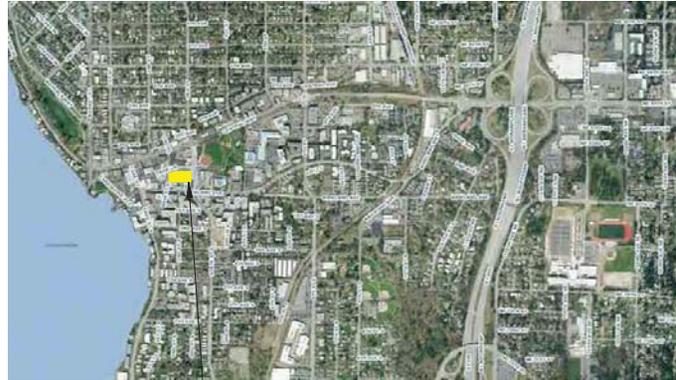


JOHNSON BRAUND INC.  
15200 52nd Ave. South  
Suite 300  
Seattle, WA 98188

08/21/15

## PROJECT INFORMATION

SITE ADDRESS: 151 3rd Street  
Kirkland, WA 98033  
 PARCEL #: 1244500330  
 LOT AREA: 41,994 SF  
 ZONING: CBD 1B, Commercial  
 LOT COVERAGE: 100%  
 SUBJECT TO:  
 Pedestrian Oriented Business District Guidelines  
 SETBACKS: NONE AT GRADE  
 UPPER STORY (all floors above the second floor):  
 MAIN STREET: 10' AVERAGE  
 3rd STREET: 10' AVERAGE  
 PARK LANE: 20' AVERAGE  
 BLDG. MAX. HEIGHT: 55'



PROJECT SITE — VICINITY MAP

## PROJECT CONTACTS

**DEVELOPER:**  
 Kirkland Main Street, LP  
 600 108th Ave NE, Suite 1010  
 Bellevue, WA 98004  
 Phone: 206.233.6184  
 Contact: Ed Segat

**SURVEYOR & CIVIL:**  
 Pace  
 11255 Kirkland Way, Suite 300  
 Kirkland, WA 98033  
 Phone: 425.827.2014  
 Contact: John Weed, P.E.

**ARCHITECT:**  
 Johnson Braund, Inc.  
 15200 52nd Avenue S, Suite 300  
 Seattle, WA 98188  
 Phone: 206.766.8300  
 Contact: Mark Stine, Architect

**LANDSCAPE ARCHITECT:**  
 The LA Studio, LLC  
 15200 52nd Avenue S, Suite 210  
 Seattle, WA 98188  
 Phone: 206.204.0507  
 Contact: Roby Snow, PLA, LEED AP

## BIRD'S EYE VIEW



PROJECT SITE

Sheet List	
Number	Name
-	
1	PROJECT INFORMATION
2	DEVELOPMENT VISION / GOALS
3	SITE DATA
4	NEIGHBORING BUILDINGS
5	SITE SURVEY & BLDG. HEIGHT CALC.
6	RESPONSE COMMENTS
7	SITE PLAN
8	LEVEL 1 FLOOR PLAN
9	LEVEL 2 FLOOR PLAN
10	LEVEL 3 FLOOR PLAN
11	LEVEL 4 FLOOR PLAN
12	LEVEL 5 FLOOR PLAN
13	LEVEL P1 PARKING FLOOR PLAN
14	LEVEL P2 PARKING FLOOR PLAN
15	BUILDING SECTIONS
16	BUILDING SECTIONS

Sheet List	
Number	Name
17	BUILDING SECTION
18	NORTH & EAST ELEVATION
19	SOUTH & WEST ELEVATION
20	SOLAR STUDY
21	PERSPECTIVE VIEWS
22	PERSPECTIVE VIEWS
23	PERSPECTIVE VIEWS
24	PERSPECTIVE VIEWS
25	PERSPECTIVE VIEWS
26	PERSPECTIVE VIEWS
27	PERSPECTIVE VIEWS
L1	PEDESTRIAN-LEVEL PLAN
L2	PEDESTRIAN PLAZA
L3	SECOND LEVEL - NORTH TERRACE
L4	SECOND LEVEL - SOUTH TERRACE
L5	PLANT MATERIALS
Z1	OVERAL AERIAL VIEW

AREA SUMMARY					
FLOOR	PARKING	RETAIL	RESIDENTIAL	RES. AMENITY	OPEN SPACE
1	15947 SF	13246 SF		3811 SF	1682 SF
2			29339 SF	849 SF	
3			29381 SF		
4			28619 SF		
5			27585 SF		
P1	34173 SF				
P2	15726 SF				

## LEGAL DESCRIPTION

THAT PORTION OF GOVERNMENT LOT 5, SECTION 5, TOWNSHIP 25 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN, INKING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:  
 BEGINNING AT THE MEANDER CORNER BETWEEN SECTIONS 5 AND 8, TOWNSHIP 25 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN, IN KING COUNTY, WASHINGTON:  
 THENCE NORTH 89°39'00" EAST 760.00 FEET;  
 THENCE NORTH 00°21'00" WEST 146.00 FEET TO THE INTERSECTION OF THE NORTHERLY LINE OF THE ALLEY AND THE WESTERLY LINE OF 3RD STREET AS SAID LINES WERE ESTABLISHED BY DEED TO THE CITY OF KIRKLAND, RECORDED UNDER RECORDING NUMBER 3883807, AND THE TRUE POINT OF BEGINNING;  
 THENCE SOUTH 89°39'00" WEST ALONG THE NORTHERLY LINE OF SAID ALLEY 100.00 FEET;  
 THENCE NORTH 00°21'00" WEST 22.00 FEET;  
 THENCE SOUTH 89°39'00" WEST PARALLEL WITH THE NORTHERLY LINE OF SAID ALLEY 200.68 FEET TO THE EASTERLY LINE OF 2ND STREET;  
 THENCE NORTH 00°21'00" WEST ALONG SAID EASTERLY LINE 105.13 FEET TO THE SOUTHEASTERLY LINE OF 1ST AVENUE AS CONVEYED TO THE CITY OF KIRKLAND BY SAID DEED;  
 THENCE NORTH 70°04'15" EAST ALONG SAID SOUTHEASTERLY LINE 95.52 FEET;  
 THENCE NORTH 89°39'00" EAST 210.986 FEET TO THE WESTERLY LINE OF SAID 3RD STREET;  
 THENCE SOUTH 00°21'00" EAST ALONG SAID WESTERLY LINE 160.00 FEET TO THE TRUE POINT OF BEGINNING;  
 (BEING KNOWN AS A PORTION OF BLOCK 106 OF BURKE & FARRAR'S KIRKLAND BUSINESS CENTER DIVISION NO. 26, ACCORDING TO THE UNRECORDED PLAT THEREOF).

## PARK LANE MIXED USE

KIRKLAND, WA

**JOHNSON BRAUND** INC.  
 15200 52nd Ave. South  
 Suite 300  
 Seattle, WA 98188

## PROJECT INFORMATION

08/21/15

## DEVELOPMENT VISION / GOALS

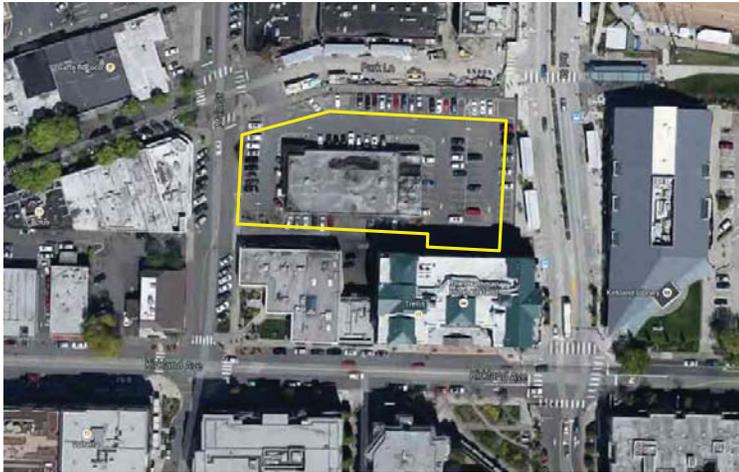
- Create a mixed use residential community that becomes an integral part of the urban fabric of downtown Kirkland.
- Through proper planning, develop viable and sustainable retail spaces, which in turn will lead to an active and engaged pedestrian environment.
- Provide features that create human scale at the street level and will encourage an active street frontage.
- Develop an appropriate building massing so as to continue a similar scale as recent successful projects in the downtown core.
- Promote a superior built environment for downtown Kirkland through use of high quality materials such as masonry, fiber cement siding and metal canopies.
- Enhance the Park Lane pedestrian experience by way of including a public plaza which is to feature a water element, artist sculpture and public seating.



## DESIGN GUIDELINES - DOWNTOWN KIRKLAND GOALS

- Promote a sense of community identity by emphasizing Kirkland's natural assets, maintaining its human scale, and encouraging activities that make downtown the cultural, civic, and commercial heart of the community.
- Maintain a high-quality environment by ensuring that new construction and site development meet high standards.
- Orient to the pedestrian by providing weather protection, amenities, human scale elements, and activities that attract people to downtown.
- Increase a sense of continuity and order by coordinating site orientation, building scale, and streetscape elements of new development to better fit with neighboring buildings.
- Incorporate parks and natural features by establishing an integrated network of trails, parks, and open spaces and maintaining existing trees and incorporating landscaping into new development.
- Allow for diversity and growth through flexible guidelines that are adaptable to a variety of conditions and do not restrict new development.





**SITE AERIAL MAP**

EXISTING SITE

The site is located on the south side of Park Lane between 3rd Street and Main Street. The site is 41,994 SF of contiguous land with an existing single story retail building and parking. The building is currently vacant. The parking is being used as a pay lot.

ZONING

The site is zoned CBD 1B

NEIGHBORHOOD

This site is located in the Kirkland Central Business District within walking distance and immediate vicinity of many of Kirkland's public amenities, restaurants and shops.

This site is directly adjacent to the transit station on 3rd Street. Peter Kirk Park and the Kirkland Library and public pool are to the east across 3rd Street. This is in a highly pedestrian oriented area. Park Lane which fronts the north boundary of the site is currently being redeveloped as a pedestrian oriented street. To the north are commercial buildings and Central Way. To the south are multi-story mixed-use residential buildings and the Heathman Hotel. To the west are numerous restaurants and shops. Marina Park on Lake Washington is two blocks to the west providing lake access and marine oriented public amenities.

SOIL CONDITIONS

The site is in an area of high water table and sandy soils. Due to the nature of this combination of conditions the cost of excavation goes up exponentially with increased depth. Our proposal is to limit the depth and area of excavation as much as possible while still meeting the design review guidelines, zoning requirements and development objectives of the overall project.



PROJECT SITE

KIRKLAND ZONING MAP



ZONING CODE

SECTION 50.10.5 - UPPER STORY SETBACKS:

- c. Third Street and Main Street: Within 40 feet of Third Street and Main Street, all stories above the second story shall maintain an average setback of at least 10 feet from the front property line.
- d. All other streets: Within 40 feet of any front property line, other than Lake Street, Central Way, Third Street, or Main Street, all stories above the second story shall maintain an average setback of at least 20 feet from the front property line.
- f. The Design Review Board is authorized to allow a reduction of the required upper story setback by no more than five feet subject to the following:
  1. Each square foot of additional building area proposed within the setback is offset with an additional square foot of public open space (excluding area required for sidewalk dedication) at the street level.
  2. The public open space is located along the sidewalk frontage and is not covered by buildings.
  3. For purposes of calculating the offsetting square footage, along Central Way, the open space area at the second and third stories located directly above the proposed ground level public open space is included. Along all other streets, the open space area at the second story located directly above the proposed ground level public open space is included.
  4. The design and location is consistent with applicable design guidelines.
- g. The Design Review Board is authorized to allow rooftop garden structures within the setback area.





MERRILL GARDENS, ONE BLOCK SOUTH OF SITE



THE 101, ONE BLOCK SOUTHWEST OF SITE



BANK OF AMERICA PLAZA



THE HEATHMAN HOTEL, SOUTH FACADE



THE HEATHMAN HOTEL, NORTH FACADE FACING SITE



KIRKLAND CENTRAL, ONE BLOCK SOUTH OF SITE

## DESIGN CUES

- Similarly sized buildings 4 to 5 stories
- Scale reduced with vertical modulation; varied heights, parapet and cornice treatments
- Scale reduced with horizontal modulation and upper story setbacks; 1-2 story base at street, top floor step backs
- Upper level uses overlooking the street; terraces and balconies
- High quality materials/ Varied textures and colors



KIRKLAND CENTRAL, ONE BLOCK SOUTH OF SITE

## PARK LANE MIXED USE

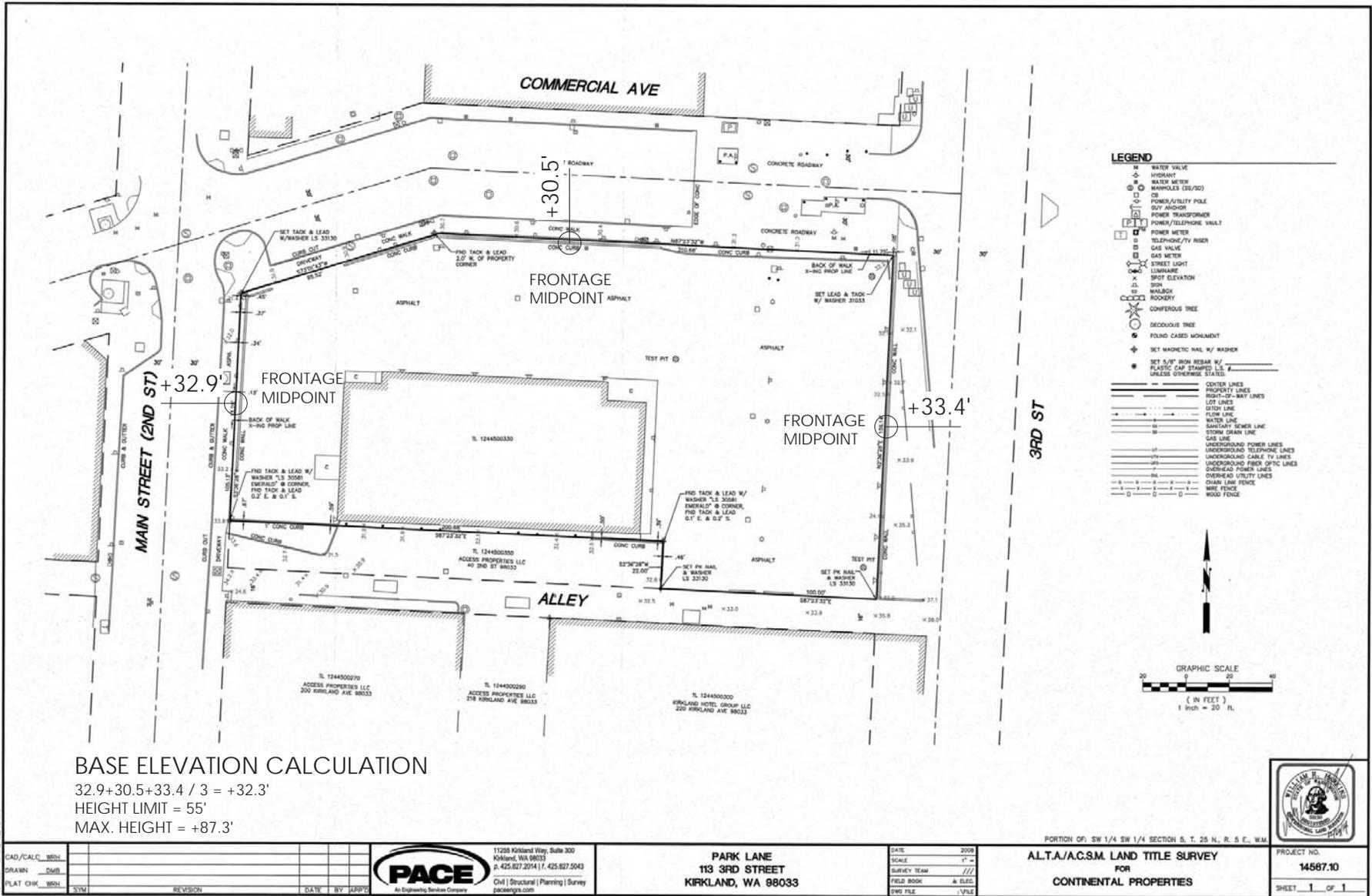
KIRKLAND, WA



JOHNSON BRAUND INC.  
15200 52nd Ave. South  
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Seattle, WA 98188

## NEIGHBORING BUILDINGS

08/21/15



PARK LANE MIXED USE  
 KIRKLAND, WA

**JOHNSON BRAUND INC.**  
 15200 52nd Ave. South  
 Suite 300  
 Seattle, WA 98188

SITE SURVEY & BLDG. HEIGHT CALC.

08/21/15

# RESPONSE TO DESIGN REVIEW BOARD COMMENTS

1. Additional development of the Park Lane Corners at Main and 3rd Streets.

- The canopy at the Main Street corner has been revised and is now distinct from the canopies along the street frontage. It is higher and has additional elements that mimic the style of the bus shelter and park canopies.
- The first floor podium has been extended to the corner at 3rd Street and an open colonnade is provided at the corner retail use. The canopy has been raised and additional elements including knee braces have been added that mimic the style of the adjacent bus shelter and park canopies.

2. Additional work on the retail and residential lobby relationship including various layout options. Include detailed floor plans for all levels.

- Detail floor plans are included for all levels. The proposed extent of the lobby and its relationship to the retail use is detailed on the main floor plan.
- The Lobby frontage has been reduced and adjacent retail frontage increased along Park Lane to the 30 foot depth required by the land use code.

3. Elevations showing the treatment (including materials, openings, etc) of the southwest and southeast facades along the alley.

- Elevations are included of all the facades. These show color and materials as well as openings proposed along the facades near the ends of the alley.
- Additional renderings are also provided with and without foreground elements showing the proposed treatment of these area of the façade.

4. A sun study that shows the sun exposure of around the structure for various seasons.

- Rendered views are provided for sunrise, mid-day and sunset for the summer and winter solstice and the equinox. Additional views are provided of the south courtyard at various times of the day.

5. A model showing the views and upper story step backs.

- Detail views of upper story step backs, second floor terrace and angled unit facades are provided.

6. Detailed plans for the second story terraces including landscaping and privacy screening.

- The landscaping and privacy screening is provided in more detail on the plans and detailed renderings of these area are provided.

7. Perspective drawings that do not include the landscaping. Include a perspective from the NE Corner (3rd and Park) looking south towards the library and the Heathman Hotel.

- Several views have been rendered twice, with and without landscaping & entourage elements for clarity.
- A view as been rendered looking south from 3rd Street and near Central Way.

8. Perspective drawings from any upper story terraces.

- Renderings are provided from the upper story terrace looking down at the open space and streetscape below.

9. Balcony details including the use of varying styles and materials.

- Terrace balconies include a combination of solid and glass railings

10. Detailed plans for the plazas including hardscape materials, landscaping and the sculpture design.

- See the plans provided by LA Studio.

11. Additional development of the plant palette.

- See the plans provided by LA Studio

12. Renderings that show neighboring properties.

- More detail of the adjacent Heathman Hotel has been added and a composite view from the library is included.



Upper Level Setback Calculations (SF)

Park Lane Required Setback			
Frontage	Depth	Stories	Area Required
305.4	20	3	18,324

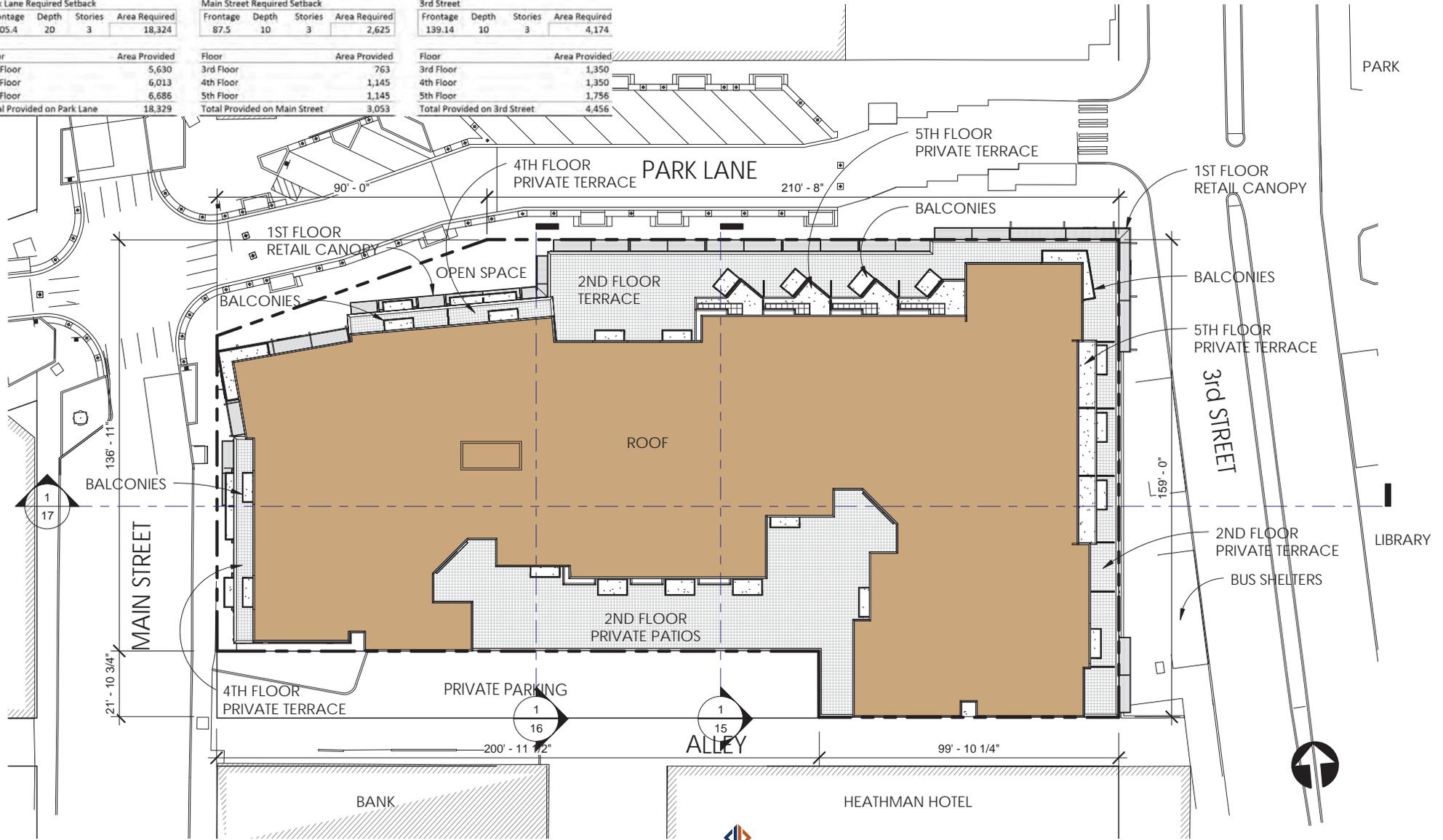
Main Street Required Setback			
Frontage	Depth	Stories	Area Required
87.5	10	3	2,625

3rd Street			
Frontage	Depth	Stories	Area Required
139.14	10	3	4,174

Floor	Area Provided
3rd Floor	5,630
4th Floor	6,013
5th Floor	6,686
<b>Total Provided on Park Lane</b>	<b>18,329</b>

Floor	Area Provided
3rd Floor	763
4th Floor	1,145
5th Floor	1,145
<b>Total Provided on Main Street</b>	<b>3,053</b>

Floor	Area Provided
3rd Floor	1,350
4th Floor	1,350
5th Floor	1,756
<b>Total Provided on 3rd Street</b>	<b>4,456</b>



PARK LANE MIXED USE

KIRKLAND, WA

**JOHNSON BRAUND** INC.  
 15200 52nd Ave. South  
 Suite 300  
 Seattle, WA 98188

SITE PLAN

08/21/15





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 Suite 300  
 Seattle, WA 98188

LEVEL 2 FLOOR PLAN

08/21/15



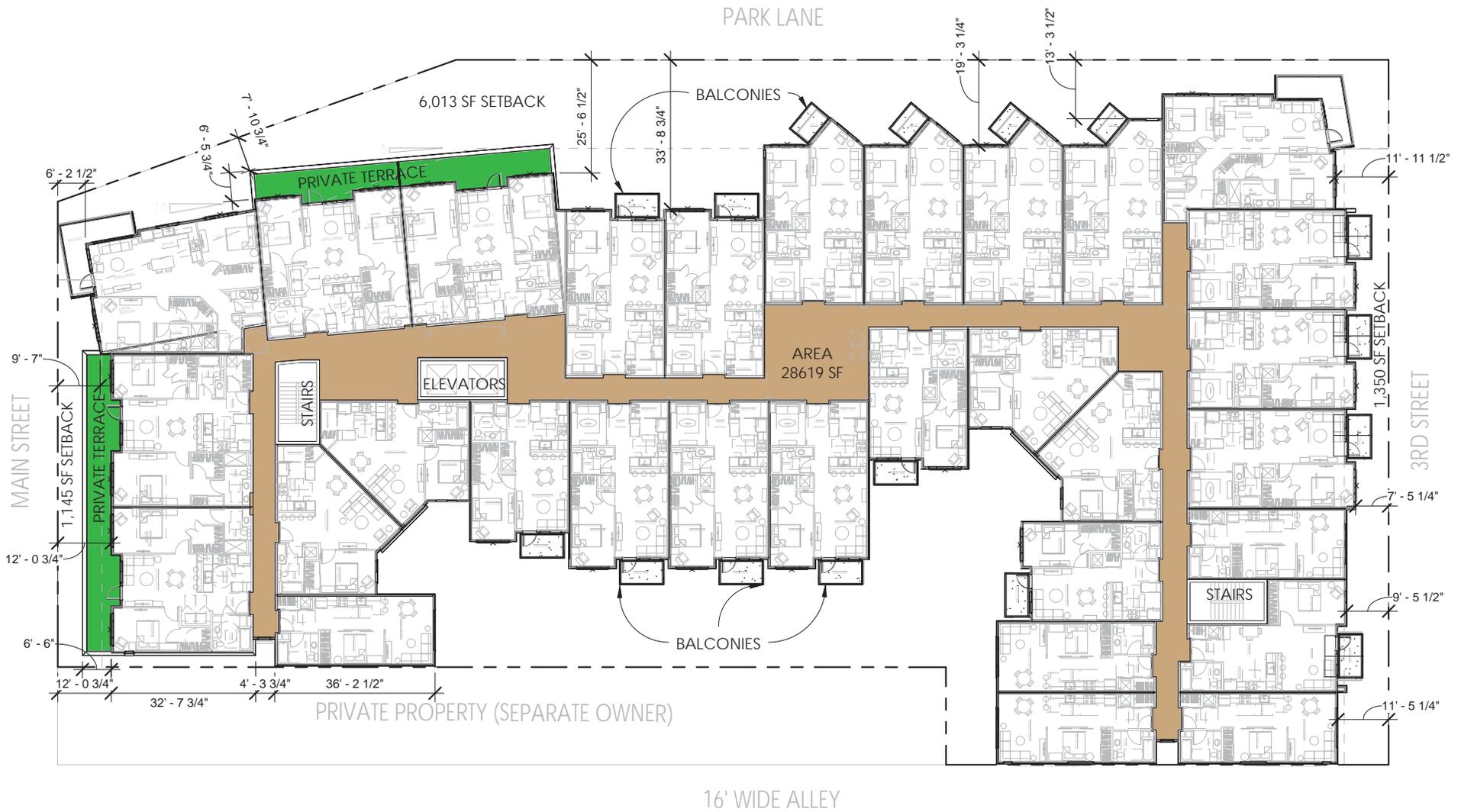
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LEVEL 3 FLOOR PLAN

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LEVEL 4 FLOOR PLAN

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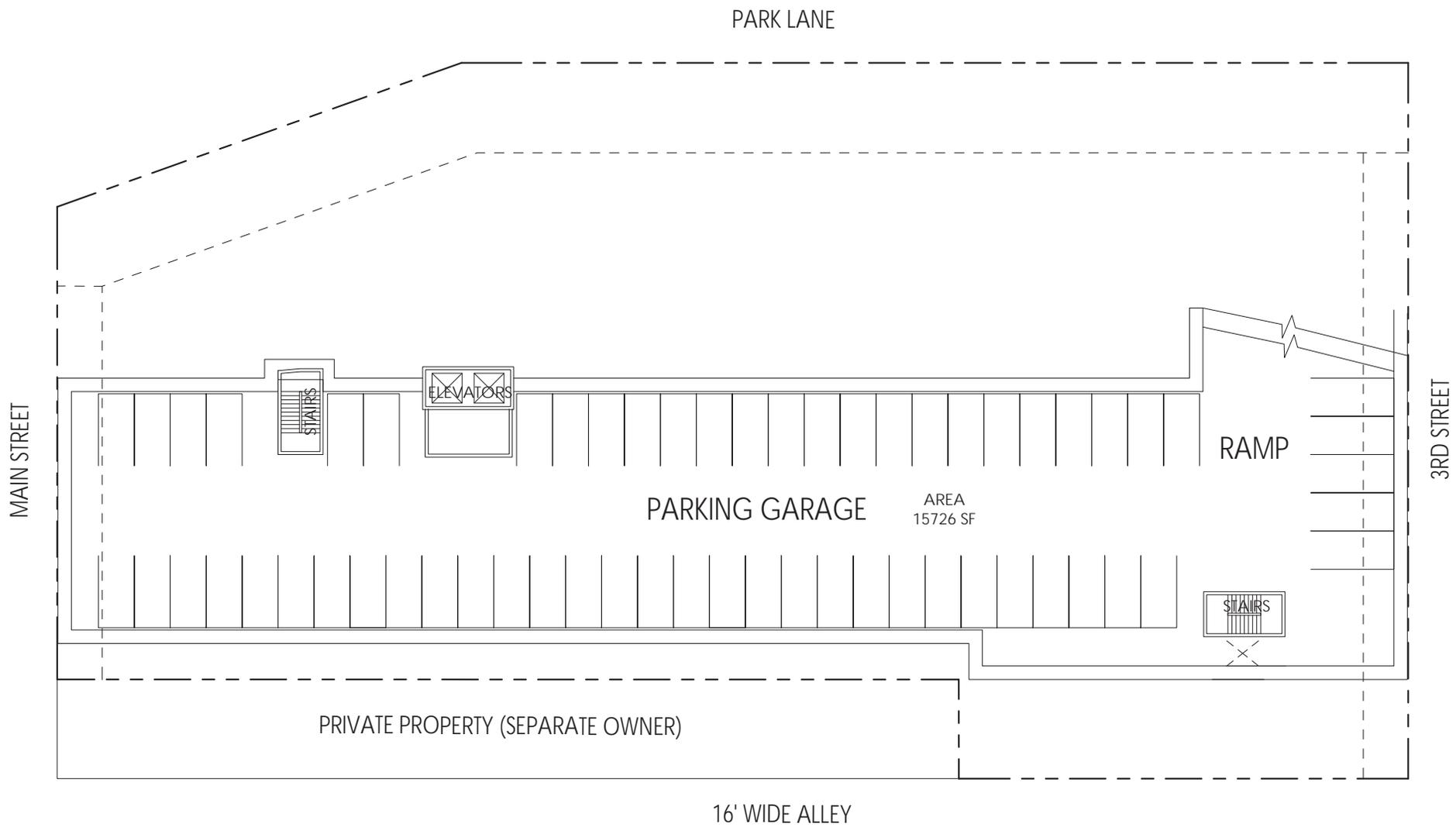
KIRKLAND, WA

**JOHNSON BRAUND** INC.  
 15200 52nd Ave. South  
 Suite 300  
 Seattle, WA 98188

LEVEL 5 FLOOR PLAN

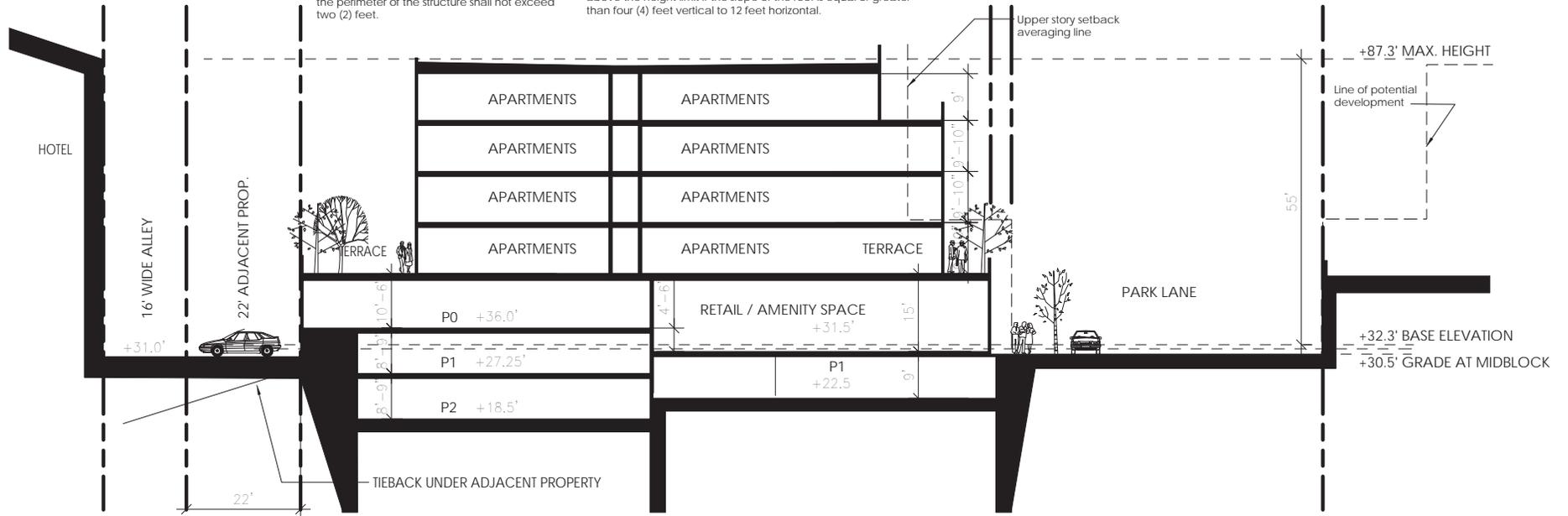
08/21/15





KZC 50.62.3.A  
Decorative parapets may exceed the height limit by a maximum of four (4) feet, provided, that the average height of the parapet around the perimeter of the structure shall not exceed two (2) feet.

KZC 50.62.3.c  
For structures with a peaked roof, the peak may extend five (5) feet above the height limit if the slope of the roof is greater than three (3) feet vertical to 12 feet horizontal and eight (8) feet above the height limit if the slope of the roof is equal or greater than four (4) feet vertical to 12 feet horizontal.

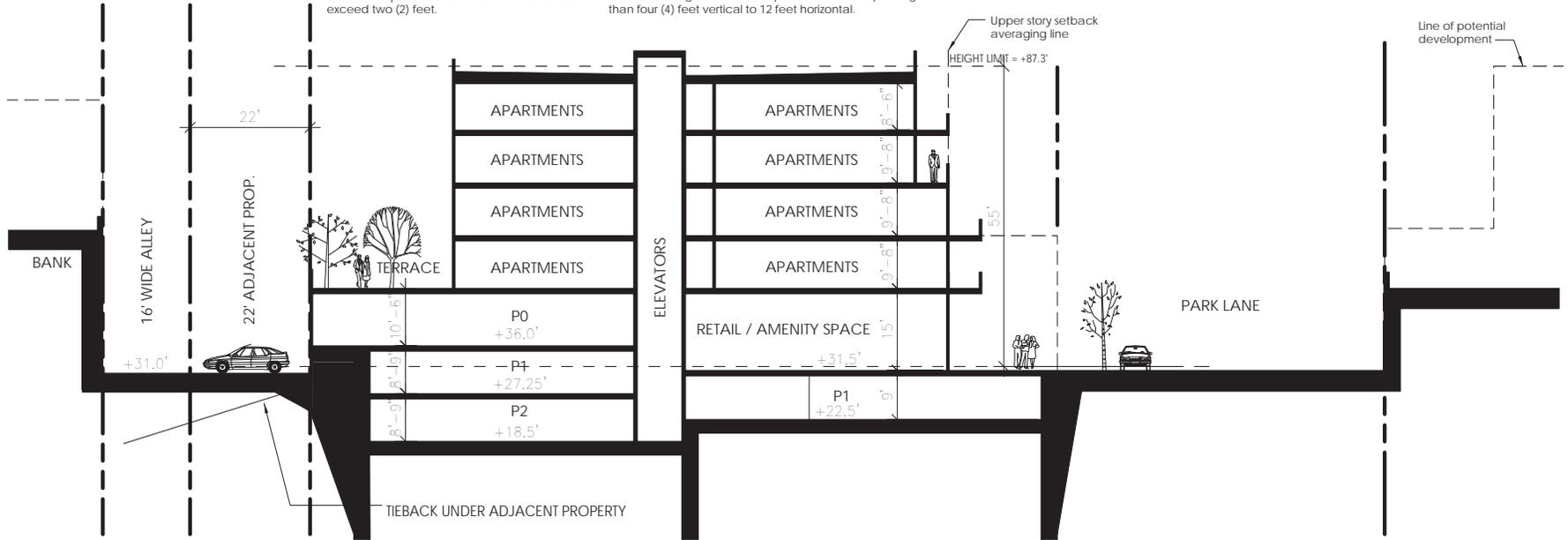


SECTION NORTH-SOUTH AT RESIDENTIAL TERRACE

1 PARK LANE SECTION 1  
1" = 20'-0"

KZC 50.62.3.A  
Decorative parapets may exceed the height limit by a maximum of four (4) feet; provided, that the average height of the parapet around the perimeter of the structure shall not exceed two (2) feet.

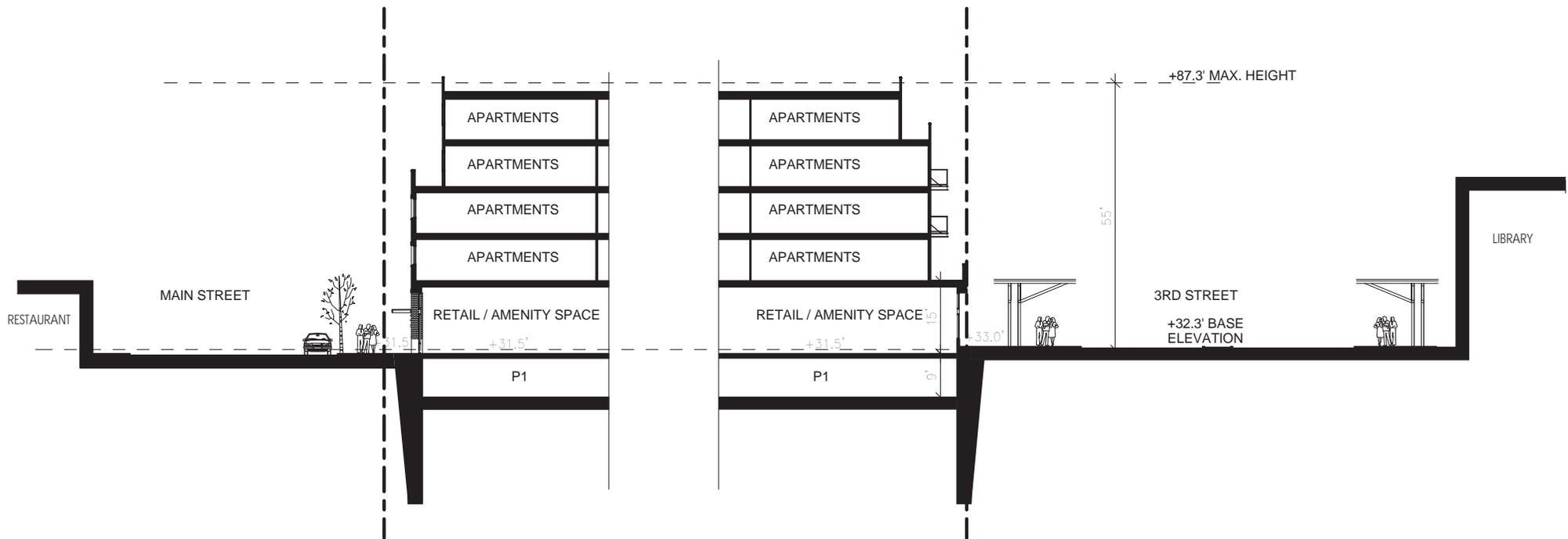
KZC 50.62.3.c  
For structures with a peaked roof, the peak may extend five (5) feet above the height limit if the slope of the roof is greater than three (3) feet vertical to 12 feet horizontal and eight (8) feet above the height limit if the slope of the roof is equal or greater than four (4) feet vertical to 12 feet horizontal.



SECTION NORTH-SOUTH AT OPEN SPACE

1 PARK LANE SECTION 2  
1" = 20'-0"





1 **PARK LANE SECTION 3**  
1" = 20'-0"



1 PRESENTATION - NORTH ELEVATION  
3/64" = 1'-0"

MISSION TEXTURE SOLDIER COURSE = SEATTLE CREAM

SIERRA TAN COPING & FLASHING



MISSION TEXTURE BRICK = GOLDENROD



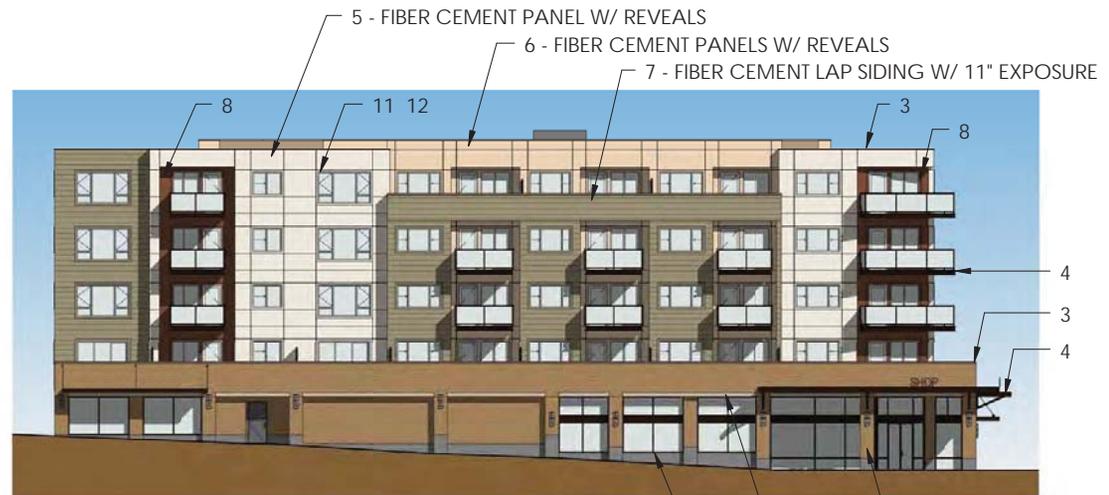
DARK BRONZE BALCONIES & CANOPY

SW 7002 DOWNY

SW 7722 TRAVERTINE

WOOD PANEL

- 9 DARK BRONZE RAILING W/ GLASS PANELS
- 10 DARK BRONZE SHADE CANOPIES
- 11 FIBER CEMENT TRIM COLOR TO MATCH SIDING
- 12 WHITE VINYL & FIBERGLASS DOORS & WINDOWS
- 13 DARK BRONZE STOREFRONT



2 PRESENTATION - EAST ELEVATION  
3/64" = 1'-0"

PARK LANE MIXED USE

KIRKLAND, WA

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Suite 300  
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NORTH & EAST ELEVATION

08/21/15



MISSION TEXTURE SOLDIER COURSE = SEATTLE CREAM

SIERRA TAN COPING & FLASHING



MISSION TEXTURE BRICK = GOLDENROD



DARK BRONZE BALCONIES & CANOPY

SW 7002 DOWNY

SW 7722 TRAVERTINE

WOOD PANEL

SW 6158 SAWDUST

- 9 DARK BRONZE RAILING W/ GLASS PANELS
- 10 DARK BRONZE SHADE CANOPIES
- 11 FIBER CEMENT TRIM COLOR TO MATCH SIDING
- 12 WHITE VINYL & FIBERGLASS DOORS & WINDOWS
- 13 DARK BRONZE STOREFRONT

1 PRESENTATION - SOUTH ELEVATION  
3/64" = 1'-0"



2 PRESENTATION - WEST ELEVATION  
3/64" = 1'-0"

PARK LANE MIXED USE

KIRKLAND, WA



JOHNSON BRAUND INC.  
15200 52nd Ave. South  
Suite 300  
Seattle, WA 98188

SOUTH & WEST ELEVATION

08/21/15



1 JUNE 21 - 5:15 AM



2 JUNE 21 - 12:00 PM



3 JUNE 21 - 7:00 PM



4 SEPTEMBER 23 - 8:00 AM



5 SEPTEMBER 23 - 12:00 PM



6 SEPTEMBER 23 - 4:00 PM



7 DECEMBER 23 - 9:00 AM



8 DECEMBER 23 - 12:00 PM



9 DECEMBER 23 - 3:00 PM





STREET VIEW LOOKING SE FROM PARK LANE AND MAIN STREET

PARK LANE MIXED USE

KIRKLAND, WA



JOHNSON BRAUND INC.  
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Suite 300  
Seattle, WA 98188

PERSPECTIVE VIEWS

08/11/15



STREET VIEW- LOOKING EAST ON PARK LANE ACROSS MAIN ST



OVERVIEW- AERIAL LOOKING SE FROM PARK LANE AND MAIN ST.



STREET VIEW- LOOKING EAST ON PARK LANE ACROSS MAIN ST

without entourage



STREET VIEW- LOOKING EAST TOWARDS WATER FEATURE

PARK LANE MIXED USE

KIRKLAND, WA



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15200 52nd Ave. South  
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PERSPECTIVE VIEWS

08/21/15