



MEMORANDUM

To: Design Review Board
From: Tony Leavitt, Associate Planner
Date: May 23, 2013
File No.: DRV13-00254
Subject: **JUANITA BAY VETERINARY HOSPITAL AND OFFICE BUILDING
DESIGN RESPONSE CONFERENCE**

I. MEETING GOALS

At the June 3, 2013 Design Review Board (DRB) meeting, the DRB should conduct a Design Response Conference and determine if the project is consistent with the design guidelines contained in Design Guidelines for Pedestrian Oriented Business Districts, as adopted in Kirkland Municipal Code (KMC) Section 3.30.040.

During the Design Response Conference, the DRB should provide feedback on the following topics:

- Building Massing
- Landscaping
- Materials, Colors, and Details

II. PROPOSAL

The subject property contains two lots located at 11416 98th Avenue NE directly south of the Columbia Athletic Club (see Attachment 1). On the north side of the site the applicant is proposing a new two story building with a veterinary hospital on the ground floor and general office above (see Attachment 2). The goal of the property owner is to maintain operation of the existing veterinary clinic located on the south portion of the property during construction, and then demolish the existing clinic on completion of the new building.

III. SITE

The subject property currently contains a one story 2,439 gross floor area veterinary hospital (built in 1969) with a parking lot located on the north side of the property. The site is basically level, sloping steeply beyond the east property line. 98th Avenue NE is not designated as a *Pedestrian Oriented Street*.

The following list summarizes the zoning designation; uses and allowed height of properties adjacent to the subject property (see Attachment 4):

North: JBD 2. Columbia Athletic Club and parking lot. Maximum height is 26', plus an additional 13' if 30% view corridor provided.

East: JBD 2. Vacant lot and Juanita Condominiums to the southeast. Maximum height is 26', plus an additional 13' if 30% view corridor provided.

South: JBD 2. 3 story F & A office building and parking lot. Maximum height is 26', plus an additional 13' if 30% view corridor provided.

West: Park/Public Use Zone. Across 98th Avenue NE is the northern boundary of Juanita Bay park wetlands and Lake Washington beyond.

Photographs prepared by the applicant that show the surrounding properties are contained in Attachment 2 and 3.

IV. CONCEPTUAL DESIGN CONFERENCE

A Conceptual Design Conference was held on March 18, 2013. The DRB provided direction to the applicant in preparation for the Design Response Conference. At the meeting, the DRB discussed:

- A. How the design guidelines affect or pertain to the proposed development.
- B. Which guidelines applied to the proposed development; and
- C. The application materials that are needed for the Design Response Conference.

The DRB's feedback from the conference is summarized in Section V.B below under the DRB's discussion on the various design topics. The applicant's response to the DRB direction is included as Attachment 6.

V. DESIGN RESPONSE CONFERENCE

The Design Review Board reviews projects for consistency with design guidelines for pedestrian-oriented business districts, as adopted in Kirkland Municipal Code Chapter 3.30. In addition to the standard guidelines contained in the *Design Guidelines for Pedestrian-Oriented Business Districts*, the following information summarizes key guidelines which apply specifically to the project or project area. As described in the introduction of the Design Guidelines: "...*The goal of redevelopment in the Juanita Business District is to create a neighborhood-scale, pedestrian district which takes advantage of the amenities offered by Juanita Bay*".

See also Section VI for information regarding zoning regulations and how they affect the proposed development.

A. Pedestrian-Oriented Design Guidelines

1. General

The following is a list of key design issues and/or design techniques that should be addressed with this project as identified in the design guidelines.

- Building Scale
 - Vertical and horizontal modulation
 - Architectural scale
- Pedestrian-Orientation
 - Plazas
 - Pedestrian friendly building fronts
 - Blank wall treatment
- Landscaping
- Building material, color, and detail

See the adopted Design Guidelines for Pedestrian-Oriented Business Districts for complete text and explanations.

B. Compliance with Design Guidelines

1. Scale

a. DRB Discussion

The DRB expressed a preference for the applicant's preferred location and massing concepts. The DRB requested the following items for submittal:

- Section drawings of the proposed building and adjacent buildings from 99th Place and 98th Avenue.
- Details of the north, west and south facades of the building visible from 98th Avenue and pedestrian space along the front façade.
- Relationship of proposal to adjoining off-site parking and other improvements. The DRB indicated that the design needed to resolve massing, façade treatment, and landscaping on all sides, regardless of existing encroachments.

b. Supporting Design Guidelines

The *Design Guidelines for Pedestrian Oriented Business Districts* contain the following policy statements that address the use of these techniques:

- All building fronts should have pedestrian-friendly features (see Design Guidelines, page 10 for examples)
- All building entries should be well lit. Building facades in pedestrian areas should provide lighting to walkways and sidewalks through building-mounted lights, canopy- or awning-mounted lights, and display window lights. Encourage variety in the use of light fixtures to give visual variety from one building facade to the next. Back-lit or internally-lit translucent awnings should be prohibited.
- Successful pedestrian-oriented plazas are generally located in sunny areas along a well-traveled pedestrian route. Plazas must provide plenty of sitting areas and amenities and give people a sense of enclosure and safety.
- Commercial developments should have well defined, safe pedestrian walkways that minimize distances from the public sidewalk and transit facilities to the internal pedestrian system and building entrances.
- Blank walls should be avoided near sidewalks, parks, and pedestrian areas. Where unavoidable, blank walls should be treated with landscaping, art, or other architectural treatments.
- Varied window treatments should be encouraged. Ground floor uses should have large windows that showcase storefront displays to increase pedestrian interest. Architectural detailing at all window jambs, sills, and heads should be emphasized.
- Architectural building elements such as arcades, balconies, bay windows, roof decks, trellises, landscaping, awnings, cornices, friezes, art concepts, and courtyards should be encouraged.

- Vertical building modulation should be used to add variety and to make large buildings appear to be an aggregation of smaller buildings.
- Horizontal building modulation may be used to reduce the perceived mass of a building and to provide continuity at the ground level of large building complexes.

c. Staff Analysis

The applicant has provided the materials requested by the DRB (see Attachment 2).

The DRB should provide input on the following items:

- *Do the buildings provide enough horizontal and/or vertical modulation when viewed from key vantages?*
- *Does the design response appropriately address all sides of the project?*
- *Are pedestrian-oriented plazas appropriately detailed?*

2. Open Space and Landscaping

a. DRB Discussion

The DRB had the following recommendations regarding open space and landscaping:

- Provide a landscaping plan for the site including a plan for the transition area between the building and sidewalk.
- Provide a streetscape design plan.

b. Supporting Design Guidelines

The *Design Guidelines and Zoning Regulations* contain the following guideline addressing the visual quality of landscapes:

- KZC Chapter 95 requires that a landscape plan be approved as part of the Design Review Process.
- The placement and amount of landscaping for new and existing development should be mandated through design standards. Special consideration should be given to the purpose and context of the proposed landscaping. The pedestrian/auto landscape requires strong plantings of a structural nature to act as buffers or screens.
- The pedestrian landscape should emphasize the subtle characteristics of the plant materials. The building landscape should use landscaping that complements the building's favorable qualities and screens its faults.

c. Staff Analysis

Landscaping should be placed in areas to help mitigate building massing and enhance the pedestrian experience along the project frontages.

The DRB should provide input on the following items:

- *What changes, if any, are needed to the landscape plan?*
- *Are there other opportunities for landscaping?*

3. Building Materials, Color, and Details

a. DRB Discussion

The DRB requested building material and lighting details, including a roof plan with showing integrated rooftop screening, and the preliminary signage concept.

b. Staff Analysis

Attachment 2 contains color elevation drawings and callouts for the proposed building materials. Additionally, the applicant has provided a material detail sheet (see Attachment 3).

The applicant will be providing an overview of the signage concept at the Design Response Conference.

The DRB should provide feedback to the applicant regarding the proposed materials, colors, and lighting.

VI. KEY ZONING REGULATIONS

The applicant's proposal is also subject to the applicable requirements contained in the Kirkland Municipal Code, Zoning Code, Fire and Building Code, and Public Works Standards. It is the responsibility of the applicant to ensure compliance with the various provisions contained in these ordinances. Attachment 4, Development Standards, is provided to familiarize the applicant with some of these additional development regulations. These regulations and standards are not under the review authority of the DRB and will be reviewed for compliance as part of the building permit review for the project.

In terms of zoning, development on the subject property is subject to the regulations in JBD 2 (see Attachment 5) as well as other applicable KZC sections. The following regulations are important to point out as they form the basis of any new development on the site. Below are some of the key zoning standards that apply to the development followed by staff comment in italics.

A. Permitted Uses:

General office and a veterinary office/hospital are allowed uses in the JBD 2 zone. Special Regulation 1 establishes that veterinary offices may only treat small animals, may not provide outside runs and other outside facilities for the animals, designed so that noise will not be audible offsite, and the use is not permitted if the subject property contains residential units.

Staff Comment: General office and a veterinary office/hospital is an allowed use in the JBD 2 zone provided the special regulations for a veterinary use are met. No residential units exist on or are proposed on the subject property.

B. Setbacks: Zero front, side and rear yards are permitted.

Staff Comment: The proposed plans show a 3.33 foot setback along the north property line and a 1 foot setback along 98th Avenue NE.

C. Height: JBD 2 allows a maximum height of 26' measured above the average building elevation. General Regulation 3 allows an increase of up to 13 feet (for a maximum of 39' above ABE) if a view corridor is maintained across 30 percent of the average parcel width for the portion of the building above 26 feet. The view corridor must be located to provide the widest view corridor given development

on adjacent properties to the north and south. The applicant is proposing the view corridor over the south side of the property.

Rooftop appurtenances may exceed the height limit by a maximum of 4' if the appurtenances and screening do not exceed 10% of the area of the building footprint (KZC 115.120). The Planning Official may approve a modification to exceed the 4' height limit for rooftop appurtenances or elevator penthouses if certain criteria are met.

Staff Comment: The applicant must demonstrate compliance with the City's height requirements as part of any building permit.

- D. Lot Coverage: JBD 2 zoning regulations allow 80% lot coverage.
- E. Parking: General office uses must provide one parking space for each 300 square feet of gross floor area. Veterinary office uses must provide one stall per each 200 sq. ft. of gross floor area.

Staff Comment: The applicant must demonstrate compliance with the City's parking requirements as part of any building permit.

- F. Parking Areas. KZC establishes that in the JBD 2 zone parking areas shall not be located between the street and the building unless no other feasible alternative exists on the subject property. KZC 105.60 establishes that in the design of parking lots, shared parking lot entrances and driveways between properties shall be installed whenever feasible as determined by the Planning Official. Comprehensive Plan policies for 98th Avenue NE (see below) encourage combining driveways and parking lots because of the traffic constraints on 98th Avenue NE. KZC 105.35 states the City may restrict the width, number and location of driveways along the frontage of the subject property to improve vehicle circulation, public safety, or to enhance pedestrian movement.

Staff Comment: The proposed parking lot is located to the side of the building minimizing the frontage of the parking lot to the street. An access easement was recorded on the parcel to the south (11400 98th Ave. NE) to allow for joint access to this property when it redeveloped. The purpose of the joint access easement was to create the ability for this subject parcel and the parcel to the south to share a connected parking lot and driveways because left turn movements will likely be limited along 98th Ave NE in the future (from this site north). The City has asked the applicant to make provisions in their parking lot design to use the joint access easement. The applicant has asked if the City would accept an access easement to the east in lieu of connecting to the recorded easement to the south. If this proposal is accepted, a joint access would be built the east up to 99th Pl. NE when that parcel is redeveloped. The City is considering this proposal, but either option (using the existing easements or providing an alternate easement) will not directly affect the design of this building and the Design Review process can move forward independently.

- G. Landscaping. Based on the proposed uses on the subject property and the adjoining uses and development, no landscape buffer is required along the property lines pursuant to KZC Section 95.42. Supplemental, internal and perimeter parking lot landscaping shall be incorporated into the design of the site pursuant to the standards in KZC Section 95.41, 44, 45. Because the site is in a design district, a minimum 5' wide perimeter parking lot landscape buffer is required only along the street.

Staff Comment: A landscape plan has been submitted.

- H. Sidewalks. 98th Avenue NE is designated as a principle arterial and not designated as a Pedestrian Oriented Street. Preapproved plans for the Juanita Business District require a minimum 10' wide sidewalk along the entire frontage of the subject property with a landscape strip and street trees or trees in grates and decorative lighting.

Staff Comment: The applicant has provided sidewalk plans.

- I. Pedestrian Access. KZC 105.18 establishes that new development shall provide pedestrian walkways from building entrances to sidewalks, between properties and through parking lots. Overhead weather protection such as canopies or awnings in the JBD is required to be 100 percent of the building façade abutting a street.

Staff Comment: The plans show a pedestrian connection from the sidewalk to the entrance and from the building entrance along the north side of the parking lot to the east property line for a future pedestrian connection to the property to the east.

VII. PUBLIC COMMENT

Prior to the finalization and distribution of this staff memo, no public comment was received.

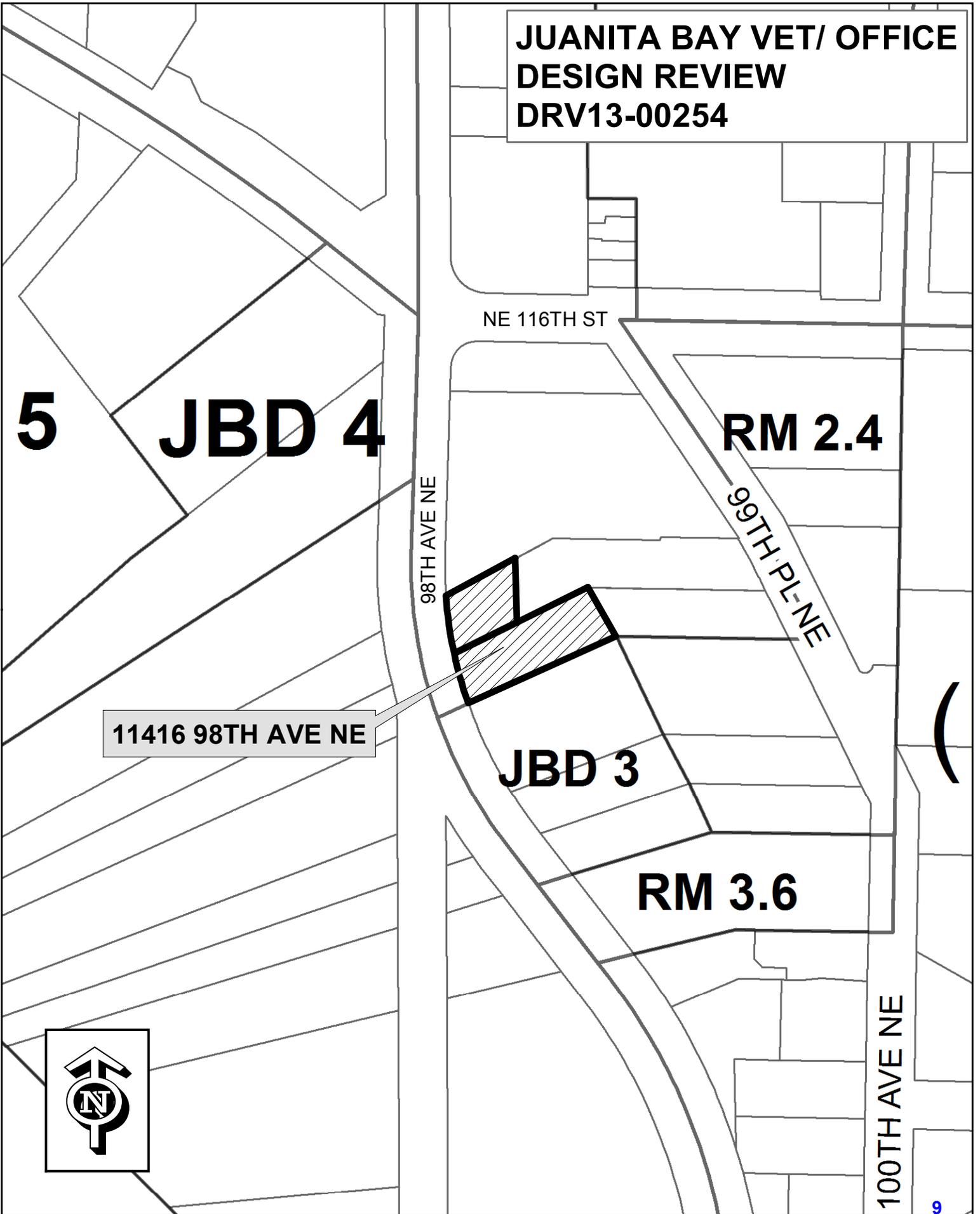
VIII. SUBSEQUENT MODIFICATIONS

Modifications to the approval may be requested and reviewed pursuant to the applicable modification procedures and criteria in effect at the time of the requested modification.

IX. ATTACHMENTS

1. Vicinity Map
2. Development Plans
3. Material Details
4. Development Standards
5. JBD 2 Use Zone Chart
6. Applicant Response to CDC Direction

**JUANITA BAY VET/ OFFICE
DESIGN REVIEW
DRV13-00254**



JUANITA BAY VETERINARY HOSPITAL/ ARCHITECTURAL WERKS, INC.

11416 98TH AVE NE, KIRKLAND, WA 98033

DESIGN REVIEW BOARD



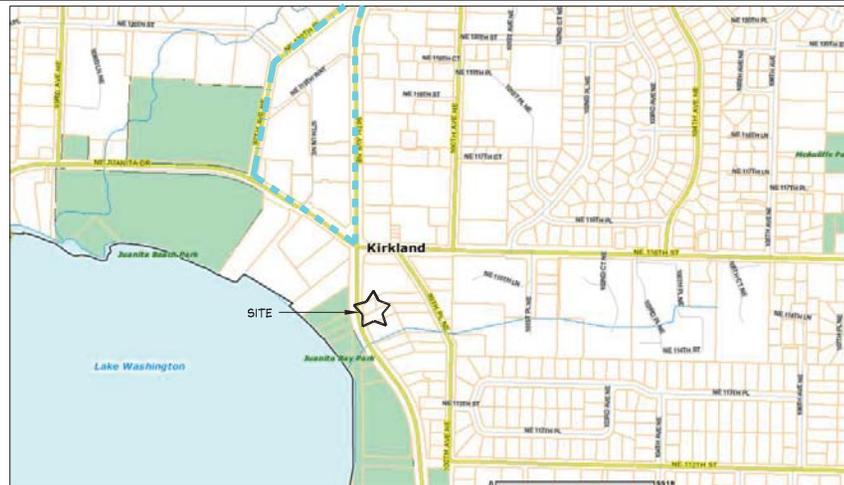
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PROJECT TEAM

ARCHITECT: ARCHITECTURAL WERKS, INC. 10200 115TH AVE NE, SUITE 210 KIRKLAND, WA 98034 CONTACT: JEFF CLARK, AIA	CIVIL ENGINEER: OSBORN CONSULTING 10800 NE 8TH STREET, SUITE 150 BELLEVUE, WA 98004 CONTACT: TARELLE OSBORN, PE
PROPERTY OWNER: CLARK PROPERTIES, LLC 10200 115TH AVE NE, SUITE 210 KIRKLAND, WA 98034 CONTACT: JEFF CLARK, AIA	STRUCTURAL ENGINEER: DIBBLE ENGINEERS 1029 MARKET STREET KIRKLAND, WA 98033 CONTACT: ROBB DIBBLE, PE
LANDSCAPE ARCHITECT: 21803 NE 17TH COURT SAMMAMISH, WA 98074 CONTACT: KEN LARGE	LAND SURVEYOR: JIM HART & ASSOCIATES, LLC PO BOX 2369 KIRKLAND, WA 98033 CONTACT: JIM HART

VICINITY MAP, N.T.S.



- MAJOR PEDESTRIAN SIDEWALK
- PEDESTRIAN-ORIENTATED STREET



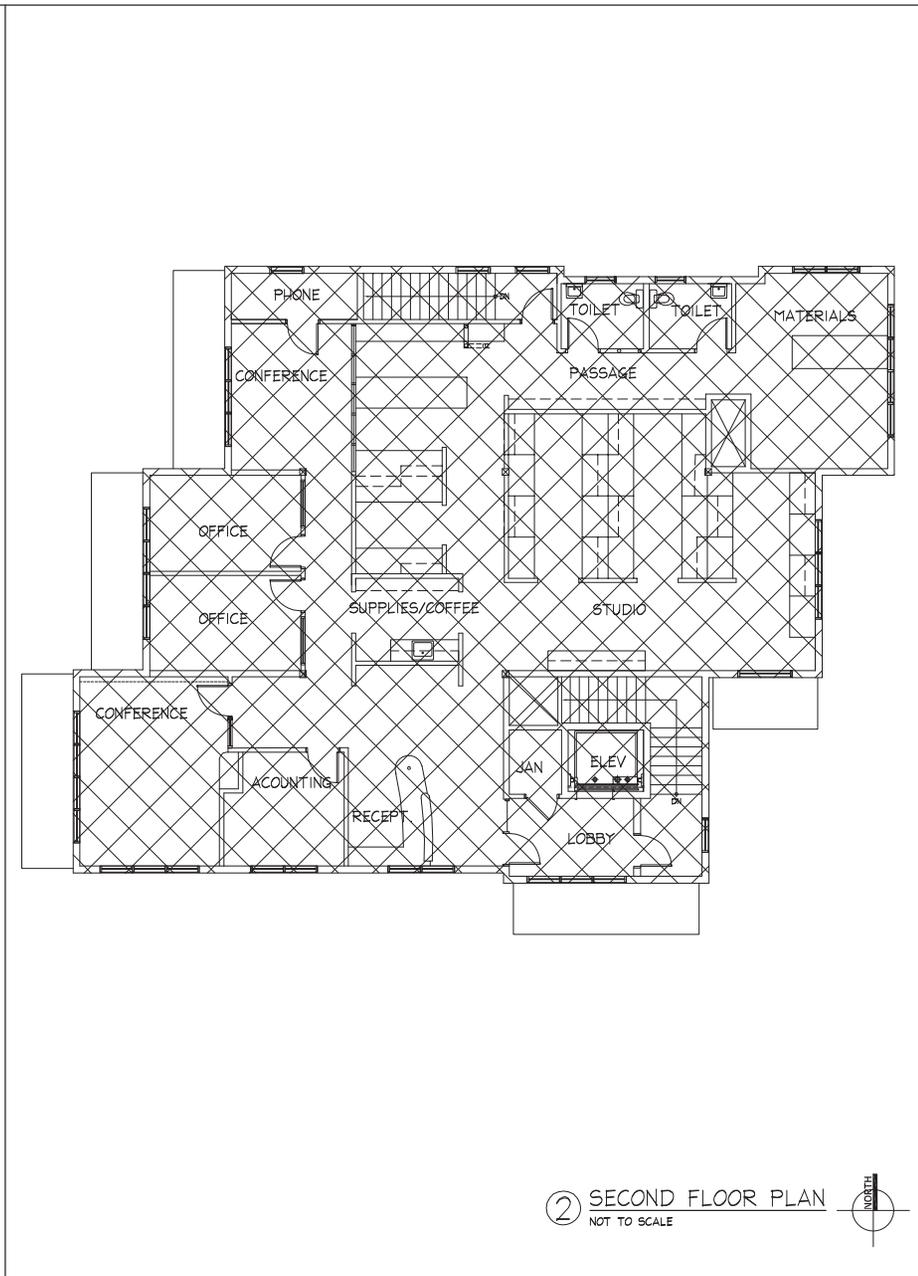
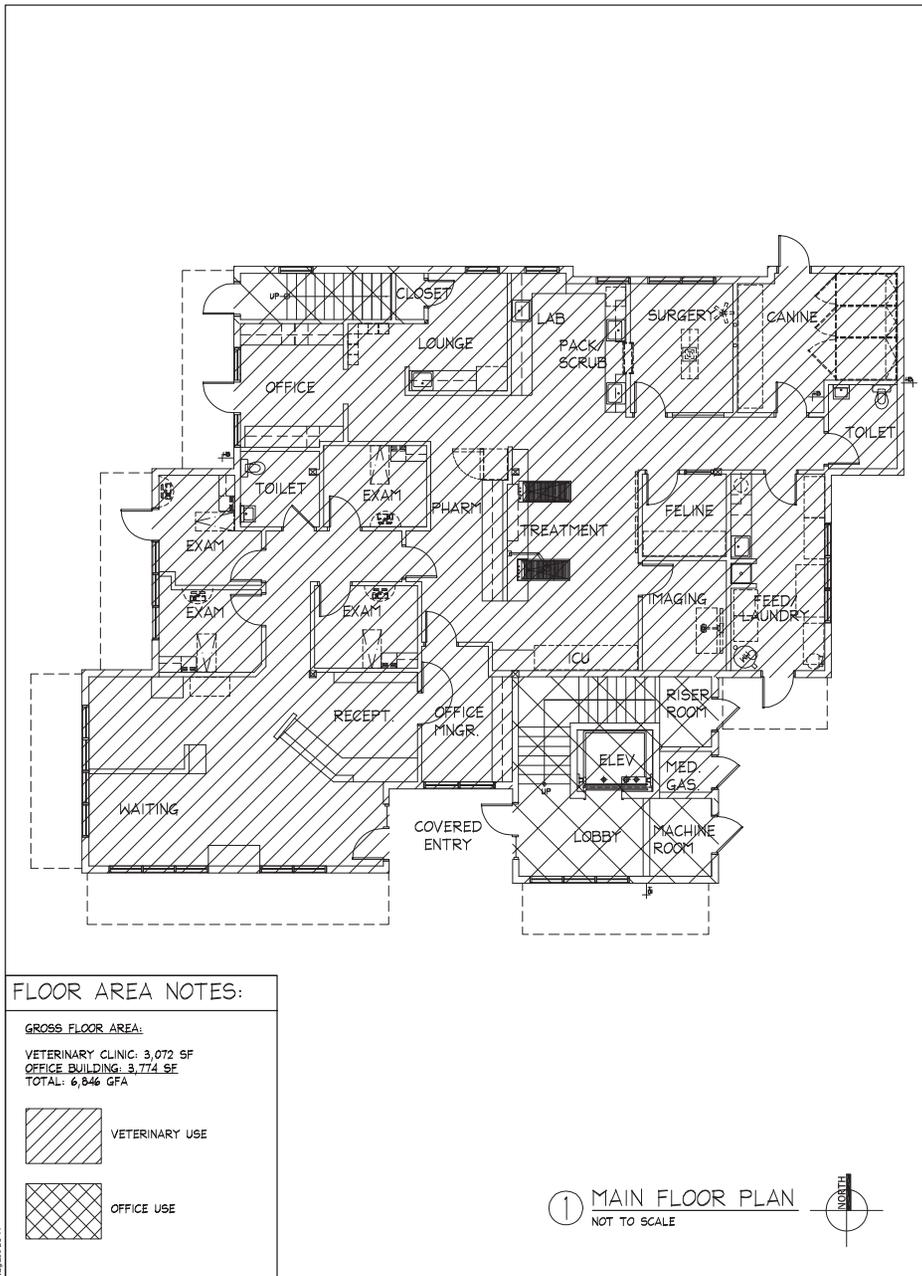
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Architectural Werks, Inc.**
11416 98th Avenue NE
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SHEET TITLE:
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A0.1



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SHEET TITLE:
GROSS FLOOR AREA
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A0.2

SITE NOTES:

AREA CALCULATION:
 LOT SIZE:
 PARCEL A: 5,818 SF
 PARCEL B: 12,377 SF
 TOTAL: 18,195 SF

MAXIMUM LOT COVERAGE: 80%
 IMPERVIOUS SURFACE: 14,346 SF = 79.53%
 LANDSCAPED AREA: 3,907 SF = 21.47%

INTERNAL PARKING LOT LANDSCAPING REQUIREMENTS:
 29 STALLS X 25 SF/STALL = 725 SF
 (2,794 SF PROVIDED)

BUILDING SETBACKS:
 FRONT: 0'
 SIDE: 0'
 REAR: 0'

OFF-STREET PARKING CALCULATION:
 MAIN FLOOR OFFICE = 3,072 GFA
 PARKING: 3,072/200 (VETERINARY OFFICE) = 15.36 = 16 STALLS

2nd FLOOR OFFICE - 3,774 GFA
 PARKING: 3,774/300 (OFFICE) = 12.58 = 13 STALLS

TOTAL REQUIRED: 16 + 13 = 29 STALLS
 STANDARD STALLS: MIN. 50% OF 29 = 15 STALLS
 (13 PROVIDED, INCLUDING 2 HANDICAP STALLS)
 COMPACT STALLS: 14 PROVIDED.
 TOTAL PROVIDED: 14 + 15 = 29 STALLS

BICYCLE STALLS:
 REQUIRED PARKING STALLS/2 = 29/2 = 2.4
 (3 PROVIDED)

MAX BUILDING HEIGHT:
 PARCEL A: 24.65' MIDPOINT ELEVATION
 + 26' MAXIMUM HT. ALLOWED
 + 13' VIEW CORRIDOR HT. INCREASE
 63.65' MAX ALLOWED HT.

BUILDING CODE ANALYSIS

OCCUPANCY:
 MAIN FLOOR: B, BUSINESS
 2ND FLOOR: B, BUSINESS

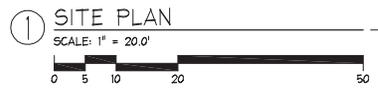
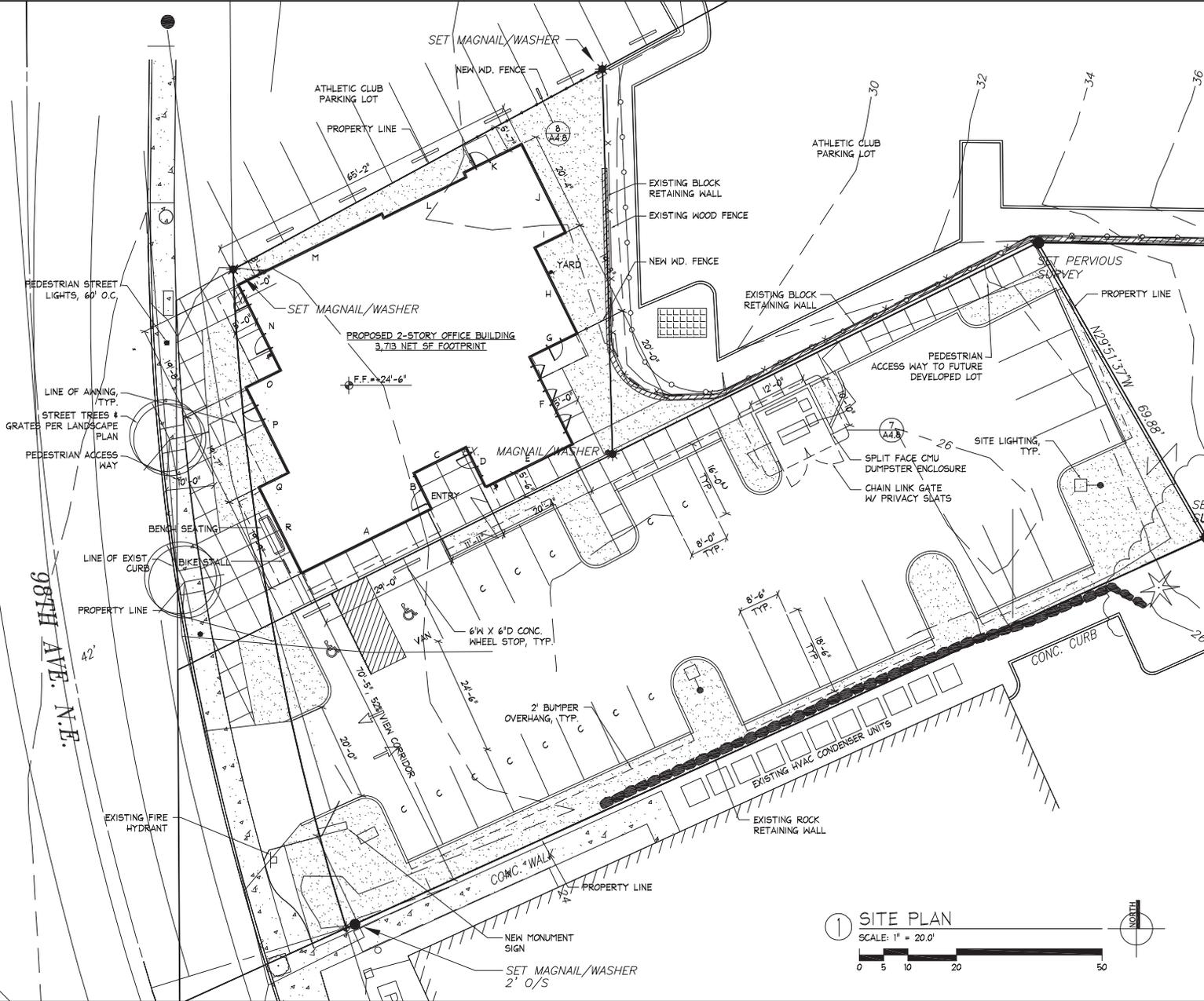
TYPE OF CONSTRUCTION: VB (SPRINKLERED)

AVERAGE BLDG. ELEVATIO

WALL #	MIDPOINT ELEV.	WALL LENGTH	TOTAL
A	24.30'	29'-10"	724.86
B	24'	8'-2"	195.84
C	24.25'	12'-0"	291
D	24.50'	8'-2"	199.92
E	25'	20'-0"	500
F	25'	20'-0"	500
G	25.50'	11'-0"	280.5
H	25.50'	19'-8"	499.8
I	25.75'	7'-0"	180.25
J	26.70'	20'-4"	542.81
K	26.25'	13'-3"	347.81
L	26'	18'-11"	491.66
M	24.19'	33'-0"	798.27
N	23.35'	19'-8"	459.06
O	23.50'	7'-11"	185.89
P	23.60'	19'-7"	457.36
Q	23.70'	6'-9"	159.97
R	23.10'	19'-9"	456.22
TOTALS:	294.95'	7,271.21'	294.95' = 24.65' ABE

SITE PLAN LEGEND

- DETAIL INDICATOR
- INDICATOR FOR AREA/OBJECT DETAIL
- DETAIL # ON SHEET
- DETAIL SHEET DESIGNATION
- LANDSCAPED AREA
- EXISTING CONTOUR



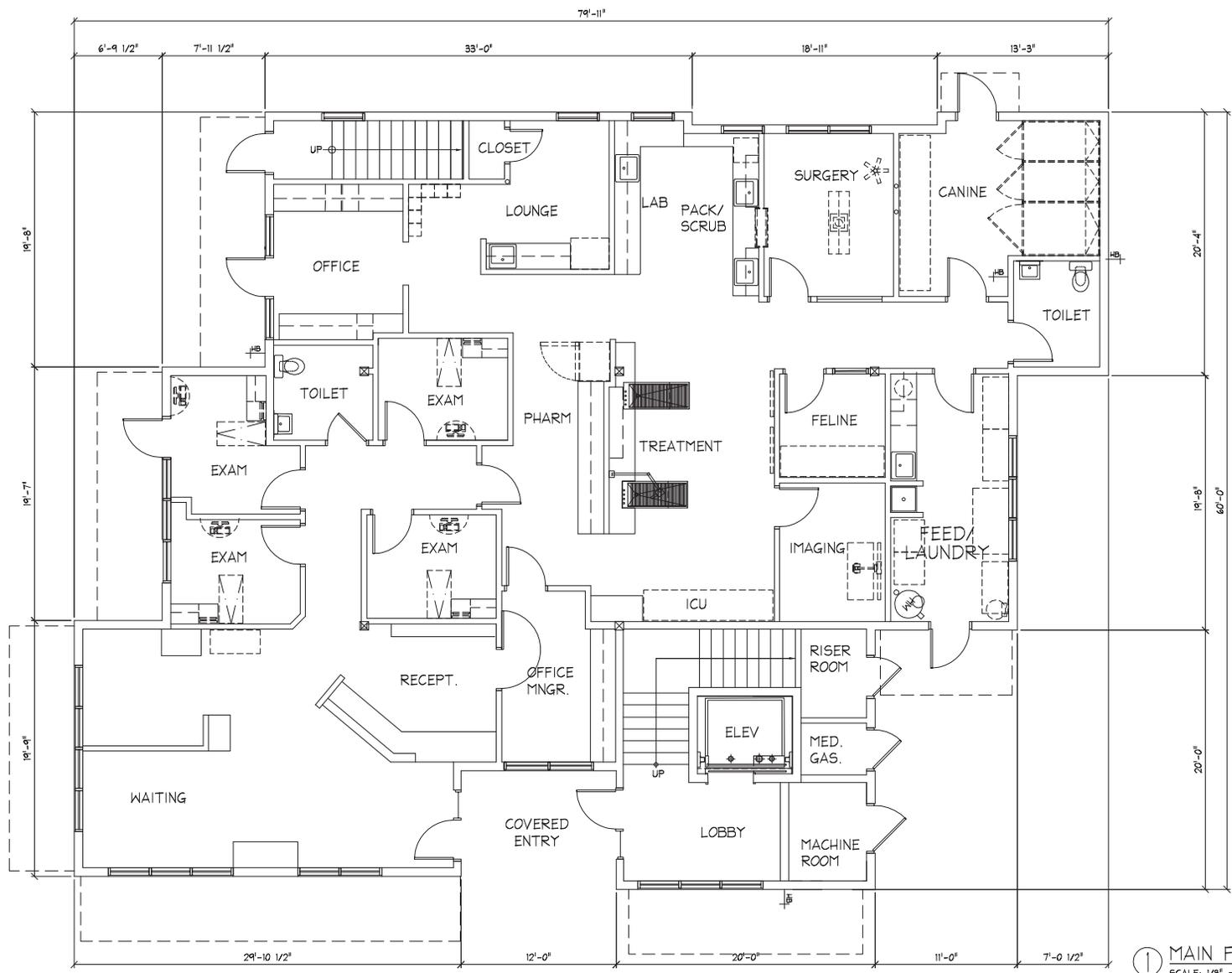
ARCHITECTURAL WORKS INC.
 ARCHITECTS
 11416 98TH AVENUE NE
 KIRKLAND, WA 98033
 F: 425.823.2244 F: 425.821.1715 W: www.aveinc.com

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 11416 98th Avenue NE
 Kirkland, WA 98033

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SITE PLAN
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A1.0



1 MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



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SHEET TITLE:
MAIN FLOOR PLAN
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SHEET NUMBER:

A2.1



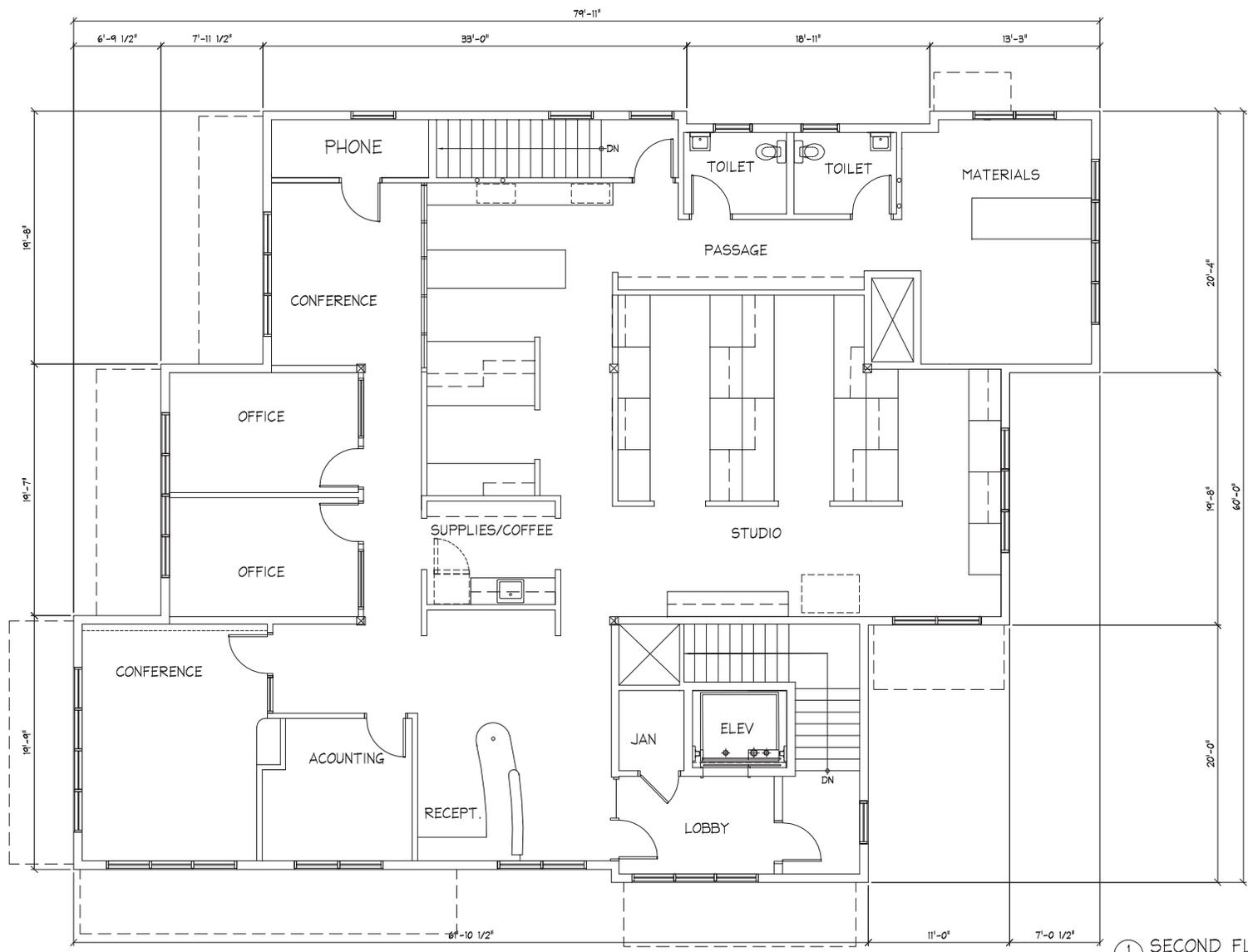
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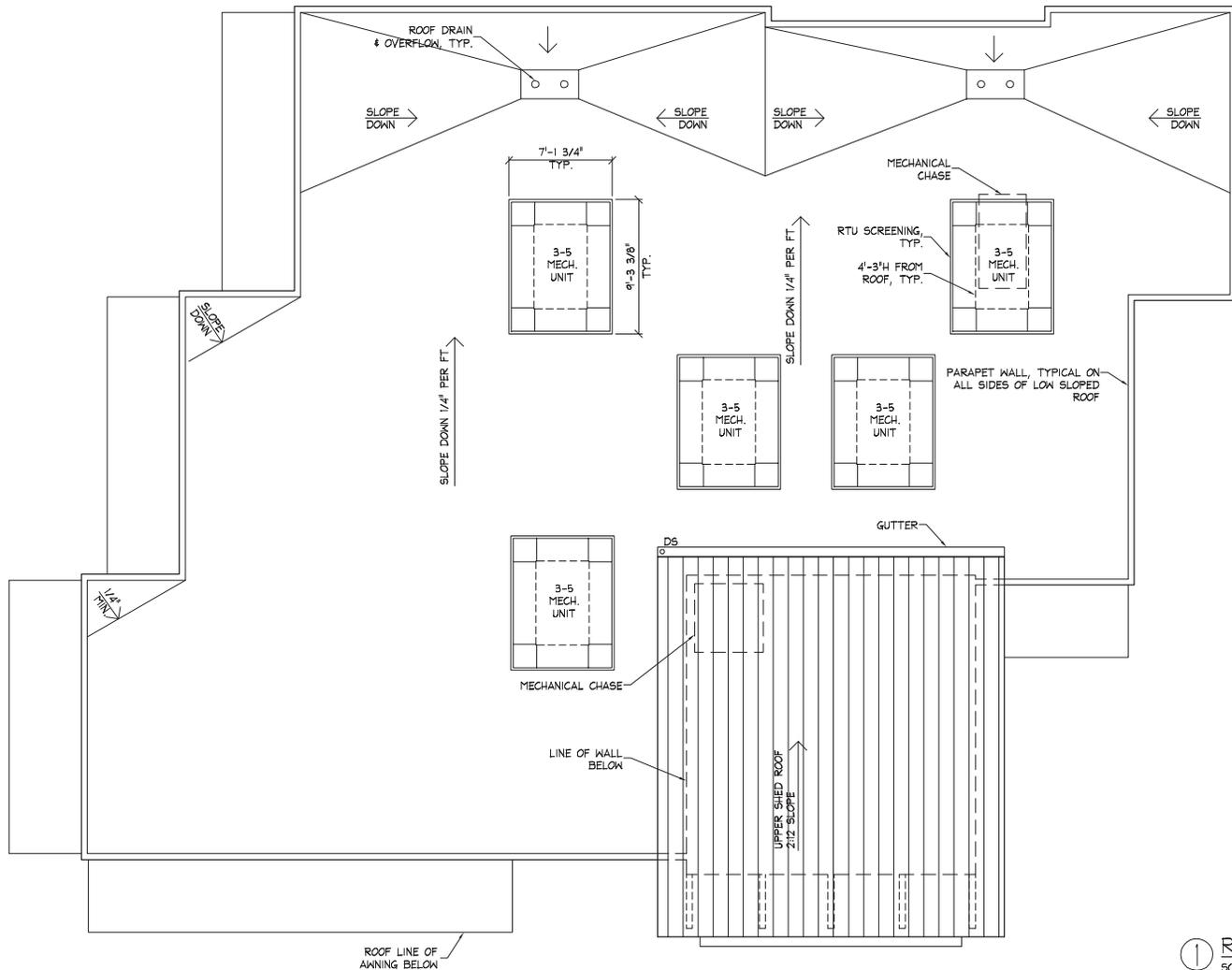
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SECOND FLOOR PLAN
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① **SECOND FLOOR PLAN**
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 0 1 2 5 10





1 ROOF PLAN
SCALE: 1/8" = 1'-0"



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ROOF PLAN

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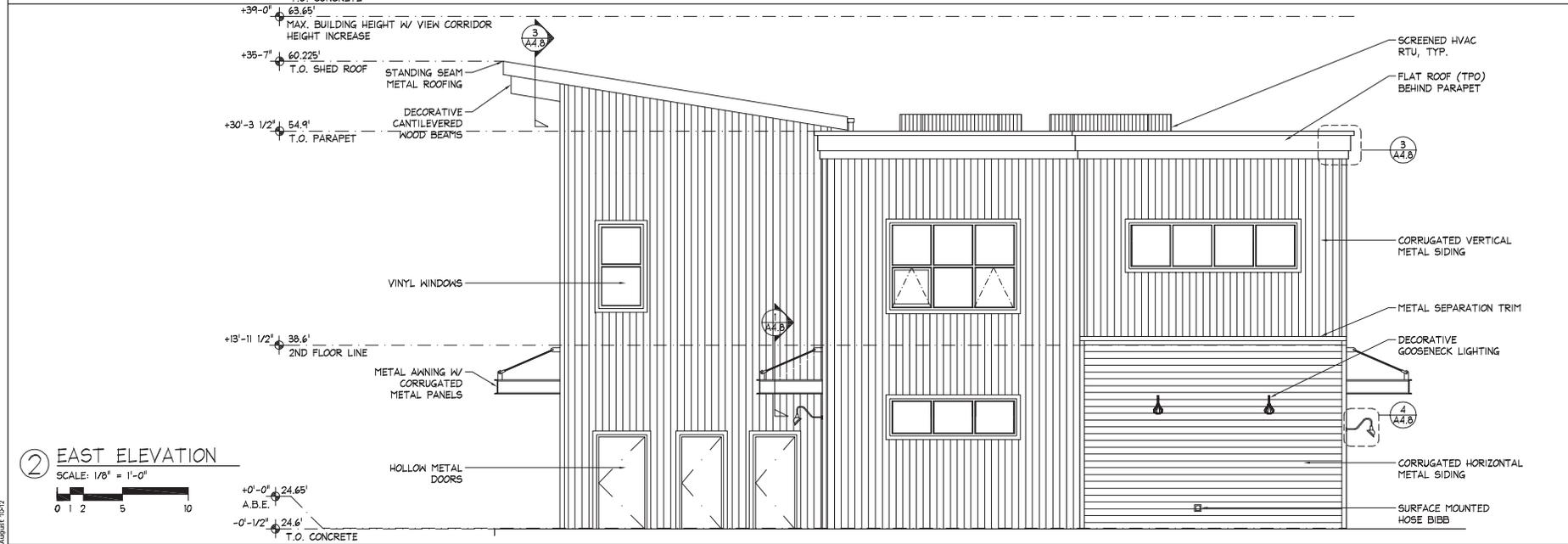
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EXTERIOR ELEVATIONS

DESIGN REVIEW BOARD
 SHEET NUMBER:

A4.1



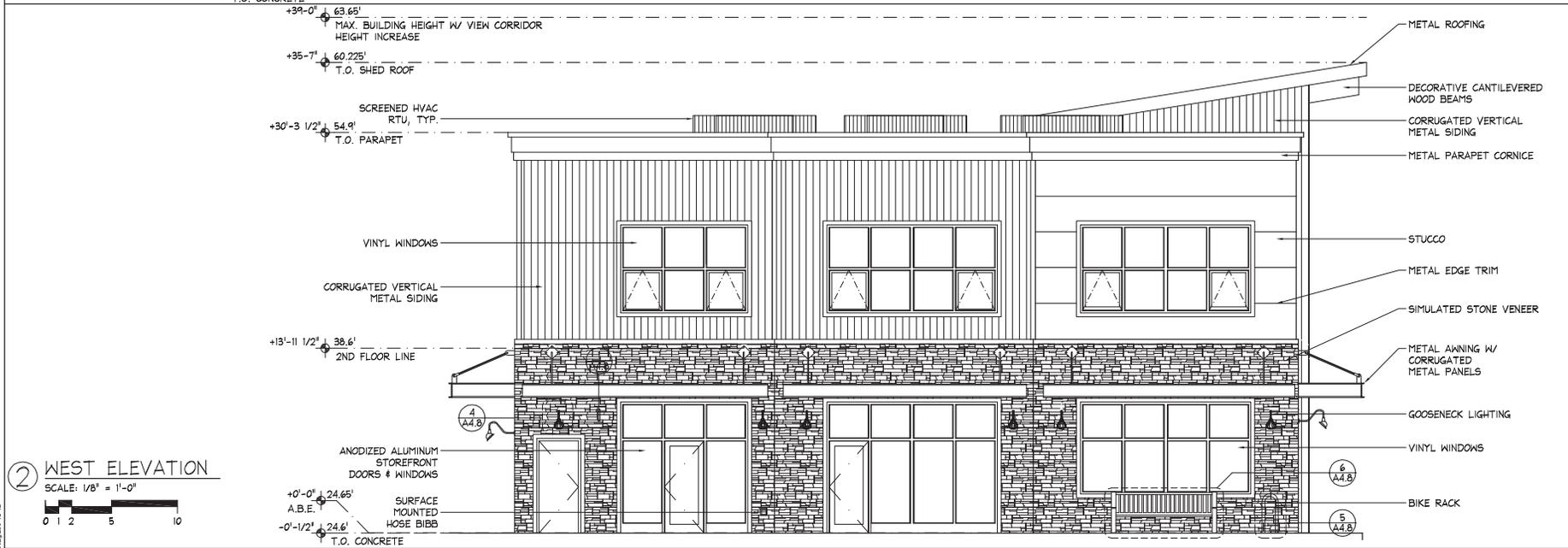
1 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"
 0 1 2 5 10



2 EAST ELEVATION
 SCALE: 1/8" = 1'-0"
 0 1 2 5 10



① SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



② WEST ELEVATION
SCALE: 1/8" = 1'-0"

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ARCHITECTS
11416 98TH AVENUE NE
KIRKLAND, WA 98033
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A4.2



① NORTH ELEVATION
NOT TO SCALE



② EAST ELEVATION
NOT TO SCALE

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ARCHITECTS
11416 98th Avenue NE
Kirkland, WA 98033
P: 425.833.2244 F: 425.833.2715 W: www.aywerks.com

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SHEET TITLE:
**COLOR
ELEVATIONS**
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A4.3

① SOUTH ELEVATION
NOT TO SCALE



② WEST ELEVATION
NOT TO SCALE



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COLOR
ELEVATIONS

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① NORTH STREET PERSPECTIVE
NOT TO SCALE



② SOUTH STREET PERSPECTIVE
NOT TO SCALE



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RENDERINGS
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① SOUTH
PEDESTRIAN PERSPECTIVE
NOT TO SCALE



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Architectural Works, Inc.
11416 98th Avenue NE
Kirkland, WA 98033

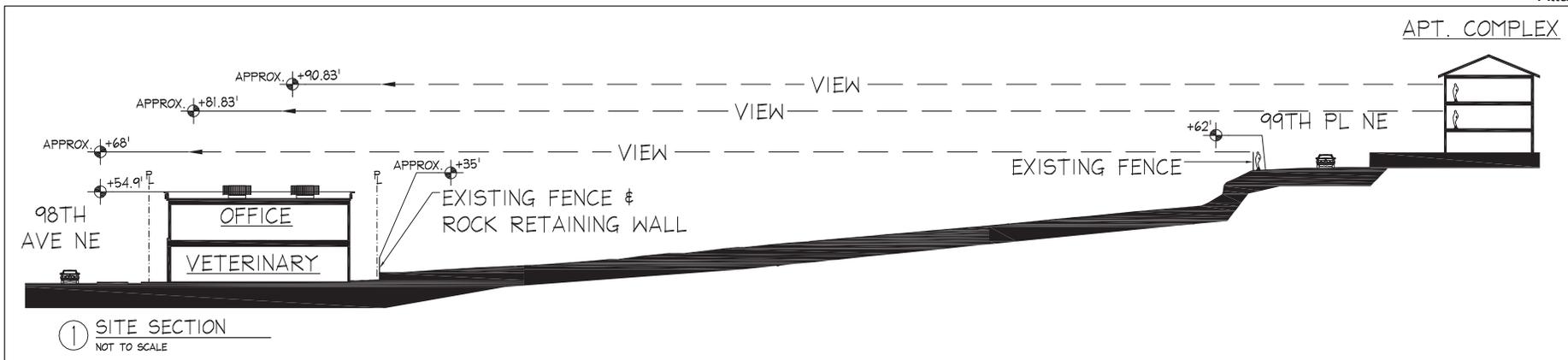
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DATE: April 5, 2013
REVISIONS:

SHEET TITLE:

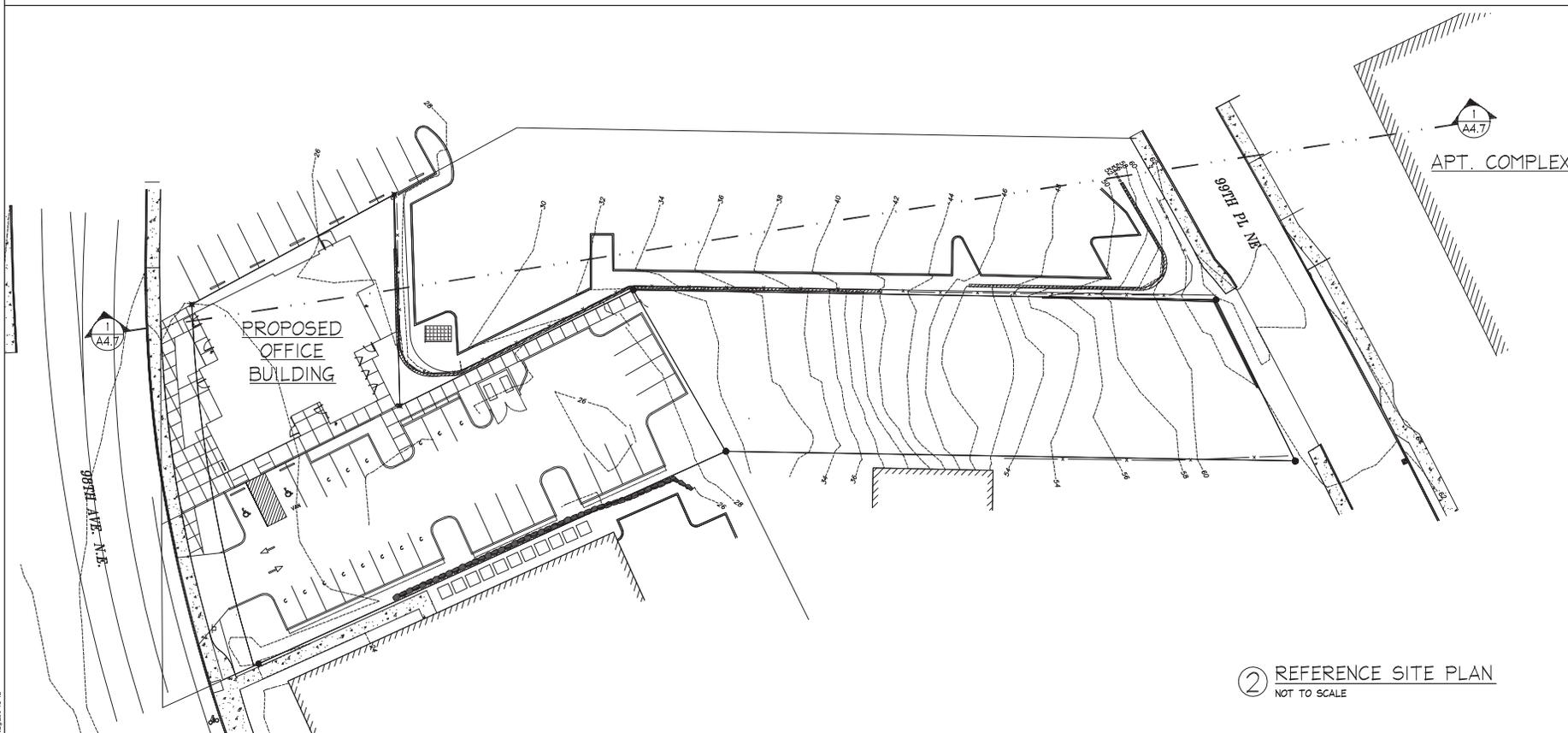
RENDERING

DESIGN REVIEW BOARD
SHEET NUMBER:

A4.6



1 SITE SECTION
NOT TO SCALE



2 REFERENCE SITE PLAN
NOT TO SCALE



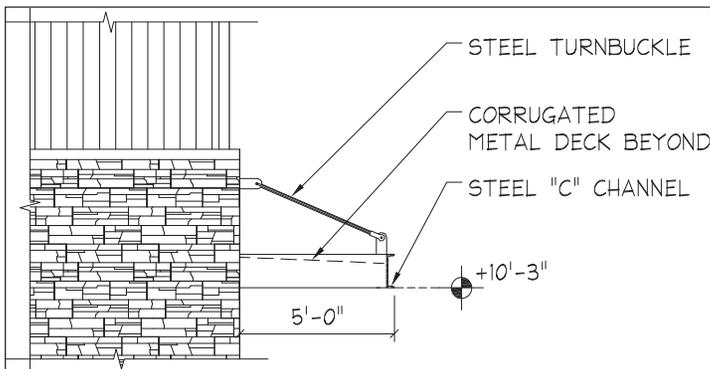
SEAL:
PRELIMINARY
NOT FOR CONSTRUCTION

**Juanita Bay Vet. Hospital/
Architectural Works, Inc.**
11416 98th Avenue NE
Kirkland, WA 98033

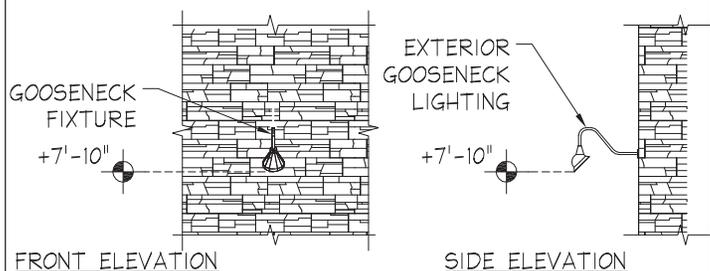
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CHECKED: VB
DATE: April 5, 2013
REVISIONS:

SHEET TITLE:
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DESIGN REVIEW BOARD
SHEET NUMBER:

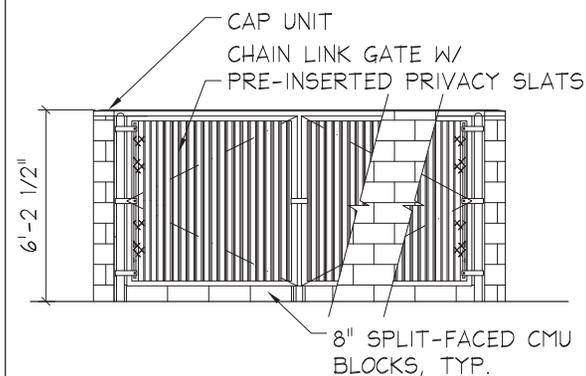
A4.7



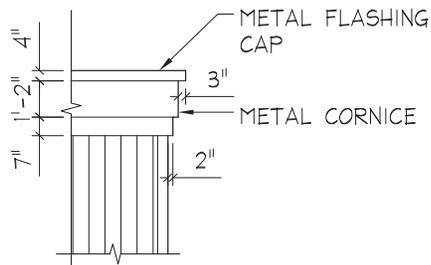
1 AWNING
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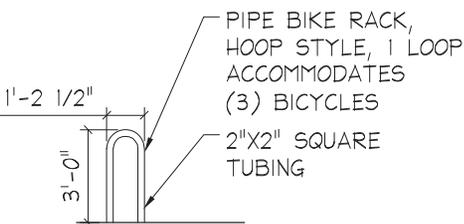
4 GOOSENECK LIGHT FIXTURE
SCALE: 1/4" = 1'-0"



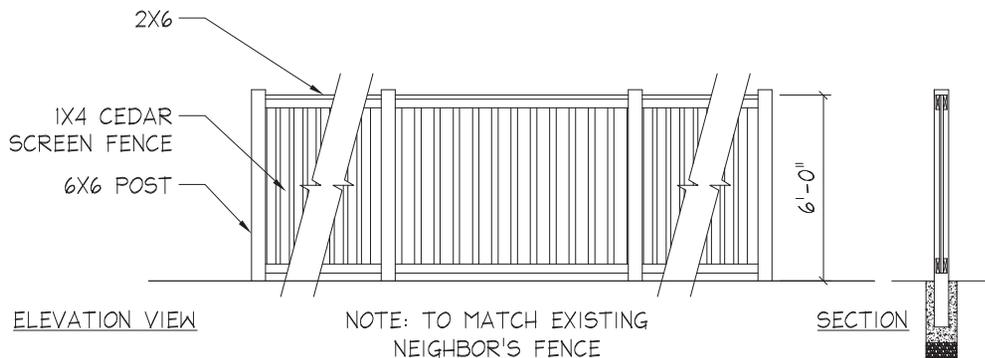
7 CMU TRASH ENCLOSURE
SCALE: 1/4" = 1'-0"



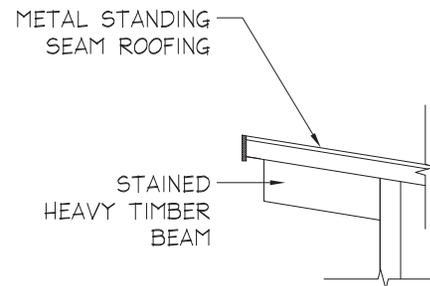
2 PARAPET
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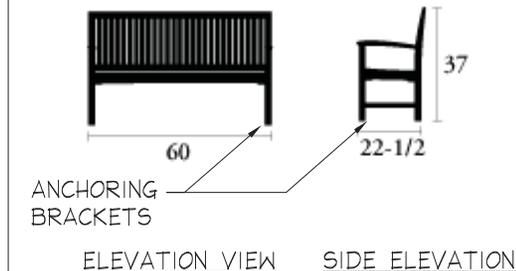
5 BIKE RACK
SCALE: 1/4" = 1'-0"



8 WOOD FENCE
SCALE: 1/4" = 1'-0"



3 RAKE
SCALE: 1/4" = 1'-0"



6 WOOD BENCH
SCALE: N.T.S.



SEAL:
PRELIMINARY
NOT FOR CONSTRUCTION

**Juanita Bay Vet. Hospital/
Architectural Werks, Inc.**
11416 98th Avenue NE
Kirkland, WA 98033

JOB NUMBER:	1250
DRAWN:	VB
CHECKED:	
DATE:	April 5, 2013
REVISIONS:	

SHEET TITLE:
**BUILDING
DETAILS**
DESIGN REVIEW BOARD
SHEET NUMBER:

A4.8





- A. Parking area light fixture
- B. Metal cornice, metal awning with corrugated panels, metal roofing
- C. Stucco
- D. Corrugated vertical metal siding – Accent color at north inset and stair tower
- E. Simulated stone veneer
- F. Rooftop HVAC screen color
- G. Decorative gooseneck light fixture
- H. Decorative cantilevered wood beams
- I. Corrugated vertical metal siding – General color
- J. Corrugated horizontal metal siding
- K. Outdoor bench seating
- L. Aluminum storefront doors and windows, color of vinyl windows to match
- M. CMU at trash enclosure



CITY OF KIRKLAND

Planning and Community Development Department

123 Fifth Avenue, Kirkland, WA 98033

425.587-3225 ~ www.kirklandwa.gov

DEVELOPMENT STANDARDS LIST DRV13-00254, JUANITA BAY VET BUILDING

ZONING CODE STANDARDS

92.35 Prohibited Materials In Design Districts. If in a design district the following building materials are prohibited or limited in use: mirrored glass or reflective materials, corrugated fiberglass, chain link fencing, metal siding, concrete block, backlit awnings. Water spigots are required along building facades along sidewalks for cleaning and plant watering. Commercial buildings with more than one tenant shall install a cornerstone or plaque.

95.51.2.a Required Landscaping. All required landscaping shall be maintained throughout the life of the development. The applicant shall submit an agreement to the city to be recorded with King County which will perpetually maintain required landscaping. Prior to issuance of a certificate of occupancy, the proponent shall provide a final as-built landscape plan and an agreement to maintain and replace all landscaping that is required by the City.

95.50 Tree Installation Standards. All supplemental trees to be planted shall conform to the Kirkland Plant List. All installation standards shall conform to Kirkland Zoning Code Section 95.45.

95.52 Prohibited Vegetation. Plants listed as prohibited in the Kirkland Plant List shall not be planted in the City.

100.25 Sign Permits. Separate sign permit(s) are required. In JBD and CBD cabinet signs are prohibited.

105.18 Pedestrian Walkways. All uses, except single family dwelling units and duplex structures, must provide pedestrian walkways designed to minimize walking distances from the building entrance to the right of way and adjacent transit facilities, pedestrian connections to adjacent properties, between primary entrances of all uses on the subject property, through parking lots and parking garages to building entrances. Easements may be required. In design districts through block pathways or other pedestrian improvements may be required. See also Plates 34 in Chapter 180.

105.32 Bicycle Parking. All uses, except single family dwelling units and duplex structures with 6 or more vehicle parking spaces must provide covered bicycle parking within 50 feet of an entrance to the building at a ratio of one bicycle space for each twelve motor vehicle parking spaces. Check with Planner to determine the number of bike racks required and location.

105.18 Entrance Walkways. All uses, except single family dwellings and duplex structures, must provide pedestrian walkways between the principal entrances to all businesses, uses, and/or buildings on the subject property.

105.18 Overhead Weather Protection. All uses, except single family dwellings, multifamily, and industrial uses, must provide overhead weather protection along any portion of the building, which is adjacent to a pedestrian walkway.

105.18.2 Walkway Standards. Pedestrian walkways must be at least 5' wide; must be distinguishable from traffic lanes by pavement texture or elevation; must have adequate lighting for security and safety. Lights must be non-glare and mounted no more than 20' above

the ground.

105.18.2 Overhead Weather Protection Standards. Overhead weather protection must be provided along any portion of the building adjacent to a pedestrian walkway or sidewalk; over the primary exterior entrance to all buildings. May be composed of awnings, marquees, canopies or building overhangs; must cover at least 5' of the width of the adjacent walkway; and must be at least 8 feet above the ground immediately below it. In design districts, translucent awnings may not be backlit; see section for the percent of property frontage or building facade.

105.65 Compact Parking Stalls. Up to 50% of the number of parking spaces may be designated for compact cars.

105.60.2 Parking Area Driveways. Driveways which are not driving aisles within a parking area shall be a minimum width of 20 feet.

105.60.3 Wheelstops. Parking areas must be constructed so that car wheels are kept at least 2' from pedestrian and landscape areas.

105.60.4 Parking Lot Walkways. All parking lots which contain more than 25 stalls must include pedestrian walkways through the parking lot to the main building entrance or a central location. Lots with more than 25,000 sq. ft. of paved area must provide pedestrian routes for every 3 aisles to the main entrance.

105.77 Parking Area Curbing. All parking areas and driveways, for uses other than detached dwelling units must be surrounded by a 6" high vertical concrete curb.

110.52 Sidewalks and Public Improvements in Design Districts. See section, Plate 34 and public works approved plans manual for sidewalk standards and decorative lighting design applicable to design districts.

110.60.5 Street Trees. All trees planted in the right-of-way must be approved as to species by the City. All trees must be two inches in diameter at the time of planting as measured using the standards of the American Association of Nurserymen with a canopy that starts at least six feet above finished grade and does not obstruct any adjoining sidewalks or driving lanes.

115.25 Work Hours. It is a violation of this Code to engage in any development activity or to operate any heavy equipment before 7:00 am. or after 8:00 pm Monday through Friday, or before 9:00 am or after 6:00 pm Saturday. No development activity or use of heavy equipment may occur on Sundays or on the following holidays: New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving, and Christmas Day. The applicant will be required to comply with these regulations and any violation of this section will result in enforcement action, unless written permission is obtained from the Planning official.

115.45 Garbage and Recycling Placement and Screening. For uses other than detached dwelling units, duplexes, moorage facilities, parks, and construction sites, all garbage receptacles and dumpsters must be setback from property lines, located outside landscape buffers, and screened from view from the street, adjacent properties and pedestrian walkways or parks by a solid sight-obscuring enclosure.

115.47 Service Bay Locations. All uses, except single family dwellings and multifamily structures, must locate service bays away from pedestrian areas. If not feasible must screen from view.

115.75.2 Fill Material. All materials used as fill must be non-dissolving and non-decomposing. Fill material must not contain organic or inorganic material that would be detrimental to the water quality, or existing habitat, or create any other significant adverse impacts to the environment.

115.90 Calculating Lot Coverage. The total area of all structures and pavement and any other impervious surface on the subject property is limited to a maximum percentage of total lot area. See the Use Zone charts for maximum lot coverage percentages allowed. Section 115.90 lists exceptions to total lot coverage calculations See Section 115.90 for a more detailed explanation of these exceptions.

115.95 Noise Standards. The City of Kirkland adopts by reference the Maximum Environmental Noise Levels established pursuant to the Noise Control Act of 1974, RCW 70.107. See Chapter 173-60 WAC. Any noise, which injures, endangers the comfort, repose, health or safety of persons, or in any way renders persons insecure in life, or in the use of property is a violation of this Code.

115.115 Required Setback Yards. This section establishes what structures, improvements and activities may be within required setback yards as established for each use in each zone.

115.115.3.p HVAC and Similar Equipment: These may be placed no closer than five feet of a side or rear property line, and shall not be located within a required front yard; provided, that HVAC equipment may be located in a storage shed approved pursuant to subsection (3)(m) of this section or a garage approved pursuant to subsection (3)(o)(2) of this section. All HVAC equipment shall be baffled, shielded, enclosed, or placed on the property in a manner that will ensure compliance with the noise provisions of KZC 115.95.

115.120 Rooftop Appurtenance Screening. New or replacement appurtenances on existing buildings shall be surrounded by a solid screening enclosure equal in height to the appurtenance. New construction shall screen rooftop appurtenances by incorporating them in to the roof form.

115.135 Sight Distance at Intersection. Areas around all intersections, including the entrance of driveways onto streets, must be kept clear of sight obstruction as described in this section.

Prior to issuance of a grading or building permit:

95.30(4) Tree Protection Techniques. A description and location of tree protection measures during construction for trees to be retained must be shown on demolition and grading plans.

95.34 Tree Protection. Prior to development activity or initiating tree removal on the site, vegetated areas and individual trees to be preserved shall be protected from potentially damaging activities. Protection measures for trees to be retained shall include (1) placing no construction material or equipment within the protected area of any tree to be retained; (2) providing a visible temporary protective chain link fence at least 6 feet in height around the protected area of retained trees or groups of trees until the Planning Official authorizes their removal; (3) installing visible signs spaced no further apart than 15 feet along the protective fence stating "Tree Protection Area, Entrance Prohibited" with the City code enforcement phone number; (4) prohibiting excavation or compaction of earth or other damaging activities within the barriers unless approved by the Planning Official and supervised by a qualified professional; and (5) ensuring that approved landscaping in a protected zone shall be done with light machinery or by hand.

Prior to occupancy:

95.51.2.a Required Landscaping. All required landscaping shall be maintained throughout the life of the development. The applicant shall submit an agreement to the city to be recorded with King County which will perpetually maintain required landscaping. Prior to issuance of a certificate of occupancy, the proponent shall provide a final as-built landscape plan and an agreement to maintain and replace all landscaping that is required by the City



DEVELOPMENT STANDARDS

DRV13-00254

BUILDING DEPARTMENT

BUILDING DEPARTMENT CONDITIONS

Angela Haupt (425) 587-3611

1. Prior to issuance of Building, Demolition or Land surface Modification permit applicant must submit a proposed rat baiting program for review and approval. Kirkland Municipal Ordinance 9.04.040
2. Currently, building permits must comply with the 2009 editions of the International Building, Residential and Mechanical Codes and the Uniform Plumbing Code as adopted and amended by the State of Washington and the City of Kirkland. Permit applications received on or after July 1, 2013 will need to comply with the 2012 editions as amended.
3. Currently, structures must comply with the 2009 Washington State Energy Code. Permit applications received on or after July 1, 2013 will need to comply with the 2012 edition.
4. Structures to be designed for seismic design category D, wind speed of 85 miles per hour and exposure C.
5. Plumbing meter and service line shall be sized in accordance with the current UPC.
6. Demolition permit required for removal of existing structures, if applicable.
7. A geotechnical report is required to address this development activity. The report must be prepared by a Washington State licensed Professional Engineer. Recommendations contained within the report shall be incorporated into the design of the subsequent structures.
8. Per IBC 1009.6.3 - The walls and soffits within enclosed usable spaces under enclosed and unenclosed stairways shall be protected by 1-hour fire-resistance-rated construction or the fire-resistance rating of the stair enclosure, whichever is greater. Access to the enclosed space shall not be directly from within the stair enclosure.
9. 2nd floor restrooms are required to be accessible and separate sex.
10. 1st floor public restroom door is not allowed to swing into the required turn around space.
11. Area of Rescue Assistance is not required in sprinklered buildings per 1007.3 exception #3.
12. Openings on the North side of the structure due to distance to fire separation distance. The actual amount of allowed openings shall be limited per table 705.8.
13. The legal description for this project indicates multiple parcels. A Lot Consolidation by Restrictive Covenant will be required to tie all of the parcels together.

FIRE DEPARTMENT

FIRE DEPARTMENT CONDITIONS

Contact: Grace Steuart at 425-587-3660; or gsteuart@kirklandwa.gov

Existing hydrants in the area are adequate to provide coverage. The one in front of the property is already equipped with a 5" Stortz fitting.

Required fire flow for commercial development is 1,500 gpm. Certificate of water availability must be obtained from Northshore Utility District.

Per Kirkland Municipal Code, all new buildings which are 5,000 gross square feet or larger require fire sprinklers. Due to size over 5,000 s.f., the building shall be equipped with a fire sprinkler system.

A fire alarm system is required to be installed throughout the building.

Portable fire extinguishers are required

A Key box is required (Knox Box).

PUBLIC WORKS DEPARTMENT

PUBLIC WORKS CONDITIONS

Public Works Staff Contacts

Land Use and Pre-Submittal Process:

Rob Jammerman, Development Engineering Manager

Phone: 425-587-3845 Fax: 425-587-3807

E-mail: rjammer@kirklandwa.gov

Building and Land Surface Modification (Grading) Permit Process:

John Burkhalter, Development Engineer Supervisor

Phone: 425-587-3846 Fax: 425-587-3807

E-mail: jburkhalter@kirklandwa.gov

General Conditions:

1. All public improvements associated with this project including street and utility improvements, must meet the City of Kirkland Public Works Pre-Approved Plans and Policies Manual. A Public Works Pre-Approved Plans and Policies manual can be purchased from the Public Works Department, or it may be retrieved from the Public Works Department's page at the City of Kirkland's web site at www.kirklandwa.gov.
2. This project will be subject to Public Works Permit and Connection Fees. It is the applicant's responsibility to contact the Public Works Department by phone or in person to determine the fees. The fees can also be review the City of Kirkland web site at www.kirklandwa.gov The applicant should anticipate the following fees:
 - o Surface Water Connection Fees (paid with the issuance of a Building Permit)
 - o Right-of-way Fee
 - o Review and Inspection Fee (for utilities and street improvements).
 - o Traffic, Park and School Impact Fee (paid with the issuance of Building Permit). For additional information, see notes below.
3. Prior to submittal of a Building Permit, the applicant must apply for a Concurrency Test Notice. Contact Thang Nguyen, Transportation Engineer, at 425-587-3869 for more information. A separate Concurrency Permit will be created.
4. Left-turns into and out of the site may be restricted unless it can be shown to operate safely and without impeding traffic on 98th Avenue NE. Contact Thang Nguyen, Transportation Engineer, at 425-587-3869 for more information.
5. Building Permits associated with this proposed project will be subject to the traffic impact fees per Chapter 27 of the Kirkland Municipal Code. The impact fees shall be paid prior to issuance of the Building Permit(s).
6. Any existing building within this project which is demolished will receive a Traffic Impact Fee credit. This credit will be applied to the first Building Permit that is applied for.
7. All civil engineering plans which are submitted in conjunction with a building, grading, or right-of-way permit must conform to the Public Works Policy titled ENGINEERING PLAN REQUIREMENTS. This policy is contained in the Public Works Pre-Approved Plans and Policies manual.
8. All street improvements and underground utility improvements (storm, sewer, and water) must be designed by a Washington State Licensed Engineer; all drawings shall bear the engineers stamp.
9. All plans submitted in conjunction with a building, grading or right-of-way permit must have elevations which are based on the King County datum only (NAVD 88).
10. A completeness check meeting is required prior to submittal of any Building Permit applications.
11. Prior to issuance of any commercial or multifamily Building Permit, the applicant shall provide a plan for garbage storage and pickup. The plan shall conform to Policy G-9 in the Public Works Pre-approved Plans and be approved by Waste Management and the City.

Sanitary Sewer and Water Conditions:

1. Northshore Utility District approval required for water and sewer service. A letter of sewer/water availability is required; call N.U.D at 425-398-4400.

Surface Water Conditions:

1. Provide temporary and permanent storm water control per the 2009 King County Surface Water Design Manual and the Kirkland Addendum. See Policies D-2 and D-3 in the PW Pre-Approved Plans for drainage review information, or contact city of Kirkland Surface Water staff at (425) 587-3800 for help in determining drainage review requirements. Summarized below are the levels of drainage review based on site and project characteristics:

Full Drainage Review
 A full drainage review is required for any proposed project, new or redevelopment, that will:
 Add or replaces 5,000ft² or more of new impervious surface area,
 Propose 7,000ft² or more of land disturbing activity, or,
 Be a redevelopment project on a single or multiple parcel site in which the total of new plus replaced impervious surface area is 5,000ft² or more and whose valuation of proposed improvements (including interior improvements but excluding required mitigation and frontage improvements) exceeds 50% of the assessed value of the existing site improvements.

2. Evaluate the feasibility and applicability of dispersion, infiltration, and other stormwater low impact development facilities on-site (per section 5.2 in the 2009 King County Surface Water Design Manual). If feasible, stormwater low impact development facilities are required. See PW Pre-Approved Plan Policy L-1 for more information on this requirement.

3. Amended soil per Ecology BMP T5.13 is recommended for all landscaped areas.

4. The storm water detention system shall be designed to Level II standards. Historic (forested) conditions shall be used as the pre-developed modeling condition.

5. This project is creating or replacing more than 5000 square feet of new impervious area that will be used by vehicles (PGIS - pollution generating impervious surface). Provide storm water quality treatment per the 2009 King County Surface Water Design Manual. The enhanced treatment level is encouraged when feasible for multi-family residential, commercial, and industrial projects.

6. Provide an erosion control report and plan with Building or Land Surface Modification Permit application. The plan shall be in accordance with the 2009 King County Surface Water Design Manual.

7. Construction drainage control shall be maintained by the developer and will be subject to periodic inspections. During the period from May 1 and September 30, all denuded soils must be covered within 7 days; between October 1 and April 30, all denuded soils must be covered within 12 hours. Additional erosion control measures may be required based on site and weather conditions. Exposed soils shall be stabilized at the end of the workday prior to a weekend, holiday, or predicted rain event.

8. All roof and driveway drainage must be tight-lined to the storm drainage system or utilize low impact development techniques.

9. Provide a plan and profile design for the storm sewer system.

Street and Pedestrian Improvement Conditions:

1. The subject property abuts 98th Ave. NE. This street is a Neighborhood Access type street. Zoning Code sections 110.10 and 110.25 require the applicant to make half-street improvements in rights-of-way abutting the subject property. Section 110.30-110.50 establishes that this street must be improved with the following:

A. Replace all of the curb and gutter

B. Install a 10 ft. sidewalk with street trees in tree grates 30 ft. o.c., and Juanita-standard pedestrian street lights 60 ft. o.c. The City will consider alternatives to the sidewalk design to meet the Planning Department requirements for

covered walkways (with awnings attached to the building).

2. A 2-inch asphalt street overlay will be required where three or more utility trench crossings occur within 150 lineal ft. of street length or where utility trenches parallel the street centerline. Grinding of the existing asphalt to blend in the overlay will be required along all match lines.

3. All street and driveway intersections shall not have any visual obstructions within the sight distance triangle. See Public Works Pre-approved Policy R.13 for the sight distance criteria and specifications.

4. It shall be the responsibility of the applicant to relocate any above-ground or below-ground utilities which conflict with the project associated street or utility improvements.

5. Underground all new and existing on-site utility lines and overhead transmission lines.

6. New street lights may be required per Puget Power design and Public Works approval. Contact the INTO Light Division at PSE for a lighting analysis. If lighting is necessary, design must be submitted prior to issuance of a grading or building permit.

7. An access easement was recorded on the parcel to the south (11400 98th Ave. NE) to allow for joint access to this property when it redeveloped. The purpose of the joint access easement was to create the ability for this subject parcel and the parcel to the south to share a connected parking lot and driveways because left turn movements will likely be limited along 98th Ave NE in the future (from this site north). The City has asked the applicant to make provisions in their parking lot design to use the joint access easement. The applicant has asked if the City would accept an access easement to the east in lieu of connecting to the recorded easement to the south. If this proposal is accepted, a joint access would be built to the east; up to 99th Pl. NE when that parcel is redeveloped. The City is considering this proposal, but either option (using the existing easements or providing an alternate easement) will not directly affect the design of this building and the DRV process can move forward independently.

52.14 User Guide.

The charts in KZC [52.17](#) contain the basic zoning regulations that apply in the JBD 2 zones of the City. Use these charts by reading down the left hand column entitled Use. Once you locate the use in which you are interested, read across to find the regulations that apply to that use.

Section 52.15

Zone
JBD-2

Section 52.15 – GENERAL REGULATIONS

The following regulations apply to all uses in this zone unless otherwise noted:

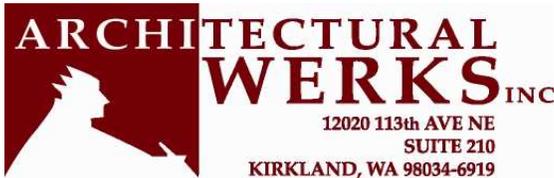
1. Refer to Chapter [1](#) KZC to determine what other provisions of this code may apply to the subject property.
2. Must provide a public pedestrian access easement if the Planning Official determines that it will furnish a pedestrian connection or part of a connection between 98th Avenue NE and 100th Avenue NE. Pathway improvements will also be required if the easement will be used immediately. No more than two complete connections shall be required.
3. The maximum height of structures on the subject property may be increased by up to 13 feet if a view corridor is maintained across 30 percent of the average parcel width for the portion of the building above 26 feet. The corridor will be located to provide the widest view corridor given development on adjacent properties to the north and south.
4. See Chapters [100](#) and [162](#) KZC for information about nonconforming signs. KZC [162.35](#) describes when nonconforming signs must be brought into conformance or removed (does not apply to Public Parks uses).
5. May also be regulated under the Shoreline Master Program; refer to Chapter 83 KZC.

[link to Section 52.17 table](#)

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS

Section 52.17	USE ↓ REGULATIONS ↑	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARDS (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.080	Office Use	D.R., Chapter 142 KZC.	None	0'	0'	0'	80%	26' above average building elevation.	D	D	If a Medical, Dental or Veterinary office, then 1 per each 200 sq. ft. of gross floor area. Otherwise, 1 per each 300 sq. ft. of gross floor area.	1. The following regulations apply to veterinary offices only: <ol style="list-style-type: none"> May only treat small animals on the subject property. Outside runs and other outside facilities for the animals are not permitted. Site must be designed so that noise from this use will not be audible off the subject property. A certification to this effect, signed by an Acoustical Engineer, must be submitted with the development permit application. A veterinary office is not permitted if the subject property contains dwelling units. 2. Ancillary assembly and manufacture of goods on the premises of this use are permitted only if: <ol style="list-style-type: none"> The ancillary assembled or manufactured goods are subordinate to and dependent on this use; and The outward appearance and impacts of this use with ancillary assembly or manufacturing activities must be no different from other office uses.
.090	Attached or Stacked Dwelling Unit See Spec. Reg. 1.								A	1.7 per unit.	1. For properties abutting 98th Avenue NE, this use may be located on the street level floor of a building only if there is an intervening retail storefront or office between this use and the abutting 98th Avenue NE right-of-way. 2. The development must be designed to limit potential impacts from surrounding commercial uses on residents of the subject property. 3. Chapter 115 KZC contains regulations regarding home occupations and other accessory uses, facilities, and activities associated with this use.	
.100	Church								B	1 per every four people based on maximum occupancy load of any area of worship. See Special Reg. 2.	1. May include accessory living facilities for staff persons. 2. No parking is required for day-care or school ancillary to the use.	
.110	Hotel or Motel								E	1 per each room. See Spec. Reg. 2.	1. May include ancillary meeting and convention facilities. 2. Excludes parking requirements for ancillary meeting and convention facilities. Additional parking requirements for these ancillary uses shall be determined on a case-by-case basis.	
.120	Private Lodge or Club								B	1 per each 300 sq. ft. of gross floor area.		

Attachment 5



April 1, 2013

City of Kirkland, Planning & Community Development
 123 5th Avenue
 Kirkland, WA 98033

RE: File No: DRV13-00254 Design Response Conference Application:
 Juanita Bay Veterinary Hospital / Architectural Werks, Inc.

Dear Members of the Architectural Design Review Board,

I am pleased to submit the attached documents and drawings for your review of above referenced project to be located in the Juanita area of Kirkland. The project is being undertaken to develop new office space for both Juanita Bay Veterinary Hospital (current tenant on site), and Architectural Werks, Inc.

PROJECT SCOPE: The scope of the project entails the construction of a new two-story office building as well as the demolition of the existing on-site veterinary hospital in preparation for the development of vehicle parking and storm water control facilities.

RESPONSES TO CONCEPT DESIGN CONFERENCE: To assist the Design Review Board in locating our responses to the questions and comments outlined in the letter from Janice Coogan, Senior Planner, dated March 19, 2013 we offer the following:

1. **Section drawing of the project site and adjacent sites from 99th Place to 98th Ave NE:** *Requested site section is shown on sheet A4.7*
2. **Details of the north, west and south facades of the building visible from 98th Ave. Pedestrian spaces on front façade. Provide options to avoid blank façade on north side. What architectural treatments will be used to avoid a blank façade on the north side?:** *Please refer to elevation and three dimensional model renderings shown on sheet A4.1, A4.3 & A4.5. We have utilized a variety of techniques to address blank wall concerns including changes in the physical plane of the wall, transparency (windows), and changes in both texture and materials. We have as well utilized a darker material color at the wall recess to emphasize and strengthen the perceived depth while minimizing the perceived length of the overall north wall. Stair stepped west elevation adds interest for south bound pedestrians and vehicular traffic, and the accent color at the recess was selected to compliment the earth tone reds and browns that exist on the adjoining structures to the north.*
3. **Landscape plan for the site including the transition area between the building and sidewalk:** *Please refer to sheet L-1 prepared by Ken Large Landscape Architects, Inc.*
4. **Rooftop units height, location, and screening methods incorporated into the roof design:** *Please refer to sheet A3.0 heights and placement of rooftop HVAC equipment. All units are either 3 or 5 ton units with a maximum height above the roof of 4'-3" Proposed steel panel screening materials are attached directly to the units and offer built in sliding panels doors for services access. Locations as noted on sheet A3.0 are accurately depicted on both the elevations and building model and are not visible over the parapet from the street level at 98th Ave. NE.*

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5. **Building materials and lighting details:** *Please refer to sheet A4.8. Major building materials include: dry stacked stone veneer, stucco, corrugated steel and metal canopies. Please refer to the material sample board for actual finish materials and colors.*

6. **Streetscape design including 10' sidewalk with street trees in grates and decorative pedestrian lighting.** **See public works pre-approved plans for the Juanita Business District and comments from the pre-submittal meeting PRE13-00134:** *Please refer to sheets A1.0 and L-1. Care has been taken to provide adequate landscaping between the building and the 10' wide pedestrian sidewalk to provide a pleasing pedestrian way and reasonable transparency to the internal spaces of the first floor veterinary uses, while simultaneously affording grieving clients a measure of privacy. The sidewalk opens up at the SW corner of the building to intuitively announce the entrance path to the building, allow covered space for both a bike rack and wood bench seating at the location to be most likely utilized by clients and pedestrian passers-by. The waiting room windows, building fenestration lighting, and pedestrian lights at this location also afford the most secure and safe environment for pedestrian uses.*

7. **Vehicular turning and traffic issues – for the City to evaluate the feasibility of an alternate vehicular and pedestrian access to the east of the parcel connecting to 99th Place, provide a schematic drawings of what you have in mind and we will discuss the implications of both south and east options:** *Please review the attached “Access Driveway Analysis and Sight Distance Summary” prepared by Northshore Traffic Consultants.*

After evaluating the east access option, it is our opinion, that a driveway would be too steep, within any reasonable means for a project of this scope, to meet city standards for vehicular traffic access. Additionally the recent installation of parking stalls along the west margin of the 99th Place R.O.W. would greatly limit the northerly site view triangle distances available from the most reasonable location for a driveway. .

Sincerely,

Architectural Werks, Inc.



Jeff Clark, AIA
 President

Cc: file 1240-4d