



CITY OF KIRKLAND
Planning and Community Development Department
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www.kirklandwa.gov

MEMORANDUM

Date: August 10, 2015
To: Design Review Board
From: Jon Regala, Senior Planner
File No.: DRV12-00921
Subject: **LAKE STREET PLACE
MODIFICATION TO DRB DECISION II**

I. MEETING GOALS

At the August 17, 2015 Design Review Board (DRB) meeting, the DRB should review the proposed project modifications and provide input to staff prior to staff's decision on the modification request. See Section III below for a summary of the proposed changes.

II. BACKGROUND INFORMATION

The subject property is located at 150 Lake Street South (see Attachment 1). On April 10, 2013, the DRB approved, with conditions, the Design Response Conference application for the Lake Street Place project. Since the approval, the applicant has submitted building permits and completed the SEPA review process. The project is currently in building permit review.

On May 21, 2015, staff approved a modification to the DRB's approval after receiving feedback from the DRB. The modification approval included the following changes:

- Kirkland Waterfront Market Building. Replace the 20'-wide 4-story addition at the north side of the building with a separate stair and elevator component. Between the two is a ground floor expansion to the existing Milagro restaurant.
- Hector's Building. Remove the entire 4th floor and step back the 3rd floor atop the Hector's restaurant building with a façade change. The mechanical screen at the roof has been replaced with a chimney structure that is set back from the north roof edge.
- Main Street Building. Remove one floor of parking (Level 4), in the above-grade parking structure and replace it with a floor of office space that would be setback the same distance from the property line as the office floor above. This change to the parking garage will result in only three levels of above-grade parking (166 parking stalls) and two floors of office space. New are three levels of below-grade parking (144 parking stalls) to be accessed from the previously approved garage entrance. Revisions to the northeast ground floor retail are also proposed which are a result of building exiting requirements with the addition of the below-grade parking structure.

On July 16, 2015, the applicant submitted a second modification request to the DRB's approval which is the subject for this review (see Attachment 2). The changes are

summarized in Section III below. See Attachment 3 for the applicant's description of the changes.

III. MODIFICATION CRITERIA

The Planning Official may approve a modification to the Design Review approval for the proposed remodel if it meets the criteria in Kirkland Zoning Code (KZC) Section 142.50. Attachment 3 contains the applicant's response to the criteria. Below are the applicable criteria:

- a. *The need for the modification was not known and could not reasonably have been known before the D.R. approval was granted.*
- b. *The modification is minor and will not, in any substantial way, change the proposed development or violate any requirement imposed by the Design Review Board. The Planning Official may consult with the Design Review Board in his/her decision.*
- c. *The development that will result from the modification will be consistent with the design regulations, design guidelines, and Comprehensive Plan.*

Pursuant to KZC Section 142.50.b above, staff is consulting with the DRB prior to making a decision on the requested modification. Following this consultation, staff will either approve or deny the requested modifications. Staff considers the proposed changes as minor and meeting the modification criteria. Due to the very visible nature of some of the changes to the KWM building and 'gap area', staff would like to update and to obtain feedback from the DRB prior to making a decision. Below is a summary of the proposed changes followed by staff analysis.

KWM and Main Street Building Changes

Kirkland Waterfront Market (KWM) Building

- Reduce the KWM Building from 4 to 3 stories
- Setback the 3rd story from the floor below along north and south facades
- Remove stair and elevator towers on north façade

Main Street Building

- Removal of the KWM's 4th story exposes the 4th story of the Main Street Building in that area. Therefore, a new deck area is proposed at the 4th story replicating the deck area at the 5th story.

Staff Analysis: The KWM's revised 3rd story will be constructed primarily of steel and glass. The 3rd story will also be setback from the floor below at the north and south facades. This design combination will result in minimizing the appearance of the 3rd story from the street. The roof fascia will be a smooth metal panel. This proposed modification results in less building mass, a 'light' building aesthetic, and improves views from neighboring properties.

'Gap' and Courtyard Area

- Add new steel and glass sunroom
- Revised courtyard hardscape concrete pattern and curved ribbon shape (see Attachment 2, Sheet L1.1). No changes to the materials are proposed.

Staff Analysis: The new steel and glass sunroom is designed to be light in appearance and complement the Main Street and KWM buildings. It also serves the function of providing overhead weather protection to a portion of the courtyard area along Lake Street South. The proposed configuration of this area will still allow for art, lighting, and a focal point as previously required by staff with the previous modification approval. The change

in hardscape pattern responds to the sunroom addition and changes made to the KWM building's north facade (removal of stair and elevator towers). The previously approved courtyard plan can be found in Attachment 4. This proposed modification further improves the 'gap area' design.

Landscaping

- Near the eastern public walkway, change out 3 'columnar evergreen shrubs' with Mahonia Aquifolium 'Tall Oregon Grape' (see Attachment 2, Sheet L1.4)
- Adding planters to rooftop decks (see Attachment 2, Sheet L1.2)

Staff Analysis: The applicant is proposing to use Tall Oregon Grape instead of the required 'columnar evergreen shrubs'. It was not known at the time that columnar evergreens require full sun to thrive. The proposed plant species is a native evergreen that can thrive in full shade. Additional planters have been added to the rooftop decks to improve their visual quality.

IV. QUESTIONS FOR DRB CONSIDERATION

Does the DRB have any comments regarding:

- A. The building height/massing reduction to the KWM building?
- B. The new sunroom design within the 'gap' area?
- C. The substituted plant species and/or the roof deck landscape plan?

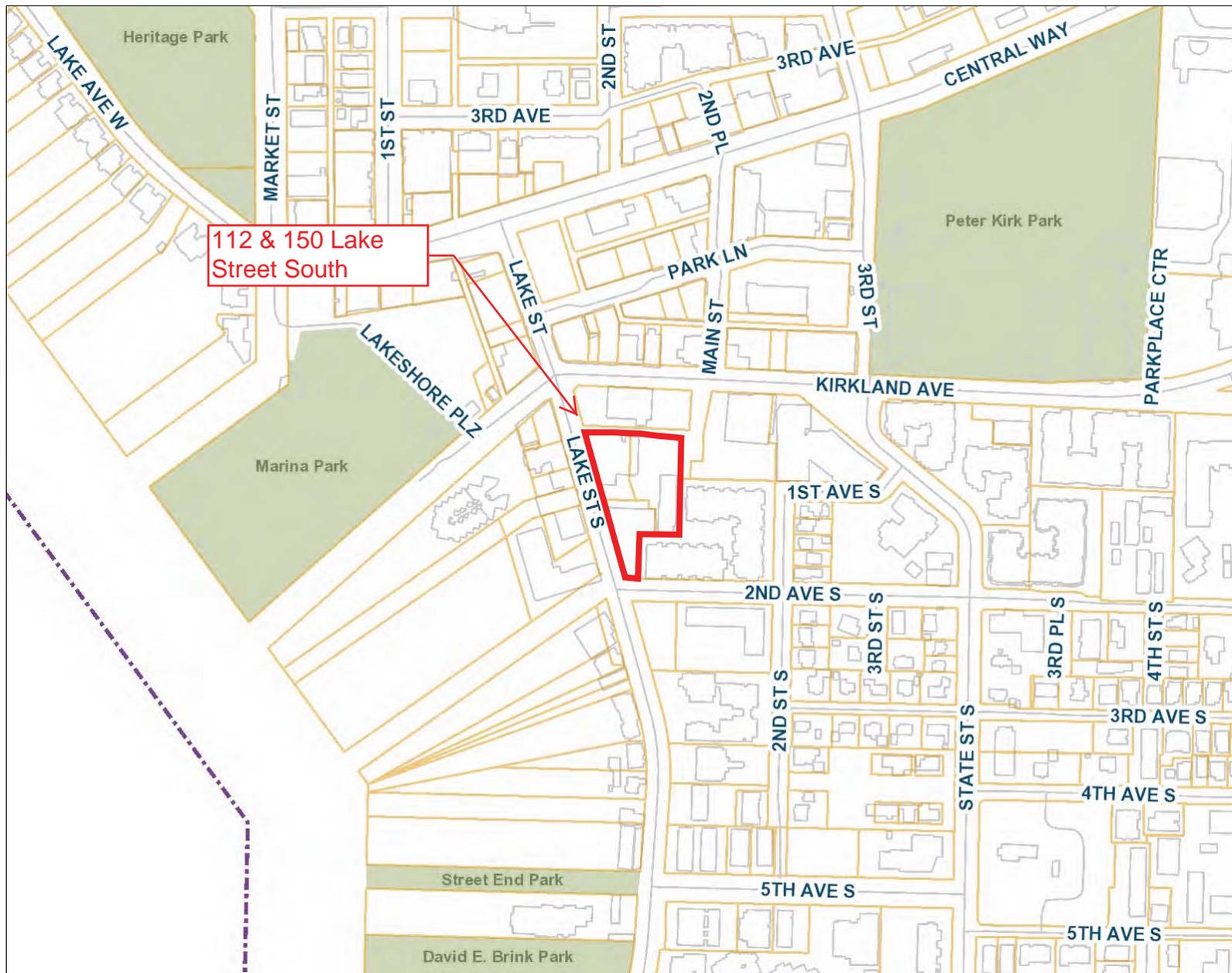
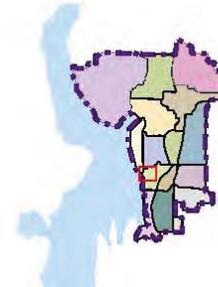
V. ATTACHMENTS

1. Vicinity Map
2. Modifications Plan Set
3. Project Description Summary & Response to Criteria
4. Approved Courtyard Plan

CC: Applicant & Parties of Record List in File No. DRV12-00921 (Lake Street Place)



GIS MAPPING PORTAL ~ City of Kirkland, Washington ~ Department of Information Technology



Legend

- City Limits
- Railroad
- Streets
- Parcels
- Buildings
- Parks
- Schools

ATTACHMENT 1
 FILE NO: DRV12-00921
 MODIFICATION II
 VICINITY MAP

1:4,444



0.1 0 0.07 0.14 Miles

NAD_1983_StatePlane_Washington_North_FIPS_4601_Feet
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No warranties of any sort, including but not limited to accuracy, fitness or merchantability, accompany this product.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

Project Area Map

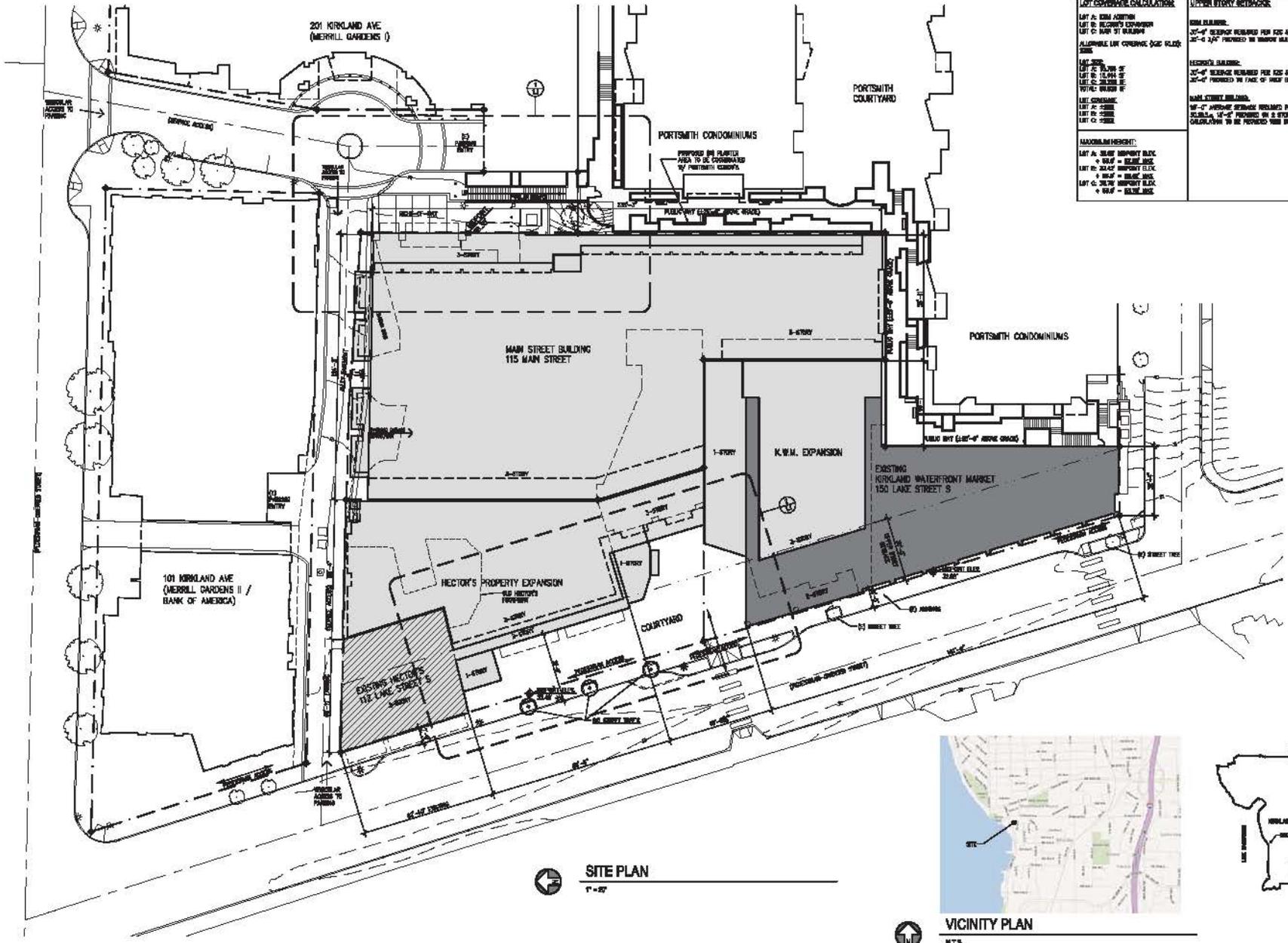
Lake Street Place

Kirkland, WA

DRB Modification #2 - July 16, 2015



LOT COVERED CALCULATION	UPPER STORY SETBACKS
<p>LOT A: BANK OF AMERICA LOT B: HECTOR'S EXPANSION LOT C: MAIN ST BUILDING</p> <p>ALLOWABLE LOT COVERING (SAC VALUE): 50%</p> <p>LOT A: 50% LOT B: 50% LOT C: 50%</p> <p>NET LOT COVERING: 50%</p> <p>MAXIMUM HEIGHT: LOT A: 35'-0" (SEE SETBACK TABLE) LOT B: 35'-0" (SEE SETBACK TABLE) LOT C: 35'-0" (SEE SETBACK TABLE)</p>	<p>FRONT SETBACK: 25'-0" SETBACK REQUIRED PER SAC 40.00.4 25'-0" SETBACK REQUIRED PER SAC 40.00.4</p> <p>REAR SETBACK: 25'-0" SETBACK REQUIRED PER SAC 40.00.4 25'-0" SETBACK REQUIRED PER SAC 40.00.4</p> <p>MAIN STREET SETBACK: 25'-0" SETBACK REQUIRED PER SAC 40.00.4 25'-0" SETBACK REQUIRED PER SAC 40.00.4</p>



SITE PLAN
1" = 30'



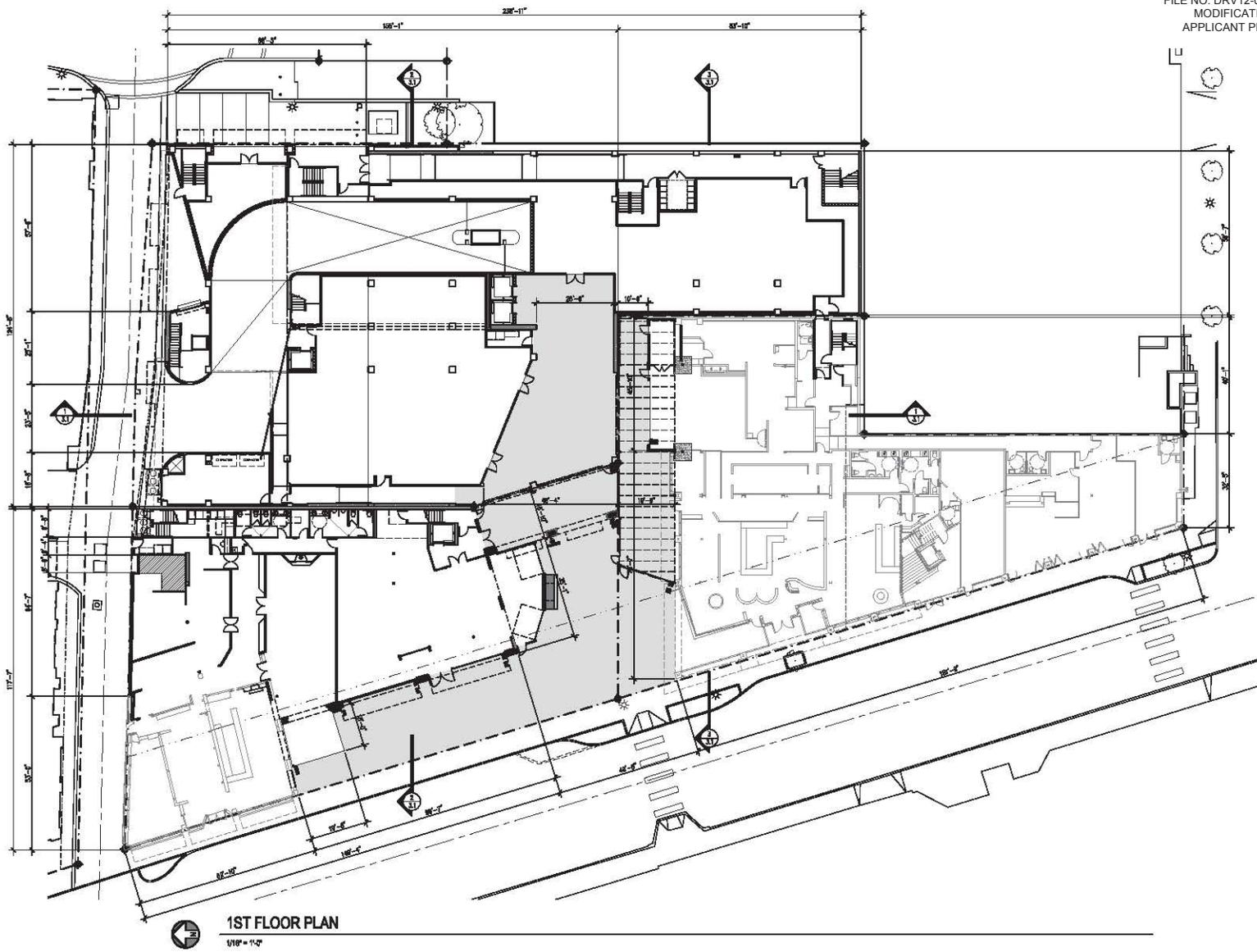
VICINITY PLAN
N.T.S.



LAKE STREET PLACE
112-150 LAKE STREET S
KIRKLAND, WA 98033

SITE PLAN
Sheet No. 1.0
Project No. 0116
Date: 02/20/22

BY/DATE: MODIFICATION 02
BY/DATE: MODIFICATION 2
BY/DATE: MODIFICATION 2
BY/DATE: MODIFICATION 4
199912 DRB SUBMITTAL 1
199912 DRB SUBMITTAL 2
02/20/22 DRB SUBMITTAL 2




1ST FLOOR PLAN
 1/8" = 1'-0"

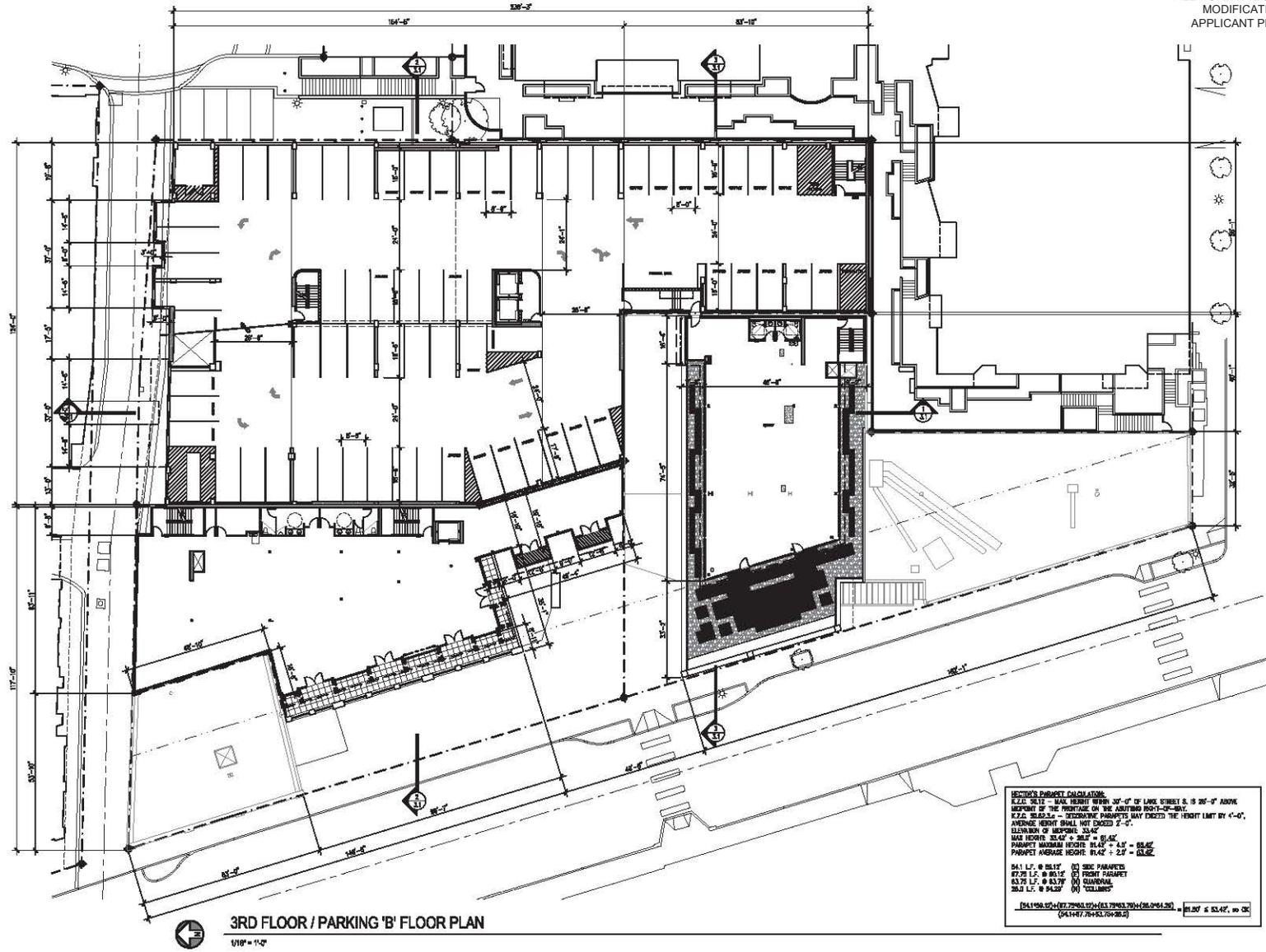
ATTACHMENT
 FILE NO. DRV12-0092
 MODIFICATION
 APPLICANT PLAN

CHESMOREBUCK
 ARCHITECTURE
 27 NORTH AVENUE NE SUITE 100
 BELLEVUE, WA 98004
 PHONE: 425.474.8007
 FAX: 425.474.8004

- 07/16/15 MODIFICATION #2
- 02/23/15 MODIFICATION 3
- 01/22/14 MODIFICATION 2
- 01/22/14 MODIFICATION 4
- 01/22/13 DRB SUBMITTAL 4
- 12/03/12 DRB SUBMITTAL 6
- 11/02/12 DRB SUBMITTAL 2
- 08/13/12 DRB SUBMITTAL 1

LAKE STREET PLACE
 112-150 LAKE STREET S
 KIRKLAND, WA 98033

1ST FLOOR PLANS
 Sheet No. **2.0**
 Project No. **10 1106**
 Date: **07/20/14**

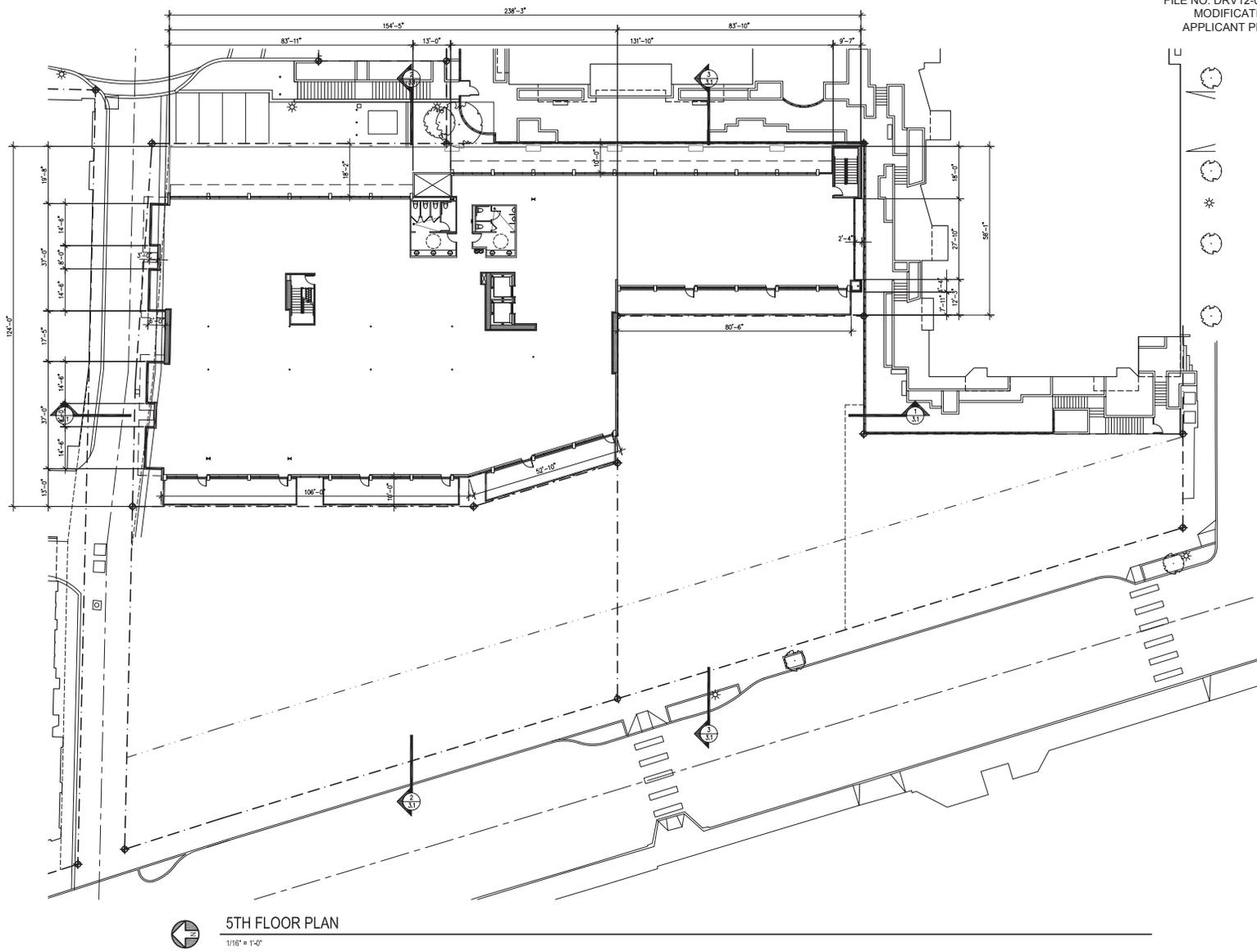


3RD FLOOR / PARKING 'B' FLOOR PLAN
1/8" = 1'-0"

SECTION'S HEIGHT CALCULATION:
 F.F.L. 3611' - MAX HEIGHT WHEN 3'-0" OF LAKE STREET S. IS 30'-0" ABOVE
 WEDGMENT OF THE FRONTAGE ON THE ADJUTING HIGH-TO-LOW.
 F.F.L. 3612.5' - STANDING PARAPETS MAY EXCEED THE HEIGHT LIMIT BY 4'-0".
 AVERAGE HEIGHT SHALL NOT EXCEED 2'-0".
 ELEVATION OF WEDGMENT: 35.42'
 MAX HEIGHT: 35.42' + 3.00' = 38.42'
 PARAPET MAXIMUM HEIGHT: 36.42' + 4.00' = 40.42'
 PARAPET AVERAGE HEIGHT: 36.42' + 2.00' = 38.42'
 S4.1 L.F. @ 88.15' (C) SIDE PARAPETS
 87.25 L.F. @ 88.15' (C) FRONT PARAPET
 63.75 L.F. @ 94.30' (D) CORNERS
 26.5 L.F. @ 94.30' (D) "COLLARS"
 (S4.1) 104.45' + (87.25) 104.10' + (63.75) 104.10' + (26.5) 104.10' = 81.20' @ 83.42', in OK
 (S4.1) 104.45' + 83.75(26.5)

- 07/16/15 MODIFICATION #2
- 02/23/15 MODIFICATION 3
- 01/22/15 MODIFICATION 2
- 12/22/14 MODIFICATION 1
- 01/02/13 DRB SUBMITTAL 4
- 12/03/12 DRB SUBMITTAL 3
- 11/02/12 DRB SUBMITTAL 2
- 08/10/12 DRB SUBMITTAL 1

LAKE STREET PLACE
112-150 LAKE STREET S
KIRKLAND, WA 98033



5TH FLOOR PLAN

1/16" = 1'-0"

ATTACHMENT
FILE NO. DRV12-0092
MODIFICATION
APPLICANT PLAN

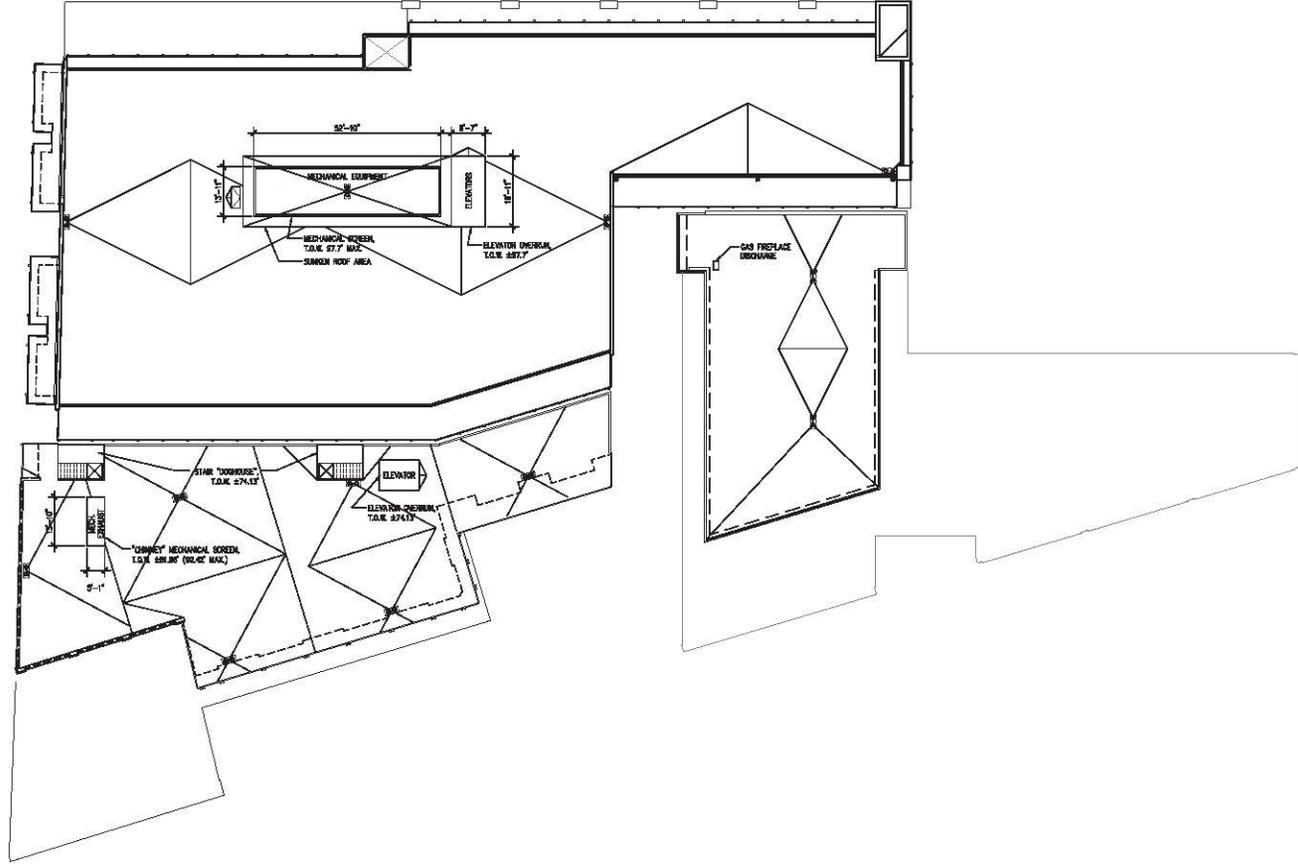
CHESMOREBUCK
architectur**e**
27,000TH AVENUE NE SUITE 100
BELLEVUE, WA 98004
PHONE: 425-475-9007

07/16/15 MODIFICATION #2
03/23/15 MODIFICATION 3
01/26/15 MODIFICATION 2
12/22/14 MODIFICATION
01/02/13 DRB SUBMITTAL 4
12/03/12 DRB SUBMITTAL 3
11/02/12 DRB SUBMITTAL 2
08/10/12 DRB SUBMITTAL
Rev: Date: Rev: Date:

LAKE STREET PLACE
112-150 LAKE STREET S
KIRKLAND, WA 98033

6TH FLOOR PLANS

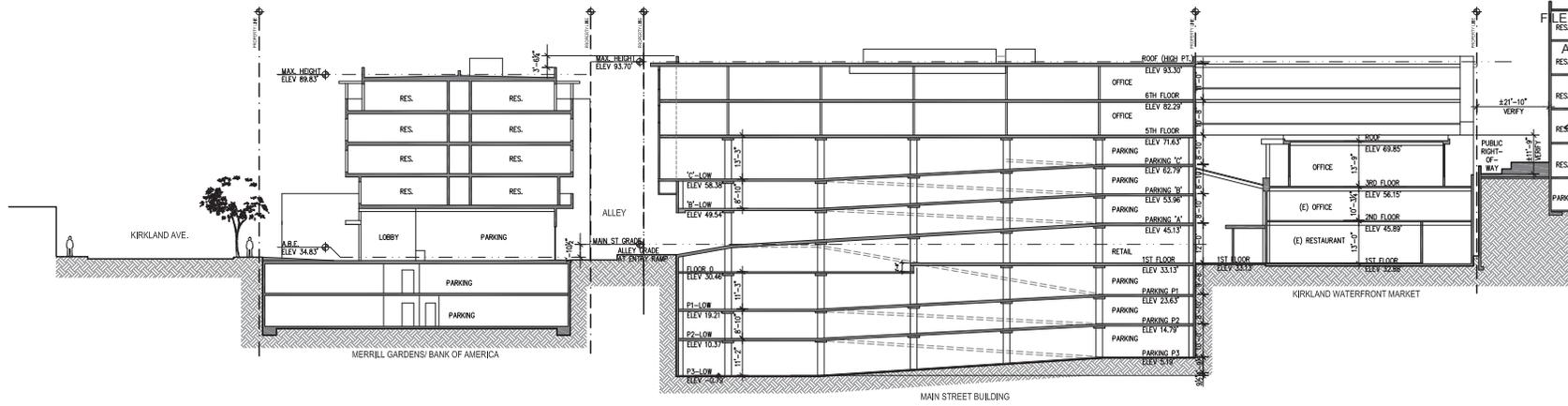
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Project No. 15 1105
Date: 07/30/12



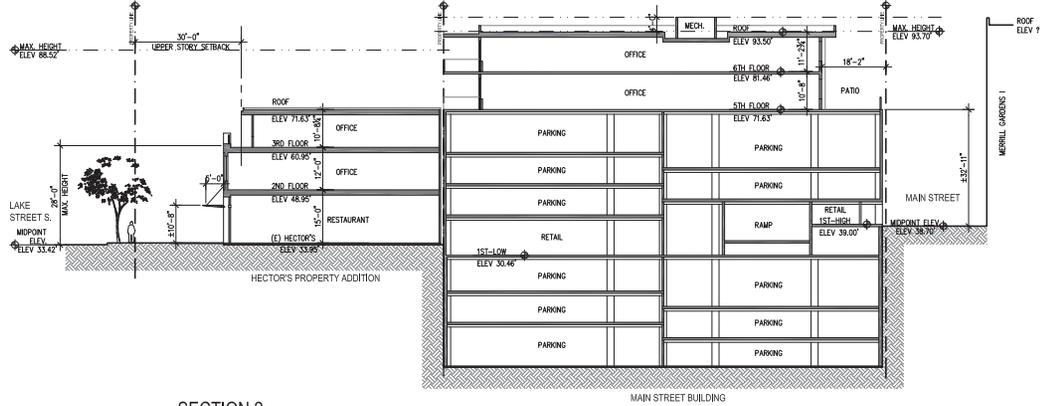
ROOF PLAN
 1/8" = 1'-0"

- 07/16/15 MODIFICATION #2
- 02/23/15 MODIFICATION 3
- 01/28/15 MODIFICATION 2
- 12/22/14 MODIFICATION
- 01/02/13 DRB SUBMITTAL 4
- 12/03/12 DRB SUBMITTAL 6
- 11/02/12 DRB SUBMITTAL 2
- 08/10/12 DRB SUBMITTAL

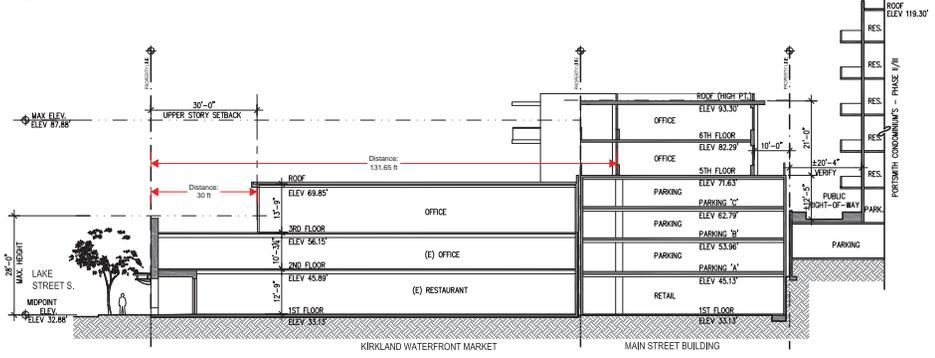
LAKE STREET PLACE
 112-150 LAKE STREET S
 KIRKLAND, WA 98033



SECTION 1
 1/16" = 1'-0"



SECTION 2
 1/16" = 1'-0"



SECTION 3
 1/16" = 1'-0"