



SW AERIAL PERSPECTIVE - APPROVED

N.T.S.

Rev.	Date	Revised
01/26/15		MODIFICATION 2
12/22/14		MODIFICATION 4
01/02/13		DRS SUBMITTAL 4
12/03/12		DRS SUBMITTAL 3
11/02/12		DRS SUBMITTAL 2
08/10/12		DRS SUBMITTAL 2



SW AERIAL PERSPECTIVE - MODIFIED

N.T.S.

LAKE STREET PLACE
 112-150 LAKE STREET S
 KIRKLAND, WA 98033

PERSPECTIVES

Sheet No.	4.1
Project No.	1105
Date:	07/30/12



NW AERIAL PERSPECTIVE - APPROVED

N.T.S.

Rev.	Date	Revision
01/26/15		MODIFICATION 2
12/22/14		MODIFICATION 1
01/02/13		DRS SUBMITTAL 4
12/03/12		DRS SUBMITTAL 3
11/02/12		DRS SUBMITTAL 2
08/10/12		DRS SUBMITTAL 1



NW AERIAL PERSPECTIVE - MODIFIED

N.T.S.

PERSPECTIVES

Sheet No. **4.2**
 Project No. 1105
 Date: 07/30/12

Rev.	Date	Revised
01/26/15		MODIFICATION 2
12/22/14		MODIFICATION 4
01/02/13		DRS SUBMITTAL 4
12/03/12		DRS SUBMITTAL 3
11/02/12		DRS SUBMITTAL 2
08/10/12		DRS SUBMITTAL 1



NE AERIAL PERSPECTIVE - APPROVED

N.T.S.



NE AERIAL PERSPECTIVE - MODIFIED

N.T.S.

LAKE STREET PLACE
112-150 LAKE STREET S
KIRKLAND, WA 98033

PERSPECTIVES

Sheet No. **4.3**
Project No. 1105
Date: 07/30/12

No.	Date	Revision
01/26/15		MODIFICATION 2
12/22/14		MODIFICATION
01/02/13		DRS SUBMITTAL 4
12/03/12		DRS SUBMITTAL 3
11/02/12		DRS SUBMITTAL 2
08/10/12		DRS SUBMITTAL



COURTYARD PERSPECTIVE FROM WEST - APPROVED

N.T.S.



COURTYARD PERSPECTIVE FROM WEST - MODIFIED

N.T.S.

PERSPECTIVES

Sheet No.	4.4
Project No.	1105
Date:	07/30/12

No.	Date	Revision
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12/22/14		MODIFICATION
01/02/13		DRS SUBMITTAL 4
12/03/12		DRS SUBMITTAL 3
11/02/12		DRS SUBMITTAL 2
08/10/12		DRS SUBMITTAL



LAKE STREET PERSPECTIVE FROM NORTH - MODIFIED

N.T.S.



LAKE STREET PERSPECTIVE FROM SOUTH - MODIFIED

N.T.S.

PERSPECTIVES

Sheet No.	441
Project No.	1105
Date:	07/30/12

01/26/15 MODIFICATION 2
 12/22/14 MODIFICATION
 01/02/13 DRB SUBMITTAL 4
 12/03/12 DRB SUBMITTAL 3
 11/02/12 DRB SUBMITTAL 2
 08/10/12 DRB SUBMITTAL
 Rev: Date: Rev: Date:



PUBLIC STAIR & MAIN STREET RETAIL SPACE - APPROVED

N.T.S.



ALLEY FROM MAIN STREET - APPROVED

N.T.S.



PUBLIC STAIR & MAIN STREET RETAIL SPACE - MODIFIED

N.T.S.

LAKE STREET PLACE
 112-150 LAKE STREET S
 KIRKLAND, WA 98033

PERSPECTIVES

Sheet No. **4.5**
 Project No. 1105
 Date: 07/30/12



ALLEY FROM MAIN STREET - MODIFIED

N.T.S.

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a r c h i t e c t u r e
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01/26/15 MODIFICATION 2
12/22/14 MODIFICATION
01/02/13 DRB SUBMITTAL 4
12/03/12 DRB SUBMITTAL 3
11/02/12 DRB SUBMITTAL 2
08/10/12 DRB SUBMITTAL
Rev. Date Revision

LAKE STREET PLACE
112-150 LAKE STREET S
KIRKLAND, WA 98033

PERSPECTIVES

Sheet No. **4.51**
Project No. 1105
Date: 07/30/12

No.	Date	Revision
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01/02/13		DRS SUBMITTAL 4
12/03/12		DRS SUBMITTAL 3
11/02/12		DRS SUBMITTAL 2
08/10/12		DRS SUBMITTAL 2



ALLEY PERSPECTIVE - APPROVED

N.T.S.



ALLEY PERSPECTIVE - MODIFIED

N.T.S.

PERSPECTIVES

Sheet No. **4.6**
 Project No. 1105
 Date: 07/30/12

Rev.	Date	Revision
01/26/15		MODIFICATION 2
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01/02/13		DRS SUBMITTAL 4
12/03/12		DRS SUBMITTAL 3
11/02/12		DRS SUBMITTAL 2
08/10/12		DRS SUBMITTAL 2



PUBLIC WALKWAY FROM TOP OF PUBLIC STAIR - APPROVED

N.T.S.



PUBLIC WALKWAY FROM TOP OF PUBLIC STAIR - MODIFIED

N.T.S.

PERSPECTIVES

Sheet No. **4.7**
 Project No. 1105
 Date: 07/30/12

No.	Date	Revision
01/26/15		MODIFICATION 2
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01/02/13		DRS SUBMITTAL 4
12/03/12		DRS SUBMITTAL 3
11/02/12		DRS SUBMITTAL 2
08/10/12		DRS SUBMITTAL 2



MSB & PUBLIC WALKWAY FROM SOUTH - APPROVED

N.T.S.



MSB & PUBLIC WALKWAY FROM SOUTH - MODIFIED

N.T.S.

LAKE STREET PLACE
 112-150 LAKE STREET S
 KIRKLAND, WA 98033

PERSPECTIVES

Sheet No. **4.8**
 Project No. 1105
 Date: 07/30/12

No.	Date	Revision
01/26/15		MODIFICATION 2
12/22/14		MODIFICATION 4
01/02/13		DRS SUBMITTAL 4
12/03/12		DRS SUBMITTAL 3
11/02/12		DRS SUBMITTAL 2
08/10/12		DRS SUBMITTAL 1



WEST FROM PORTSMITH COURTYARD - APPROVED

N.T.S.



WEST FROM PORTSMITH COURTYARD - MODIFIED

N.T.S.

PERSPECTIVES

Sheet No. **4.9**
 Project No. 1105
 Date: 07/30/12



Lake Street Place Project

Summary of changes:

Lot A:

The Kirkland Waterfront Market (KWM) building will be modified to remove the 20ft wide 4 story addition to the north side of the building. In lieu of the 20ft addition, we are reconfiguring the layout of the new stair and elevator into two separate “towers” with an expansion to the restaurant space at the 1st floor between the two towers.

Lot B:

The Hector’s building will be modified to remove the entire 4th floor and step the 3rd floor back from over the existing building at the north. The existing building will receive a rooftop deck and trellis to be accessed from the 3rd floor. This change significantly reduces the scale of the building. Also, the mechanical screen at the roof has been replaced with a “chimney” structure that is pulled back from the north roof edge.

Lot C:

The new Main Street Building will be modified to remove one floor of above grade parking and replace it with an additional floor of Office space to be similar to the look of the top floor. Also, there will be 3 new floors of below grade parking accessed from the previously approved garage entry. As a result, there is a reduction of Retail space at the first floor but preserves the loading dock and Main St Retail frontage. The upper story setback at Main Street has been reduced to approx. 18ft from the previously approved 22ft so that the 4th and 5th office floor columns can stack with the concrete columns in the parking garage. Finally, the east facing patio’s will drop to elevation 71.63’ (from 82.29’) thus reducing the height of the building façade facing Main St and the Portsmouth Condominiums.

Minor Modification Criteria:

1. The need for the modification was not known and could not reasonably have been known before the Design Review Board approval was granted.

The proposed modification is driven by further exploration of the design to accommodate a large commercial office tenant that will require more contiguous office space in the Main Street Building (MSB). The major change is two large office plates as opposed to one large plate and several small plates. This requirement was not anticipated at the time of DRB approval. Also, some smaller changes were the result of flushing out structural, mechanical and design requirements during the Construction Documents phase of the project.

2. The modification is minor and will not, in any substantial way, change the proposed development or violate any requirement imposed by the Design Review Board.

The modification while affecting all of the buildings are minor in nature and make the development better in many ways including reducing the overall massing while using the same materials and will not violate any requirements imposed by the DRB.

3. The development that will result from the modification will be consistent with the design regulations, design guidelines, and comprehensive plan.

The modification preserves the overall “look” of the previously approved design which was consistent with the design regulations, design guidelines and comprehensive plan as evident by the DRB approval. The modification further reduces scale/massing, increases upper story setbacks and building terracing and provides more parking while only slightly increasing the new gross area (less than 5%).

MSB - Upper Story Setback Calculation Old DRB Approval (01-24-13)

2/12/2015

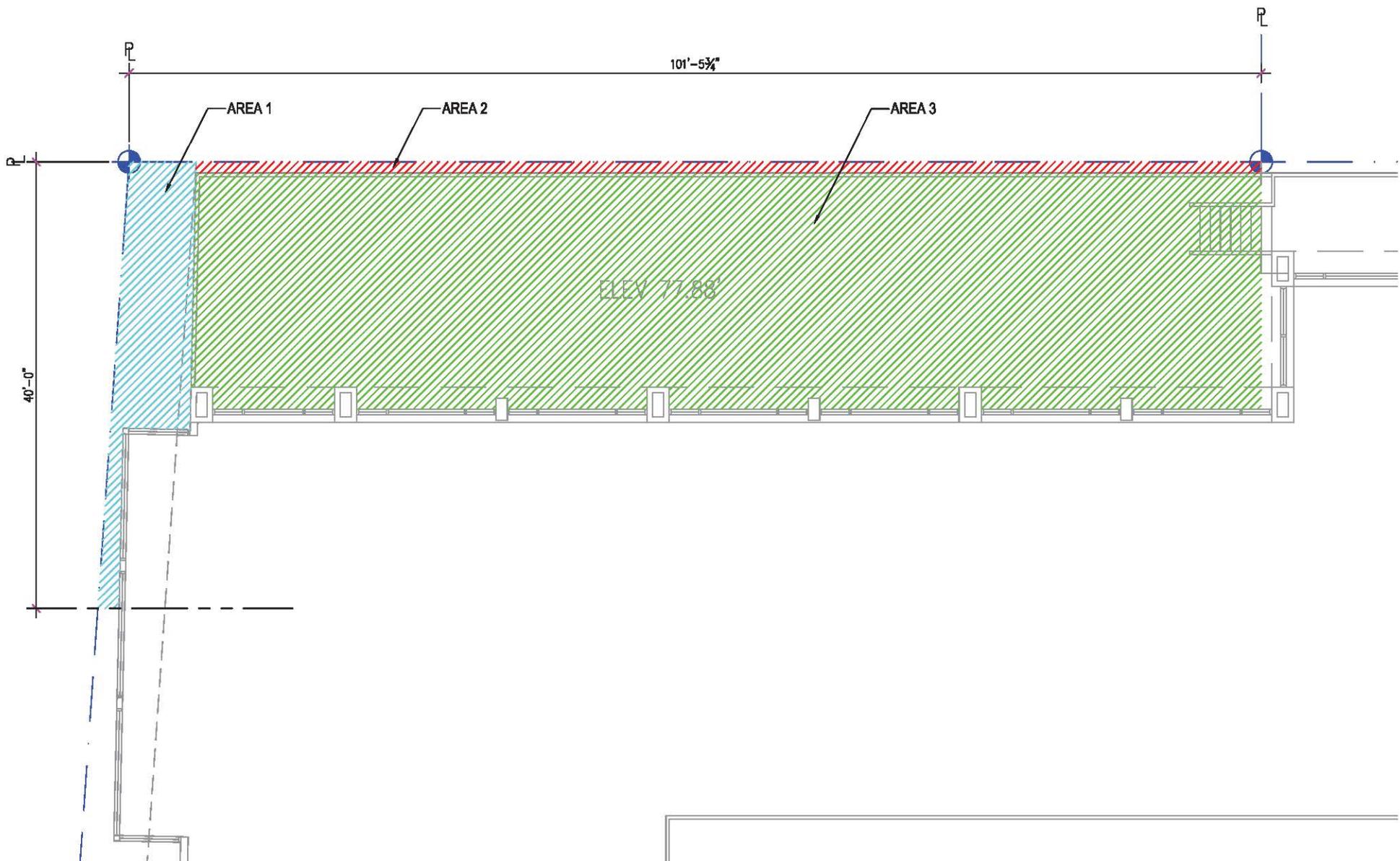
KZC 50.10.5

Upper story setback requirements are listed below. For purposes of the following regulations, the term "setback" shall refer to the horizontal distance between the property line and any exterior wall of the building. The measurements shall be taken from the property line abutting the street prior to any potential right-of-way dedication.

c: Third Street and Main Street: Within 40 feet of Third Street and Main Street, all stories above the second story shall maintain an average setback of at least 10 feet from the property line.

Required Setback	Feet	Required setback volume (cubic feet)	
Required average setback:	10.00	$10.00 * 101.48 * 33.09 =$	33,580
Right-of-way frontage:	101.48		
Height limit:	93.30		
Top of Second floor elevation:	60.21		
Height:	33.09		

Provided Setback		Provided setback volume (cubic feet)	
(See Diagram)			
Area 1: North bay setback			
Area:	181.98	$181.98 * 30.09 =$	6,022
Height limit:	93.30		
Top of Second floor elevation:	60.21		
Height:	33.09		
Area 2: East wall setback			
Area:	95.47	$95.47 * 30.09 =$	3,159
Height limit:	93.30		
Top of Second floor elevation:	60.21		
Height:	33.09		
Area 3: Office patio setback			
Area:	2007.44	$2007.44 * 15.42 =$	30,955
Height limit:	93.30		
Patio elevation:	77.88		
Height:	15.42		
TOTAL			40,136



OLD DRB UPPER STORY SETBACK DIAGRAM - 5TH FLOOR

MSB - Upper Story Setback Calculation

2/6/2015

KZC 50.10.5

Upper story setback requirements are listed below. For purposes of the following regulations, the term "setback" shall refer to the horizontal distance between the property line and any exterior wall of the building. The measurements shall be taken from the property line abutting the street prior to any potential right-of-way dedication.

c: Third Street and Main Street: Within 40 feet of Third Street and Main Street, all stories above the second story shall maintain an average setback of at least 10 feet from the property line.

Required Setback	Feet	Required setback volume (cubic feet)	
Required average setback:	10.00	$10.00 * 101.48 * 34.92 =$	35,437
Right-of-way frontage:	101.48		
Height limit:	93.30		
Top of Second floor elevation:	58.38		
Height:	34.92		

Provided Setback	Provided setback volume (cubic feet)		
(See Diagram)			

Area 1: North bay setback

Area:	169.25	$169.25 * 34.92 =$	5,910
Height limit:	93.30		
Top of Second floor elevation:	58.38		
Height:	34.92		

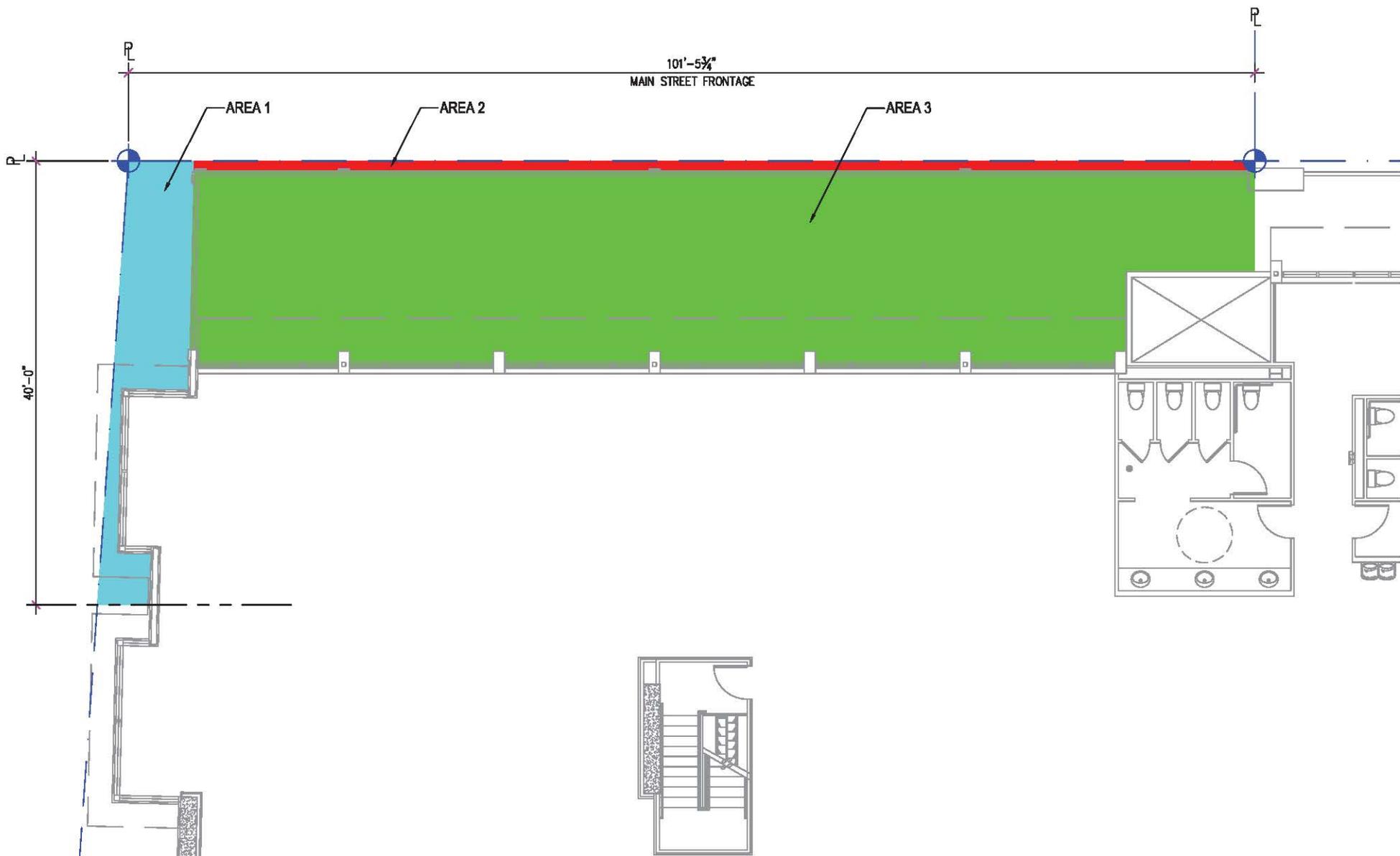
Area 2: East wall setback

Area:	79.71	$79.71 * 34.92 =$	2,783
Height limit:	93.30		
Top of Second floor elevation:	58.38		
Height:	34.92		

Area 3: Office patio setback

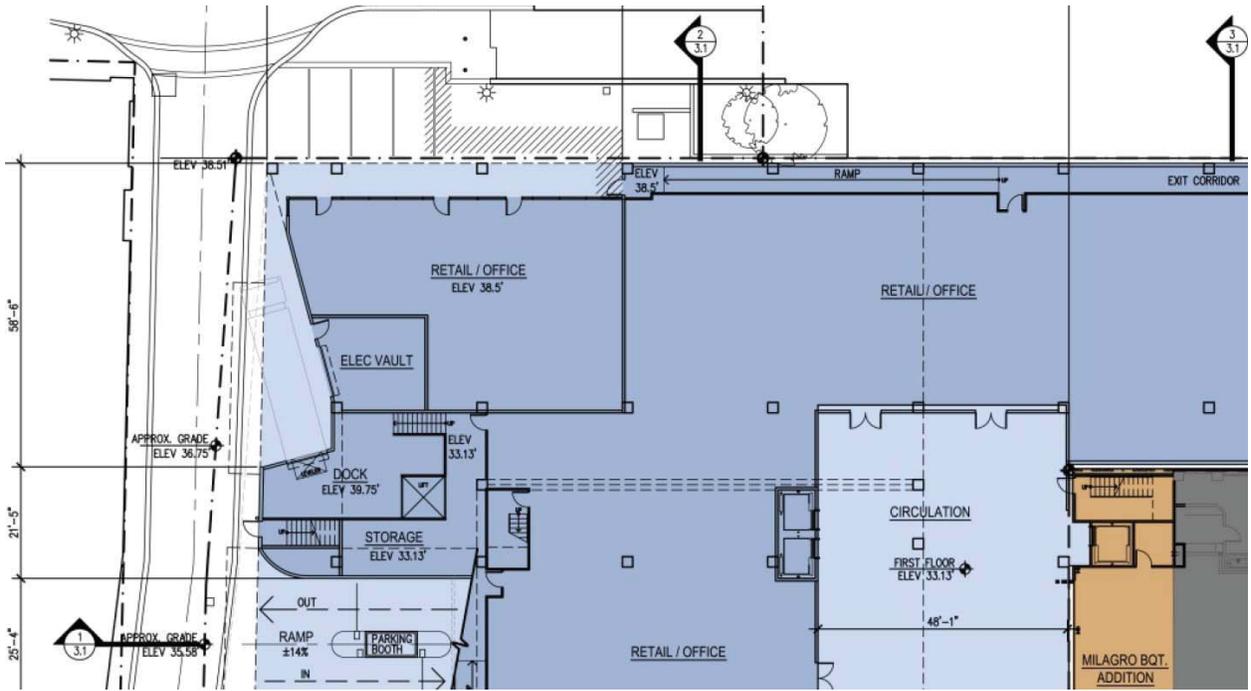
Area:	1598.84	$1598.24 * 21.67 =$	34,647
Height limit:	93.30		
Patio elevation:	71.63		
Height:	21.67		

TOTAL	43,341
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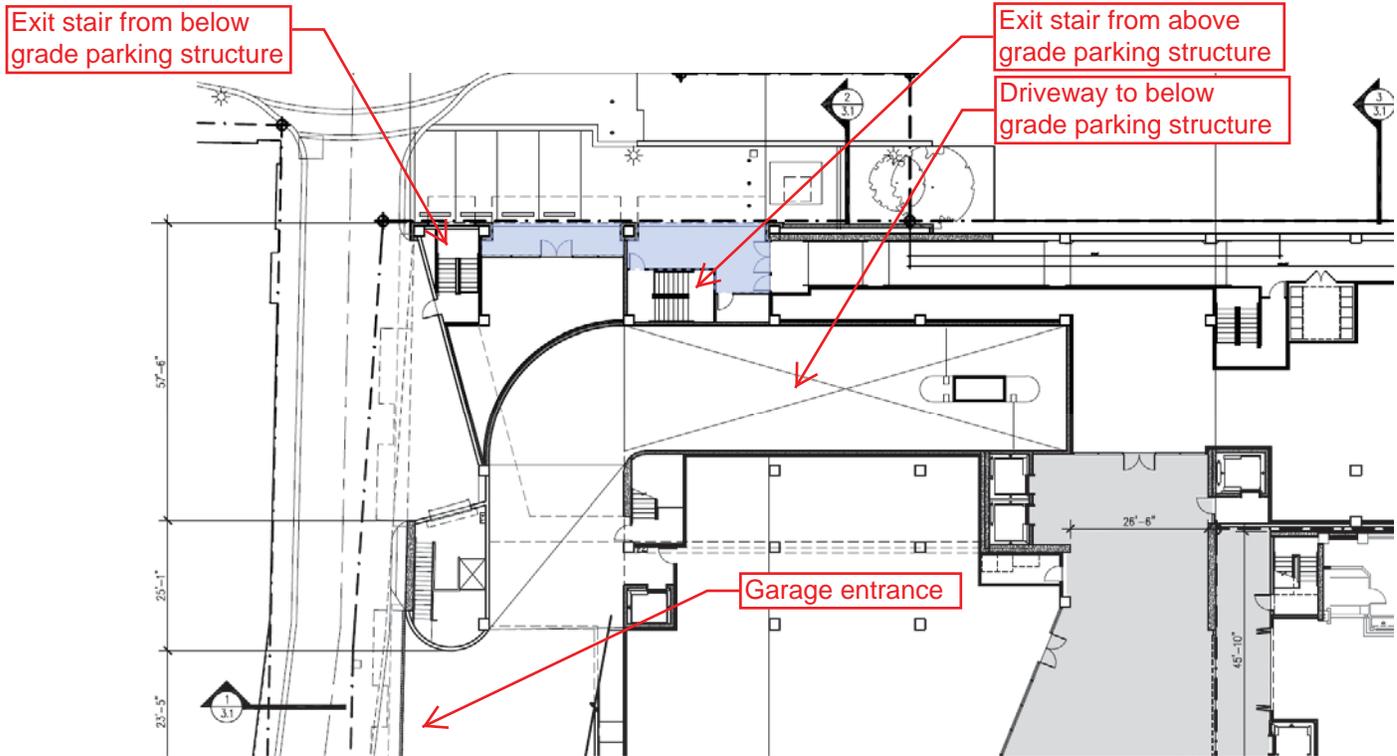


UPPER STORY SETBACK DIAGRAM - 5TH FLOOR

1/8" = 1'-0"



APPROVED DESIGN



PROPOSED MODIFICATION