



CITY OF KIRKLAND
Planning and Community Development Department
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www.kirklandwa.gov

MEMORANDUM

To: Design Review Board
From: Jon Regala, Senior Planner
Date: December 10, 2012
File No.: DRV12-00921
Subject: LAKE STREET PLACE - DESIGN RESPONSE CONFERENCE
(CONTINUED FROM NOVEMBER 19, 2012)

I. RECOMMENDATION

The DRB should continue their deliberation on the topics identified at their previous meeting (see Section III below). If, after deliberation, the DRB decides that the application is consistent with the Design Guidelines for Pedestrian Oriented Business Districts, the DRB should approve the project. The DRB may decide to continue the meeting to a future date if the DRB determines that additional information is needed to decide on the project.

II. BACKGROUND INFORMATION

The subject property is located at 112 and 150 Lake Street South (see Attachment 1). The applicant is Rick Chesmore, with Chesmore/Buck Architecture representing the property owner, Stuart McLeod. The following timeline summarizes the design review process to date for the project.

- October 1, 2012 - Conceptual Design Conference and Design Response Conference. The DRB provided feedback and direction provided to the applicant.
- November 19, 2012 – Design Response Conference continued. The DRB provided additional feedback and direction to the applicant. See *Section III – DRB Recommendations* below. The meeting was continued to December 17th.
- December 17, 2012 – Design Response Conference continuation.

Staff memos for the meetings listed above can be found at this web address on the City's website:

http://www.kirklandwa.gov/depart/Planning/DRB_Meeting_Information.htm

III. DRB RECOMMENDATIONS

The Design Review Board reviews projects for consistency with design guidelines for pedestrian-oriented business districts, as adopted in Kirkland Municipal Code Chapter 3.30. The subsections below summarize the DRB's comments sorted by topic as discussed at the November 19th meeting and are followed by a brief analysis by staff. The DRB asked the applicant to address remaining concerns regarding the Main Street Building's north, east, and south elevations. The DRB also requested that a landscape and lighting plan be submitted for their review.

The applicant's written response to the DRB's recommendations can be found in Attachment 2. The associated drawings can be found in Attachment 3. The design guideline basis and/or zoning regulation for the DRB's recommendations have also been included below for reference.

A. Building Massing/Parking Garage – Main Street Building

1. DRB Recommendation. The DRB agreed that the Lake Street South façade and courtyard results in a successful design. The DRB liked that the building immediately south of Hector's was set back an additional 15' for a total of 25' from the property line. This move helped create more openness near the sidewalk, reduced building scale, and improved pedestrian flow into the main courtyard area. The 3rd and 4th story of this building was set back 30'.

However, the DRB still had some concerns regarding the Main Street Building (easternmost building) that revolve around the large scale of the north, east, and south elevations relative to the adjoining properties. These elevations enclose the multi-level parking garage. The DRB liked this design change along with removing the roof deck parking. However, due to the over-scaled appearance of these facades, the DRB asked the applicant to further explore reducing the building scale by incorporating building material changes and providing additional detailing and articulation to these facades.

The DRB suggested that the applicant submit several design options for each facade in question as a tool to help provide feedback and make a decision on the final design. The DRB also asked that the applicant utilize the existing color and materials palette when exploring design solutions for these facades.

2. Staff Comment. The applicant has submitted a response to the DRB's recommendations (see Attachments 2 and 3). The DRB should review the façade design options in Sheets 5.0 and 5.1 and provide feedback to the applicant regarding a preferred option.
3. Supporting Design Guidelines – Building Massing & Parking Garage. Below are guidelines that relate to Building Massing and Parking Garages as found in Design Guidelines for Pedestrian Oriented Business Districts (adopted by KMC Section 3.30.40).
 - *Blank walls should be avoided near sidewalks, parks, and pedestrian areas. Where unavoidable, blank walls should be treated with landscaping, art, or other architectural treatments.*
 - *Vertical building modulation should be used to add variety and to make large buildings appear to be an aggregation of smaller buildings.*
 - *Horizontal building modulation may be used to reduce the perceived mass of a building and to provide continuity at the ground level of large building complexes.*
 - *Because land is limited in Downtown Kirkland, efficient and compact parking lot configurations are a top priority. Parking lots in the periphery of the core area that accommodate about 100 vehicles (approximately 3/4 to 1 acre) should be articulated with landscaped berms.*

- *The intrusive qualities of parking garages must be mitigated. In pedestrian areas, ground-level retail uses or appropriate pedestrian spaces should be required. Also, extensive landscaping should be required near residential areas and in high visibility locations. On hillsides and near residential areas the stepping back or terracing of upper stories should be considered to reduce scale.*
- *Garages built on Downtown Kirkland's perimeter slopes, near residential areas, or near the waterfront can fit less obtrusively into the landscape when terraced. Treatment of the facade of the parking structure can be just as effective in mitigating the visual impacts of parking garages as pedestrian-oriented businesses, plazas, or landscaped setbacks at the ground level.*

B. Landscape & Lighting Plan

1. DRB Recommendation. The applicant should include a detailed landscape plan for review by the DRB. Landscaping should be placed in areas to help mitigate building massing and improve the pedestrian experience along the project frontages. Other opportunities for landscaping should include areas to enhance the central courtyard area and upper story terraces. The area between the Portsmouth stairs and the building should be thoughtfully designed. Careful selection of plant species should be used at the rooftop deck level to be considerate of neighboring views.

Lighting should be placed at appropriate locations in order to provide for pedestrian safety and security.

2. Staff Comment. The applicant submitted a landscape and lighting plan with the recent revisions (see Attachment 3, Sheets L1.0 to L1.4). These plans also include the sidewalk details along Lake Street and the courtyard area. The DRB should review the landscape and lighting plan at the meeting. The DRB should also provide feedback on the sidewalk configuration shown on Sheet L1.1.

The DRB should note that the courtyard plan in Sheet L1.1 is different from the perspective drawings and Sheets 1.0, 1.1, and 2.0. The applicant has confirmed that the courtyard and sunroom design in Sheet L1.1 is the preferred layout. The DRB should therefore deliberate on Sheet L1.1.

Landscape Plan Sheet L1.4 also shows landscaping located on the adjoining Portsmouth property within the public walkway. The landscaping is proposed in order to help buffer a portion of the parking garage's east wall that faces the Portsmouth condos. The DRB should however consider whether the façade treatment is satisfactory without the landscaping improvements since approval from Portsmouth has not formally been granted. If Portsmouth agrees to the improvements, the applicant should submit approval from Portsmouth in writing granting the installation of the proposed improvements. The agreement should also specify maintenance responsibilities of the proposed improvements.

In terms of improvements that may be placed in the Main Street right-of-way (near the Portsmouth stairway), Public Works would allow landscape planter areas but nothing built-up and made of concrete. Public Works would have to approve a landscape planter area on a case-by-case basis. The applicant has proposed landscaping in this area as shown on Landscape Plan Sheet L1.4.

3. Supporting Regulation/Guideline. The landscape plan should be approved as part of the Design Review process as required in KZC Chapter 95.

In regards to lighting: *All buildings should be well lit. Building facades in pedestrian areas should provide lighting to walkways and sidewalks through building-mounted lights, canopy or awning-mounted lights, and display window lights. Encourage variety in the use of light fixtures to give visual variety from one building façade to the next. Back-lit or internally-lit translucent awnings should be prohibited.*

In regards to sidewalks: *New buildings should be set back a sufficient distance from the front property line a minimum of 10' to allow enough room for pedestrian movement. Wider setbacks should be considered to accommodate other sidewalk uses that would benefit their businesses and the pedestrian environment. Lighting and special paving of the storefront activity zone are also beneficial.*

IV. PUBLIC COMMENT

Prior to the finalization and distribution of this staff memo on December 10, 2012, several public comment emails/letters were received by staff. The emails/letters have been included in Attachment 4. To provide additional background information to the DRB, staff has responded to the questions asked in the Rohrback letter as they relate to the Zoning Code.

1. Comment/question: The construction of the largest building complex in Kirkland's downtown is not in keeping with anything else even remotely close to this location. *Why would the Board even consider such a possibility?* It is larger than any other building, even the large office structures in Park Place. The proposed 82,000 square foot building essentially places a Costco-sized structure, crammed into our midst.

Staff Response: The CBD 1B use zone chart contains the basic development standards for development on the subject property which allows for 55' tall buildings with 0' setbacks at the ground floor and regulations for upper story setbacks (see Attachment 5). For reference on the project's size, the following chart provides the square footage information of neighboring development. The information was obtained from the City's permitting system. Also included is the approximate size of the new Lake Street Place project.

DEVELOPMENT NAME	BUILDING AREA (does not include below grade parking area)
Bank of America/The 101	83,525 sq. ft.
Merrill Gardens	136,743 sq. ft.
Portsmith	Phase I – 79,680 sq. ft. Phase II & III – 124,866 sq. ft. Total – 204,546 sq. ft.
Heathman	73,064 sq. ft. (includes daylight basement)
Kirkland Central	127,099 sq. ft.
<i>Lake Street Place - Proposed</i>	<i>New building area – 79,151 sq. ft. New above-grade garage – 83,800 sq. ft. Existing building area – 26,635 sq. ft. Total – 189,586</i>

2. Comment/Question: The building relies on a massive parking garage which, despite its girth, does not even satisfy the needs of the building itself, forcing office workers, shopkeepers, restaurateurs, visitors and patrons to vie for the limited parking in the Lake Street/Kirkland Ave vicinity. *Why is this not a significant issue for the Board?*

Staff Response: The number of required parking spaces is dictated by the zoning code. Staff will confirm compliance with the building permit review for the project. Above-ground parking garages are not prohibited in the Downtown. However, the DRB is required to ensure that the garage is consistent with design guidelines that seek to mitigate the visibility of such parking structures.

3. Comment/Question: From my continued reading, the proposal is in fact in keeping with the zoning regulations, although I still contend if you push every zoning constraint to the max, the project may be compliant with the letter but not with the spirit of the regulatory intent. The addendum to this is the apparent lack of concern about following the Comprehensive Plan for Kirkland. *Is this Board only concerned with zoning and not at all with the plan? Have I misjudged the Board's mission and responsibility?*

Staff Response: KZC Section 142.35.3 requires that the Design Review Board review projects for consistency with the Design Guidelines for Pedestrian Oriented Business Districts, as adopted in Chapter 3.30 of the Kirkland Municipal Code. The DRB does not use the Comprehensive Plan in their review.

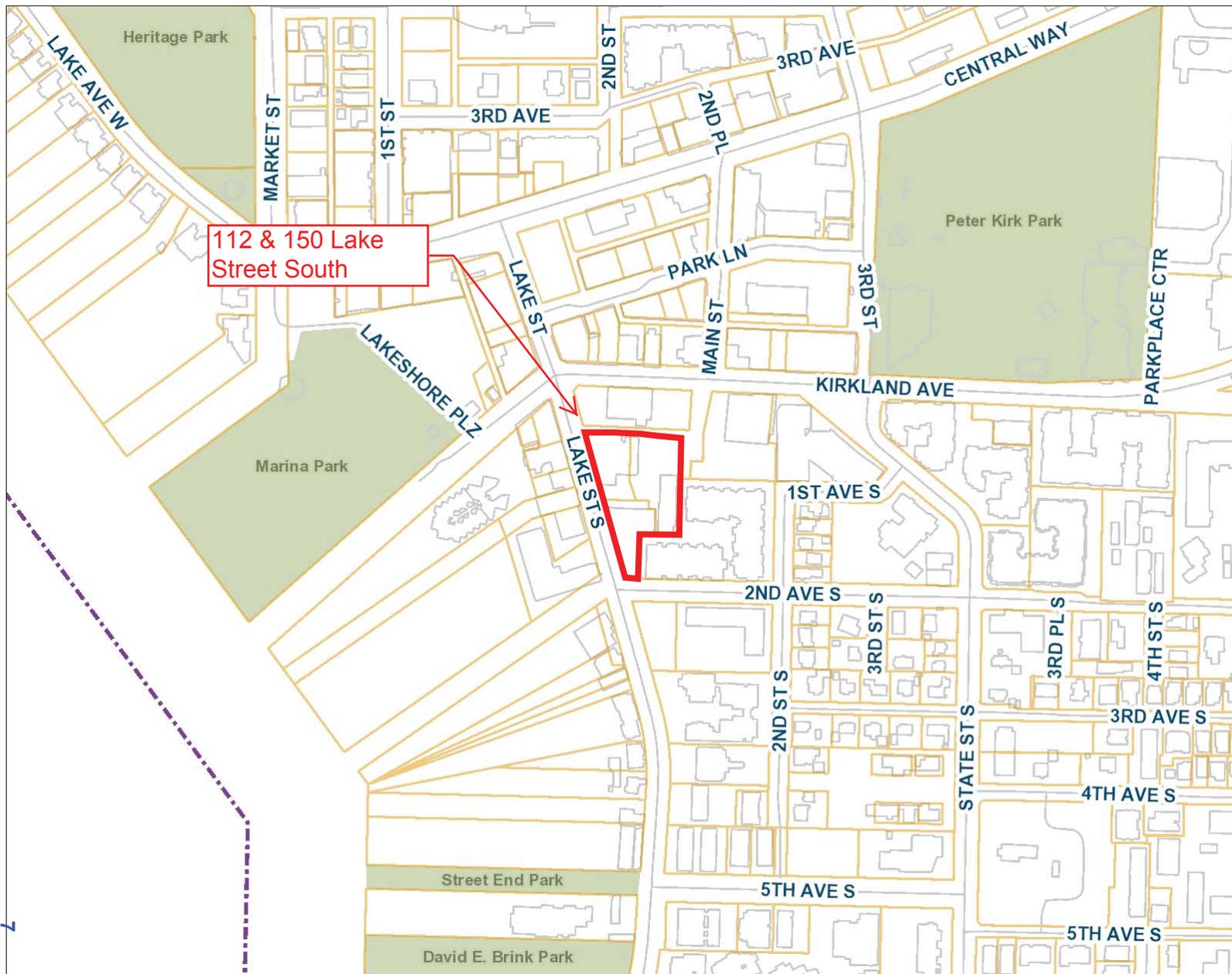
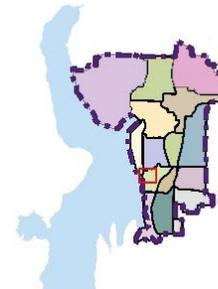
V. ATTACHMENTS

1. Vicinity Map
2. Applicant Written Response
3. Revised Drawings
4. Public Comment
5. CBD 1B Use Zone Chart

CC Via Email: Parties of Record in File No. DRV12-00921



GIS MAPPING PORTAL ~ City of Kirkland, Washington ~ Department of Information Technology



Legend

- City Limits
- Railroad
- Streets
- Parcels
- Buildings
- Parks
- Schools

1:4,444



Notes

Project Area Map

0.1 0 0.07 0.14 Miles

NAD_1983_StatePlane_Washington_North_FIPS_4601_Feet
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No warranties of any sort, including but not limited to accuracy, fitness or merchantability, accompany this product.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

ATTACHMENT 1
DRV12-00921



Lake Street Place Project

Response to November 19th Design Response Conference:

Project Description (Updated):

The nature of the Lake Street Place project is threefold: add office area to the existing Kirkland Waterfront Market building, remodel and expand the existing Hector's restaurant building and construct a new parking garage with integrated retail and office uses.

Lot A:

The Kirkland Waterfront Market (KWM) building is proposed to add two new floors above the northern portion of the existing building and a 20ft wide 4 story addition to the north side of the existing building. This new space will provide an additional 950 sf of restaurant space at the first level and an additional approx. 13,400 sf of office space above the first and second floor levels.

Lot B:

The Hector's building is proposed to expand and provide approx. 6,950 sf of new restaurant space on the first floor, approx. 8,150 sf of new office space on the 2nd floor, and approx. 8,150 sf of new office space on each of the 3rd and 4th floors. We propose to keep the original portion of the Hector's building and a modified portion of the previously approved two story street façade along Lake Street from our DRB approval in 2009.

Lot C:

The new Main Street building is proposed to be built over the existing parking lot behind the expanded Hector's building and Kirkland Waterfront Market buildings. It is proposed to provide approx. 15,401 sf of retail, and/or office space on the first floor, provide approx. 252 parking stalls on 4 tiers of above grade parking and be topped by approx. 18,000 sf of office space. This building will provide parking required for all three lots and buildings. In addition, a pedestrian retail/restaurant experience will be created in a courtyard between the expanded Hector's building and KWM leading to the retail spaces and elevator lobby of the Main Street building.

Lake Street Place Project

Response to the November 19th Design Response Conference:

After aggressively modifying the building program to address the initial Design Review Comments from the October 1st Design Response Conference (DRC) we primarily concentrated our recent design refinements for the December 17th DRC to elevation and material studies for the Main Street Building and to the proposed landscape and site lighting plans for the project.

The following are adjustments to the project scope in response to the November 19th DRC Conference:

Main Street Building (North Elevation at Alley)-

- We have developed three different elevation and material studies for DRB review. We developed different building modulation ideas for the two bays and various color options. Please refer to sheet 5.1 for these options.
- We are also showing a scoring pattern at the concrete wall base.

Main Street Building East and South Facades-

- We reviewed the east elevation and show two different options where we treat the southeast façade at the Portsmouth Public walkway differently than the northeast façade adjacent to Merrill Gardens Phase I building. We are showing different material uses at the façade- smaller scale materials at the public walkway and varied horizontal elements adjacent to the public right of way at Main Street.

- We have been in discussions with the Portsmouth condominiums and have agreed to add to the existing planters along the base of the new Main Street Building at the public walkway to add a softened edge and foliage along the base of the wall. The planter height of 30" plus the hedge height of 6' shortens the height of the visible wall area to 14' or so down from the overall wall height of 22' before the 10' setback from the property line at the top floor.
- The two options at the south elevation responds to the changes made to the exterior elevation at the public walkway or the southeast elevation. Please review sheet 5.0.

Landscaping and Site Lighting-

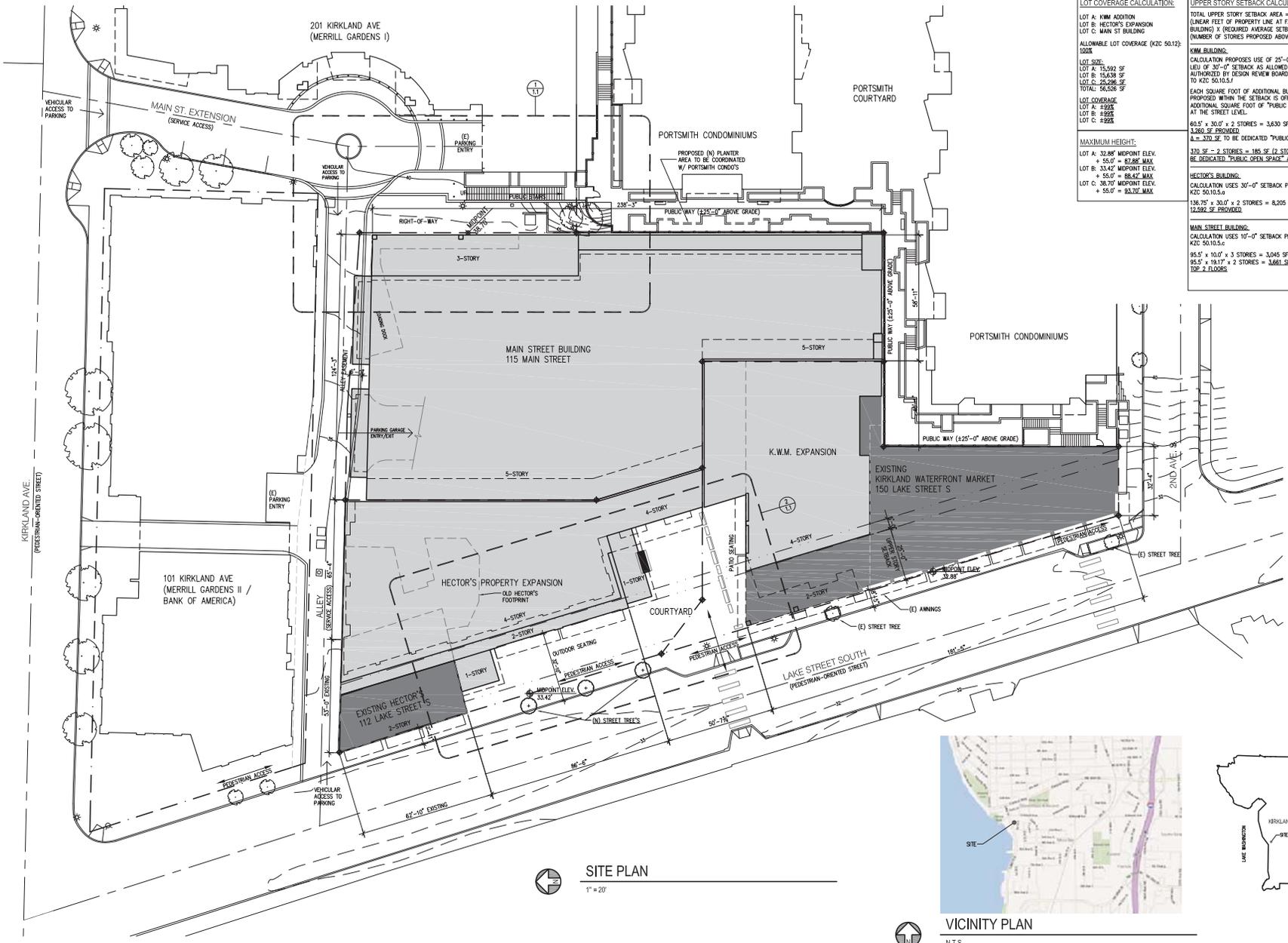
- We have provided landscape and lighting plans for the various areas of the site. Sheet L1.0 shows the overall Landscape plan with highlighted areas for enlarged drawing sheets of each area.
- The courtyard and frontage improvements are shown on sheet L1.1. The typical courtyard planters are 3' x 3' moveable planters that allow for flexibility for the courtyard space. We are showing a 12" wide concrete border with an infill of 8" x 8" colored courtyard pavers with intermittent areas of IPE wood accents to define the main pedestrian walkway from Lake Street to the tenants and parking garage elevators located on the east side of the main floor plan. All other areas will be 8'x8' scored colored concrete slab-on-grade. A row of planters and benches will become the barrier between the Milagro outdoor seating area and the public walkway.
- The western roof deck landscape plan is shown on sheet L1.2. We plan on installing perimeter landscape planters at the edges of the decks. A landscape planter is designed next to the mechanical equipment screen on the north side of the building with uplights on the trees. The primary lighting for the upper floor decks will be downlighting along the western façade of the upper floor office space. Low sidewall downlights are designed at the stairwells.
- The eastern roof deck landscape plan is shown on sheet L1.3. We plan to install planters and planter pots on the perimeter of the concrete pedestal pavers and next to the guardrail. This should provide a soft edge to the upper floor terrace. The lighting for these terraces will be low sidewall downlights washing the terrace surface.
- The Main Street frontage landscape plan is shown on sheet L1.4. After discussion with the City of Kirkland Public Works Department it has been determined that we are not allowed to place "permanent" planters in the Public Right of Way. Therefore, we plan on placing planters as shown on the landscape plan. We placed planters at the base of the building next to the retail area and also a planter along the base and perimeter of the public stair and screening the existing electrical transformer. Lighting in this area will consist of downlights in the soffit in front of the retail façade. There are 2 existing standard COK lighting bollards lighting the public stair that will remain.
- The Portsmouth public walkway landscape plan is shown on sheet L1.4. We have agreed to extend the planter along the west edge of the walkway and along the base of the new Main Street building. Lighting in this area will match the existing low downlight cast into the planter walls that provide a soft light on the walking surface. We also plan to provide uplights to wash the new trees in the new planter.

Lake Street Place

Kirkland, WA

Design Response Conference 3





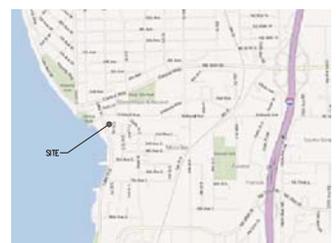
<p>LOT COVERAGE CALCULATION: LOT A: N.W. ADDITION LOT B: HECTOR'S EXPANSION LOT C: MAIN ST BUILDING</p> <p>ALLOWABLE LOT COVERAGE (KCC 50.12): 100%</p> <p>LOT SIZE: LOT A: 15,392 SF LOT B: 15,638 SF LOT C: 25,296 SF TOTAL: 56,326 SF</p> <p>LOT COVERAGE: LOT A: 89% LOT B: 89% LOT C: 92%</p> <p>MAXIMUM HEIGHT: LOT A: 32.88' MIDPOINT ELEV. + 55.0' = 87.88' MAX. LOT B: 33.42' MIDPOINT ELEV. + 55.0' = 88.42' MAX. LOT C: 38.70' MIDPOINT ELEV. + 55.0' = 93.70' MAX.</p>	<p>UPPER STORY SETBACK CALCULATION: TOTAL UPPER STORY SETBACK AREA = (LINEAR FEET OF PROPERTY LINE AT FACE OF BUILDING X REQUIRED AVERAGE SETBACK X NUMBER OF STORES PROPOSED ABOVE 2ND STORY)</p> <p>K.W.M. BUILDING: CALCULATION PROPOSES USE OF 25'-0" SETBACK IN LIEU OF 30'-0" SETBACK AS ALLOWED IF AUTHORIZED BY DESIGN REVIEW BOARD PURSUANT TO KCC 50.10.5.1</p> <p>EACH SQUARE FOOT OF ADDITIONAL BUILDING AREA PROPOSED WITHIN THE SETBACK IS OFFSET WITH AN ADDITIONAL SQUARE FOOT OF "PUBLIC OPEN SPACE" AT THE STREET LEVEL.</p> <p>60.5' x 30.0' x 2 STORES = 3,630 SF REQUIRED A = 370.5' TO BE DEDICATED "PUBLIC OPEN SPACE"</p> <p>370.5' - 2 STORES = 185 SF (2 STORES HIGH) TO BE DEDICATED "PUBLIC OPEN SPACE" AT COURTYARD.</p> <p>HECTOR'S BUILDING: CALCULATION USES 30'-0" SETBACK PER KCC 50.10.5.1 136.75' x 30.0' x 2 STORES = 8,205 SF REQUIRED 17,292 SF PROVIDED.</p> <p>MAIN STREET BUILDING: CALCULATION USES 10'-0" SETBACK PER KCC 50.10.5.1 95.5' x 10.0' x 3 STORES = 3,045 SF REQUIRED 95.5' x 19.17' x 2 STORES = 3,661 SF PROVIDED AT TOP 2 FLOORS.</p>
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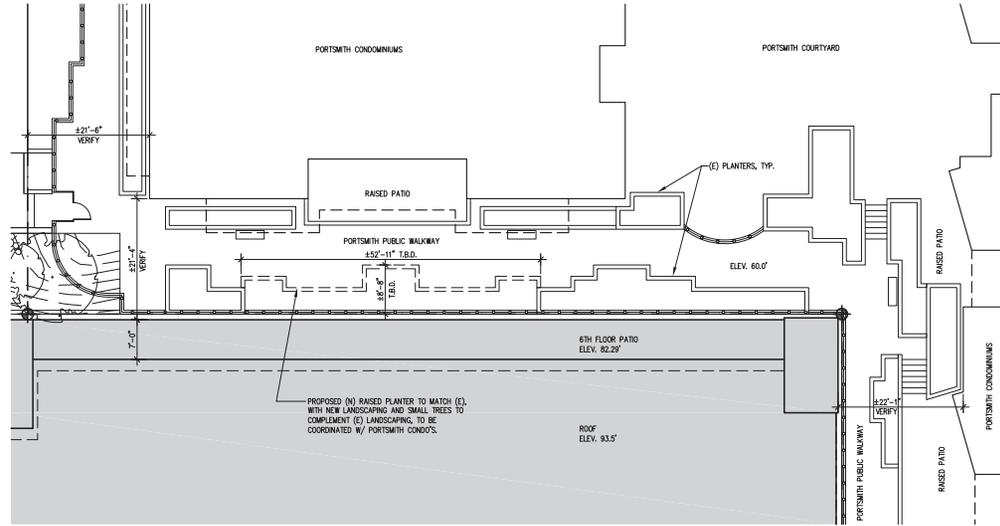
12/03/12 DRB SUBMITTAL 3
 11/02/12 DRB SUBMITTAL 2
 08/10/12 DRB SUBMITTAL 1
 File Date: _____

LAKE STREET PLACE
 112-150 LAKE STREET S
 KIRKLAND, WA 98033

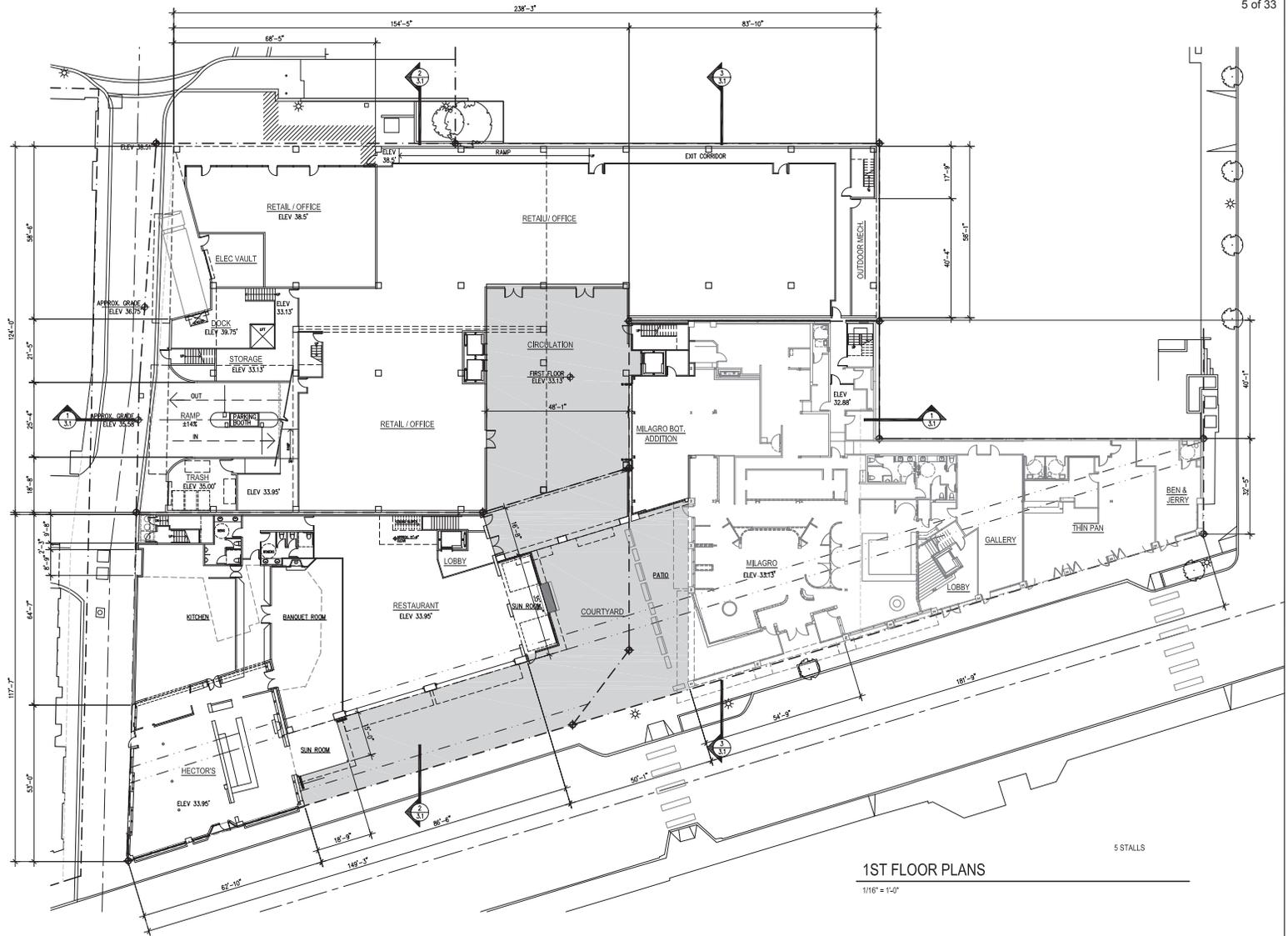
SITE PLAN
 1" = 20'

VICINITY PLAN
 N.T.S.





1 ENLARGED PORTSMOUTH PUBLIC WALKWAY
 1" = 10'

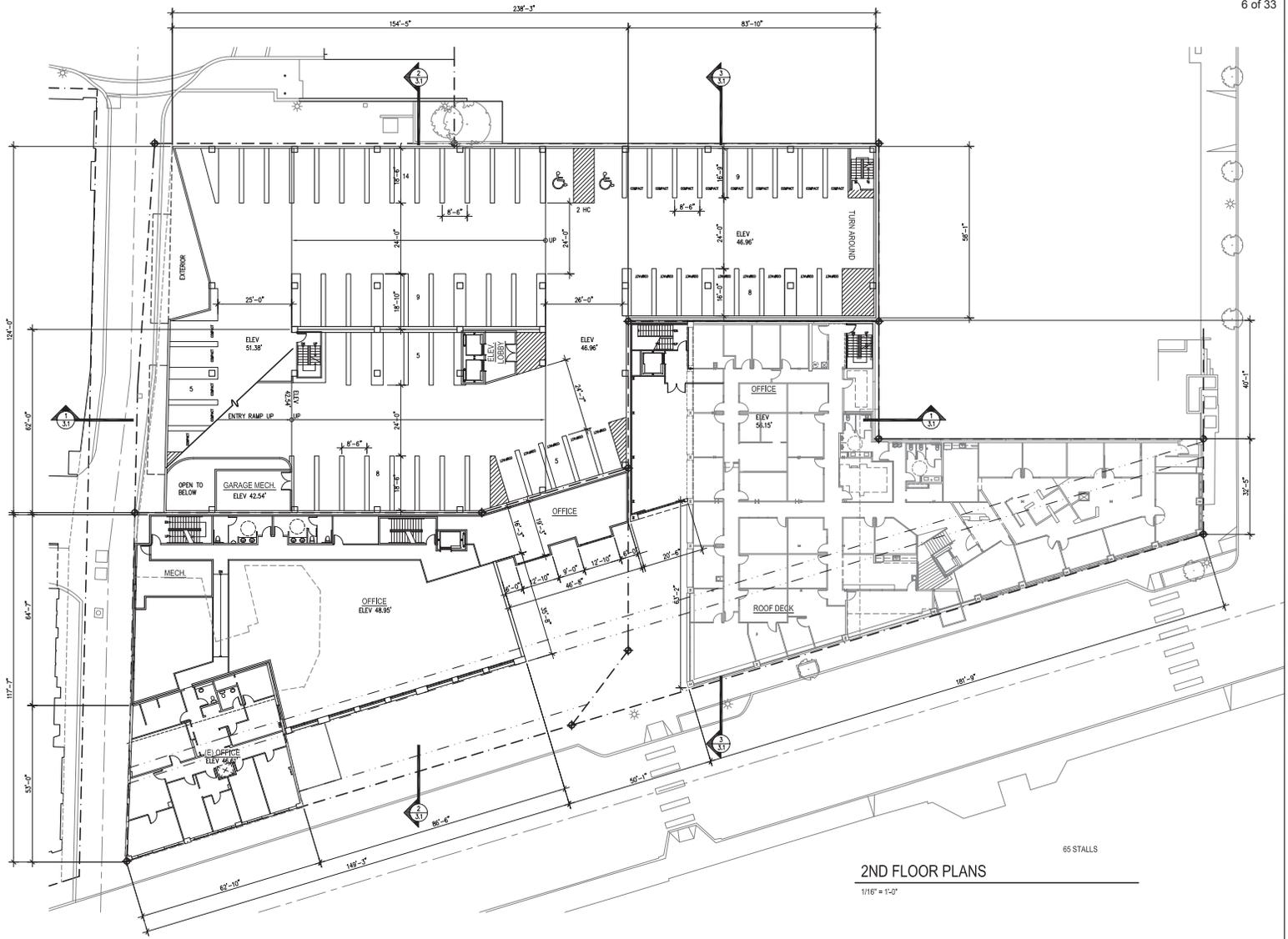


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 08/10/12 DRB SUBMITTAL 1
 File: Date: Revision:

LAKE STREET PLACE
 112-150 LAKE STREET S
 KIRKLAND, WA 98033

1ST FLOOR PLANS

Sheet No. **2.0**
 Project No. 1105
 Date: 07/30/12



2ND FLOOR PLANS

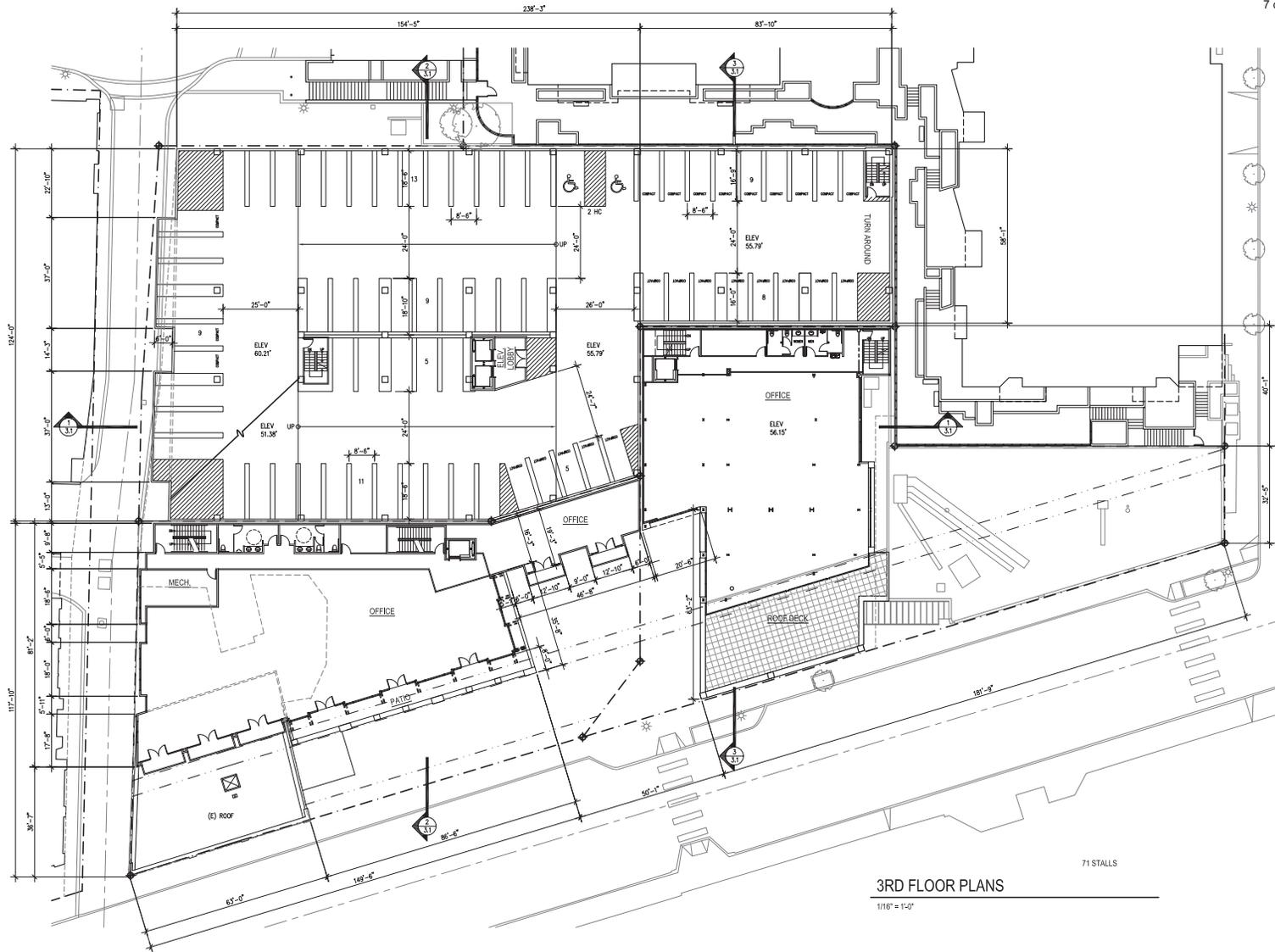
1/16" = 1'-0"

65 STALLS

LAKE STREET PLACE
 112-150 LAKE STREET S
 KIRKLAND, WA 98033

2ND FLOOR
 PLANS

Sheet No. **2.1**
 Project No. 1105
 Date: 07/30/12

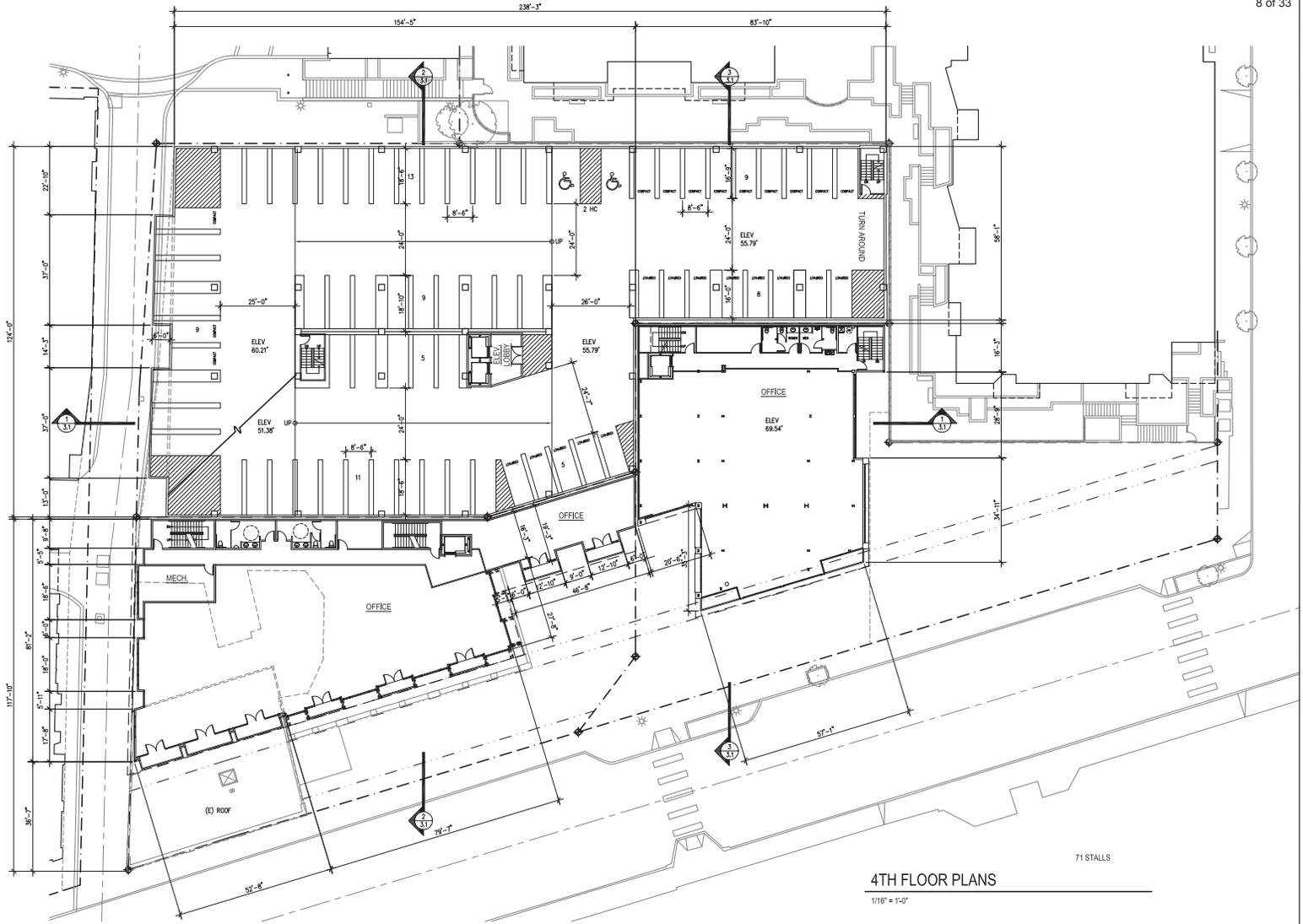


12/03/12 DRS SUBMITTAL 3
 11/02/12 DRS SUBMITTAL 2
 08/10/12 DRS SUBMITTAL 1
 Rev. Date: Rev. Rev. Rev.

LAKE STREET PLACE
 112-150 LAKE STREET S
 KIRKLAND, WA 98033

3RD FLOOR PLANS

Sheet No. **2.2**
 Project No. 1105
 Date: 07/30/12



4TH FLOOR PLANS

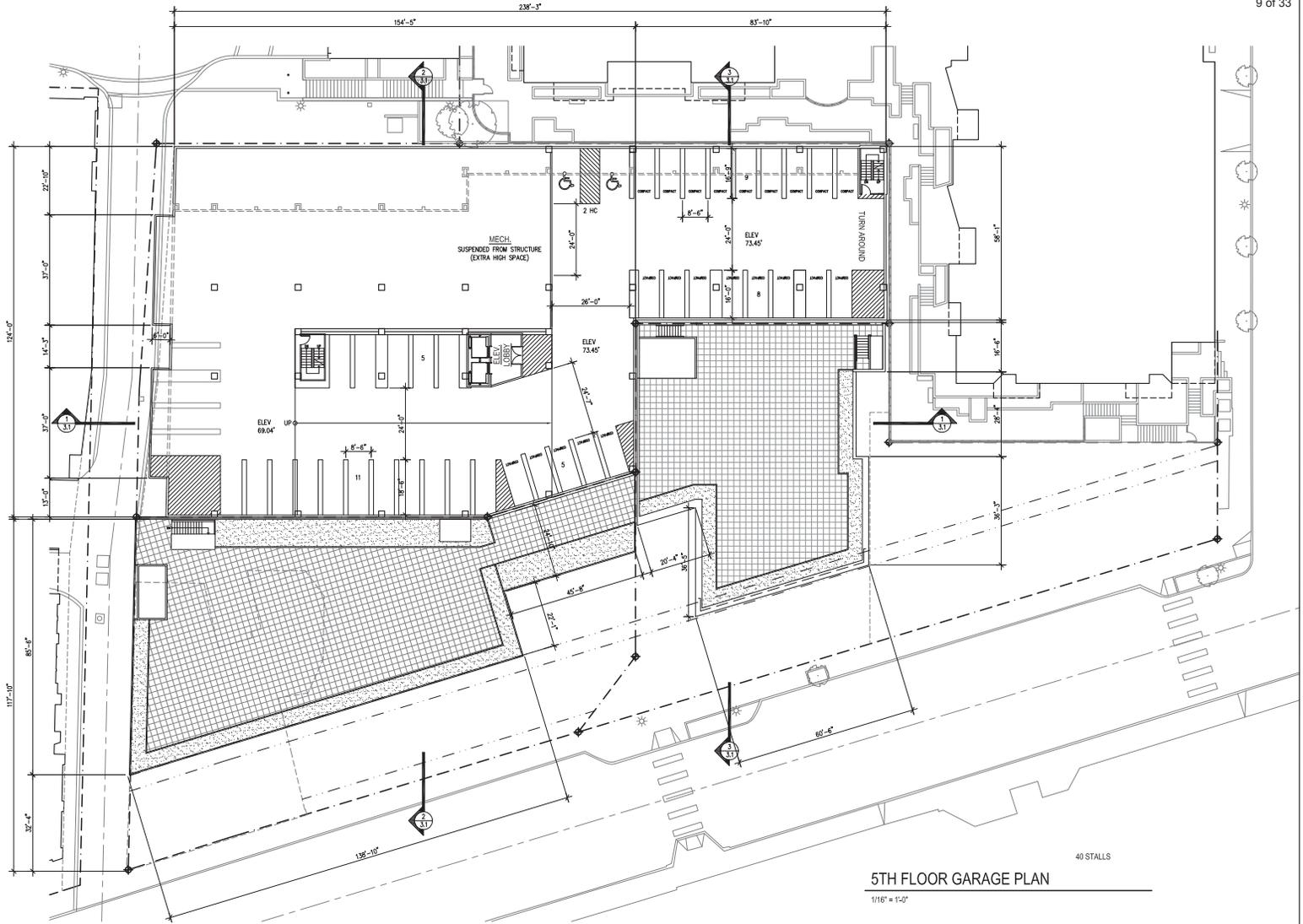
1/16" = 1'-0"

12/03/12 DRB SUBMITTAL 3
 11/02/12 DRB SUBMITTAL 2
 08/10/12 DRB SUBMITTAL 1
 Rev. Date Revision

LAKE STREET PLACE
 112-150 LAKE STREET S
 KIRKLAND, WA 98033

4TH FLOOR PLANS

Sheet No. **2.3**
 Project No. 1105
 Date: 07/30/12



5TH FLOOR GARAGE PLAN

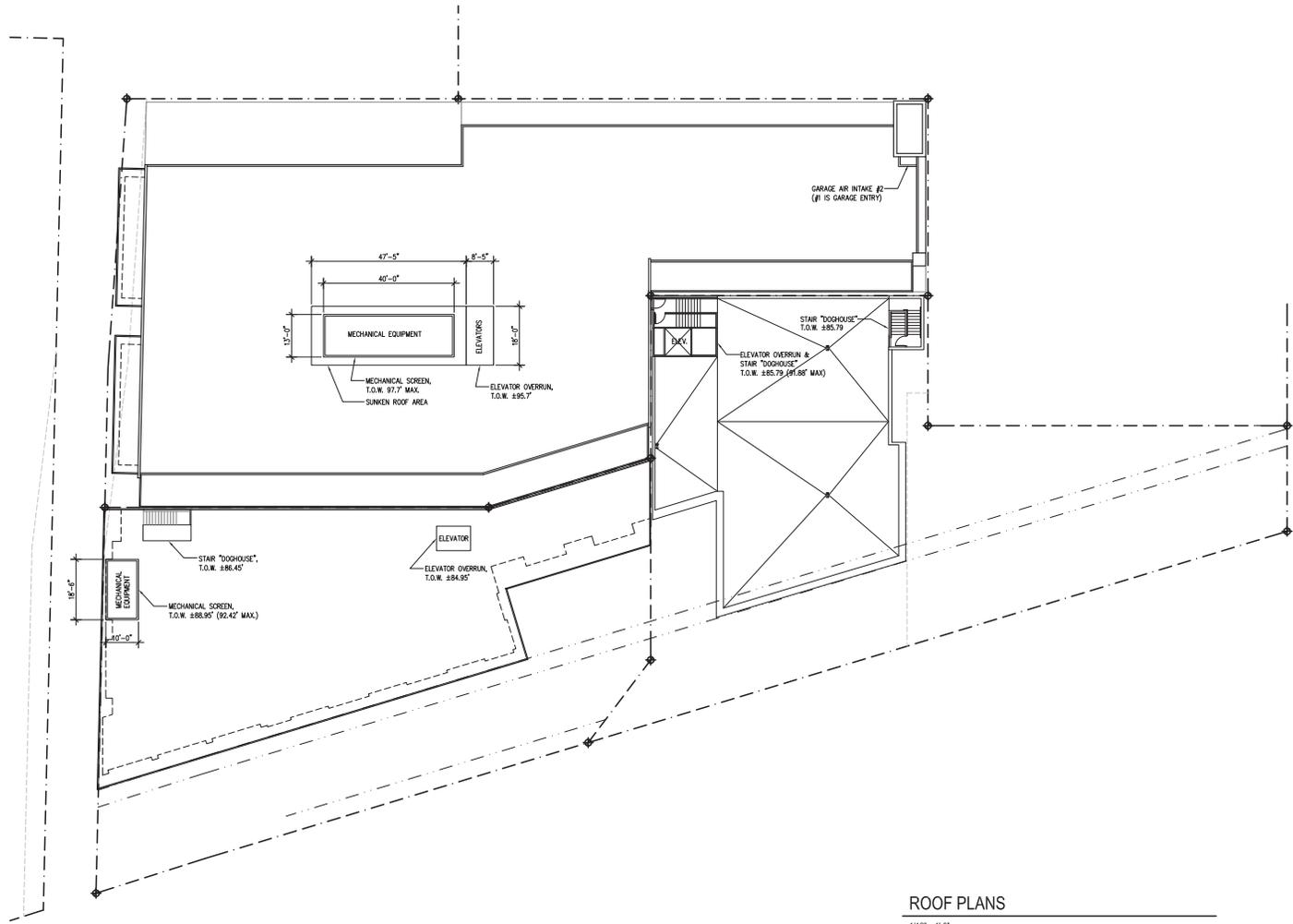
1/16" = 1'-0"

12/03/12 DRB SUBMITTAL 3
 11/02/12 DRB SUBMITTAL 2
 08/10/12 DRB SUBMITTAL 1
 Rev. Date: Rev. 1/2/12

LAKE STREET PLACE
 112-150 LAKE STREET S
 KIRKLAND, WA 98033

5TH FLOOR
 PLANS

Sheet No. **2.4**
 Project No. 1105
 Date: 07/30/12



ROOF PLANS

1/16" = 1'-0"

ROOF PLANS

Sheet No. **2.6**
 Project No. 1105
 Date: 07/30/12



WEST ELEVATION

1/16" = 1'-0"



NORTH ELEVATION

1/16" = 1'-0"



EAST ELEVATION

1/16" = 1'-0"



SOUTH ELEVATION

1/16" = 1'-0"

12/03/12 DRB SUBMITTAL 3
11/02/12 DRB SUBMITTAL 2
08/10/12 DRB SUBMITTAL 1

No. Date Revisi

LAKE STREET PLACE
112-150 LAKE STREET S
KIRKLAND, WA 98033

ELEVATIONS

Sheet No. **3.0**
Project No. 1105
Date: 07/30/12



EAST ELEVATION

1/8" = 1'-0"



CHESMOREBUCK
 architecture
 27.00TH AVENUE NE SUITE 100
 BELLEVUE, WA 98004
 PHONE: 425-479-9007
 FAX: 425-479-0004

12/03/12 DRB SUBMITTAL 3
 11/02/12 DRB SUBMITTAL 2
 08/10/12 DRB SUBMITTAL 1

LAKE STREET PLACE
 112-150 LAKE STREET S
 KIRKLAND, WA 98033

EAST ELEVATION
 Sheet No. **3.3**
 Project No. 1105
 Date: 07/30/12



SOUTH ELEVATION
 1/8" = 1'-0"

CHESMORE|BUCK
 architecture
 27,00TH AVENUE NE SUITE 100
 BELLEVUE, WA 98004
 PHONE: 425-475-9007
 FAX: 425-475-0004

No.	Date	Revised
12/03/12	DRS SUBMITTAL 3	
11/02/12	DRS SUBMITTAL 2	
08/10/12	DRS SUBMITTAL	

LAKE STREET PLACE
 112-150 LAKE STREET S
 KIRKLAND, WA 98033

SOUTH ELEVATION

Sheet No.	3.4
Project No.	1105
Date:	07/30/12



- HECTOR'S ADDITION MATERIALS:
 EXPOSED WOOD COLUMNS & BEAMS
 WOOD SIPING & STOREFRONT
 ANTIQUE BRICK
 ANODIZED ALUMINUM STOREFRONT
 STEEL SUNSHADE
 2-STORE MASONRY FIREPLACE
 STEEL & GLASS SUNROOM

- HECTOR'S ADDITION MATERIALS:
 PAINTED WOOD FASCIA
 METAL PANEL
 ANODIZED ALUMINUM STOREFRONT
 PAINTED STEEL BALCONY
 SPLIT FACE CMU



- KWM ADDITION MATERIALS:
 EXTERIOR PLASTER
 ARCHITECTURAL STEEL
 ANODIZED ALUMINUM STOREFRONT

HECTOR'S SOUTH COURTYARD ELEVATION
 1/8" = 1'-0"

HECTOR'S WEST COURTYARD ELEVATION
 1/8" = 1'-0"



- KWM ADDITION MATERIALS:
 EXTERIOR PLASTER
 ARCHITECTURAL STEEL
 ANODIZED ALUMINUM STOREFRONT

KWM NORTH COURTYARD ELEVATION
 1/8" = 1'-0"

12/03/12	DRS SUBMITTAL 3
11/02/12	DRS SUBMITTAL 2
08/10/12	DRS SUBMITTAL
Rev.	Date

LAKE STREET PLACE
 112-150 LAKE STREET S
 KIRKLAND, WA 98033

COURTYARD ELEVATIONS

Sheet No.	3.5
Project No.	1105
Date:	07/30/12