



434 KIRKLAND WAY MIXED USE

DESIGN REVIEW

DESIGN RESPONSE CONFERENCE

SUBMITTAL DATE: OCT 5, 2016

PRESENTATION DATE: DEC 5, 2016

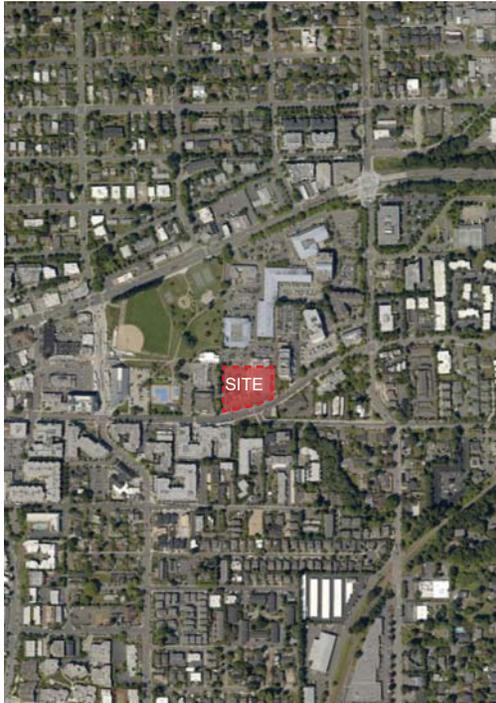
ARCHITECTS
baylis

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ARCHITECT	Baylis Architects 10801 Main Street, #110 Bellevue, WA 98004 Brian Brand (425) 454-0566	11	Site survey
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LANDSCAPE ARCHITECT	Weisman Design Group Mark Weisman 2329 E Madison St Seattle, WA 98112	33	Average building elevation
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ARBORIST	American Forest Management 11425 NE 128th St Suite 110 Kirkland WA 98034	40	Building Section
GEO-TECHNICAL ENGINEER	Geo-Engineers 8410 154th Ave NE Redmond WA 98052		

VICINITY MAP

DEVELOPMENT OBJECTIVES



The submittal package for this design response conference will address the overall building forms, color and material selections. The design response will also address the site design and the various landscape design features throughout the project.

DESIGN OBJECTIVES

PROJECT GOAL:

The goal of 434 Kirkland Way Mixed Use is to create a new place for commercial and residential opportunities in downtown Kirkland.

DEVELOPMENT OBJECTIVES/ PROPOSAL:

What has been in the recent past predominately commercial use, the site is becoming a mixed use of residential, commercial and retail. The proposed project will replace an empty parking lot as the new project will fill the site with new mixed-use structure, landscaped pedestrian walkways and plaza for the surrounding community. The property is situated just south of the new Kirkland Urban project formerly known as Kirkland Park Place shopping center, just east of the Peter Kirk Park and The Performance Center and west of the Emerald office building.

The proposed project is anticipated to be a mixed use residential and ground level retail building project with five stories of Type V 1-hour construction over 3 levels Type 1 concrete construction. The concrete portion of the building will include street level retail and subterranean parking. There will be approximately 171 dwelling units (actual count to be determined based on the unit sizes) of rental or for sale apartment flats and town-homes providing a unit mix of studio/ open 1-bedrooms, 1-bedrooms, & 2-bedrooms, for a total of 8 to 12 unit types, plus barrier free units. 10 percent of these units will be affordable housing as defined in Chapter 5 of the zoning code. The ground floor retail will consist of approximately 15,520 sf and will be accommodated with a loading zone. All in all, the overall project will consist of about 274,500 gross square feet. The project will incorporate sustainable strategies comparable to LEED Silver.



PREFERRED OPTION RECAP

MASSING STUDY

On June 6, 2016 the Design Review Board held the Conceptual Design Conference for the proposed mixed use project that would consist of approximately 15,500 sf of ground retail and 174 residential units. The Design Review Board generally agreed with the proposed building massing shown in option C, the preferred option.

Preferred Option Recap:

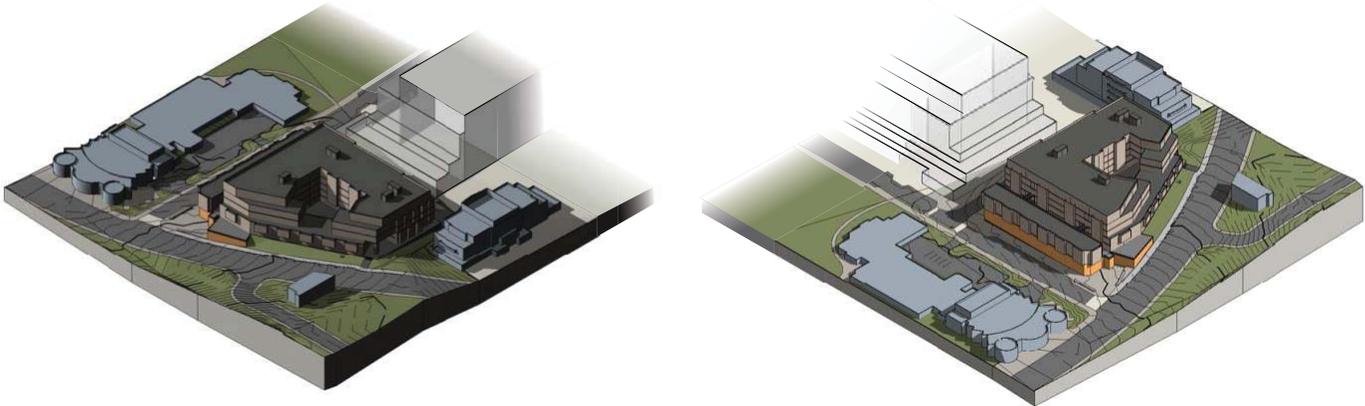
Option C addresses both previous schemes' bulk mass problems, articulation of forms and privacy issues. This option is different in that while utilizing a central courtyard, it is screened by a row of units at the south, while the residential floors above the 2nd floor level open up in a terraced fashion promoting more opportunities for more open space and light for the outer units.

Pros:

- Main entry at southeast corner accessible covered secured entry
- Pedestrian plaza open and inviting
- Central courtyard is still significant in size and better screened for privacy



STREET VIEW FROM KIRKLAND WAY



BIRDSEYE VIEW

BOARD RECOMMENDATION

A. SCALE

- The treatment of the southwest corner of the building, above the plaza, is key. Explore articulation and fenestration in this area.
- Provide more detail on the building modulation, particularly for the north elevation.
- Achieve pedestrian scale (very important for the west and south elevations)
- Explore rooftop modulation
- Address fenestration and materials

B. ACCESS

- The DRB was generally supportive of the proposed promenade connections to Kirkland Urban, but the design must provide a smooth transition along the Promenade from Kirkland Urban to Kirkland Way.

C. OPEN SPACE AND LANDSCAPING

- Provide more information on the inner plaza and explore ways to make it more open/ visible from off site.
- Design the SW corner to acknowledge its importance as a pedestrian gathering place and entry into the site (explore increased setback of the retail at that location).

D. OTHER

Provide a smooth transition on west side of site to the Kirkland Performance Center and Peter Kirk Park. Property owner will work with KPC and Peter Kirk Park to ensure the proposed design is acceptable.

E. ITEMS REQUIRED FOR DESIGN RESPONSE CONFERENCE

- Perspective drawings of views of all corners (night and day renderings)
- Perspective views of the SW corner and going west down Kirkland Way
- Sections to show relationship of building to pedestrian areas
- 4 Building elevations
- Pedestrian Entrances (both off of Kirkland Way), Main retail lobby entry and East entry
- Northwest area at the promenade. How does it transition to our property
- Ideas for public art
- Detailed landscape plans, including inner courtyard and Southwest plaza space
- Relationship of project to KPC
- Roof treatment



BIRDSEYE VIEW FROM KIRKLAND WAY

The design review board expressed concerns about the southwest corner. The way that the protruding retail comes together with the wedding caked shaped masses at the upper levels is a significant key to successfully configuring the aesthetics that really compliments the corner of the site. As these exhibits show we have taken the corner, re-sculpted the upper levels and brought the forms together to celebrate the corner, opening the mid segment for the main entry lobby and terracing the building form back from a epitomizing corner window wall feature which extends through all levels of the building.

Modulation was another concern for the overall project, especially at the north side of the building. As shown on the exhibits, there are modulation on all four sides, particularly at the north side where horizontal and vertical bays form the in and outs of bedrooms and living areas within the units. These bays are clad with superior materials and brighter colors so that they appear to pop out of the building.

BOARD RECOMMENDATION



Rooftop modulation is apparent in the articulation of the bays and the undulation created by the loggias over each bay. The repetitive bays at the promenade and at units facing Kirkland way help alleviate any blank walls by expressing articulation and fenestration patterns. The loggias are also present at the rooftop. The penthouse level recedes back, made possible by the bays facing west and by the building set-backs facing south. This top floor receives a darker color and has continuous loggia with a single breakage at the north side. The perspective show that the upper level is least visible from grade at south, and west sides. This recessed level is enhanced by a richly finished soffit.

In concurrence with the design departure request that was submitted, the sidewalk at the west side of the promenade is now proposed to be 16' wide and the sidewalk on the opposite side at Kirkland Performance Center is 8' wide, suggesting a slight shift in the drive lanes as the project transitions to Kirkland Urban at north.

Special landscaping is provided throughout the project and is specialized in each region around the building and site. The courtyard is designed to be a private space sheltered by the building corners at level 95.5' and the connecting breezeway at level 85.5'. Special pavers, in combination with trees and ground cover will define paths to each units at the south side of the courtyard while private patios will screen off access for privacy for units flanking the west and north side.

The public plaza at the southwest corner will include a water feature and seating to define an art piece for the pedestrians to enjoy. Trees and shrubs will also work in conjunction with the plaza features to contribute to the community as the space will truly come alive in multi-purpose use, such as mini-outdoor performing or interactive playful gathering space.

SITE PLAN

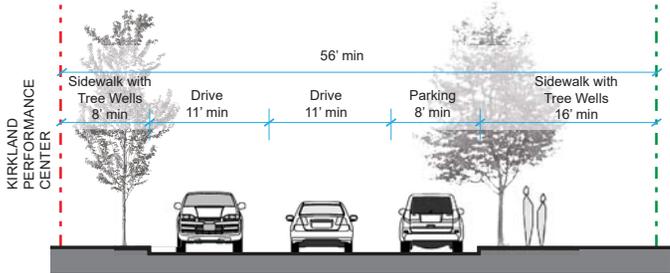
SITE DIAGRAM

DEVELOPMENT OBJECTIVES/ PROPOSAL

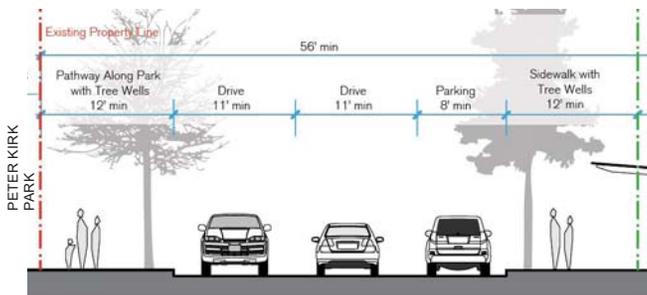
The proposed project will strive to maintain the goals originally stated in the Parkplace Master plan by extending the two vehicle lanes, and the parking lane at the required minimum dimensions. The proposed project incorporates all retail frontage for street level use on the east side of the promenade.

DEPARTURE REQUEST

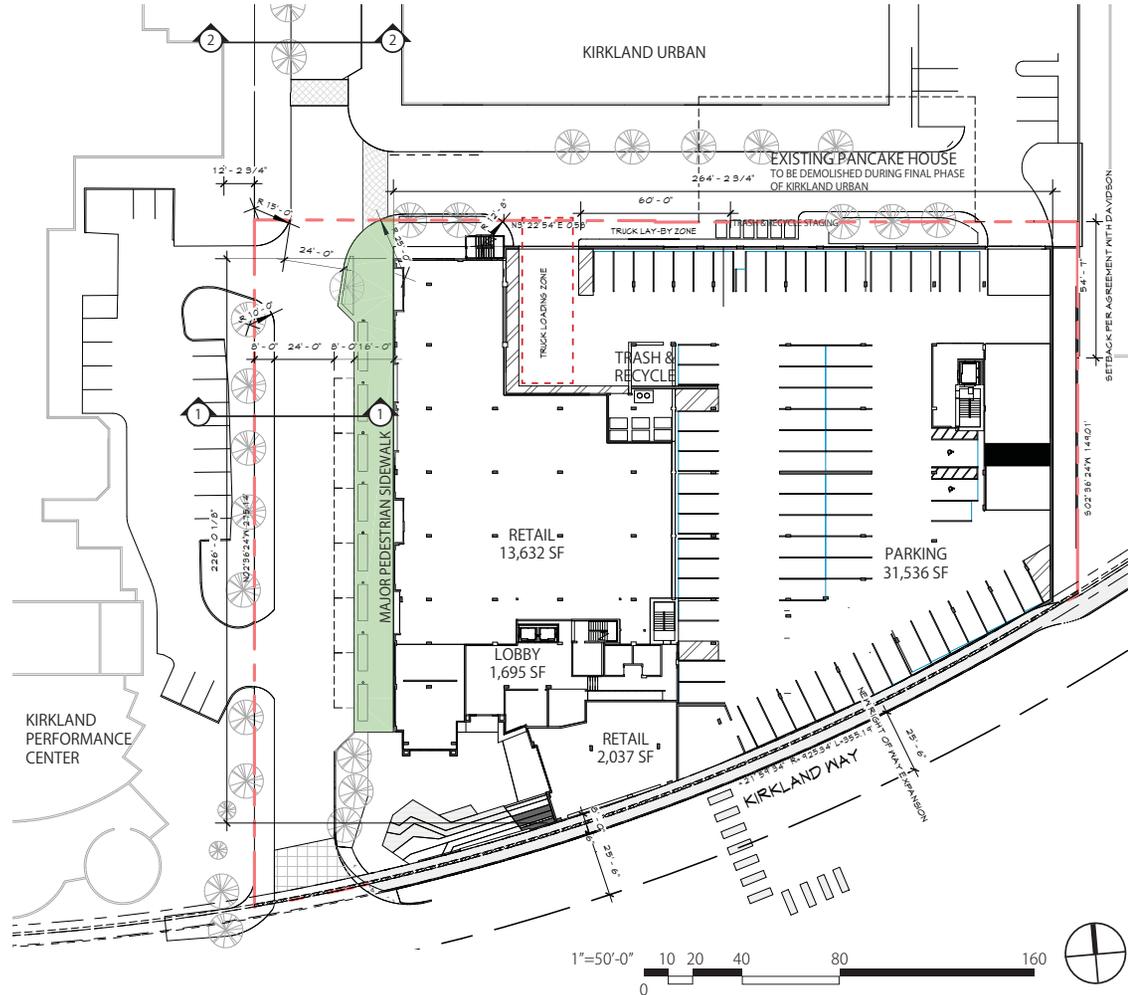
The project will seek to gain permission to reduce the walkway at the west side of the easement that adjoins Peter Kirk Park down to 8-foot. Reducing the sidewalk at the west side of the easement will allow us to gain 4-foot at the east side adjacent to the proposed retail. This new 16-foot walkway next to the retail will allow more enhanced promenade at the retail side for seating, landscapes and other amenities. See landscape plan for further clarification of proposed hardscape design.



1. PROPOSED PROMENADE SECTION TYP.



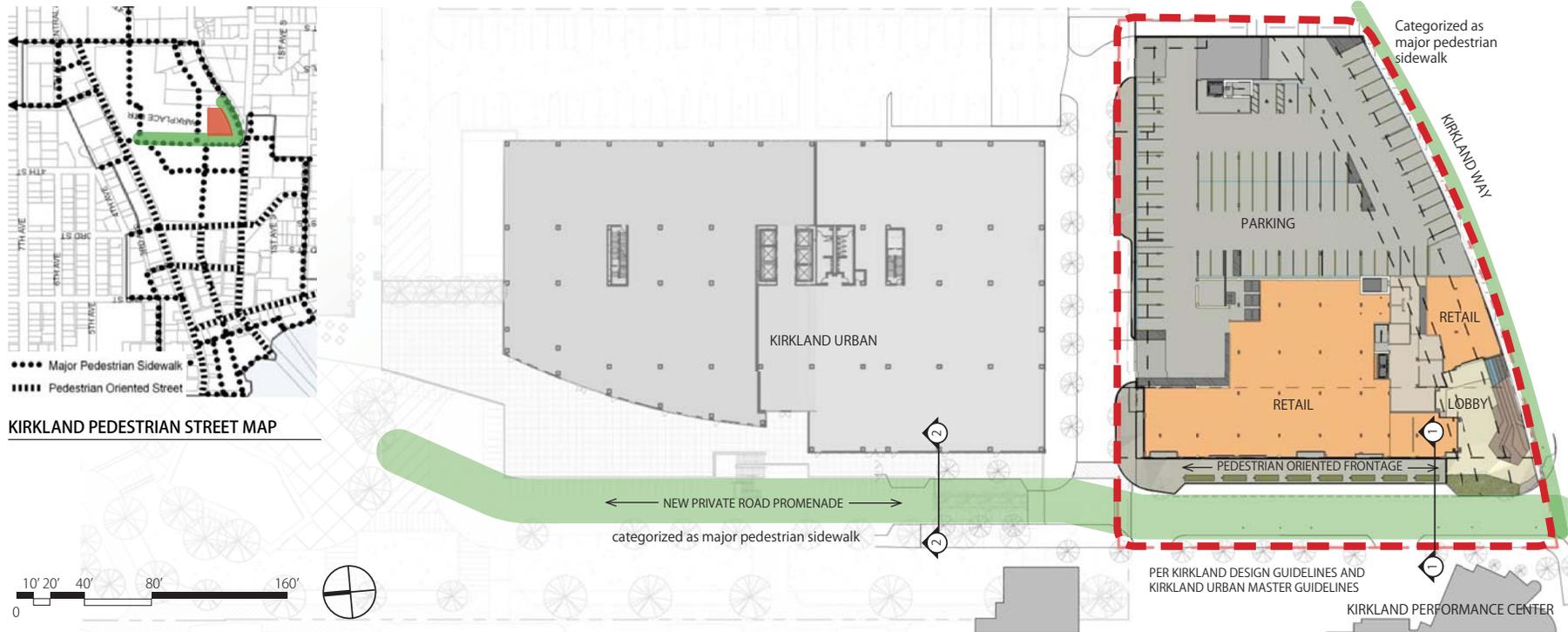
2. KIRKLAND URBAN PROMENADE SECTION TYP.



SITE PLAN

SITE PLAN

SITE WITH KIRKLAND URBAN



KIRKLAND PEDESTRIAN STREET MAP



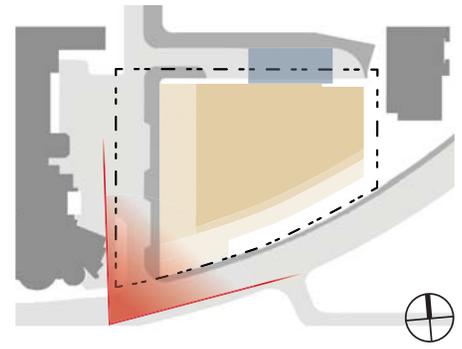
ELEVATION WITH KIRKLAND URBAN

OVERALL LANDSCAPE PLAN



PERSPECTIVE RENDERING

PERSPECTIVE - VIEW NE FROM PLAZA ON KIRKLAND WAY



Discussion Items and DRB Direction:

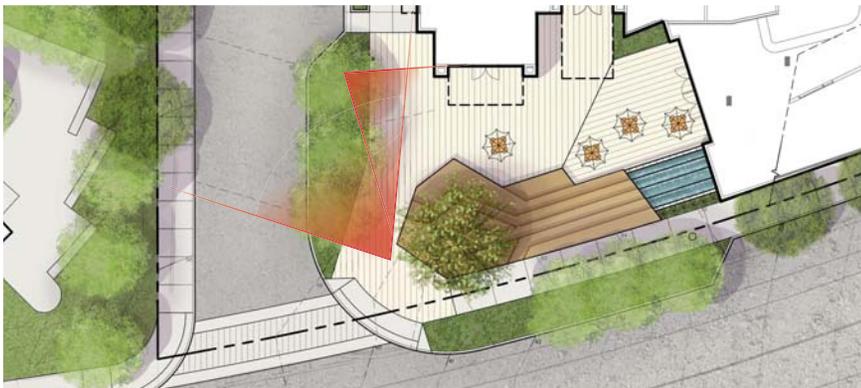
A. Scale

- a. The treatment of the southwest corner of the building, above the plaza, is key. Explore articulation and fenestration in this area.
- Overall massing and configuration at the SW corner has been updated to express more balanced tiers of upper level units to retail at grade, with a vertical design curtain wall climbing up to the penthouse level. The Southern most unit facing Kirkland Way at the west end now perches above the retail. Design includes a main level lobby entry at the ground level between the two retail fronts. This lobby entry is framed with pilasters and prominent entry canopies.



DESIGN FEATURE

CORNER CONNECTION



Discussion Items and DRB Direction:

A. Scale

c. Achieve pedestrian scale (very important for the west and south elevations)

- Pedestrian scale is achieved at the west retail with fenestration, weather protection, landscape and hard scape features. Per the Kirkland Urban master plan requirements, the sidewalk is required to be minimum 12'-0". The proposed wider 16'-0" sidewalk accommodates planter benches, walkways under building canopies and storefront windows. There are multiple entryways into the building at this west facade.

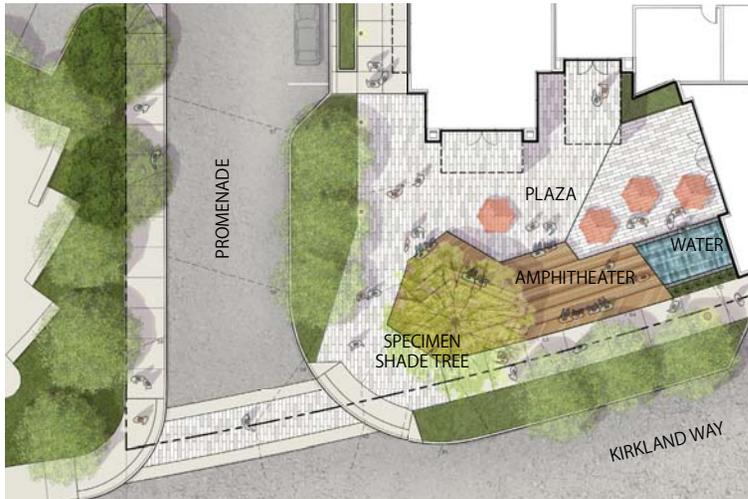
Design the SW corner to acknowledge its importance as a pedestrian gathering place and entry into the site (explore increased setback of the retail at that location)

- Landscape at the SW plaza is strategically designed to promote circulation and specialized areas where the public can enjoy the unique attributes of each.
- Durable wood or composite materials will be utilized for seating. Water feature will be the art piece that is expressed as function and form. Water will help mask unwanted noise entering the plaza.



DESIGN FEATURE

CORNER CONNECTION



Plaza seating / retail



Water feature with sculptural stonework



Specimen shade tree: Honey Locust



Plaza Birdseye View



Amphitheater Seating and Water Feature



Wood seating at amphitheater



Narrow pavers

PLANTING

STREET LEVEL TREES

STREET TREES



1
Acer rubrum
Armstrong Red Maple



2
Nyssa sylvatica
Black Tupelo



3
Zelkova serrata
Japanese Zelkaova



4
Magnolia × loebneri 'Leonard Messel'
Loebner magnolia



5
Acer palmatum (Green)
Japanese Maple



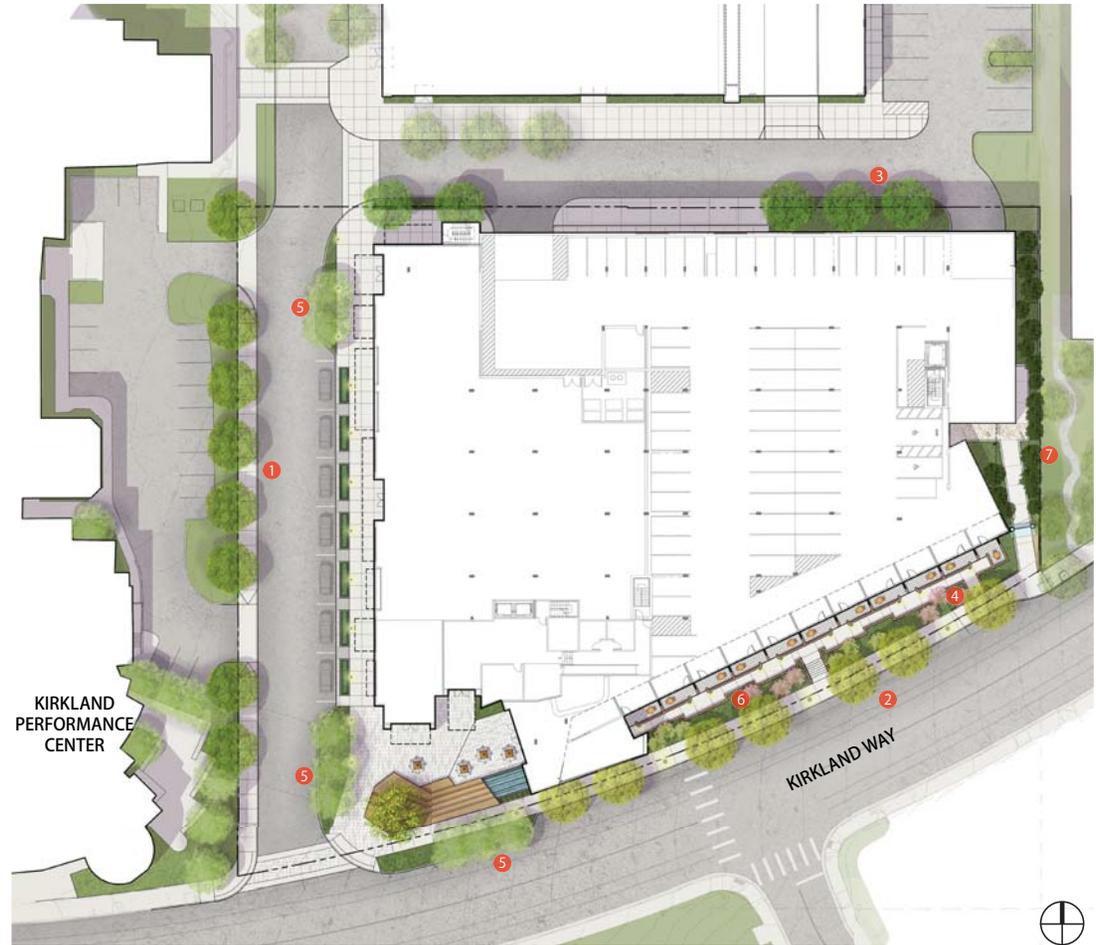
6
Cornus kousa
Japanese Dogwood



MIX
7



Acer circinatum
Vine Maple



PLANTING

STREET LEVEL PLANTING MATERIAL

1 KIRKLAND WAY FRONTAGE MIX



2 GENERAL PLANTING MATERIAL

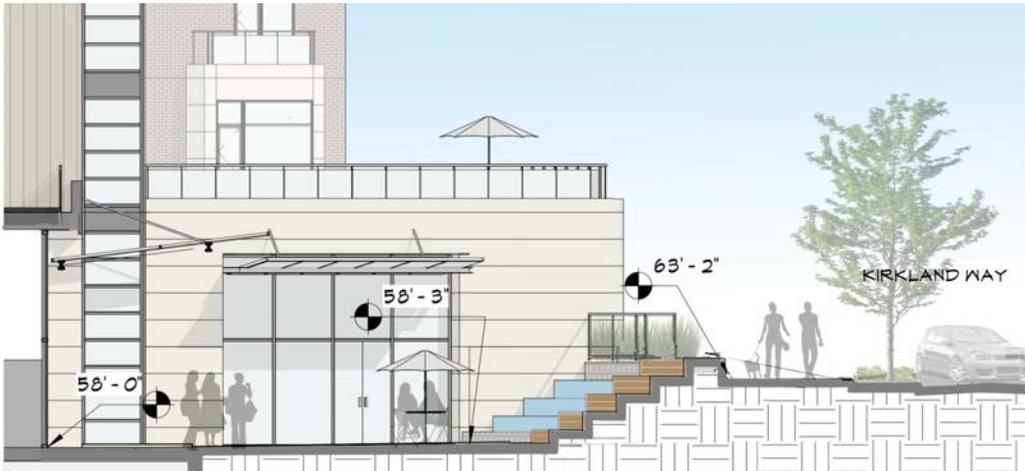


3 STORMWATER PLANTER MIX

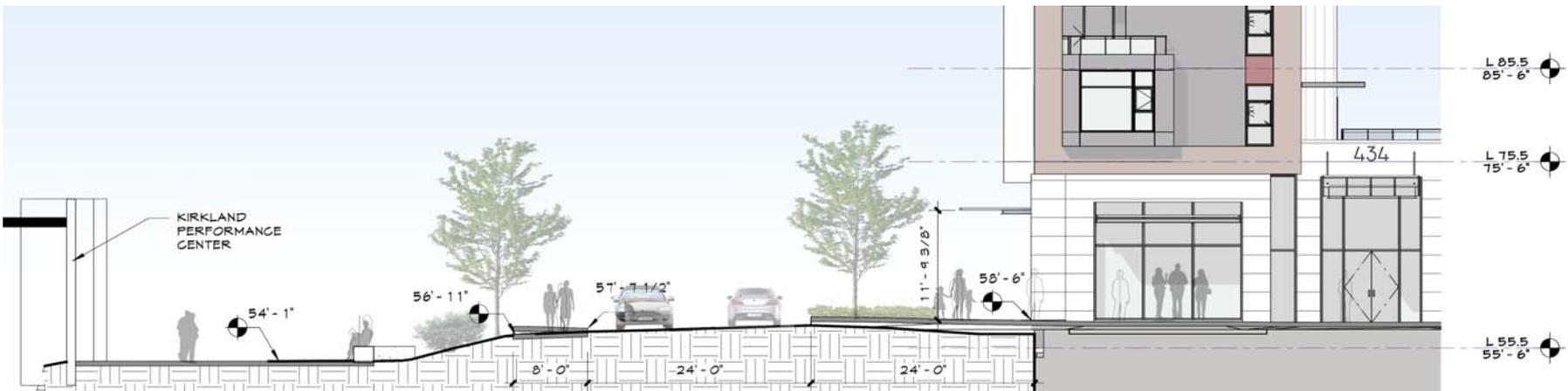


DESIGN FEATURE

PLAZA SECTION



1. PLAZA SECTION



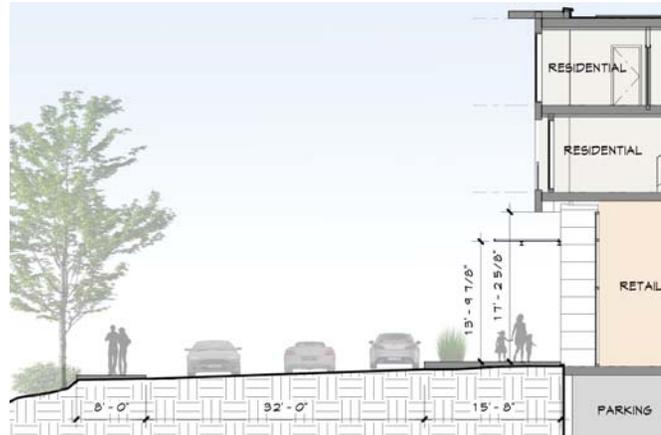
2. TRANSITION TO KIRKLAND PERFORMANCE CENTER

DESIGN FEATURE

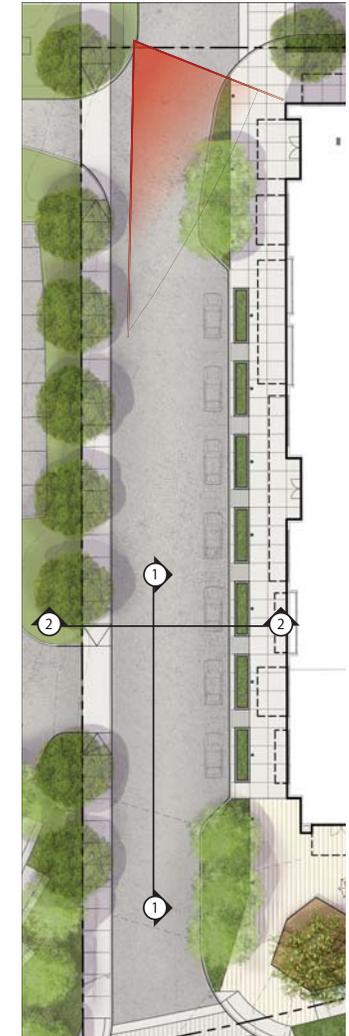
PEDESTRIAN RETAIL FRONT



1. PEDESTRIAN RETAIL FRONT

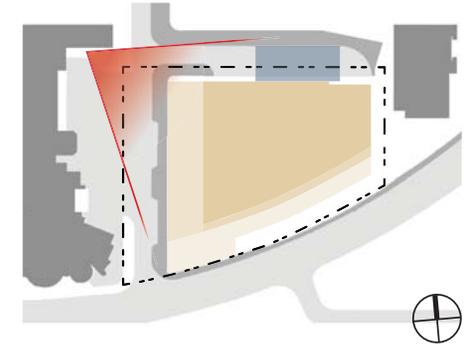


2. CONNECTION WITH KIRKLAND PERFORMANCE CENTER



PERSPECTIVE RENDERING

VIEW FROM KIRKLAND URBAN



Discussion Items and DRB Direction:

A. Scale

b. Provide more detail on the building modulation, particularly for the north elevation.

- North façade has been updated to incorporate modulation horizontally and vertically. Brick facades for the townhomes over retail articulates recessed planes and balconies using either metal or fiber cement panels. Modulation at the residential floors has been expressed with vertical and horizontal window bays. Vertical bays are expressed with the use of different color panels and window configuration. The horizontal bays span multiple units, include a row of fenestration and serves as balconies.

B. Access

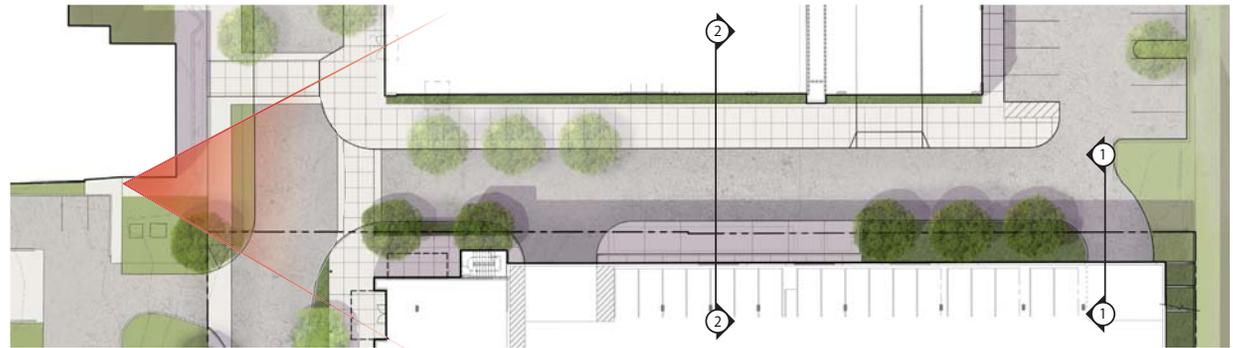
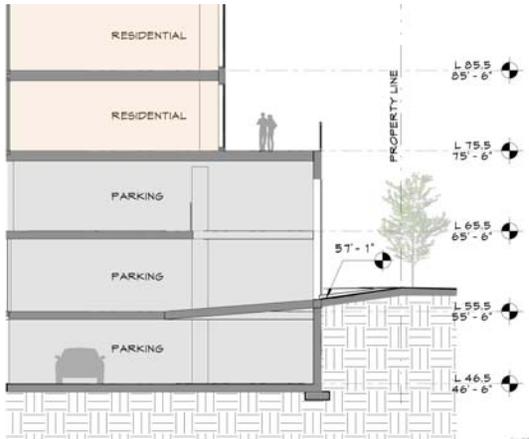
a. The DRB was generally supportive of the proposed promenade connections to Kirkland Urban, but the design must provide a smooth transition along the Promenade from Kirkland Urban to Kirkland Way.

- The proposed project maintains the intent of the architectural finish for the walking pavement. The material of the crosswalk and the sidewalk will be consistent with the design guidelines.

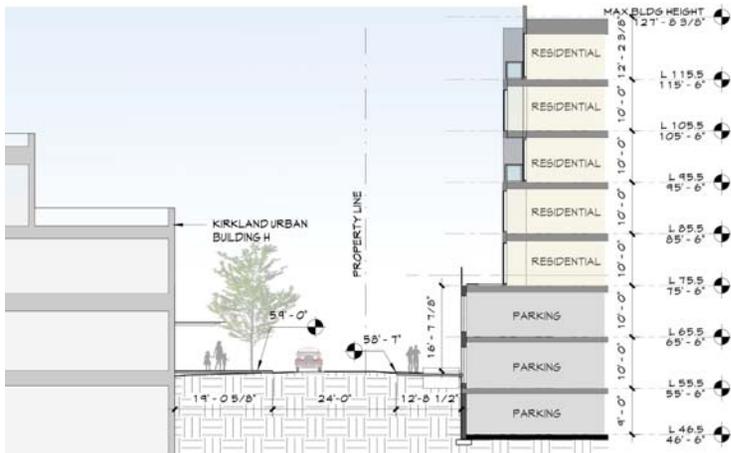


DESIGN FEATURE

TRANSITION TO KIRKLAND URBAN



1. PARKING ENTRY



2. ADJACENT WITH KIRKLAND URBAN



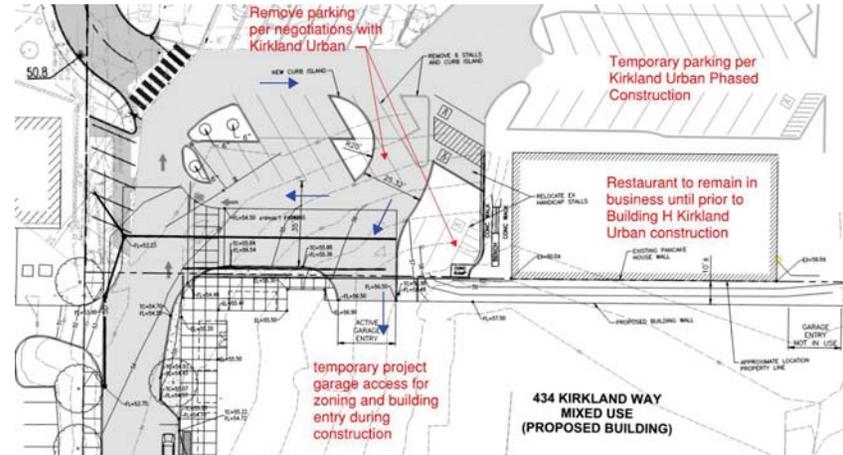
DESIGN FEATURE

NORTH ELEVATION

Interim staging site plan shows temporary vehicle circulation around the pancake house restaurant until the building is demolished as part of the last phase of Kirkland Urban development. The truck lay-by and trash staging areas along with the landscape planter will be built after the demolition of the restaurant takes places.



PANCAKE HOUSE CIRCULATION



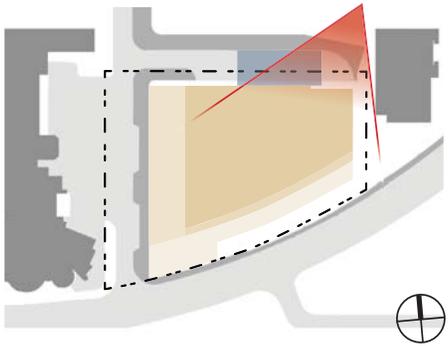
TEMPORARY STAGING AND PARKING DURING CONSTRUCTION



NORTH ELEVATION (AFTER NORTH IMPROVEMENT AND DEMOLITION OF RESTAURANT)

PERSPECTIVE RENDERING

PERSPECTIVE - VIEW SOUTH FROM NORTH



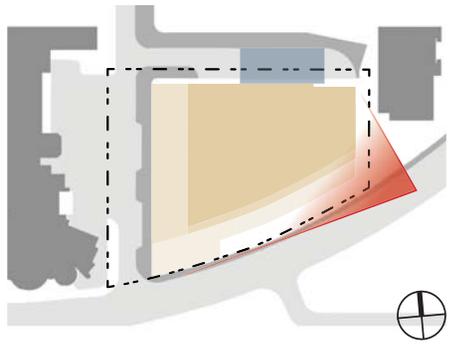
Discussion Items and DRB Direction:

E. Items required for Design Response Conference

DRB had concerns about the transition to the property at the east as well as dealing with the steep berm at the northeast corner of the site. As the exhibits and sections show, terraced landscape beds will rest within concrete walls as it extends east up to the neighboring keystone wall. The keystone wall remains intact and the terrace landscape bed acts as a security measure to ward off trespassing.

PERSPECTIVE RENDERING

PERSPECTIVE - VIEW NW FROM EAST ENTRY



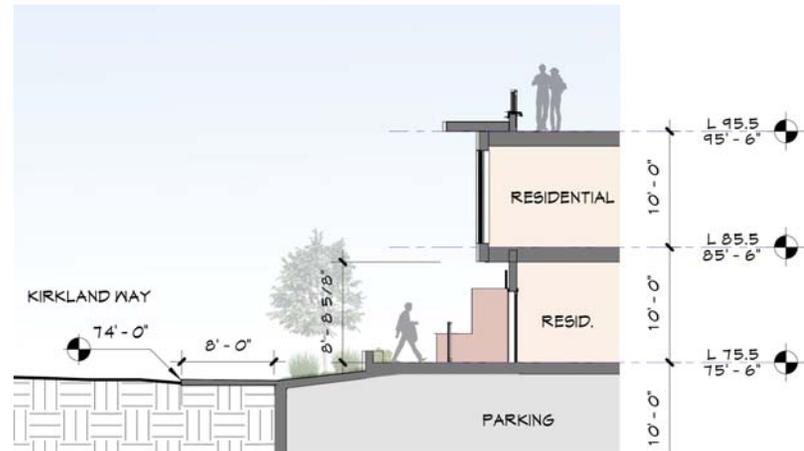
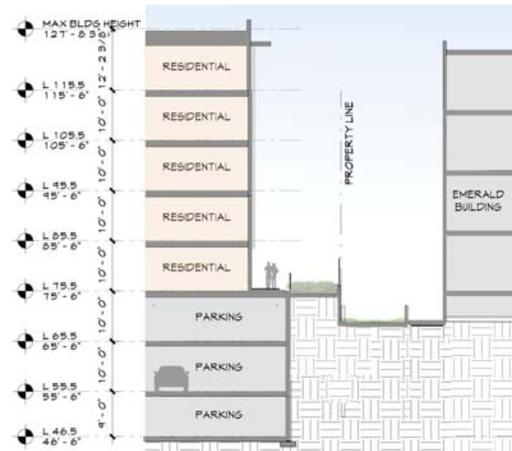
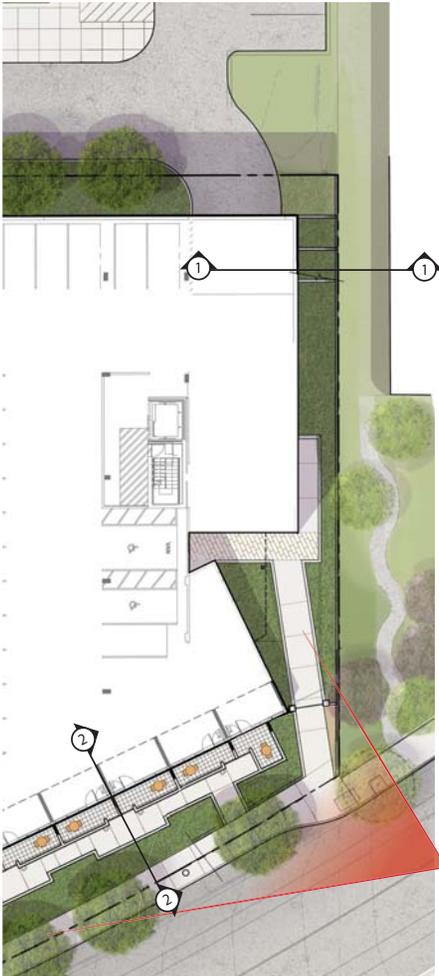
Discussion Items and DRB Direction:

E. Items required for Design Response Conference

- Pedestrian gate at the East corner is visible and well secured by gates. Entry pillars and overhead structure will frame the exterior with, continuous landscape bed and walkways to extend with a gradual slope down to the finish floor level, allowing easy access for residents to enter the building.
- Continuous landscaped berm, walkways into the building units at each porch help define boundaries. Porches are enclosed by brick partitions and allow unit residents semi private patio spaces and views.

DESIGN FEATURE

RELATIONSHIP TO EMERALD OFFICE BUILDING



ENTRY LANDSCAPE DESIGN

1. SECTION WITH EMERALD

2. BROWN STONE ENTRY

AMENITY AREA

OVERALL LANDSCAPE PLAN

Discussion Items and DRB Direction:

C. Open Space and Landscaping

- Provide more information on the inner plaza and explore ways to make it more open/ visible from offsite.
- Design the SW corner to acknowledge its importance as a pedestrian gathering place and entry into the site (explore increased setback of the retail at that location).

Inner Plaza is designed with a combination of planter units and privacy screens with gates.

TOWNHOMES GREEN ROOF LEVEL 95.5'

ALLEY LEVEL 75.5'

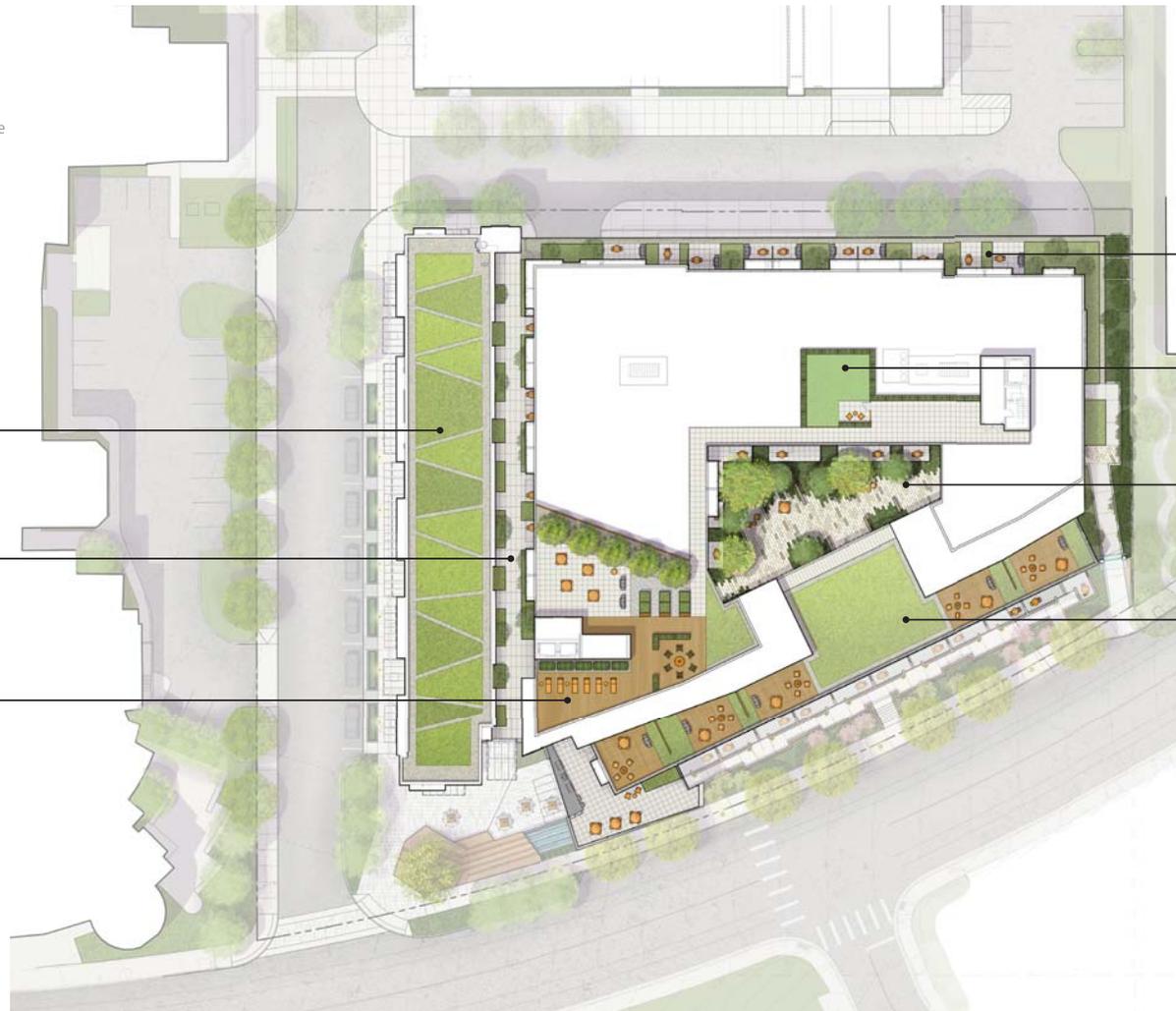
ROOF DECK

PRIVATE PATIOS LEVEL 75.5'

PET TERRACE ROOF LEVEL

COURTYARD LEVEL 75.5'

PRIVATE TERRACE LEVEL 95.5'



AMENITY AREA

LEVEL 75.5'



PLANTING MATERIAL



Hydrangea p. Limelight
Limelight Hardy Hydrangea



Dryopteris erythrosora 'Brilliance'
Autumn fern



Hakonechloa macra 'Aureola'
Japanese Forest Grass



Sarcococca hookeriana var. humilis
Himalayan Sweet Box



Daphne odora 'Marginata'
Variegated Winter Daphne



Pachysandra terminalis
Japanese Spurge



Liriope muscari 'Big Blue'
Big Blue Lilyturf



Heuchera mix



Ligularia 'The Rocket'
Rocket Ligularia

COURTYARD GARDEN



WEISMANDESIGNGROUP



AMENITY AREA

COURTYARD

LANDSCAPE MATERIALS



Mounded planting with seating



Stone slabs



Corten planter with ballast rock



Staggered pedestal pavers with mounded planting

ROOF TOP AMENITY AREA

AMENITY AREA

COURTYARD LEVEL 75'

PLANTING MATERIAL



Acer palmatum (Green)
Japanese Maple



Stewartia pseudocamellia
Japanese Stewartia



Hosta mix



Sarcococca hookeriana var. *humilis*
Himalayan Sweet Box



Rhod. 'Cunningham's White'
White Rhododendron



Astilbe chinensis 'Visions'
Visions Astilbe



Helleborus orientalis
Lenten rose



Asarum canadense
Wild Ginger



AMENITY AREA

TERRACE LEVEL 95.5'



Private terraces



Private terraces



Green roof with geometric shapes



Sedum green roof



AMENITY AREA

ROOF



Seating



Trees in planters



Fire pit area



Parrotia persica 'Vanessa'
Persian Ironwood



Sedum tiles

AVERAGE BUILDING ELEVATION

BUILDING HEIGHT CALCULATIONS

Building Height has been calculated using the Average Bldg elevation as the base. The Average building elevation calculation method is from Kirkland Zoning Code 115.59 and under plate 17B option 2.

Using the formula the average grade elevation is 60.7'. The building height limit is 67' above the average grade elevation according to the zoning code. The Building height limit therefore is 127.7'.

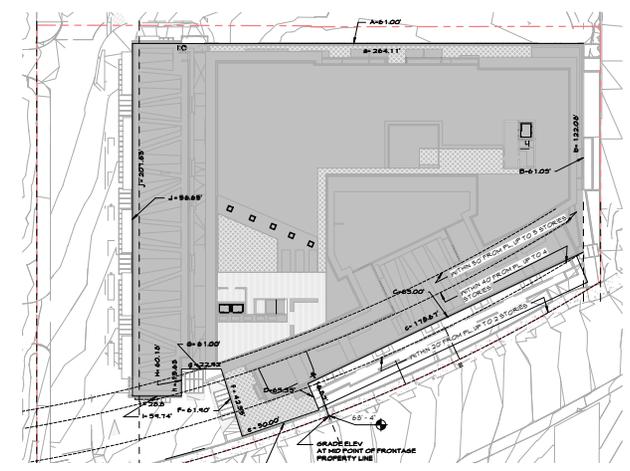
AVERAGE BUILDING ELEVATION CALCULATION PER OPTION 2 - KCZ PLATE 17B

A,B,C,D... EXISTING GROUND ELEVATION AT MIDPOINT OF WALL SEGMENT
a,b,c,d... LENGTH OF WALL SEGMENT MEASURED ON OUTSIDE OF WALL

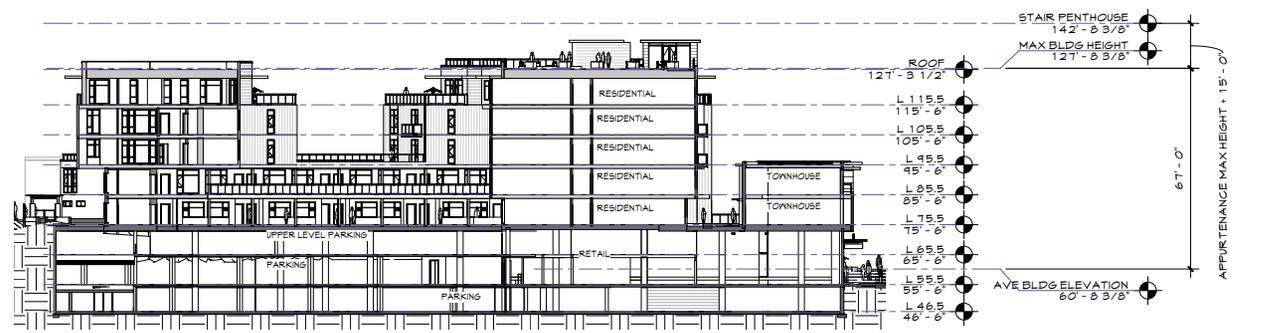
MIDPOINT ELEVATION	RECTANGLE SIDE	LENGTH
A=61.00'	a=264.1'	
B=61.03'	b=122.1'	
C=63.00'	c=178.7'	
D=65.35'	d=16.9'	
E= 65.50'	e= 50.0'	
F= 61.90'	f= 42.4'	
G= 61.00'	g= 22.9'	
H= 60.18'	h= 15.63'	
I= 59.74'	i= 28.8'	
J= 56.65'	j= 207.63'	

$$\begin{aligned}
 &= (61.00' \times 264.1') + (61.03' \times 122.1') + (63.00' \times 178.7') + (65.35' \times 16.9') + \\
 & \quad (65.50' \times 50.0') + (61.90' \times 42.4') + (61.00' \times 22.9') + (60.18' \times 15.63') + \\
 & \quad (59.74' \times 28.8') + (56.65' \times 207.63') = \\
 & 264.1 + 122.1 + 178.7 + 16.9 + 50.0 + 42.4 + 22.9 + 15.63 + 28.8 + \\
 & 207.63' \\
 & = 60.73'
 \end{aligned}$$

AVERAGE BLDG ELEVATION = 60.7'
BUILDING HEIGHT LIMIT = 127.7'



ALLOWABLE BUILDING HEIGHT PLAN



ALLOWABLE BUILDING HEIGHT SECTION

MATERIAL AND COLORED ELEVATION



NORTH ELEVATION

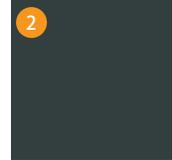


EAST ELEVATION

AEP Span match pewter gray



AEP Span Storm gray



Equitone N 359



Equitone TE 10



GFRC acid etched limestone



Red varitone brick



Dark iron spot



Soffit decks

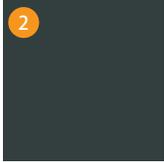


MATERIAL AND COLORED ELEVATION

AEP Span Medium gray



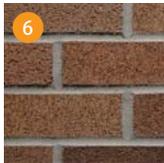
AEP Span Storm gray



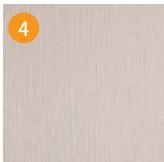
Equitone N 359



Red varitone brick



Equitone TE 10



Dark iron spot



GFRC acid etched limestone



Soffit decks



SOUTH ELEVATION



WEST ELEVATION

MATERIAL AND COLORED ELEVATION

COURTYARD ELEVATION



ELEVATION LOOKING NORTH



ELEVATION LOOKING SOUTH



ELEVATION LOOKING WEST

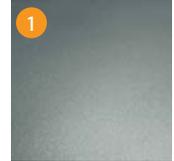


ELEVATION LOOKING EAST

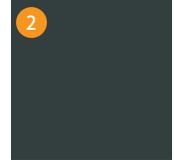


ALLEY ELEVATION LOOKING EAST

AEP Span Medium gray



AEP Span Storm gray



Red varitone brick



Equitone N 359



Dark iron spot



Equitone TE 10



Soffit decks

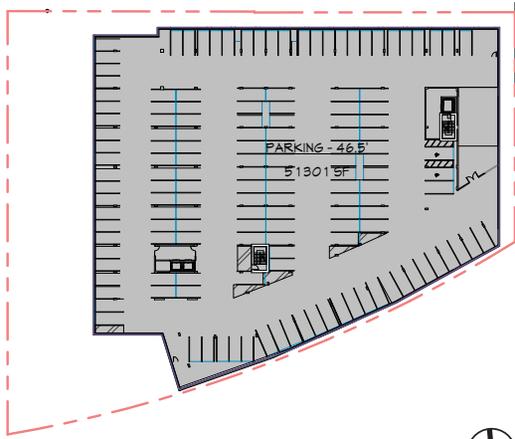


GFRC acid etched limestone



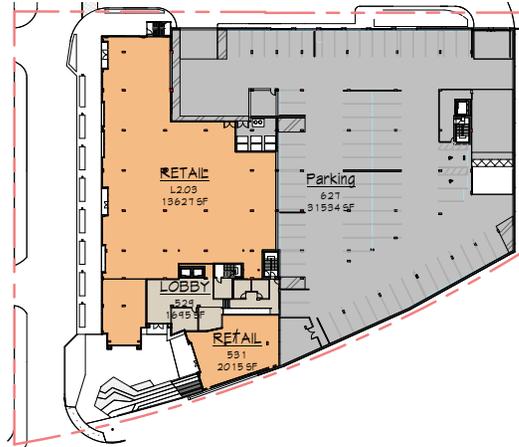
BUILDING FLOOR PLAN

PARKING LEVEL



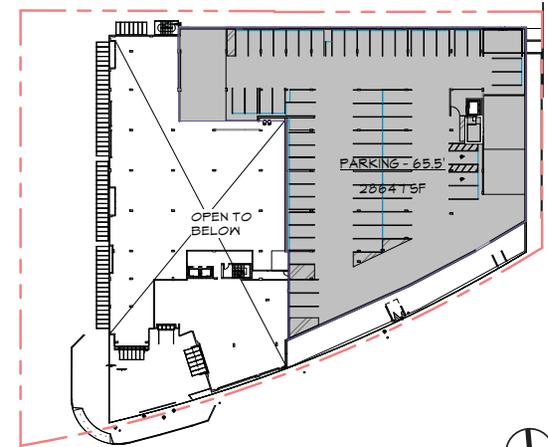
L 46.5' FLOOR PLAN
Scale: 1/64" = 1'-0"

Total: 51,301 SF



L 55.5' FLOOR PLAN
Scale: 1/64" = 1'-0"

Total: 49,593 SF

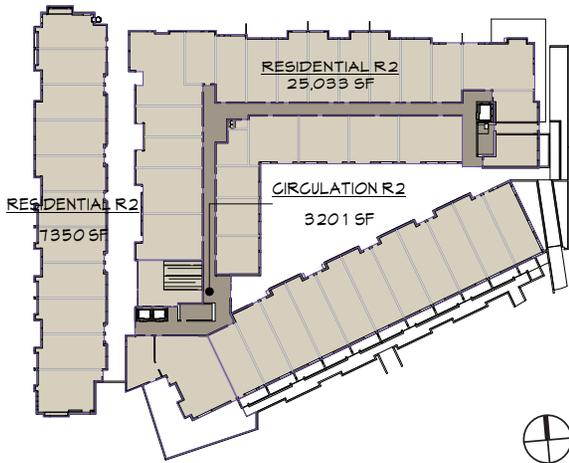


L 65.5' FLOOR PLAN
Scale: 1/64" = 1'-0"

Total: 28,647 SF

BUILDING FLOOR PLAN

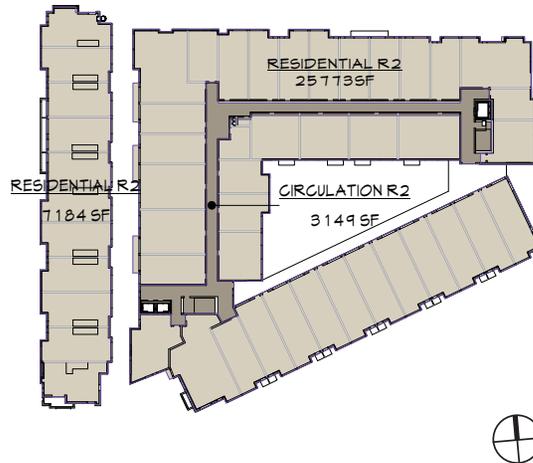
RESIDENTIAL LEVEL



L 75.5' FLOOR PLAN

Scale: 1/64" = 1'-0"

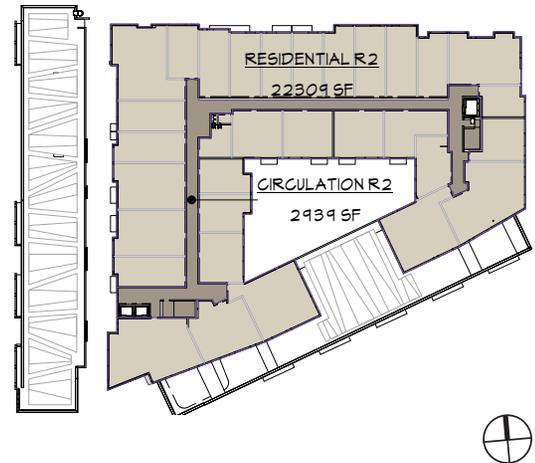
Total: 35,853 SF



L 85.5' FLOOR PLAN

Scale: 1/64" = 1'-0"

Total: 36,226 SF



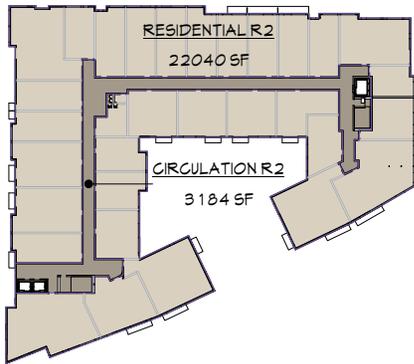
L 95.5' FLOOR PLAN

Scale: 1/64" = 1'-0"

Total: 25,363 SF

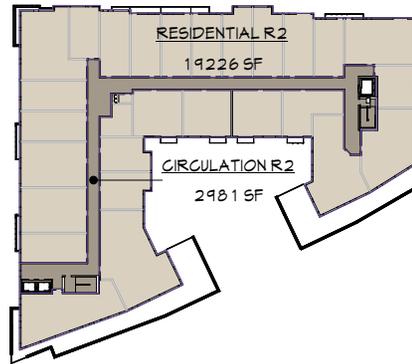
BUILDING FLOOR PLAN

RESIDENTIAL LEVEL



L 105.5' FLOOR PLAN
Scale: 1/64" = 1'-0"

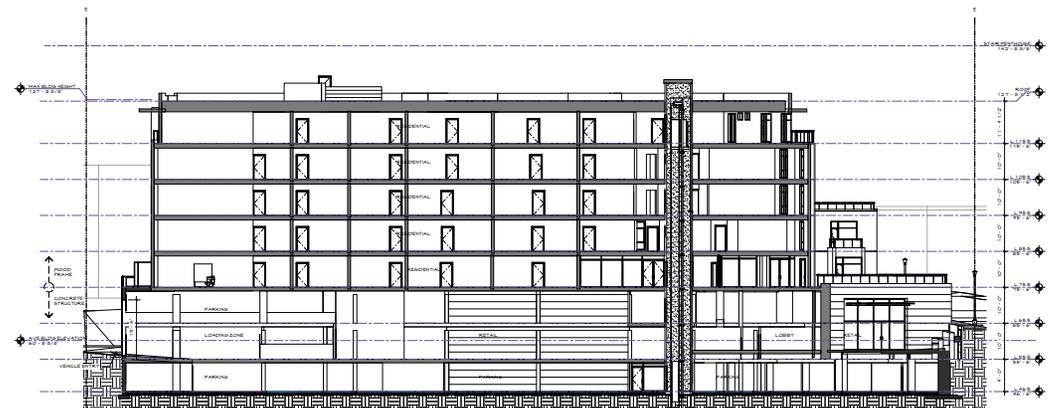
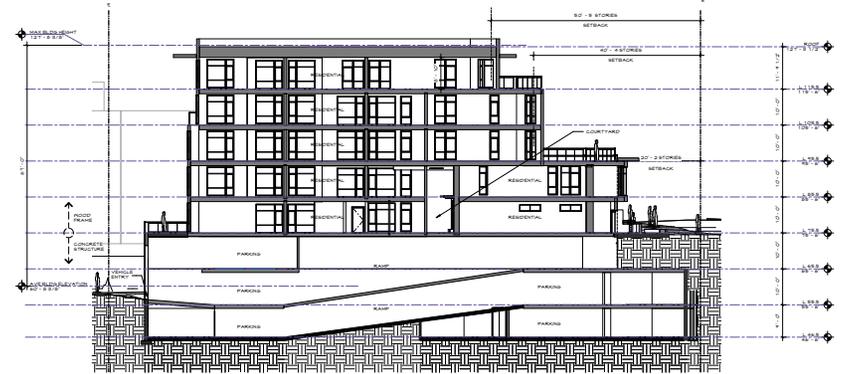
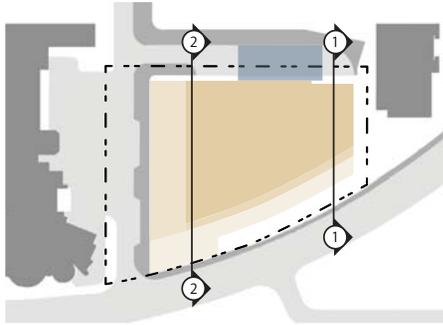
Total: 25,349 SF



L 115.5' FLOOR PLAN
Scale: 1/64" = 1'-0"

Total: 22,357 SF

BUILDING SECTION



434 PROJECT PERSPECTIVE

