

PHASE 1 DEVELOPMENT CONCEPT

Site Plan | Phase 1

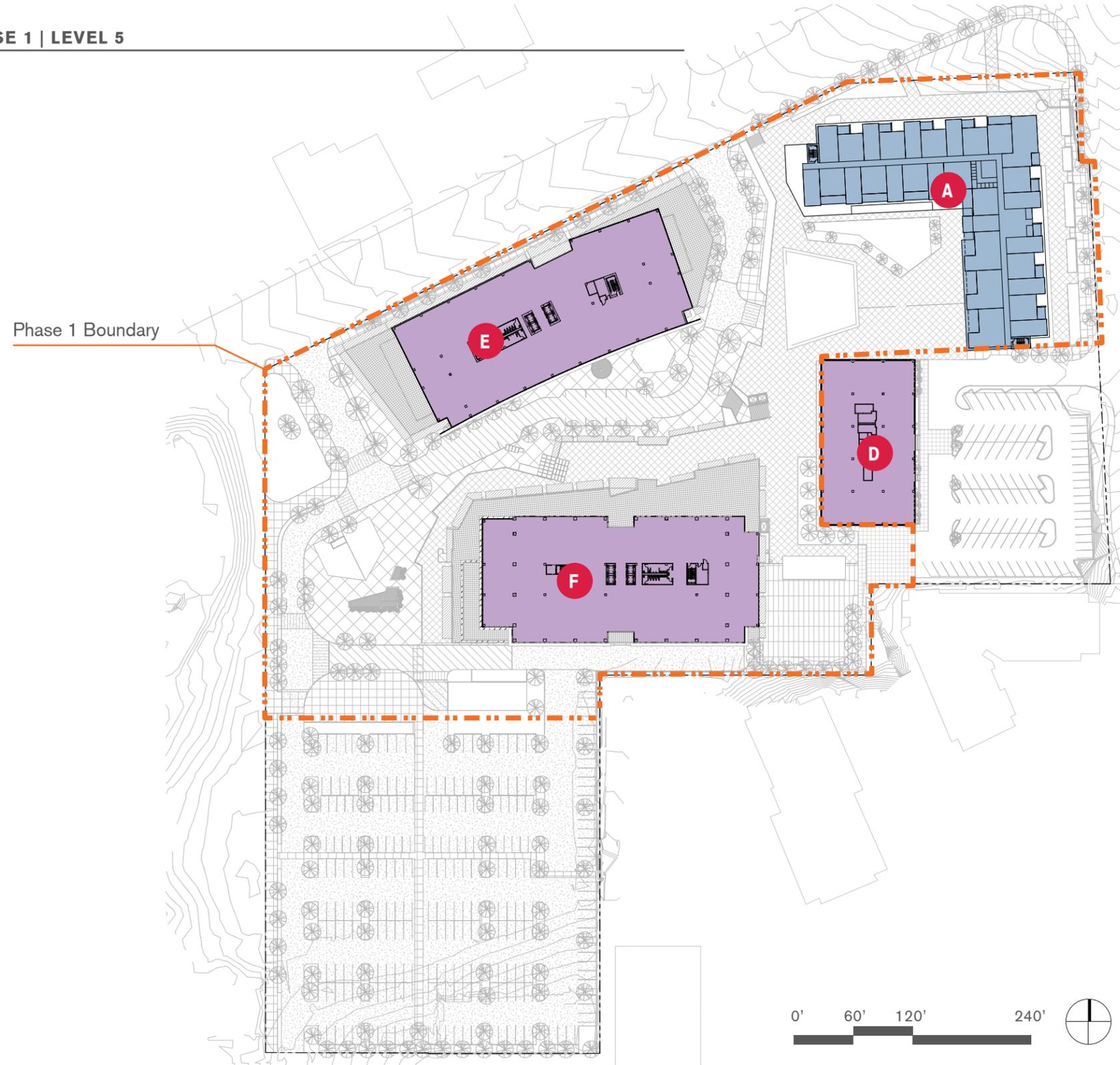
MAP KEY

PHASE 1 - LEVEL 5

	LEVEL 5	PHASE 1 TOTAL
 Office	80,000	379,000 SF
 Residential	25,000	185,000 SF
 Retail	-	84,000 SF
 Grocery	-	47,000 SF
TOTAL	105,000	660,000 SF

* BUILDING D: 69,000 SF OFFICE BUILDING TO BE REMOVED AFTER BUILDING F IS OCCUPIED

PHASE 1 | LEVEL 5



PHASE 1 DEVELOPMENT CONCEPT

Site Plan | Phase 1

MAP KEY

PHASE 1 - LEVEL 6

	LEVEL 6	PHASE 1 TOTAL
 Office	77,000	379,000 SF
 Residential	25,000	185,000 SF
 Retail	-	84,000 SF
 Grocery	-	47,000 SF
TOTAL	102,000	660,000 SF

* BUILDING D: 69,000 SF OFFICE BUILDING TO BE REMOVED AFTER BUILDING F IS OCCUPIED

PHASE 1 | LEVEL 6

Phase 1 Boundary



PHASE 1 DEVELOPMENT CONCEPT

Site Plan | Phase 1

MAP KEY

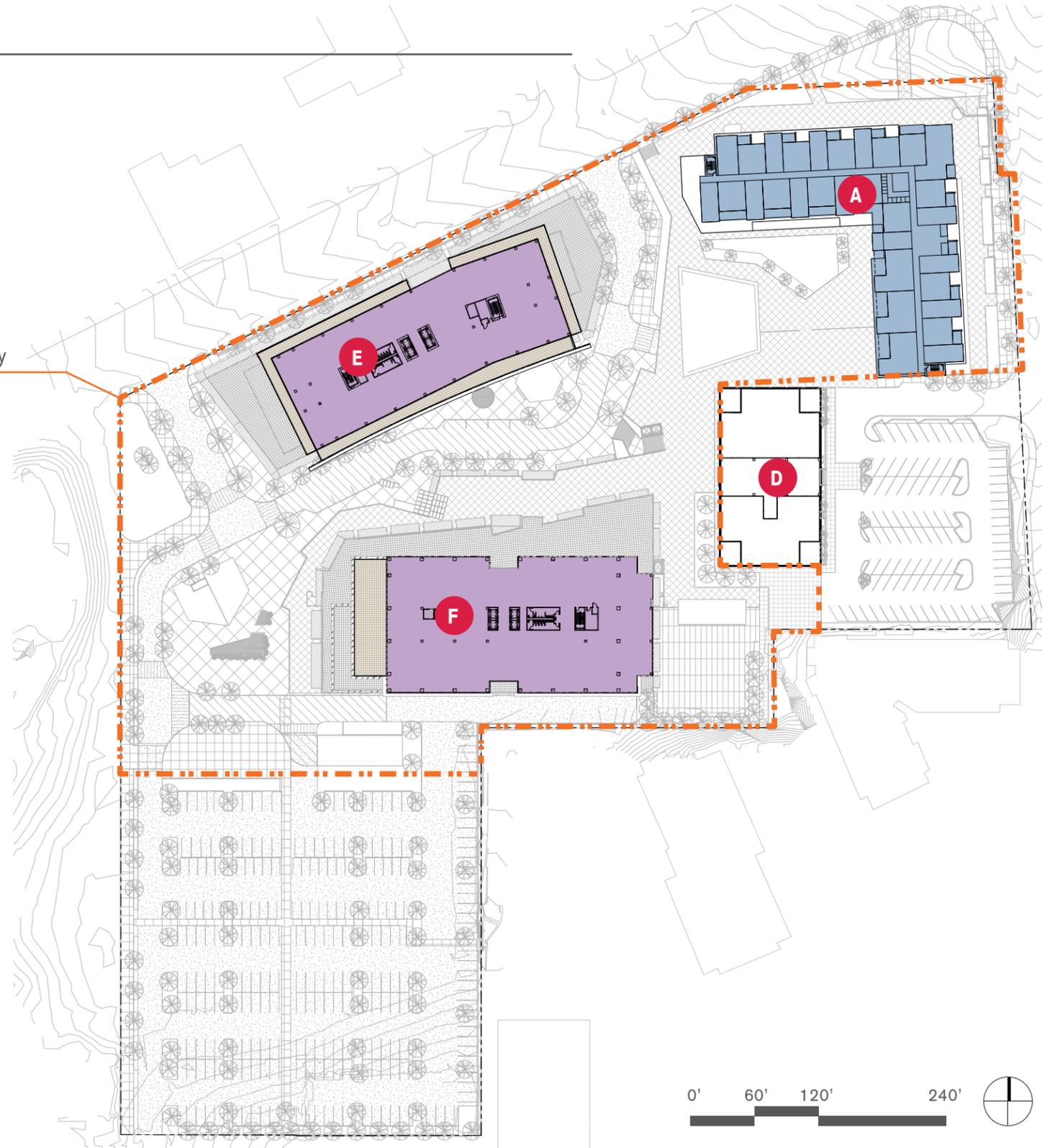
PHASE 1 - LEVEL 7

	LEVEL 7	PHASE 1 TOTAL
 Office	54,000	379,000 SF
 Residential	25,000	185,000 SF
 Retail	-	84,000 SF
 Grocery	-	47,000 SF
TOTAL	79,000	660,000 SF

* BUILDING D: 69,000 SF OFFICE BUILDING TO BE REMOVED AFTER BUILDING F IS OCCUPIED

PHASE 1 | LEVEL 7

Phase 1 Boundary



PHASE 1 DEVELOPMENT CONCEPT

Site Plan | Phase 1

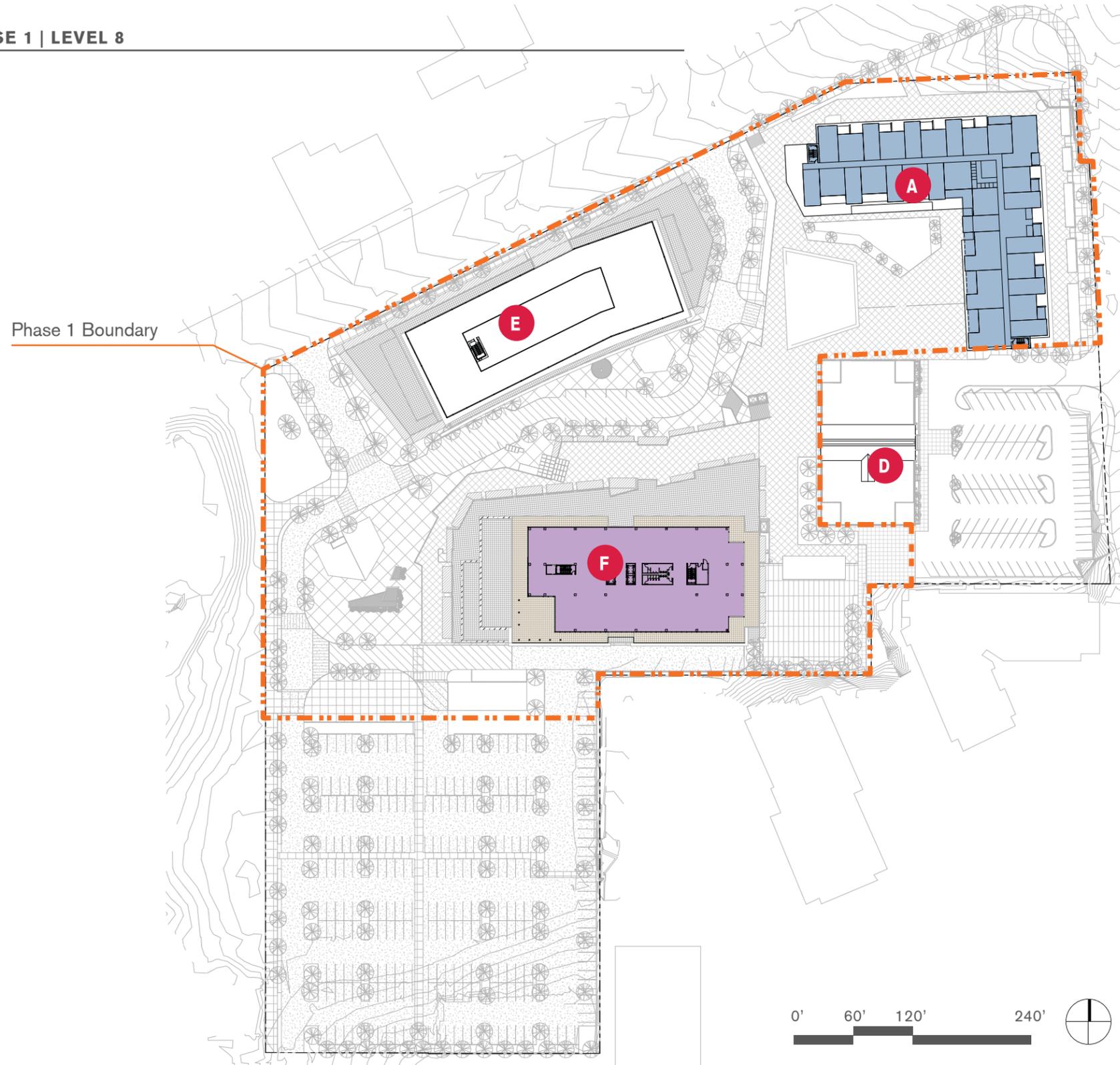
MAP KEY

PHASE 1 - LEVEL 8

	LEVEL 8	PHASE 1 TOTAL
 Office	21,000	379,000 SF
 Residential	24,000	185,000 SF
 Retail	-	84,000 SF
 Grocery	-	47,000 SF
TOTAL	45,000	660,000 SF

* BUILDING D: 69,000 SF OFFICE BUILDING TO BE REMOVED AFTER BUILDING F IS OCCUPIED

PHASE 1 | LEVEL 8



PHASE 1 DEVELOPMENT CONCEPT

Site Plan | Phase 1

MAP KEY

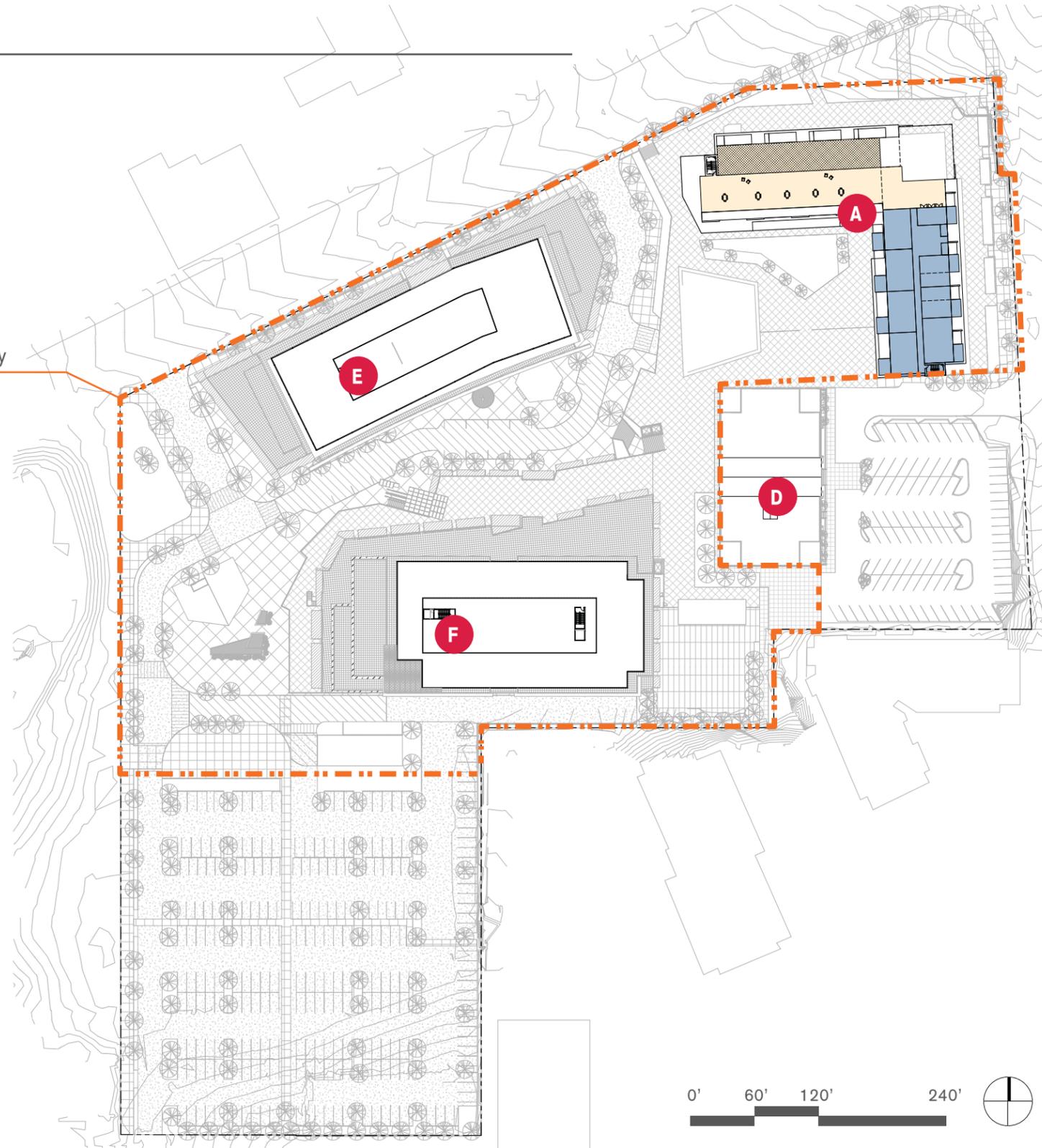
PHASE 1 - LEVEL 9

	LEVEL 9	PHASE 1 TOTAL
 Office	--	379,000 SF
 Residential	9,000	185,000 SF
 Retail	--	84,000 SF
 Grocery	--	47,000 SF
TOTAL	9,000	660,000 SF

* BUILDING D: 69,000 SF OFFICE BUILDING TO BE REMOVED AFTER BUILDING F IS OCCUPIED

PHASE 1 | LEVEL 9

Phase 1 Boundary



PHASE 1 DEVELOPMENT CONCEPT

Parking Plan | Phase 1

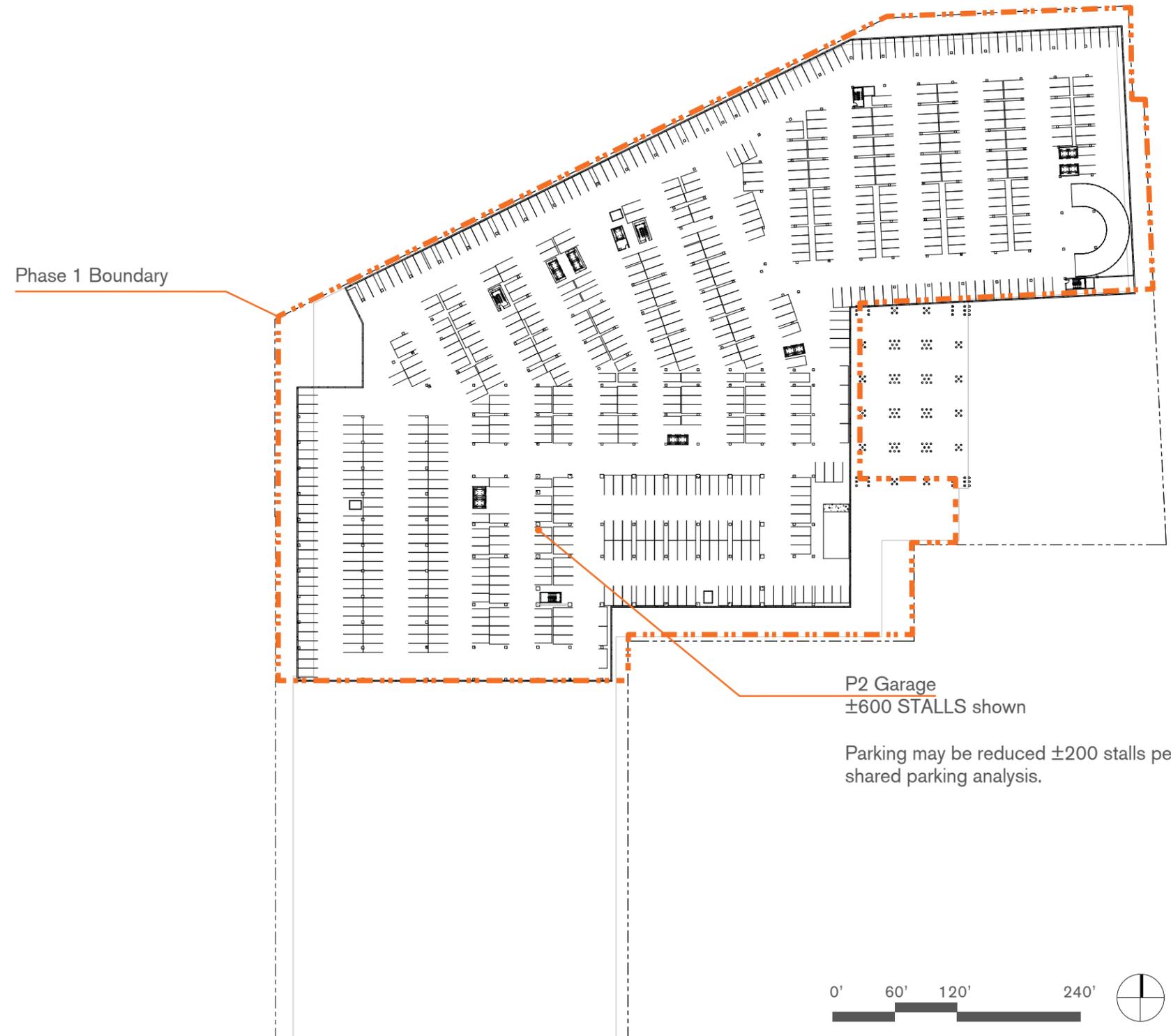
MAP KEY

PHASE 1 PARKING COUNT

P2 STALLS: 400-600

TOTAL PHASE 1 STALLS: 1400-1800

PHASE 1 | PARKING (P2)



PHASE 1 DEVELOPMENT CONCEPT

Parking Plan | Phase 1

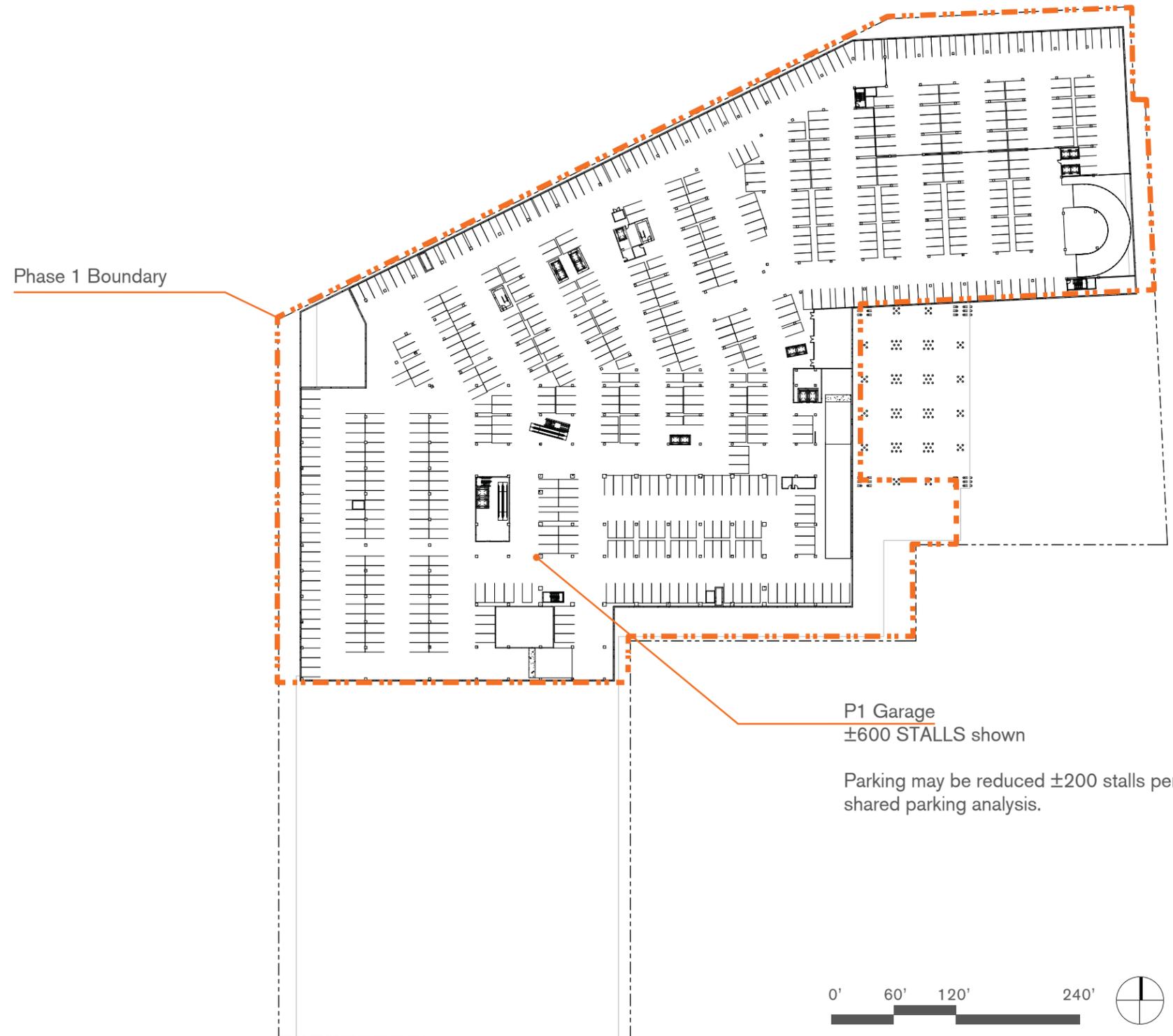
MAP KEY

PHASE 1 PARKING COUNT

P1 STALLS: 400-600

TOTAL PHASE 1 STALLS: 1400-1800

PHASE 1 | PARKING (P1)



Phase 1 Boundary

P1 Garage
±600 STALLS shown

Parking may be reduced ±200 stalls per shared parking analysis.



PHASE 1 DEVELOPMENT CONCEPT

Parking Plan | Phase 1

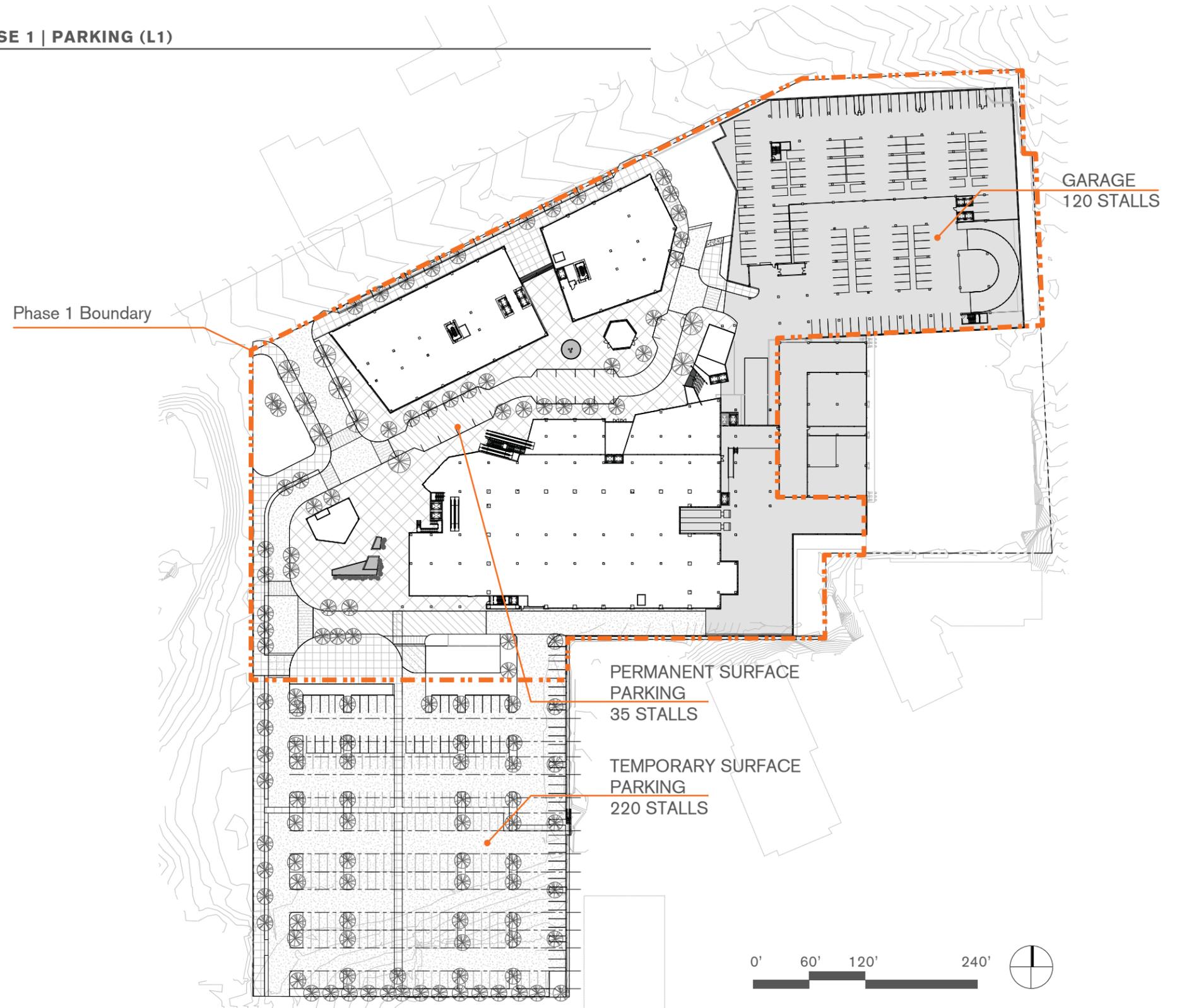
MAP KEY

PHASE 1 PARKING COUNT

L1 STALLS: 375

TOTAL PHASE 1 STALLS: 1400 - 1800

PHASE 1 | PARKING (L1)



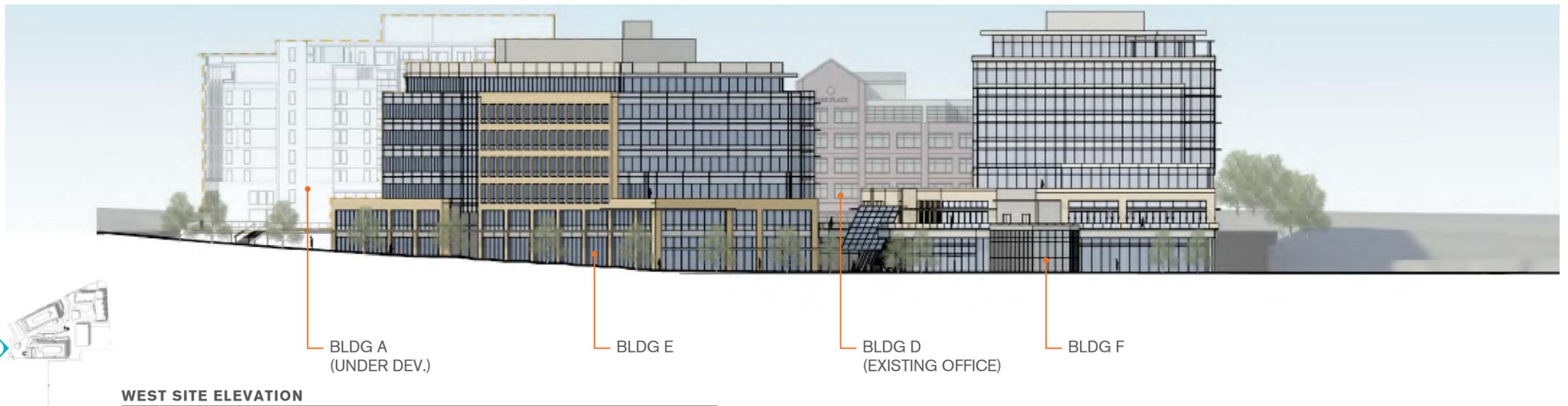
PHASE 1 DEVELOPMENT CONCEPT

Site Elevations | Phase 1



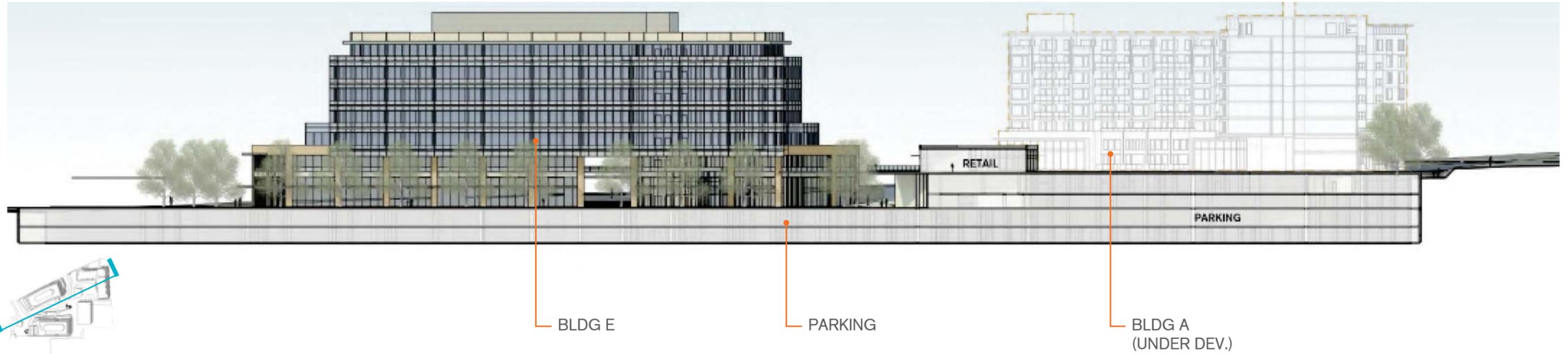
PHASE 1 DEVELOPMENT CONCEPT

Site Elevations | Phase 1

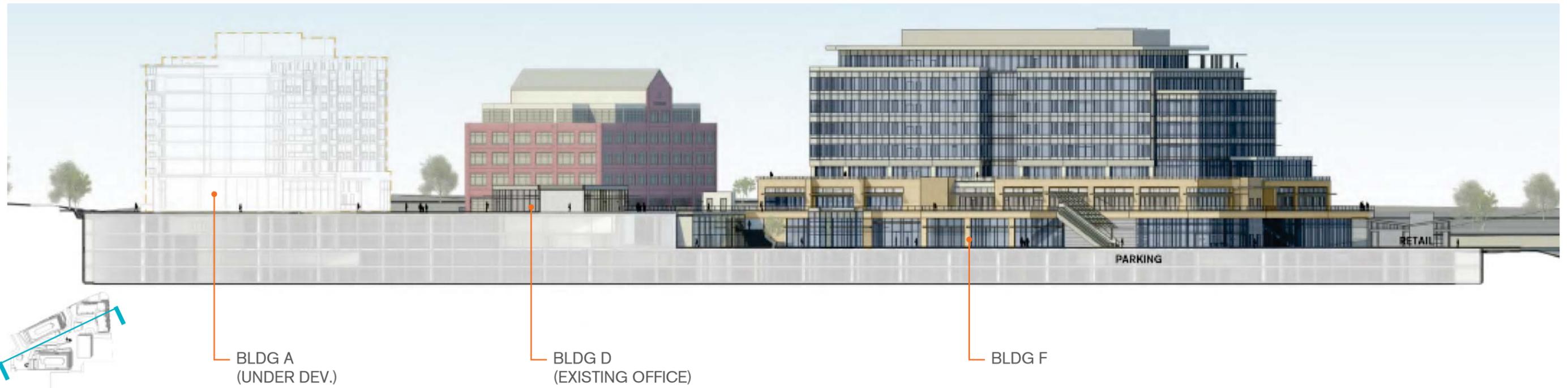


PHASE 1 DEVELOPMENT CONCEPT

Site Sections | Phase 1



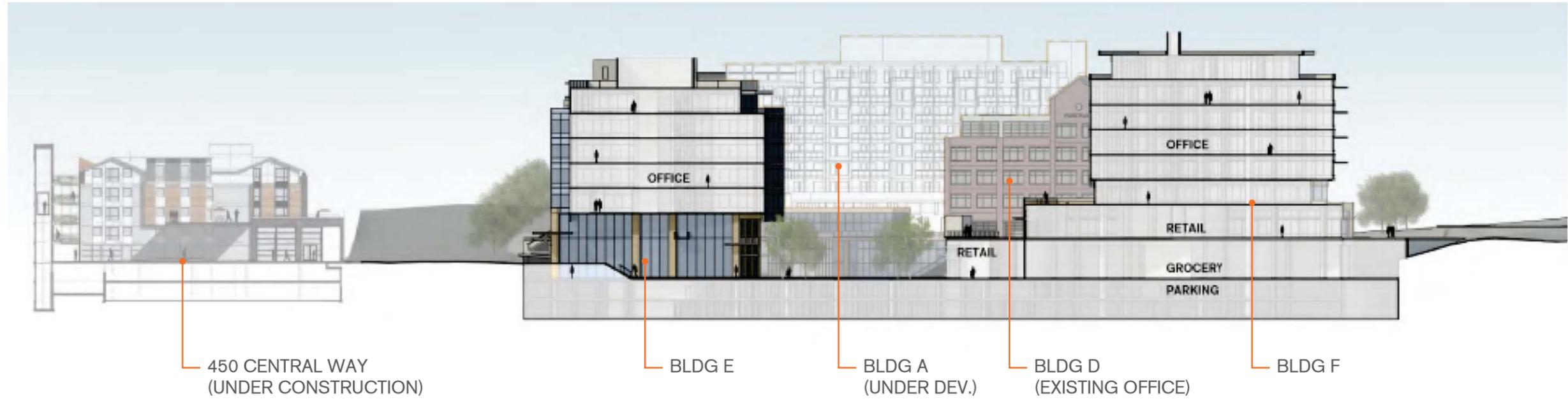
E/W SECTION AT MAIN STREET (LOOKING NORTH)



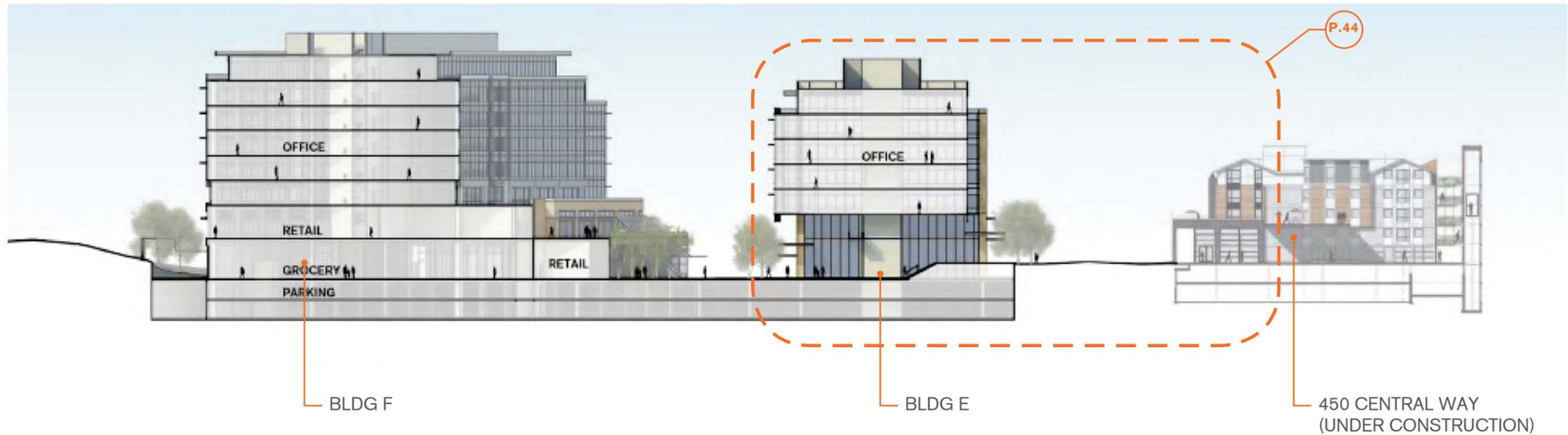
E/W SECTION AT MAIN STREET (LOOKING SOUTH)

PHASE 1 DEVELOPMENT CONCEPT

Site Sections | Phase 1



N/S SECTION THROUGH CENTRAL WAY (LOOKING EAST)

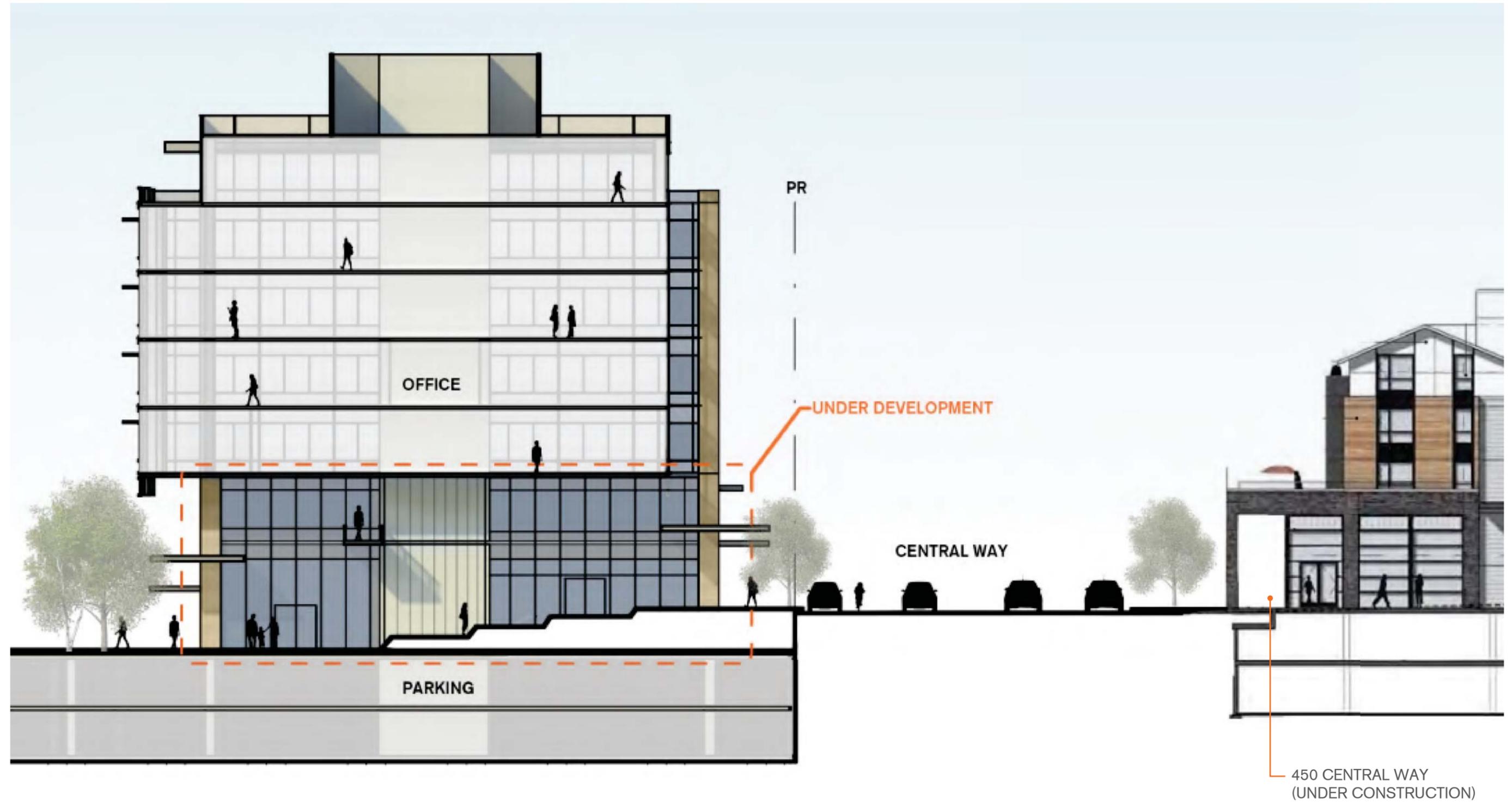


N/S SECTION THROUGH CENTRAL WAY (LOOKING WEST)

PHASE 1 DEVELOPMENT CONCEPT

Enlarged Section | Phase 1

ENLARGED SECTION THROUGH CENTRAL WAY (LOOKING WEST)



PHASE 1 DEVELOPMENT CONCEPT

Perspectives | Phase 1

SOUTHFACING PERSPECTIVE AT ENTRANCE FROM CENTRAL WAY (WEST)



PERSPECTIVE FROM PETER KIRK PARK TOWARD SITE



PERSPECTIVE TOWARD WEST FACADE OF BUILDING E



NORTH FACING PERSPECTIVE TOWARD ENTRANCE FROM CENTRAL WAY (EAST)



PHASE 1 DEVELOPMENT CONCEPT

Perspectives | Phase 1

WESTWARD PERSPECTIVE FROM PLAZA AT EXISTING BUILDING D



PERSPECTIVE FROM UPPER PLAZA NEAR BUILDING A



PERSPECTIVE TOWARD BUILDINGS E AND F FROM CENTRAL WAY (WEST)



VIEW ALONG MAIN STREET TOWARD EXISTING BUILDING D



PHASE 1 DEVELOPMENT CONCEPT

Pedestrian Circulation - Park Level

- Public Pedestrian Space
 - Park Level = 96,000 sf
 - Plaza Level = 94,000 sf
 - Total = 190,000 sf
- ↔ Pedestrian Circulation Path
- ➔ Access from Street, Adjacent Properties
- ➔ Up to Upper Plaza Level / L2



PHASE 1 DEVELOPMENT CONCEPT

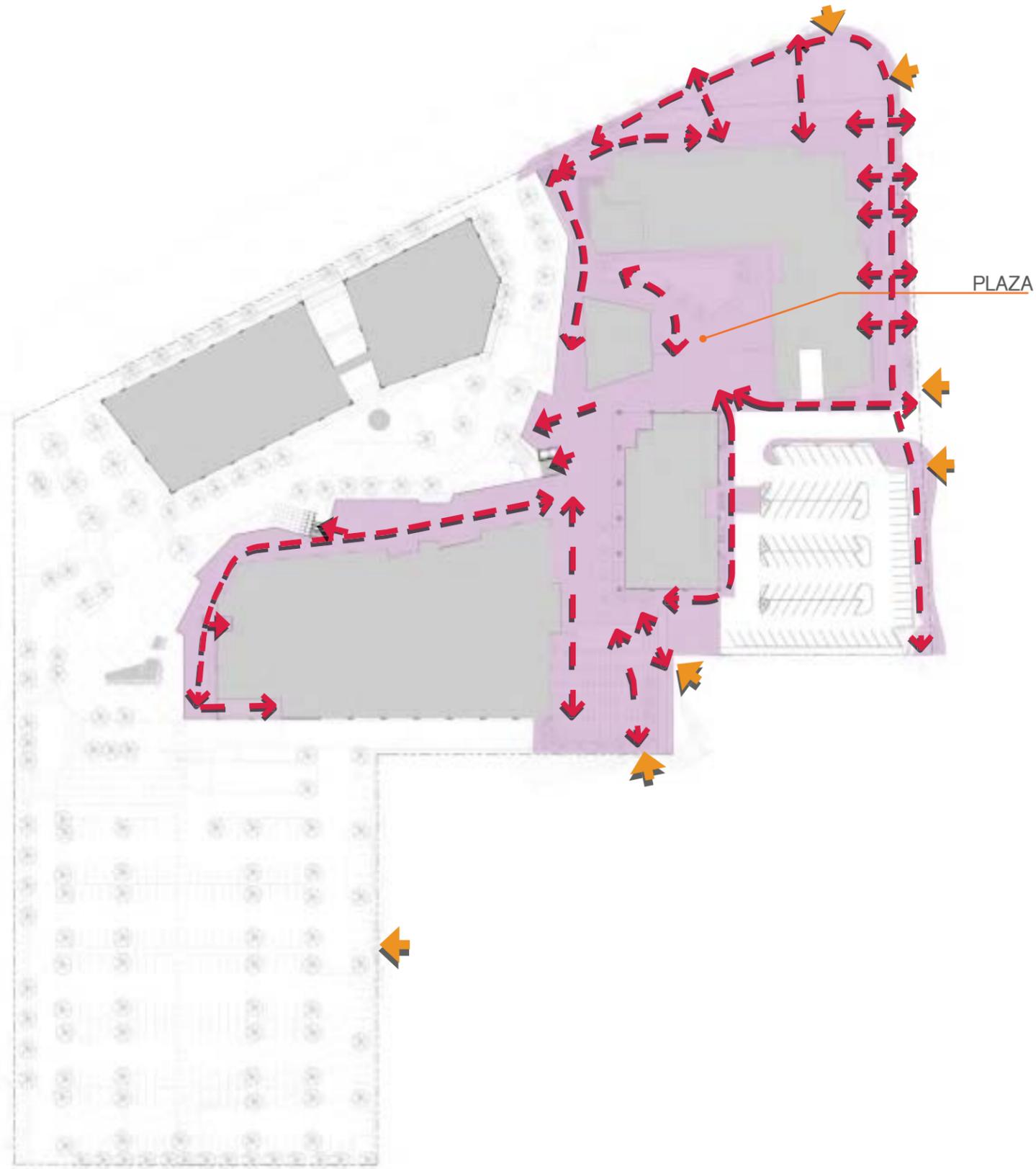
Pedestrian Circulation - Upper Plaza Level

Public Pedestrian Space
Park Level = 96,000 sf
Plaza Level = 94,000 sf
Total = 190,000 sf

↔ Pedestrian Circulation Path

➔ Access from Street, Adjacent Properties

➔ Down to Park Level / L1



BUILDING A

RESPONSE TO DESIGN GUIDELINES

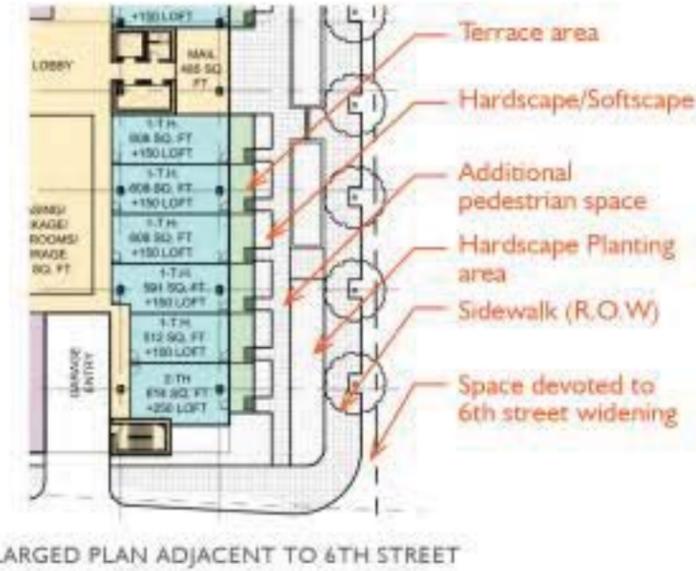
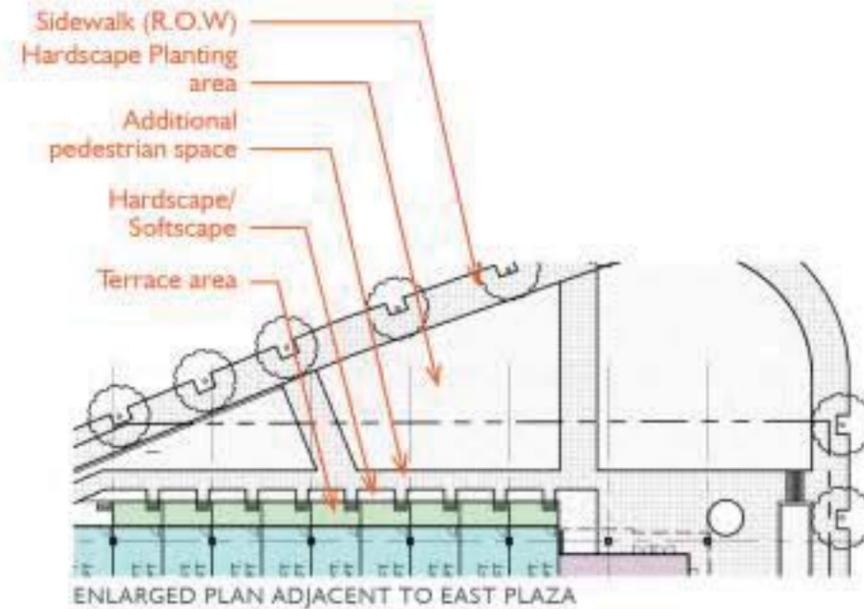
SECTION 13 - DESIGN GUIDELINES: A. GATEWAY DISTRICT

BUILDING DESIGN

I. Ground Level Treatment

a. Setbacks from Streets - The ground floor levels of the corner building should be permitted to set back to allow for cut away view and obvious pedestrian connection into the site.

Response: Building A is set back from the East Plaza over 30' to provide additional space for this critical outdoor area, which is divided into public, semi-public, and private outdoor zones. The landscape design will act to funnel pedestrians into the site.



b. Active and Inviting - Design for an engaging pedestrian experience along ground floor of the building.

Response: Stoop-like terrace elements add a intimate pedestrian experience evoking a rowhouse feel. This strong 22' datum responds to the scale of the pedestrian, while offering variation and visual interest within the facades themselves. The entrances to these units will create a very inviting and active pedestrian experience, allowing people to filter into the site in a park-like setting.



RESPONSE TO DESIGN GUIDELINES

SECTION 12 - DESIGN GUIDELINES: ALL DISTRICTS

BUILDING DESIGN

2. MASSING/ARTICULATION

a. In general, break down the scale and massing of larger buildings into smaller and varied volumes.

Response: The building massing has been broken up into three distinct elements.

- 1) North-South Massing element (8 stories)
- 2) Corner Element (7 stories w/ floating eave)
- 3) East-West Massing element (7 stories)



PERSPECTIVE

b. All building faces should be responsive to the context of the surrounding environment and neighboring buildings.

Response: The street-facing facades are of a residential nature, taking advantage of different units types/depths to create rhythm, scale and proportion in keeping with neighboring residential projects.



ELEVATION



PERSPECTIVE



c. Design all sides of the building with care (i.e. there should be no "backside" of a building.)

Response: Building A addresses the streets, 6th Street and Central Way, as well as the equally important Urban Plaza within the overall site. Each facade is given an equal level of design.



Base Datum

PERSPECTIVE - PLAZA FACADES

d. Buildings should distinguish a "base" using articulation and materials. Include regulating lines and rhythms to create a pedestrian-scaled environment.

Response: The 'Ground' level of Building A protrudes from the levels above creating a very prominent Base. This level has a 22' floor to floor height, establishing a double height Rowhouse-style datum that is residential in feel and rhythm.



Base Datum

PERSPECTIVE - STREET FACADES

e. Provide clear pattern of building openings. Windows, balconies, and bays should unify a building's street wall and add considerably to a facade's three-dimensional quality.

Response: All facades of the building take advantage of different unit types to provide depth and bay elements within the facade. Balconies enliven these building faces adding a finer grain texture that complements the variety of scales.



12' wide
25' wide

bay = 9' deep



RESPONSE TO DESIGN GUIDELINES

SECTION 13 - DESIGN GUIDELINES: A. GATEWAY DISTRICT BUILDING DESIGN - CONTINUED

c. Details Visible at Different Movement Speeds - Incorporate details in the building along the corner that bring visual interest at the pedestrian level, as well as for vehicular traffic entering Kirkland.

Response: Building A has been designed to incorporate a wide variety of scales. Larger design features such as the strong corner element, with floating eave element at the top and large open glass areas at the base, responds to the vehicular scale. The rowhouse language along the base responds to the scale of the pedestrian, incorporating unique and varied facade design, stoop elements, entry canopies, and individual unit lighting which add finer grain visual interest.



BUILDING E

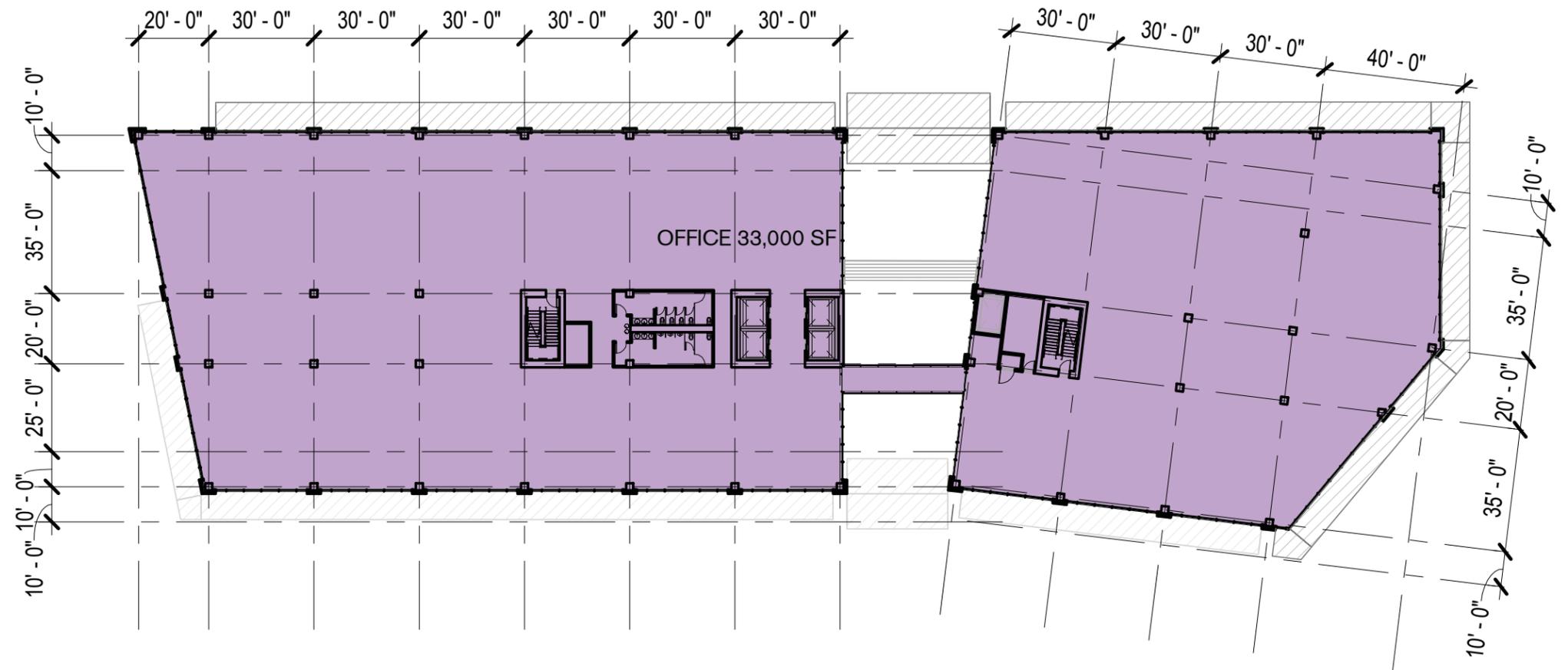
PHASE 1 DEVELOPMENT CONCEPT

Floor Plans | Building E

LEGEND

	LEVEL 2	BLDG TOTAL
■ OFFICE	33,000 SF	190,000 SF
■ RESIDENTIAL	--	--
■ RETAIL	--	29,000 SF
■ GROCERY	--	--
■ OTHER	--	--
TOTAL	33,000 SF	219,000 SF

LEVEL 2



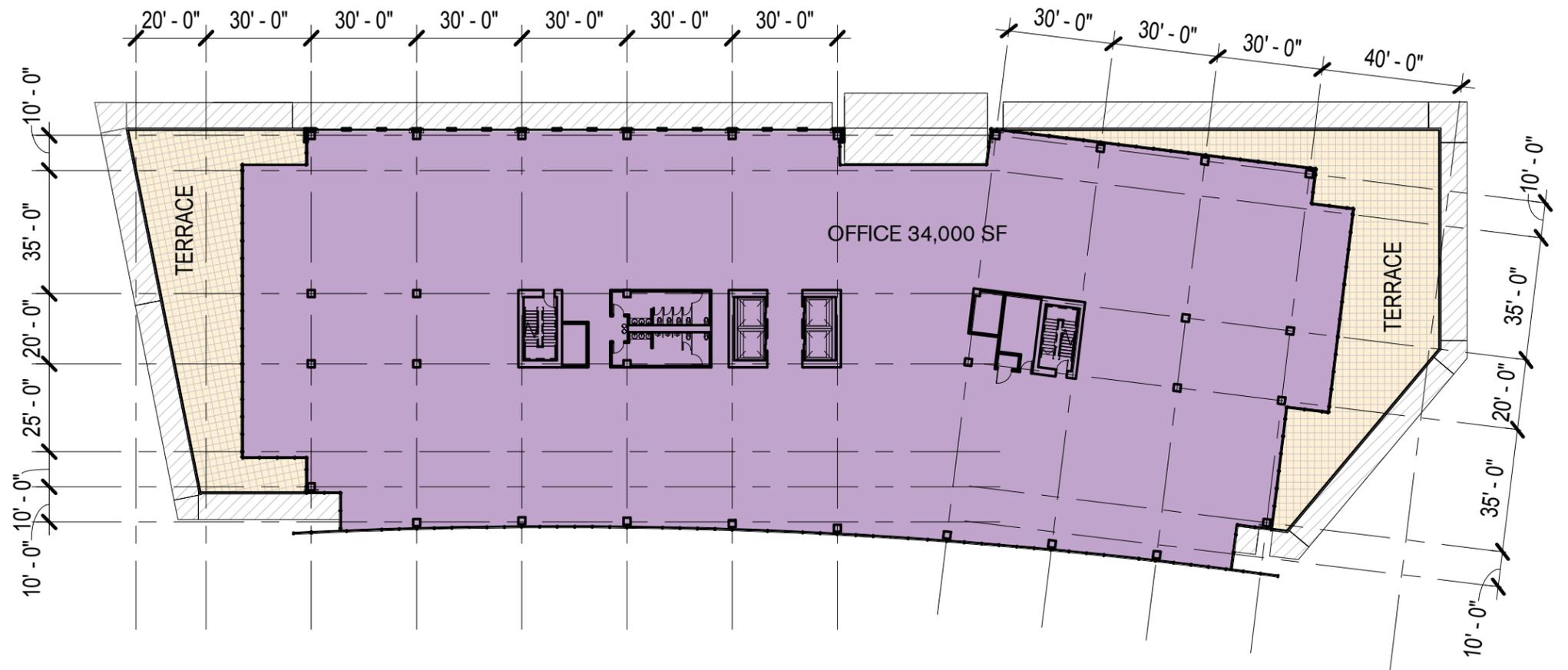
PHASE 1 DEVELOPMENT CONCEPT

Floor Plans | Building E

LEGEND

	LEVEL 3	BLDG TOTAL
■ OFFICE	34,000 SF	190,000 SF
■ RESIDENTIAL	--	--
■ RETAIL	--	29,000 SF
■ GROCERY	--	--
■ OTHER	--	--
TOTAL	34,000 SF	219,000 SF

LEVEL 3



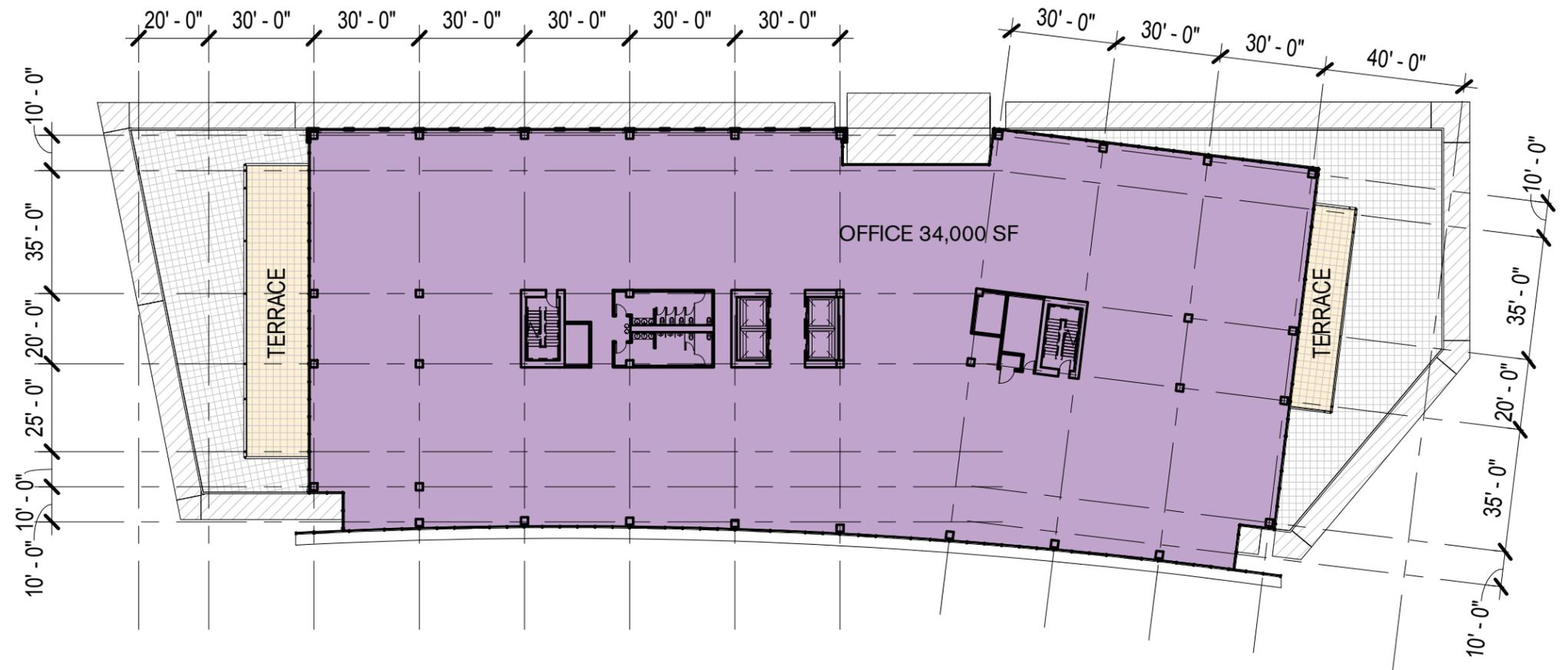
PHASE 1 DEVELOPMENT CONCEPT

Floor Plans | Building E

LEGEND

	LEVEL 4	BLDG TOTAL
■ OFFICE	31,500 SF	190,000 SF
■ RESIDENTIAL	--	--
■ RETAIL	--	29,000 SF
■ GROCERY	--	--
■ OTHER	--	--
TOTAL	31,500 SF	219,000 SF

LEVEL 4



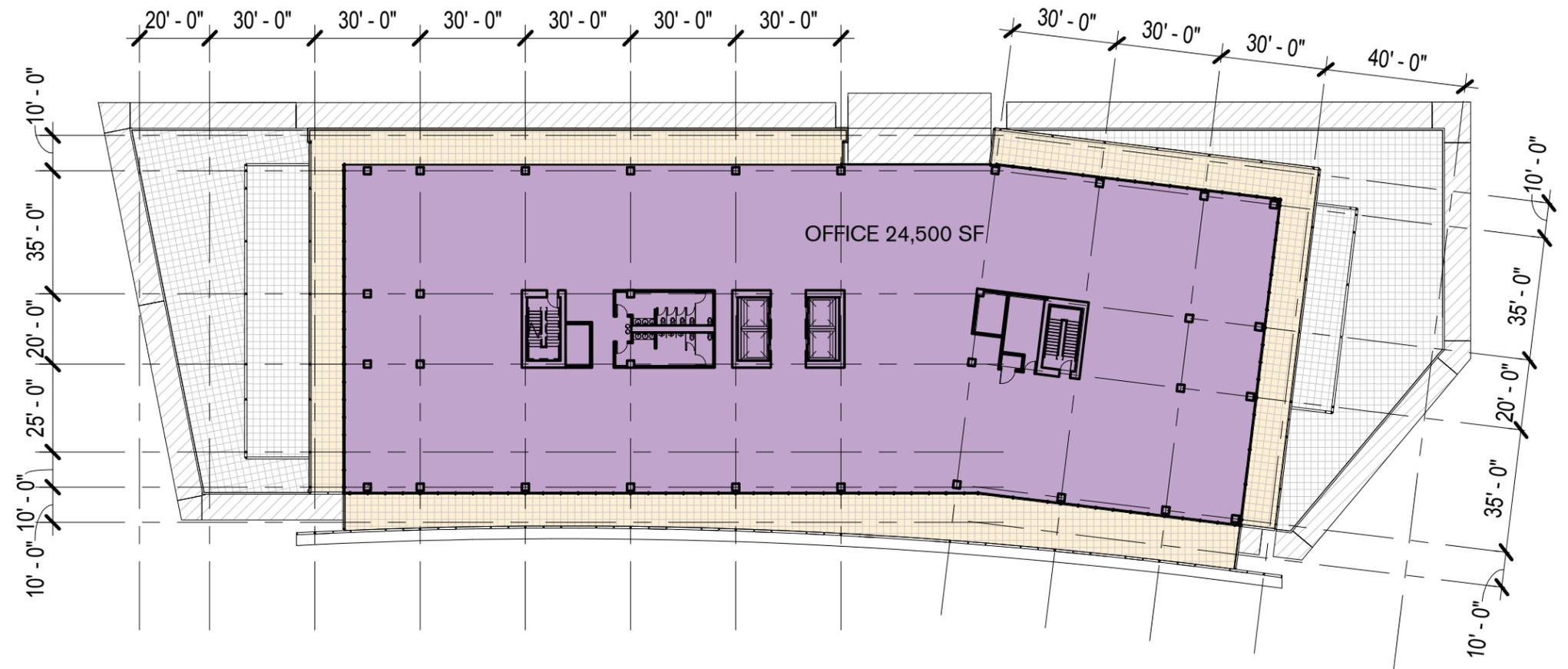
PHASE 1 DEVELOPMENT CONCEPT

Floor Plans | Building E

LEGEND

	LEVEL 7	BLDG TOTAL
■ OFFICE	24,500 SF	190,000 SF
■ RESIDENTIAL	--	--
■ RETAIL	--	29,000 SF
■ GROCERY	--	--
■ OTHER	--	--
TOTAL	24,500 SF	219,000 SF

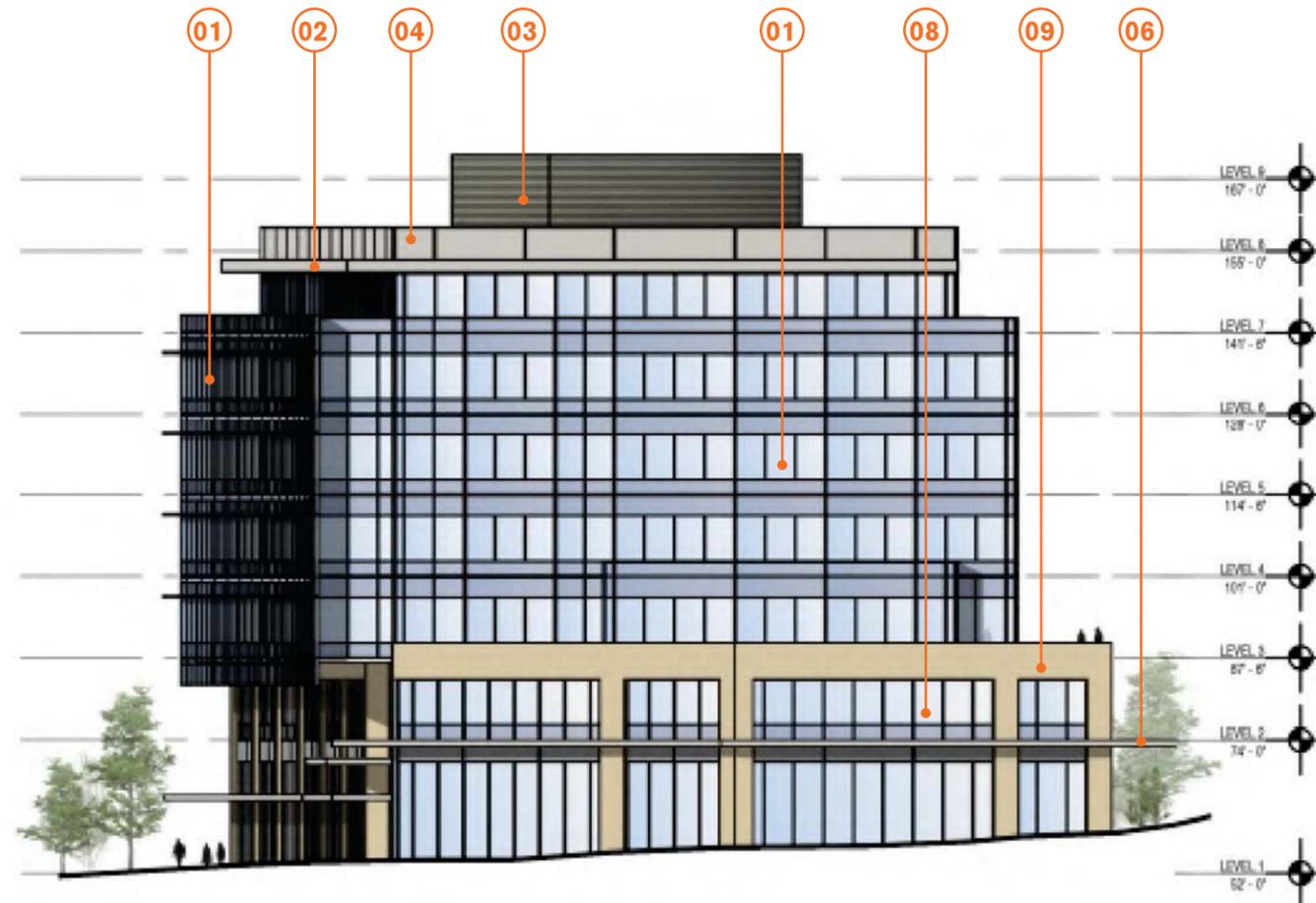
LEVEL 7



PHASE 1 DEVELOPMENT CONCEPT

Elevations | Building E

EAST ELEVATION



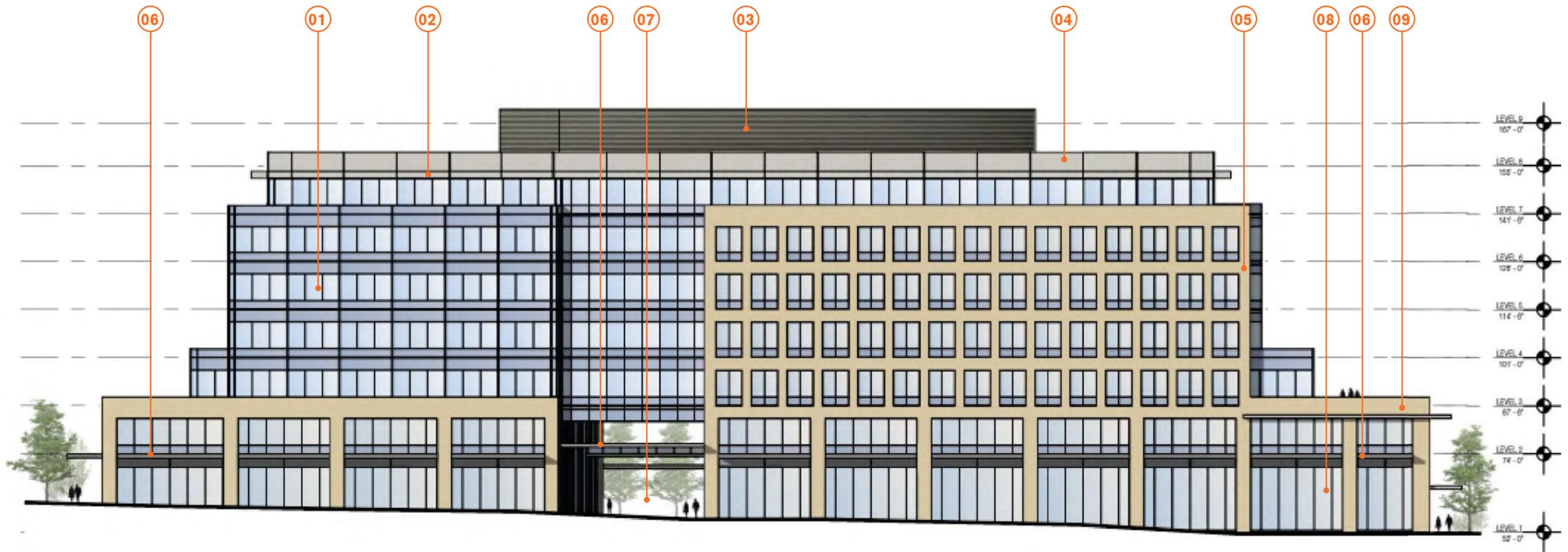
LEGEND

- | | | |
|--|------------------------------------|--|
| 01 UNITIZED CURTAINWALL | 04 METAL PANELS | 07 2-STORY BREEZEWAY |
| 02 ALUMINUM PANEL EYEBROW | 05 MASONRY/PRECAST | 08 L1 RETAIL STOREFRONT |
| 03 PROFILE METAL PANELS AT ROOF SCREEN | 06 METAL OR METAL & GLASS CANOPIES | 09 L1 RETAIL MASONRY, PRECAST CONCRETE |

PHASE 1 DEVELOPMENT CONCEPT

Elevations | Building E

NORTH ELEVATION



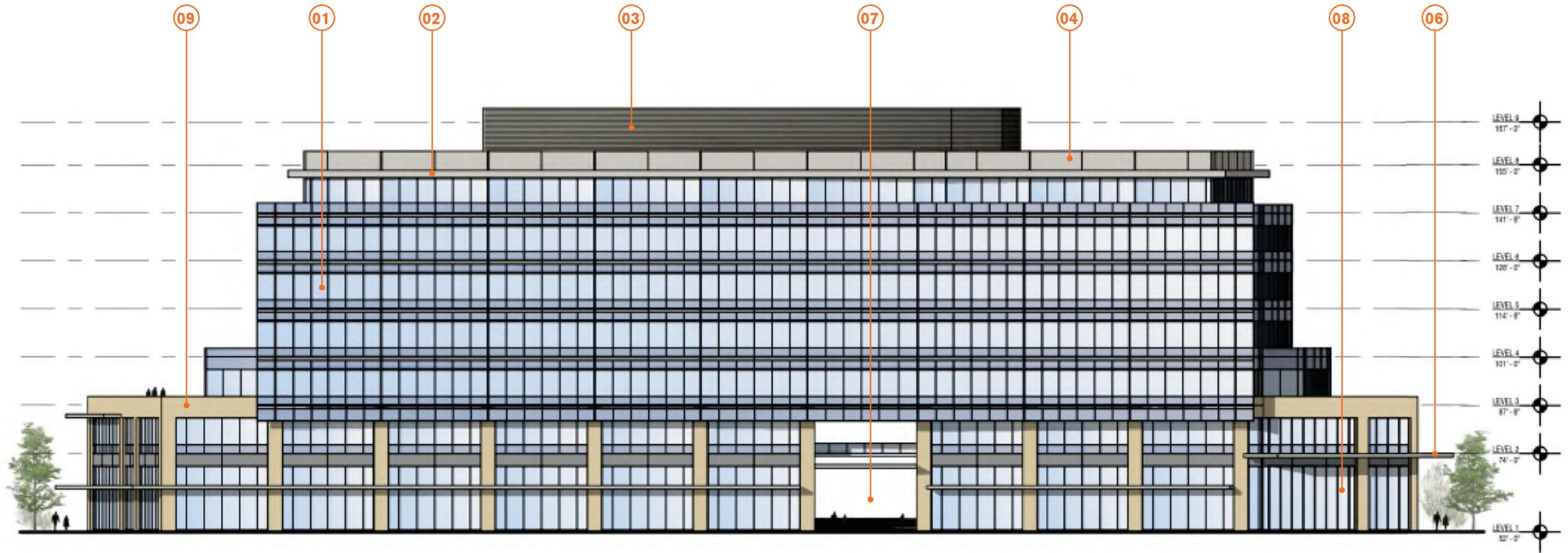
LEGEND

- | | | |
|--|------------------------------------|--|
| 01 UNITIZED CURTAINWALL | 04 METAL PANELS | 07 2-STORY BREEZEWAY |
| 02 ALUMINUM PANEL EYEBROW | 05 MASONRY/PRECAST | 08 L1 RETAIL STOREFRONT |
| 03 PROFILE METAL PANELS AT ROOF SCREEN | 06 METAL OR METAL & GLASS CANOPIES | 09 L1 RETAIL MASONRY, PRECAST CONCRETE |

PHASE 1 DEVELOPMENT CONCEPT

Elevations | Building E

SOUTH ELEVATION



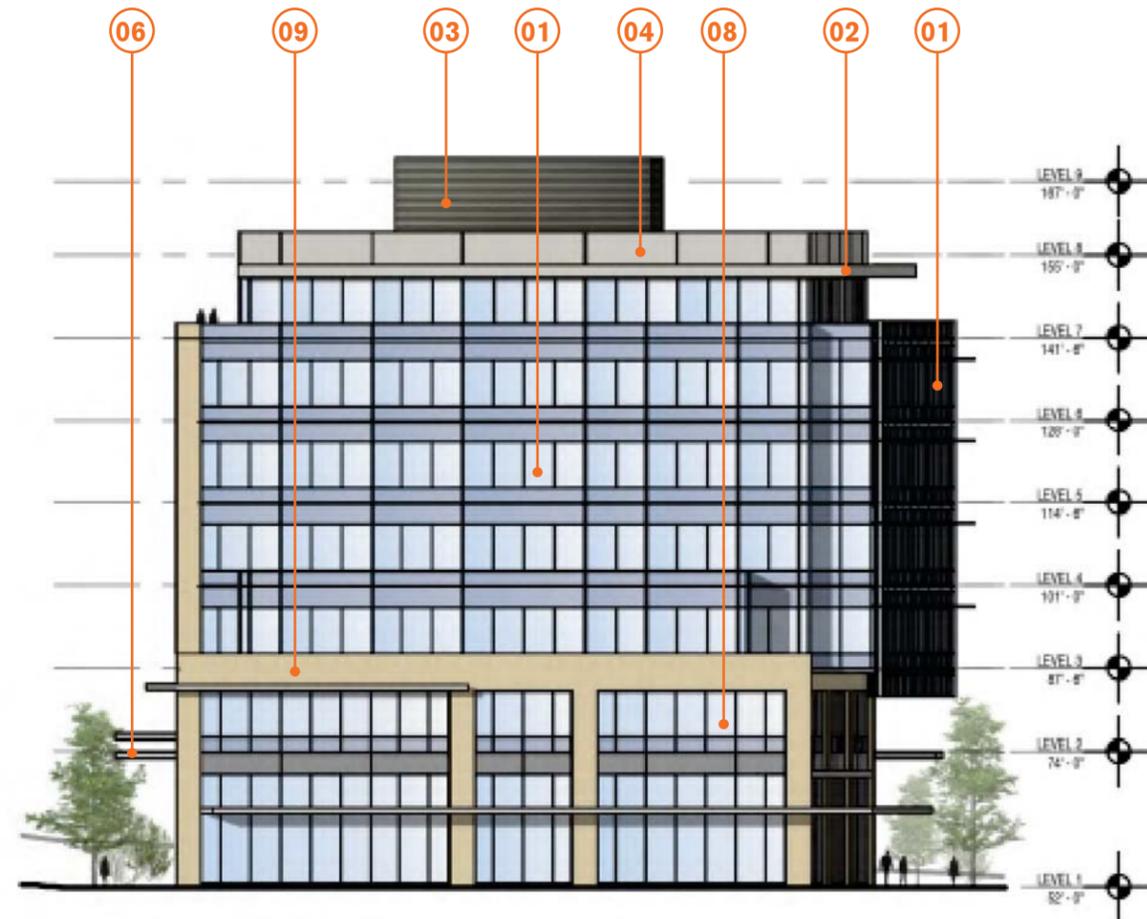
LEGEND

- | | | |
|---------------------------------------|------------------------------------|--|
| 01 UNITIZED CURTAINWALL | 04 METAL PANELS | 07 2-STORY BREEZEWAY |
| 02 ALUMINUM PANEL EYEBROW | 05 MASONRY/PRECAST | 08 L1 RETAIL STOREFRONT |
| 03 PROFILE METAL PANELS @ ROOF SCREEN | 06 METAL OR METAL & GLASS CANOPIES | 09 L1 RETAIL MASONRY, PRECAST CONCRETE |

PHASE 1 DEVELOPMENT CONCEPT

Elevations | Building E

WEST ELEVATION



LEGEND

- | | | |
|---------------------------------------|------------------------------------|--|
| 01 UNITIZED CURTAINWALL | 04 METAL PANELS | 07 2-STORY BREEZEWAY |
| 02 ALUMINUM PANEL EYEBROW | 05 MASONRY/PRECAST | 08 L1 RETAIL STOREFRONT |
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PHASE 1 DEVELOPMENT CONCEPT

Perspectives | Building E

NORTHEAST PERSPECTIVE



NORTHWEST PERSPECTIVE



SOUTHWEST PERSPECTIVE



SOUTHEAST PERSPECTIVE



PHASE 1 DEVELOPMENT CONCEPT



BUILDING F

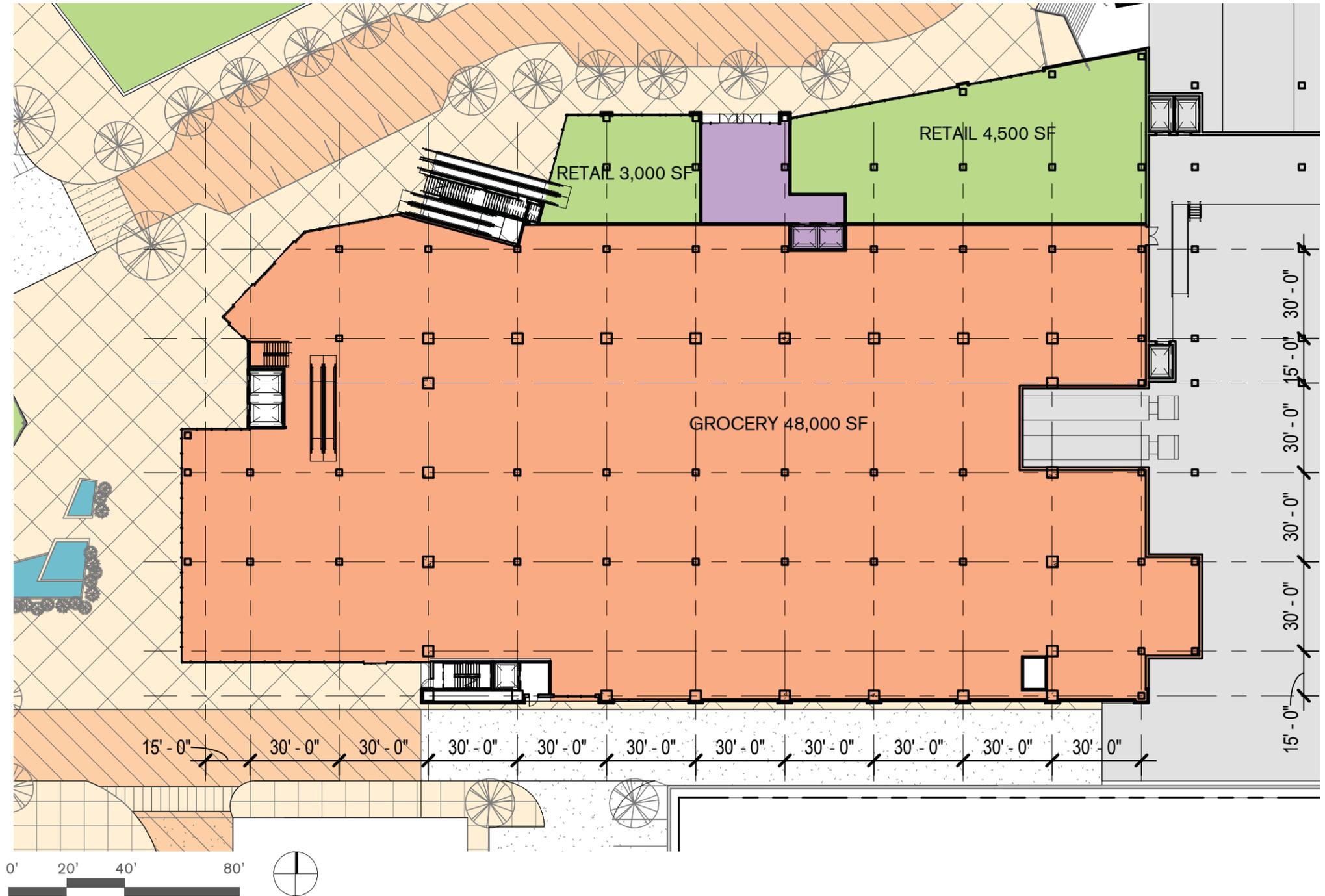
PHASE 1 DEVELOPMENT CONCEPT

Floor Plans | Building F

LEGEND

	LEVEL 1	BLDG TOTAL
■ OFFICE	1,500 SF	189,000 SF
■ RESIDENTIAL	--	--
■ RETAIL	7,500 SF	46,000 SF
■ GROCERY	48,000 SF	47,000 SF
TOTAL	57,000 SF	282,000 SF

LEVEL 1



PHASE 1 DEVELOPMENT CONCEPT

Floor Plans | Building F

LEGEND

	LEVEL 2	BLDG TOTAL
■ OFFICE	5,500 SF	189,000 SF
■ RESIDENTIAL	--	--
■ RETAIL	38,000 SF	46,000 SF
■ GROCERY	--	47,000 SF
TOTAL	43,500 SF	282,000 SF

LEVEL 2



PHASE 1 DEVELOPMENT CONCEPT

Floor Plans | Building F

LEGEND

	LEVEL 3	BLDG TOTAL
■ OFFICE	33,000 SF	189,000 SF
■ RESIDENTIAL	--	--
■ RETAIL	--	46,000 SF
■ GROCERY	--	47,000 SF
TOTAL	33,000 SF	282,000 SF

LEVEL 3



PHASE 1 DEVELOPMENT CONCEPT

Floor Plans | Building F

LEGEND

	LEVEL 4	BLDG TOTAL
■ OFFICE	32,500 SF	189,000 SF
■ RESIDENTIAL	--	--
■ RETAIL	--	46,000 SF
■ GROCERY	--	47,000 SF
TOTAL	32,500 SF	282,000 SF

LEVEL 4



PHASE 1 DEVELOPMENT CONCEPT

Floor Plans | Building F

LEGEND

	LEVEL 5	BLDG TOTAL
■ OFFICE	32,500 SF	189,000 SF
■ RESIDENTIAL	--	--
■ RETAIL	--	46,000 SF
■ GROCERY	--	47,000 SF
TOTAL	32,500 SF	282,000 SF

LEVEL 5 AND 6



PHASE 1 DEVELOPMENT CONCEPT

Floor Plans | Building F

LEGEND

	LEVEL 7	BLDG TOTAL
■ OFFICE	29,500 SF	189,000 SF
■ RESIDENTIAL	--	--
■ RETAIL	--	46,000 SF
■ GROCERY	--	47,000 SF
TOTAL	29,500 SF	282,000 SF

LEVEL 7



PHASE 1 DEVELOPMENT CONCEPT

Floor Plans | Building F

LEGEND

	LEVEL 8	BLDG TOTAL
■ OFFICE	20,500 SF	189,000 SF
■ RESIDENTIAL	--	--
■ RETAIL	--	46,000 SF
■ GROCERY	--	47,000 SF
TOTAL	20,500 SF	282,000 SF

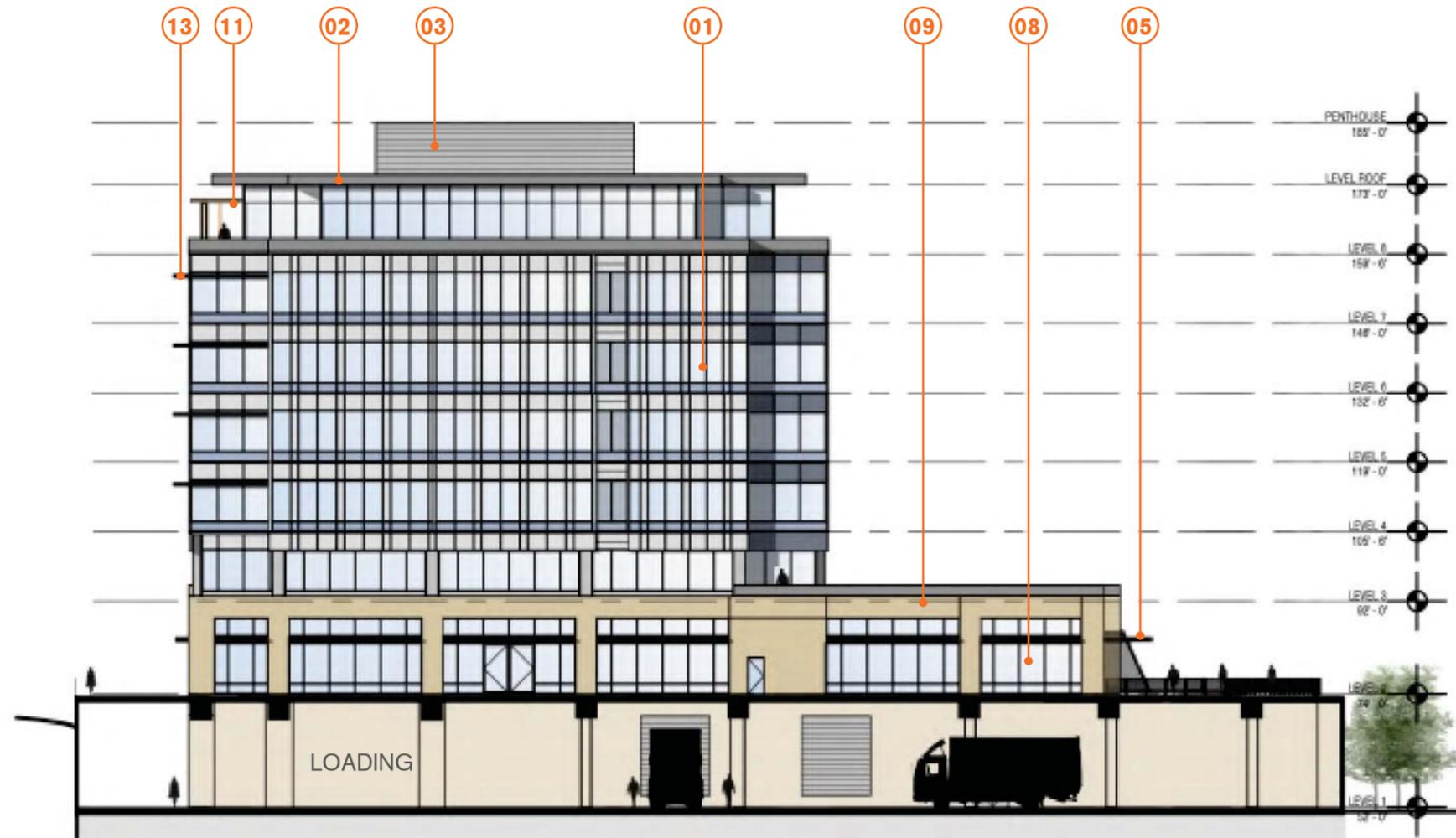
LEVEL 8



PHASE 1 DEVELOPMENT CONCEPT

Elevations | Building F

EAST ELEVATION



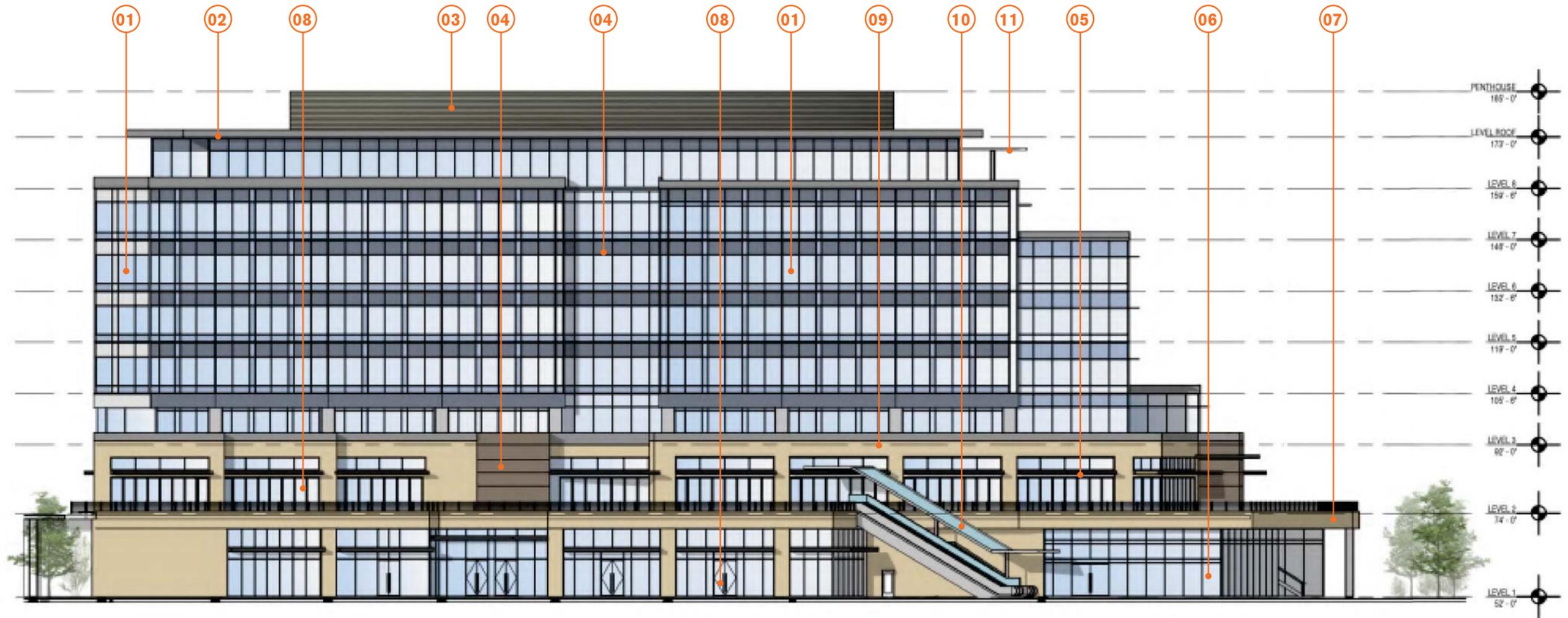
LEGEND

- | | | | |
|---------------------------------------|-------------------------------|----------------------------------|----------------------|
| 01 UNITIZED CURTAINWALL | 05 METAL & GLASS CANOPIES | 09 L2 RETAIL MASONRY, PRECAST | 13 OPTIONAL SUNSHADE |
| 02 ALUMINUM PANEL EYEBROW | 06 QFC STOREFRONT | 10 GLASS COVER @ ESCALATOR | |
| 03 PROFILE METAL PANELS @ ROOF SCREEN | 07 L1 RETAIL MASONRY, PRECAST | 11 POSSIBLE TRELLIS/COVERED AREA | |
| 04 METAL PANELS OR RAINSCREEN | 08 RETAIL STOREFRONT GLAZING | 12 LOUVER BAND FOR HVAC | |

PHASE 1 DEVELOPMENT CONCEPT

Elevations | Building F

NORTH ELEVATION



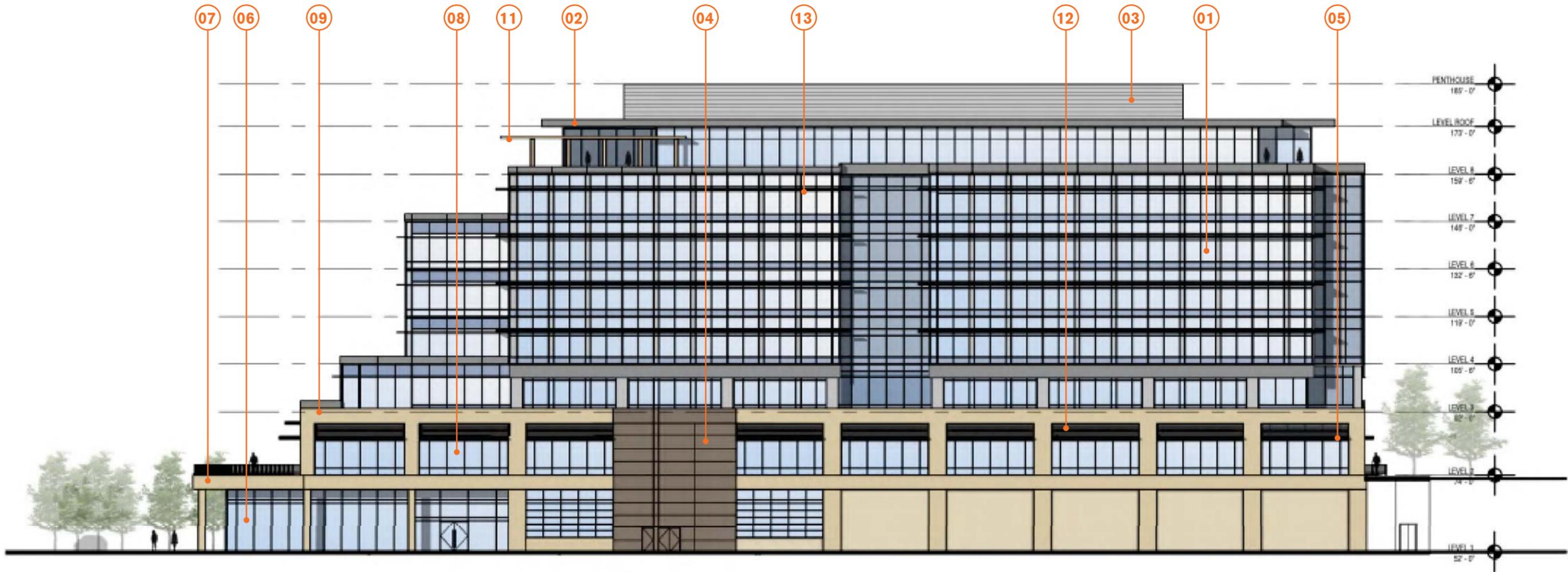
LEGEND

- | | | | |
|---------------------------------------|-------------------------------|----------------------------------|----------------------|
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| 03 PROFILE METAL PANELS @ ROOF SCREEN | 07 L1 RETAIL MASONRY, PRECAST | 11 POSSIBLE TRELLIS/COVERED AREA | |
| 04 METAL PANELS OR RAINSCREEN | 08 RETAIL STOREFRONT GLAZING | 12 LOUVER BAND FOR HVAC | |

PHASE 1 DEVELOPMENT CONCEPT

Elevations | Building F

SOUTH ELEVATION



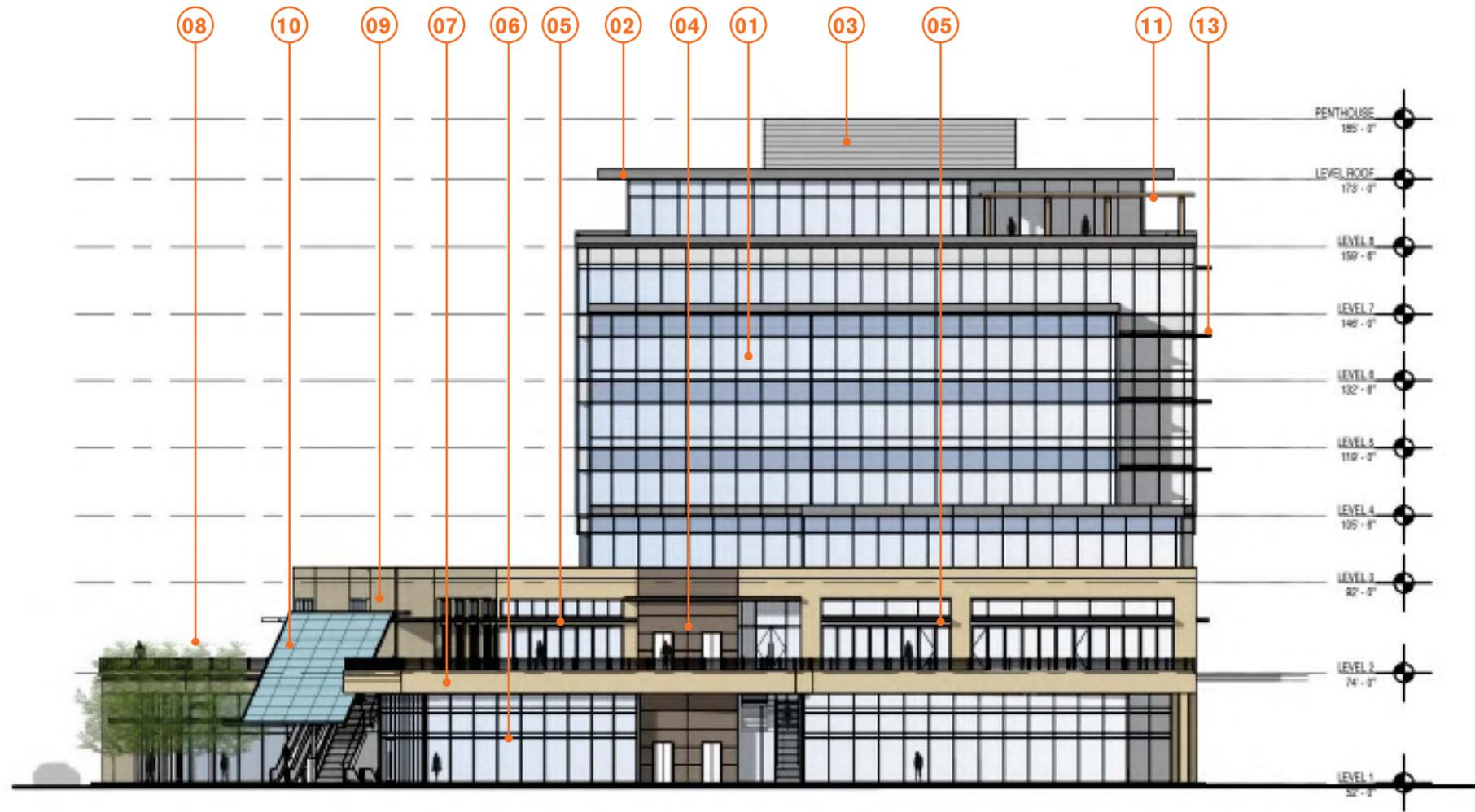
LEGEND

- | | | | |
|---------------------------------------|-------------------------------|----------------------------------|----------------------|
| 01 UNITIZED CURTAINWALL | 05 METAL & GLASS CANOPIES | 09 L2 RETAIL MASONRY, PRECAST | 13 OPTIONAL SUNSHADE |
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| 04 METAL PANELS OR RAINSCREEN | 08 RETAIL STOREFRONT GLAZING | 12 LOUVER BAND FOR HVAC | |

PHASE 1 DEVELOPMENT CONCEPT

Elevations | Building F

WEST ELEVATION



LEGEND

- | | | | |
|---------------------------------------|-------------------------------|----------------------------------|----------------------|
| 01 UNITIZED CURTAINWALL | 05 METAL & GLASS CANOPIES | 09 L2 RETAIL MASONRY, PRECAST | 13 OPTIONAL SUNSHADE |
| 02 ALUMINUM PANEL EYEBROW | 06 QFC STOREFRONT | 10 GLASS COVER @ ESCALATOR | |
| 03 PROFILE METAL PANELS @ ROOF SCREEN | 07 L1 RETAIL MASONRY, PRECAST | 11 POSSIBLE TRELLIS/COVERED AREA | |
| 04 METAL PANELS OR RAINSCREEN | 08 RETAIL STOREFRONT GLAZING | 12 LOUVER BAND FOR HVAC | |

PHASE 1 DEVELOPMENT CONCEPT

Perspectives | Building F

SOUTHWEST PERSPECTIVE



NORTHWEST PERSPECTIVE



SOUTHEAST PERSPECTIVE



NORTHEAST PERSPECTIVE



PHASE 1 DEVELOPMENT CONCEPT

Perspectives | Building F

PERSPECTIVE FROM SOUTH PARKING LOT TOWARD BUILDING F



BUILDING E AND F DESIGN GUIDELINES RESPONSE