



CITY OF KIRKLAND
Planning and Building Department
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MEMORANDUM

To: Design Review Board
From: Angela Ruggeri, Senior Planner
Date: November 28, 2016
File No.: DRV16-02450
Subject: **434 KIRKLAND WAY MIXED USE PROJECT
DESIGN RESPONSE CONFERENCE**

I. MEETING GOALS

At the December 5, 2016 Design Review Board (DRB) meeting, the DRB should conduct a Design Response Conference and determine if the project is consistent with the design guidelines contained in Design Guidelines for Pedestrian Oriented Business Districts, as adopted in Kirkland Municipal Code (KMC) Section 3.30.040.

During the Design Response Conference, the DRB should provide feedback on the following topics:

- Scale
- Access
- Open Space and Landscaping
- Transition on west side of site to Kirkland Performance Center and Peter Kirk Park
- Materials, colors, and details

II. PROPOSAL

The subject property is located at 434 Kirkland Way (see Attachment 1, pages 3 and 4). The applicant has applied for a Design Response Conference for a new mixed use development on the subject property. The project consists of approximately 15,520 square feet of ground floor retail space and 171 residential units. Structured parking will be provided in addition to six parking stalls along the Promenade (see Attachment 1, page 8). Residential vehicular access is proposed from a garage entry on the northeast side of the site (see Attachment 1, page 12).

III. SITE

The subject property currently contains a one story office building. The site slopes generally from the east to west. Starting at approximate elevation 70' at the east property line and stepping down to approximate elevation 52' adjacent to Peter Kirk Park. According to the arborist report, there are nine significant trees on the property and all are located within the planter strips within the parking lot area (see Attachment 2, page 1). There are also a number of trees that will be removed on the Peter Kirk Park property to the west of the site (see Attachment 2, pages 1, 2 & 3).

The site has street frontage along Kirkland Way which is designated a Major Pedestrian Sidewalk. It is also adjacent to the continuation of the designated Park Promenade in the Parkplace (Kirkland Urban) Master Plan and Design Guidelines. This connection is also a Major Pedestrian Sidewalk and has special development standards in the Parkplace Master Plan. The Zoning Code states that for property adjoining Peter Kirk Park, mixed use residential development will be allowed if a minimum 54-foot-wide improved easement-street from Parkplace to Kirkland Way, which meets the requirements for the Park Promenade in the Parkplace Master Plan, is provided. The applicant will be requesting that staff allow a slight departure from this requirement (see Attachment 1, page 8).

The following list summarizes the zoning designation, uses, and allowed heights of properties adjacent to the subject property (see Attachment 1, page 4):

- North:* **CBD 5A:** Kirkland Urban Mixed Use. Maximum height 8 stories up to 115’.
- East:* **CBD 5:** Emerald Office building. Maximum height is 67’ above average building elevation (ABE).
- South:* **PR 2.4:** Boulevard Condominiums. Maximum height is 30’ above ABE.
- West:* **Park/Public Use:** Peter Kirk Park/Kirkland Performance Center. Maximum height is determined on a case by case basis.

IV. CONCEPTUAL DESIGN CONFERENCE

A Conceptual Design Conference was held on June 6, 2016. The DRB provided direction to the applicant in preparation for the Design Response Conference. At the meeting, the DRB discussed:

- A. How the design guidelines affect or pertain to the proposed development.
- B. Which guidelines applied to the proposed development; and
- C. The application materials that are needed for the Design Response Conference.

The DRB’s feedback from the conference is summarized in Section V.B below under the DRB’s discussion on the various design topics.

V. DESIGN RESPONSE CONFERENCE

The Design Review Board reviews projects for consistency with design guidelines for pedestrian-oriented business districts, as adopted in Kirkland Municipal Code Chapter 3.30. In addition to the standard guidelines contained in the *Design Guidelines for Pedestrian-Oriented Business Districts*, the following information summarizes key guidelines which apply specifically to the project area. See also Section VI for information regarding zoning regulations and how they affect the proposed development.

A. Pedestrian-Oriented Design Guidelines

1. General

The following is a list of key design issues and/or design techniques that should be addressed with this project as identified in the design guidelines.

- Building Scale
 - Vertical and horizontal modulation

- Architectural scale
- Architectural elements
- Pedestrian-Orientation
 - Sidewalk Width
 - Plazas
 - Pedestrian friendly building fronts
 - Blank wall treatment
 - Public Art
- Landscaping
- Building material, color, and detail

See the adopted Design Guidelines for Pedestrian-Oriented Business Districts for complete text and explanations.

2. Special Considerations for Downtown Kirkland

In addition to the standard guidelines contained in the *Design Guidelines for Pedestrian-Oriented Business Districts*, the following list summarizes some of the key guidelines and special considerations that apply specifically to the project area. *See adopted Design Guidelines for Pedestrian-Oriented Business Districts for complete text and explanations.*

Sidewalk Width: Movement Zone

Special Consideration for Downtown Kirkland

Most of the business core of Kirkland is already developed with fairly narrow sidewalks. New development should provide sidewalks at the recommended width. Providing wider sidewalks throughout downtown is a long-term endeavor.

Architectural Elements: Decks, Bay Windows, Arcades, Porches

Special Consideration for Downtown Kirkland

Pedestrian features should be differentiated from vehicular features; thus fenestration detailing, cornices, friezes, and smaller art concepts should be concentrated in Design Districts 1 and 2, while landscaping and larger architectural features should be concentrated in Design Districts 3, 5, 7, and 8.

B. Compliance with Design Guidelines

The DRB expressed a preference for massing Option C at the Conceptual Design Conference. The following items were requested for the Design Response Conference submittal:

- Perspective drawings of views from all corners
- Pedestrian views of the SW corner and going west down Kirkland Way
- Sections to show relationship of building to pedestrian areas

- All 4 elevations
- Pedestrian entrance off of Kirkland Way
- North side of site shown with and without the Pancake House building
- Northwest area at the Promenade
- Ideas for public art
- Detailed landscape plans including inner courtyard and SW plaza space
- Relationship of project to Kirkland Performance Center
- Roof treatment

1. **Scale**

a. DRB Discussion

The DRB requested the following for the Design Response Conference submittal:

- Explore articulation and fenestration treatment of the southwest corner of the building, above the plaza, since this is a key area.
- Provide more detail on the building modulation, particularly for the north elevation.
- Achieve pedestrian scale (very important for the west and south elevations).
- Explore rooftop modulation.
- Address fenestration and materials.

b. Supporting Design Guidelines

The *Design Guidelines for Pedestrian Oriented Business Districts* contain the following policy statements that address the use of these techniques:

- Varied window treatments should be encouraged. Ground floor uses should have large windows that showcase storefront displays to increase pedestrian interest. Architectural detailing at all window jambs, sills and heads should be emphasized.
- Architectural building elements such as arcades, balconies, bay windows, roof decks, trellises, landscaping, awnings, cornices, friezes, art concepts, and courtyards should be encouraged.
- Vertical building modulation should be used to add variety and to make large buildings appear to be an aggregation of smaller buildings.
- Horizontal building modulation may be used to reduce the perceived mass of a building and to provide continuity at the ground level of large building complexes. Building design should incorporate strong pedestrian-oriented elements at the ground level and distinctive roof treatments.

c. Staff Analysis

As requested by the DRB, the applicant has pursued massing Option C and has provided detailed plans for review (see Attachment 1, see pages 13 and 20 for applicant's response).

The DRB should provide input on the following items:

- *Articulation and fenestration treatment above the plaza at the southwest corner of the building.*
- *Building modulation, particularly for the north elevation.*
- *Pedestrian scale (very important for the west and south elevations).*
- *Rooftop modulation.*
- *Fenestration and materials.*

2. Access

a. DRB Discussion

The DRB was generally supportive of the proposed promenade connections to Kirkland Urban, but stated that the design must provide a smooth transition along the promenade from Kirkland Urban to Kirkland Way.

b. Supporting Design Guidelines

The *Design Guidelines for Pedestrian Oriented Business Districts* contain the following statements that pertain to vehicular and pedestrian access:

- A sidewalk should support a variety and concentration of activity yet avoid overcrowding and congestion. The average sidewalk width should be between 10' and 18'.
- Awnings or canopies should be required on facades facing pedestrian-oriented sidewalks.
- All building fronts should have pedestrian-friendly features.
- All building entries should be well lit. Building facades in pedestrian areas should provide lighting to walkways and sidewalks through building-mounted lights, canopy- or awning-mounted lights, and display window lights. Encourage variety in the use of light fixtures to give visual variety from one building façade to the next. Back-lit or internally-lit translucent awnings should be prohibited.
- Successful pedestrian-oriented plazas are generally located in sunny areas along a well-traveled pedestrian route. Plazas must provide plenty of sitting areas and amenities and give people a sense of enclosure and safety.
- Commercial developments should have well defined, safe pedestrian walkways that minimize distances from the public sidewalk and transit facilities to the internal pedestrian system and building entrances.
- Blank walls should be avoided near sidewalks, parks, and pedestrian areas. Where unavoidable, blank walls should be treated with landscaping, art, or other architectural treatments.

c. Staff Analysis

The DRB should provide input on the promenade connections to Kirkland Urban, to be sure that the design provides a smooth transition along the Promenade from Kirkland Urban to Kirkland Way.

See Attachment 1, pages 20 to 23 for applicant's response.

3. Open Space and Landscaping

a. DRB Discussion

The DRB provided the following direction regarding open space and landscaping:

- Provide more information on the inner plaza and explore ways to make it more open/visible from offsite.
- Design the SW corner to acknowledge its importance as a pedestrian gathering place and entry into the site (explore increased setback of the retail at that location).

b. Supporting Design Guidelines

The *Design Guidelines and Zoning Regulations* contain the following guidelines addressing the visual quality of landscapes. In addition, KZC Chapter 95 requires that a landscape plan be approved as part of the Design Review Process.

-
- The placement and amount of landscaping for new and existing development should be mandated through design standards. Special consideration should be given to the purpose and context of the proposed landscaping. The pedestrian/auto landscape requires strong plantings of a structural nature to act as buffers or screens.
- The pedestrian landscape should emphasize the subtle characteristics of the plant materials. The building landscape should use landscaping that complements the building's favorable qualities and screens its faults.
- Successful pedestrian-oriented plazas are generally located in sunny areas along a well-traveled pedestrian route. Plazas must provide plenty of sitting areas and amenities and give people a sense of enclosure and safety.

c. Staff Analysis

Landscaping should be placed in areas to help mitigate building massing and enhance the pedestrian experience along the project frontages.

See Attachment 1, pages 14 to 18 and 27 to 32)

The DRB should provide input on the following items:

- *What changes are needed to the landscape plan?*
- *Are there other opportunities for landscaping?*
- *Is the inner plaza open/visible from offsite?*
- *Does the SW corner acknowledge its importance as a pedestrian gathering place and entry into the site?*

4. Building Materials, Color, and Details

a. DRB Discussion

This topic was not discussed in detail at the Conceptual Design Conference.

b. Staff Analysis

Attachment 1, pages 34 to 36 contain color elevation drawings and callouts for the proposed building materials. The DRB should provide feedback to the applicant regarding the proposed materials and colors.

5. Other

a. DRB Discussion

The DRB directed the applicant to show a smooth transition on the west side of the site where it connects to the Kirkland Performance Center and Peter Kirk Park.

b. Staff Analysis

The DRB should provide feedback to the applicant regarding the transition on the west side of the site.

See Attachment 1, pages 6 and 12.

VI. KEY ZONING REGULATIONS

The applicant's proposal is also subject to the applicable requirements contained in the Kirkland Municipal Code, Zoning Code, Fire and Building Code, and Public Works Standards. It is the responsibility of the applicant to ensure compliance with the various provisions contained in these ordinances. Attachment 3, Development Standards, is provided to familiarize the applicant with some of these additional development regulations. These regulations and standards are not under the review authority of the DRB and will be reviewed for compliance as part of the building permit review for the project.

Development of the subject property is subject to the regulations for CBD 5 (see Attachment 4). The following regulations are important to point out as they form the basis of any new development on the site. Below are some of the key zoning standards that apply to the development followed by staff comment in italics.

A. Permitted Uses: Stacked or Attached Dwelling Units are allowed in this location if the following Special Regulation is met:

1. This use only allowed:

- a. On properties with frontage on Second Avenue.
- b. For property adjoining Peter Kirk Park, if the following are provided:

1) A minimum 54-foot-wide improved easement-street from Parkplace to Kirkland Way which meets the requirements for the Park Promenade in the Parkplace Master Plan. The design must be approved by the Planning and Building Department and the Public Works Department.

2) The street level of all buildings shall be limited to one or more of the following uses: Retail; Restaurant or Tavern; Banking and Related Financial Services; Entertainment, Cultural and/or Recreational Facility; Parks; Government Facility; or Community Facility. At least one of the street level tenant spaces must be a minimum of 9,000 square feet. The required uses shall have a minimum depth of 20 feet and an average depth of at least 30 feet (as measured from the face of the building on the Park

Promenade). The Design Review Board (or Planning Director if not subject to D.R.) may approve a minor reduction in the depth requirements if the applicant demonstrates that the requirement is not feasible given the configuration of existing or proposed improvements and that the design of the retail frontage will maximize visual interest. Lobbies for residential uses may be allowed within this space subject to applicable design guidelines.

3) A minimum 2,000-square-foot public plaza that relates to Kirkland Way, the Kirkland Performance Center and Peter Kirk Park. The design must be approved by the Design Review Board.

4) Developments creating four or more new dwelling units shall provide at least 10 percent of the units as affordable housing units as defined in Chapter 5 KZC. See Chapter 112 KZC for additional affordable housing incentives and requirements.

5) Public art on site valued at a minimum of \$10,000. The art must be reviewed and approved by the Kirkland Cultural Arts Commission.

6) The project must be built to LEED silver or comparable standard.

Staff Comment: The applicant is proposing a project which meets these requirements.

- B. Setbacks: The required yard/setbacks for this zone are outlined in General Regulations 2 through 5 of Attachment 4.

Staff Comment: The applicant is proposing a project that meets these requirements.

- C. Height: CBD 5 zoning allows a maximum height of 67' above ABE for mixed use residential projects.

Staff Comment: The applicant is proposing a project that meets this height limit.

- D. Lot Coverage: CBD 5 zoning regulations allow a maximum of 80% lot coverage.

Staff Comment: The applicant will be required to meet the 80% lot coverage requirement.

- E. Parking: Parking requirements are outlined in Attachment 4.

Staff Comment: The applicant has not requested any parking modifications and so will be required to meet these requirements.

- F. Landscaping. The applicant has supplied a landscape plan (see Attachment 1) and arborist report (see Attachment 2).

Staff Comment: This requirement has been met.

- G. Sidewalks. Kirkland Way is a designated Major Pedestrian Sidewalk. Therefore the sidewalk standards require a minimum 8' wide sidewalk along the entire frontage of the subject property abutting Kirkland Way. The project is required to confirm with the Public Works Department required frontage improvements. The easement from Parkplace to Kirkland Way is also a Major Pedestrian

Sidewalk. This easement has specific requirements in the special regulations of the Zoning Code.

Staff Comment: The applicant is requesting staff approval of a modification to the easement requirements. The applicant is proposing to keep the required 54 foot wide improved easement street (Park Promenade), but to reduce the walkway on the west side of the easement to 8 feet and increase the walkway on the east side to 16 feet (see Attachment 1, page 8). This proposal would meet the minimum 8' wide sidewalk requirement for a Major Pedestrian Sidewalk, but would modify the easement requirements in the Parkplace (Kirkland Urban) Master Plan and Design Guidelines.

DRB input is desired before staff renders a decision.

VII. PUBLIC COMMENT

No public comment was received prior to the finalization and distribution of this staff memo.

VIII. SUBSEQUENT MODIFICATIONS

Modifications to the approval may be requested and reviewed pursuant to the applicable modification procedures and criteria in effect at the time of the requested modification.

IX. ATTACHMENTS

1. Applicant Proposal
2. Arborist Report
3. Development Standards
4. CBD 5 Use Zone Chart



principals Brian Brand, AIA
Kevin J. Cleary, AIA
Meredith Everist, AIA
Thomas Frye, Jr., AIA
Richard Wagner, FAIA

October 4, 2016

Design Review Board
City of Kirkland Planning and Building Department
123 Fifth Avenue
Kirkland, Washington 98033

Re: 434 Kirkland Way – Mixed Use 16-0217
Subject: Design Response Conference Design Guidance Letter

Dear Design Review Board Staff:

On June 6th the Design Review Board held the conceptual design conference for the above referenced proposed mixed use project. The Board generally was supportive of the preferred option Scheme C and emphasized the importance of addressing these key issues stated below.

The design of the project has evolved in favor of addressing the concerns and the recommendations that the Review Board had expressed in the first conference. The design presentation includes a colorful palette of building materials, landscapes and exhibits, including rendered perspectives, building elevations, updated site plans, colored landscape plans, and site sections, among other diagrams that clearly illustrate the intent of what is proposed for the project. Furthermore, the design packet addresses improvements to the north in consideration of the future development of Kirkland Urban and how the site plans to transition at the promenade to the Kirkland Urban project.

- A. Scale
 - a. The treatment of the southwest corner of the building, above the plaza, is key. Explore articulation and fenestration in this area.
 - b. Provide more detail on the building modulation, particularly for the north elevation.
 - c. Achieve pedestrian scale (very important for the west and south elevations).
 - d. Explore rooftop modulation.
 - e. Address fenestration and materials.

The Design Review Board mentioned the importance of treating the southwest corner through all levels of the project to enhance the massing as well as the usability and flexibility of the open plaza. The corner has been re-sculpted and now the upper levels along with the 'row-house' type units facing Kirkland Way have been better integrated with the retail base. The forms tie all the levels together and are resolved with a vertical curtain wall that extends down to grade. The updated corner also allows the plaza to open up by shifting the retail to the East and fitting a lobby entry in the middle.

Modulation was another concern for the overall project, especially at the north side of the building. As shown in the exhibits, there are modulation on all four facades of the project, particularly at the north side where horizontal and vertical bays express the in-and-outs of the living and bedroom units. These bays are also clad with integral color cementitious panel materials with brighter colors so that they appear to stand out.

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 October 4, 2016
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Rooftop modulation is expressed in the articulation of the bays and the undulation created by the loggia at the top floor of the building. Running a continuous loggia at the penthouse floor allows the top level façade to recede. The top floor receives a darker accent color that is extended into the lower levels at the north façade. The north façade introduces a single breakage in the middle tier allowing more roof modulation on this elevation. The repetitive bays at the promenade and at the units facing Kirkland Way help alleviate any blank walls.

- B. Access
 - a. The DRB was generally supportive of the proposed promenade connections to Kirkland Urban, but the design must provide a smooth transition along the promenade from Kirkland Urban to Kirkland Way.
 - b. Address fenestration and materials.

In concurrence with the design departure request that was submitted with the conceptual design presentation, the sidewalk at the east side of the promenade alongside the retail is widened to 16'. The sidewalk at the Kirkland Performance Center side is reduced to 8'. This departure causes a slight shift in the drive lanes, but the curves are gradual and channeled in a way that allows vehicles to proceed through the promenade. The slight shift brought about by the transition on the north may serve as a traffic calming method to deter drivers from speeding through the promenade as if it were an arterial.

- C. Open space and landscaping
 - a. Provide more information on the inner plaza and explore ways to make it more open/visible from off-site.
 - b. Design the SW corner to acknowledge its importance as a pedestrian gathering place and entry into the site.

Landscaping is provided throughout the project and is specialized in each region. The courtyard is designed to be sheltered by a building façade to the north, west, and south and by the two building corners at level 95.5'. Special pavers blended with ground cover and shrubs allow some privacy screening at the units that have patios at the north. Units at the south side of the courtyard have meandering paths divided by trees and amenity areas where residents can enjoy trees and bench seating.

The public plaza at the southwest corner will feature wood composite clad bench seating connected to a mini waterfall hardscape all in the form of a sculpted art form. The sculpted seating and the waterfall is the art feature that will form an outdoor performing amphitheater.

A mix of hedge and shrubs will form the boundary at the east edge of the site, trailing off into terraced landscape beds to the north. The north edge of the site, including a truck lay-by zone and refuse/recycle staging will be constructed after the demolition of the existing pancake house restaurant at the north property.

A variety of planters, trees, hardscape courts and green roofs are planned for the community terrace roof at level 95.5, the main roof and the 'alley' between the townhomes and units at the east half of the building.

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Overall, the 434 Kirkland Way Mixed-Use is thought to be a dynamic project that will create not only housing but retail and public spaces that respond to the needs of the local community. The project brings a plaza which can serve as impromptu performances or gathering areas for the performance center. Utilizing similar pavement materials at the project to the north, the 434 Kirkland Way Mixed Use project will seem to be a natural extension of the promenade connecting to Kirkland Way and simultaneously be a vibrant housing and retail sector for the neighborhood.

This concludes our response to Design Response Conference guidance letter. Please feel free to call me at (425) 454-0566, if you require further clarification

Sincerely,

BAYLIS ARCHITECTS, INC.



Meredith Everist, AIA | LEED AP BD+C
Principal



Sam Chung
Project Manager

jg/sac
cc: Angela Ruggeri



434 KIRKLAND WAY MIXED USE

DESIGN REVIEW
DESIGN RESPONSE CONFERENCE
SUBMITTAL DATE: OCT 5, 2016
PRESENTATION DATE: DEC 5, 2016

ARCHITECTS
baylis

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OWNER	MRM Capital Joe Razore Manager 3977 Lake Washington Blvd NE Kirkland, WA 98033	2	Table of content
OWNER REPRESENTATIVE	The Schwartz Company 80 Yesler Way Suite 300 Seattle, WA 98101	3	Vicinity map
ARCHITECT	Baylis Architects 10801 Main Street, #110 Bellevue, WA 98004 Brian Brand (425) 454-0566	4	Design objectives
LANDSCAPE ARCHITECT	Weisman Design Group Mark Weisman 2329 E Madison St Seattle, WA 98112	5	Preferred option recap
ARBORIST	American Forest Management 11425 NE 128th St Suite 110 Kirkland WA 98034	6	Board recommendation
GEO-TECHNICAL ENGINEER	Geo-Engineers 8410 154th Ave NE Redmond WA 98052	8	Site plan
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VICINITY MAP

DEVELOPMENT OBJECTIVES



The submittal package for this design response conference will address the overall building forms, color and material selections. The design response will also address the site design and the various landscape design features throughout the project.

PREFERRED OPTION RECAP

MASSING STUDY

On June 6, 2016 the Design Review Board held the Conceptual Design Conference for the proposed mixed use project that would consist of approximately 15,500 sf of ground retail and 174 residential units. The Design Review Board generally agreed with the proposed building massing shown in option C, the preferred option.

Preferred Option Recap:

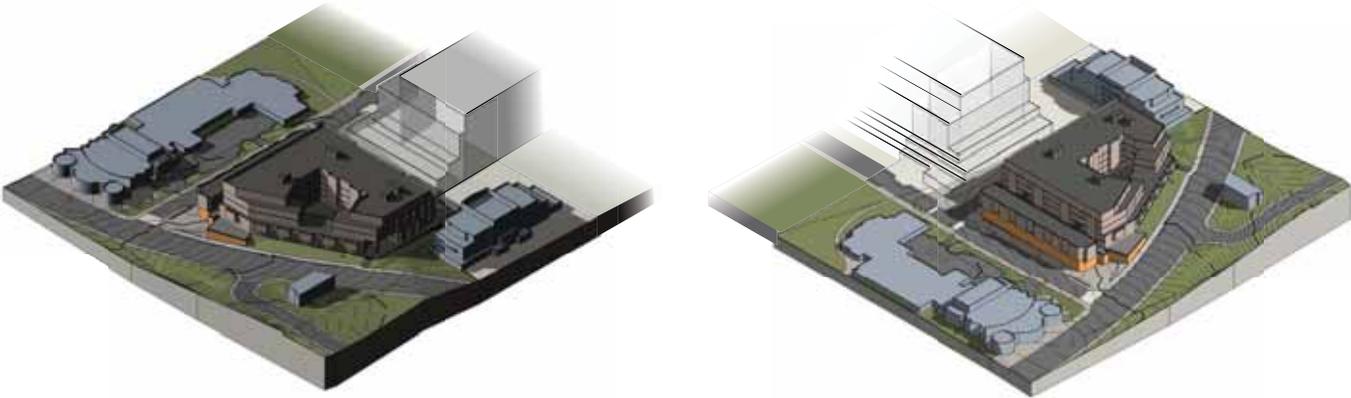
Option C addresses both previous schemes' bulk mass problems, articulation of forms and privacy issues. This option is different in that while utilizing a central courtyard, it is screened by a row of units at the south, while the residential floors above the 2nd floor level open up in a terraced fashion promoting more opportunities for more open space and light for the outer units.

Pros:

- Main entry at southeast corner accessible covered secured entry
- Pedestrian plaza open and inviting
- Central courtyard is still significant in size and better screened for privacy



STREET VIEW FROM KIRKLAND WAY



BIRD EYE VIEW

BOARD RECOMMENDATION

A. SCALE

- The treatment of the southwest corner of the building, above the plaza, is key. Explore articulation and fenestration in this area.
- Provide more detail on the building modulation, particularly for the north elevation.
- Achieve pedestrian scale (very important for the west and south elevations)
- Explore rooftop modulation
- Address fenestration and materials

B. ACCESS

- The DRB was generally supportive of the proposed promenade connections to Kirkland Urban, but the design must provide a smooth transition along the Promenade from Kirkland Urban to Kirkland Way.

C. OPEN SPACE AND LANDSCAPING

- Provide more information on the inner plaza and explore ways to make it more open/ visible from site.
- Design the SW corner to acknowledge its importance as a pedestrian gathering place and entry into the site (explore increased setback of the retail at that location).

D. OTHER

Provide a smooth transition on west side of site to the Kirkland Performance Center and Peter Kirk Park. Property owner will work with KPC and Peter Kirk Park to ensure the proposed design is acceptable.

E. ITEMS REQUIRED FOR DESIGN RESPONSE CONFERENCE

- Perspective drawings of views of all corners (night and day renderings)
- Perspective views of the SW corner and going west down Kirkland Way
- Sections to show relationship of building to pedestrian areas
- 4 Building elevations
- Pedestrian Entrances (both o of Kirkland Way), Main retail lobby entry and East entry
- Northwest area at the promenade. How dose it transition to our property
- Ideas for public art
- Detailed landscape plans, including inner courtyard and Southwest plaza space
- Relationship of project to KPC
- Roof treatment



BIRDSEYE VIEW FROM KIRKLAND WAY

The design review board expressed concerns about the southwest corner. The way that the protruding retail comes together with the wedding caked shaped masses at the upper levels is a significant key to successfully configuring the aesthetics that really compliments the corner of the site. As these exhibits show we have taken the corner, re-sculpted the upper levels and brought the forms together to celebrate the corner, opening the mid segment for the main entry lobby and terracing the building form back from a epitomizing corner window wall feature which extends through all levels of the building.

Modulation was another concern for the overall project, especially at the north side of the building. As shown on the exhibits, there are modulation on all four sides, particularly at the north side where horizontal and vertical bays form the in and outs of bedrooms and living areas within the units. These bays are clad with superior materials and brighter colors so that they appear to pop out of the building.

BOARD RECOMMENDATION



Rooftop modulation is apparent in the articulation of the bays and the undulation created by the loggias over each bay. The repetitive bays at the promenade and at units facing Kirkland way help alleviate any blank walls by expressing articulation and fenestration patterns. The loggias are also present at the rooftop. The penthouse level recedes back, made possible by the bays facing west and by the building set-backs facing south. This top floor receives a darker color and has continuous loggia with a single breakage at the north side. The perspective show that the upper level is least visible from grade at south, and west sides. This recessed level is enhanced by a richly finished so t.

In concurrence with the design departure request that was submitted, the sidewalk at the west side of the promenade is now proposed to be 16' wide and the sidewalk on the opposite side at Kirkland Performance Center is 8' wide, suggesting a slight shift in the drive lanes as the project transitions to Kirkland Urban at north.

Special landscaping is provided throughout the project and is specialized in each region around the building and site. The courtyard is designed to be a private space sheltered by the building corners at level 95.5' and the connecting breezeway at level 85.5'. Special pavers, in combination with trees and ground cover will define paths to each units at the south side of the courtyard while private patios will screen o access for privacy for units flanking the west and north side.

The public plaza at the southwest corner will include a water feature and seating to define an art piece for the pedestrians to enjoy. Trees and shrubs will also work in conjunction with the plaza features to contribute to the community as the space will truly come alive in multi-purpose use, such as mini-outdoor performing or interactive playful gathering space.

SITE PLAN

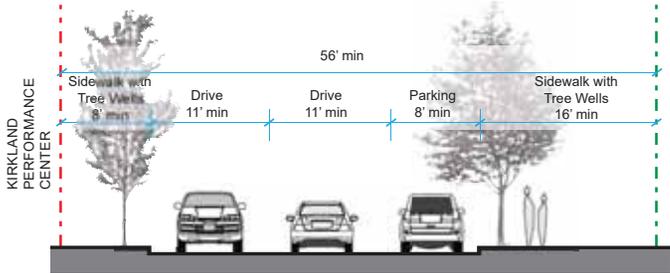
SITE DIAGRAM

DEVELOPMENT OBJECTIVES/ PROPOSAL

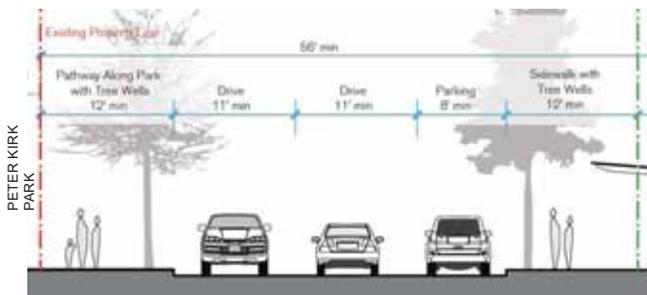
The proposed project will strive to maintain the goals originally stated in the Parkplace Master plan by extending the two vehicle lanes, and the parking lane at the required minimum dimensions. The proposed project incorporates all retail frontage for street level use on the east side of the promenade.

DEPARTURE REQUEST

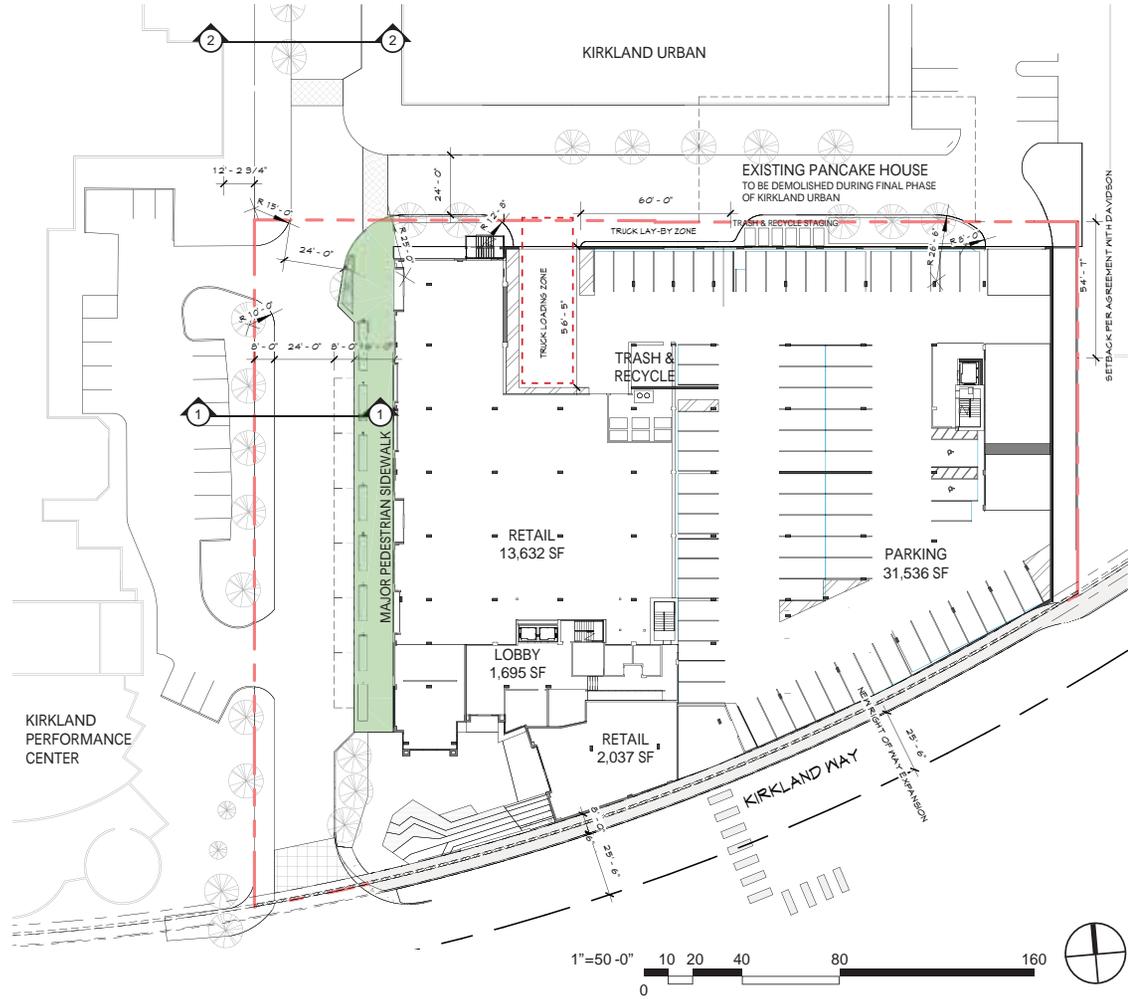
The project will seek to gain permission to reduce the walkway at the west side of the easement that adjoins Peter Kirk Park down to 8-foot. Reducing the sidewalk at the west side of the easement will allow us to gain 4-foot at the east side adjacent to the proposed retail. This new 16-foot walkway next to the retail will allow more enhanced promenade at the retail side for seating, landscapes and other amenities. See landscape plan for further clarification of proposed hardscape design.



1. PROPOSED PROMENADE SECTION TYP.



2. KIRKLAND URBAN PROMENADE SECTION TYP.

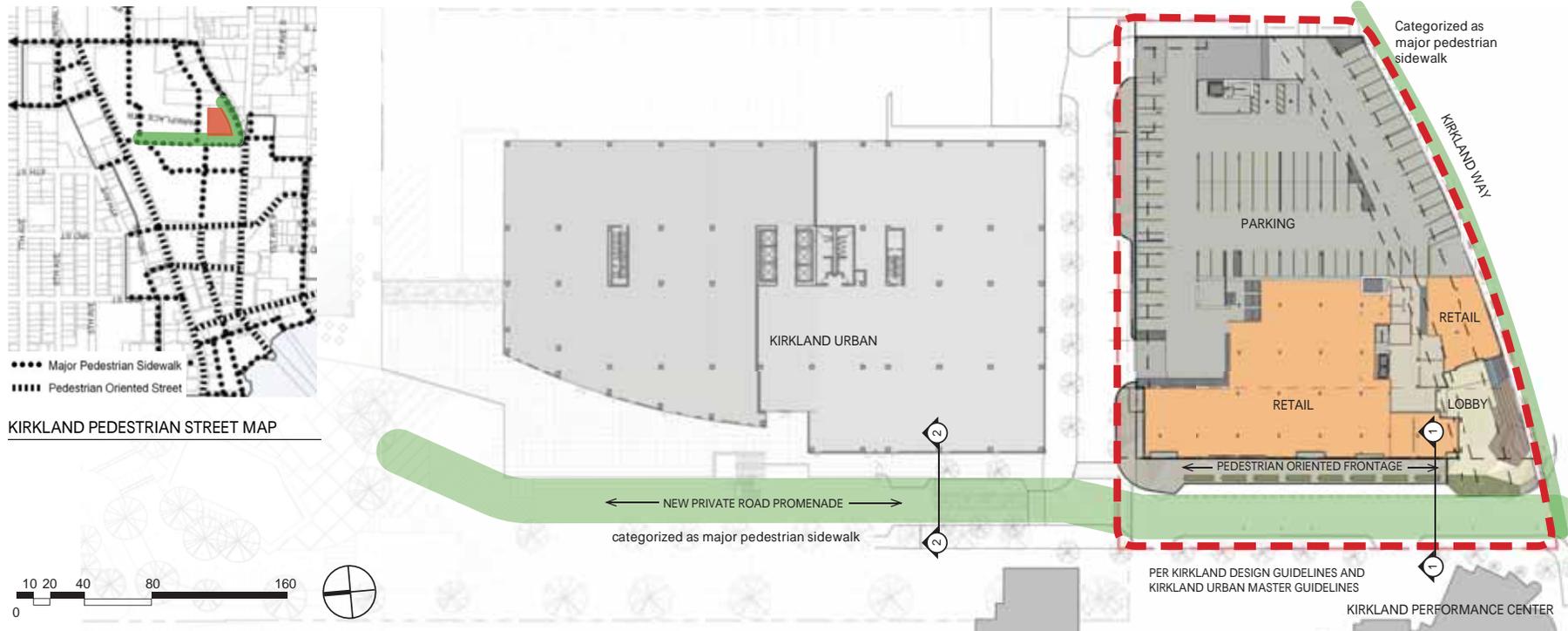


SITE PLAN



SITE PLAN

SITE WITH KIRKLAND URBAN

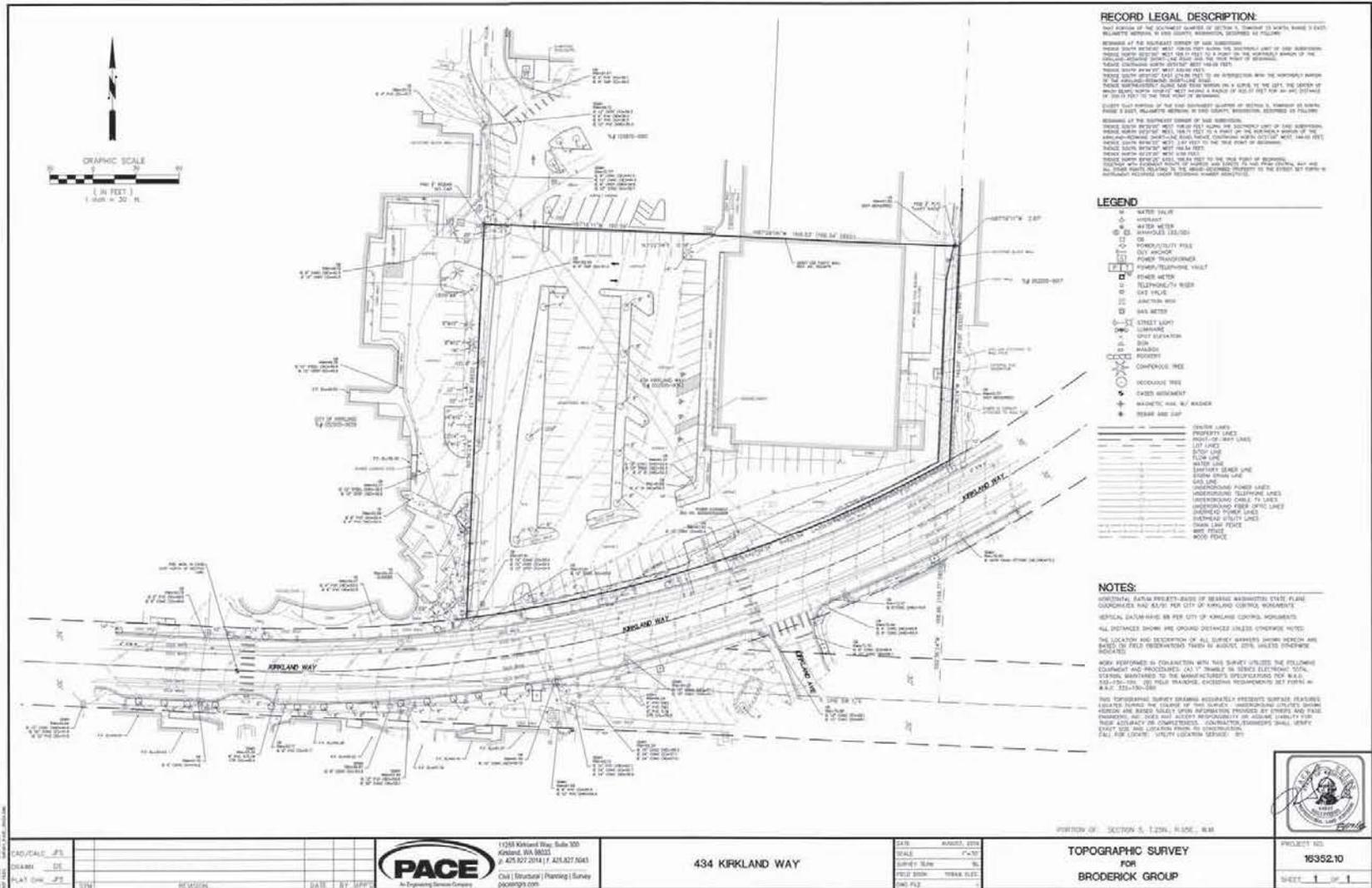


KIRKLAND PEDESTRIAN STREET MAP

ELEVATION WITH KIRKLAND URBAN



SITE SURVEY

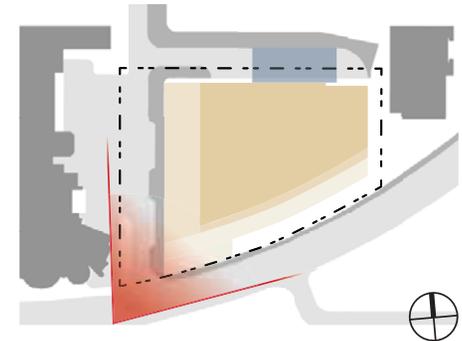


OVERALL LANDSCAPE PLAN



PERSPECTIVE RENDERING

PERSPECTIVE - VIEW NE FROM PLAZA ON KIRKLAND WAY



Discussion Items and DRB Direction:

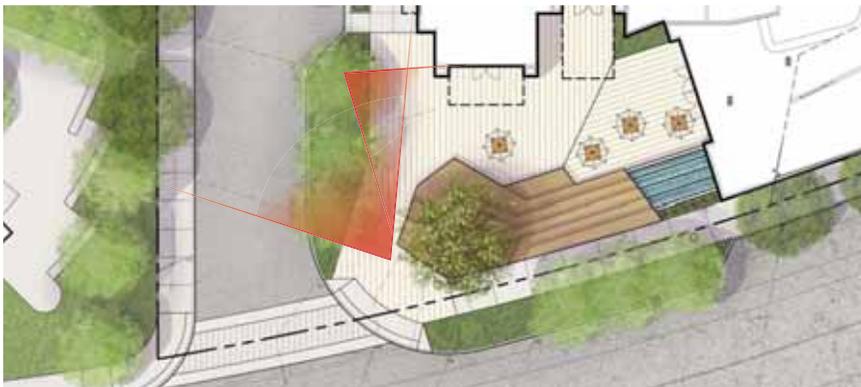
A. Scale

- a. The treatment of the southwest corner of the building, above the plaza, is key. Explore articulation and fenestration in this area.
 - Overall massing and configuration at the SW corner has been updated to express more balanced tiers of upper level units to retail at grade, with a vertical design curtain wall climbing up to the penthouse level. The Southern most unit facing Kirkland Way at the west end now perches above the retail. Design includes a main level lobby entry at the ground level between the two retail fronts. This lobby entry is framed with pilasters and prominent entry canopies.



DESIGN FEATURE

CORNER CONNECTION



Discussion Items and DRB Direction:

A. Scale

c. Achieve pedestrian scale (very important for the west and south elevations)

- Pedestrian scale is achieved at the west retail with fenestration, weather protection, landscape and hard scape features. Per the Kirkland Urban master plan requirements, the sidewalk is required to be minimum 12'-0". The proposed wider 16'-0" sidewalk accommodates planter benches, walkways under building canopies and storefront windows. There are multiple entryways into the building at this west facade.

Design the SW corner to acknowledge its importance as a pedestrian gathering place and entry into the site (explore increased setback of the retail at that location)

- Landscape at the SW plaza is strategically designed to promote circulation and specialized areas where the public can enjoy the unique attributes of each.
- Durable wood or composite materials will be utilized for seating. Water feature will be the art piece that is expressed as function and form. Water will help mask unwanted noise entering the plaza.



DESIGN FEATURE

CORNER PLAZA



Plaza Plan



Plaza seating / retail



Water feature with sculptural stonework



Specimen shade tree: Honey Locust



Plaza Birdseye View



Amphitheater Seating and Water Feature



Stepped wood seating at amphitheater



Paver detail

PLANTING

STREET LEVEL TREES

STREET TREES



1
Acer rubrum
Armstrong Red Maple



2
Nyssa sylvatica
Black Tupelo



3
Zelkova serrata
Japanese Zelkova

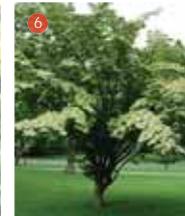
ACCENT TREES



4
Magnolia x loebneri 'Leonard Messel'
Loebner magnolia



5
Acer palmatum (Green)
Japanese Maple



6
Cornus kousa
Japanese Dogwood

MIX
7



7
Chamaecyparis obtusa
Hinoki Cypress



Magnolia grandiflora 'Little Gem'
Dwarf Evergreen Magnolia



Acer circinatum
Vine Maple



PLANTING

STREET LEVEL PLANTING MATERIAL

1 KIRKLAND WAY FRONTAGE MIX



Viburnum p. tomentosum 'Mariesii'
Doublefile Viburnum



Euphorbia amygdaloides
Wood Spurge



Rhampholepis umb. 'Minor'
Dwarf Yedda Hawthorn



Hemerocallis 'Stella de Oro'
Dwarf Daylily



Stipa tenuissima
Mexican feather grass



Salvia 'May Night'
May Night Sage

2 GENERAL PLANTING MATERIAL



Spirea bumalda 'Anthony Waterer'
Anthony Waterer Spirea



Sarcococca ruscifolia
Sweetbox



Cornus kelseyii
Kelsey Dogwood



Miscanthus 'Little Kitten'
Maiden Grass



Rosmarinus officinalis
Blue Spires Rosemary



Hebe 'Red Edge'
Red Edge Hebe



Fothergilla gardenii
Dwarf Fothergilla

3 STORMWATER PLANTER MIX



Juncus patens



Iris douglasiana

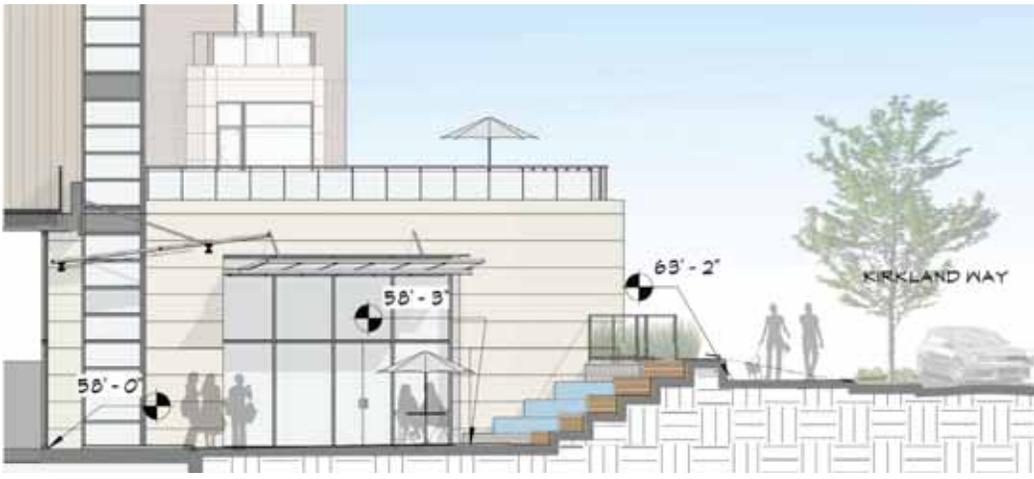


Equisetum hyemale

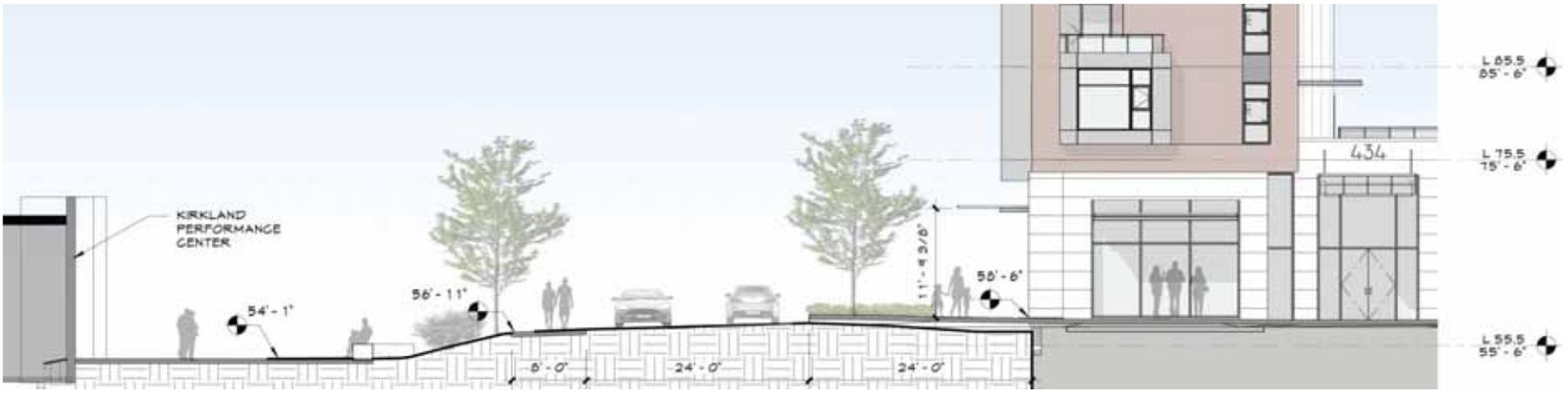


DESIGN FEATURE

PLAZA SECTION



1. PLAZA SECTION



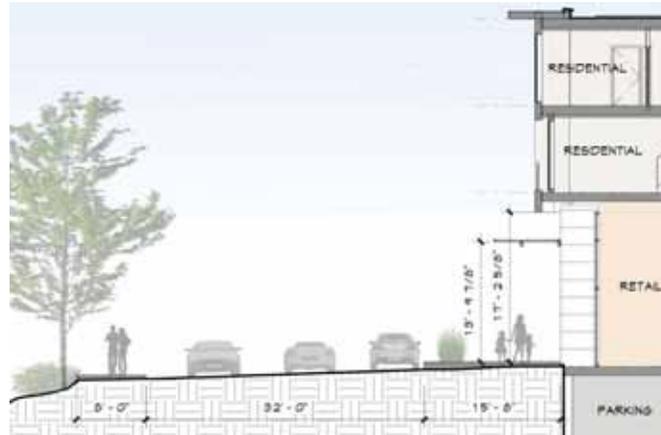
2. TRANSITION TO KIRKLAND PERFORMANCE CENTER

DESIGN FEATURE

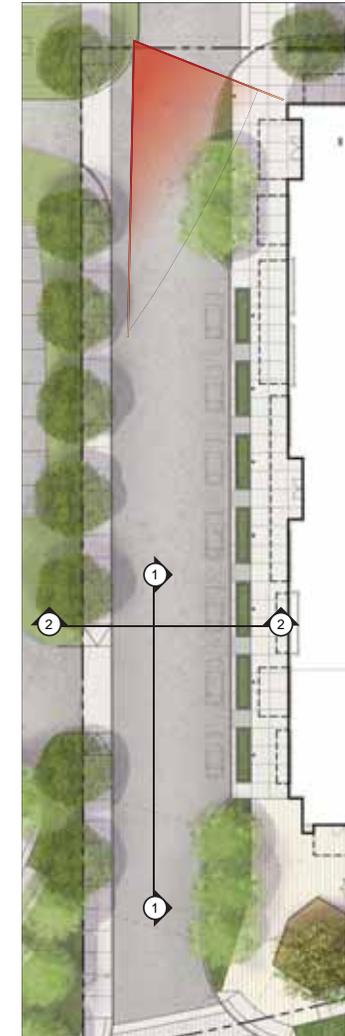
PEDESTRIAN RETAIL FRONT



1. PEDESTRIAN RETAIL FRONT

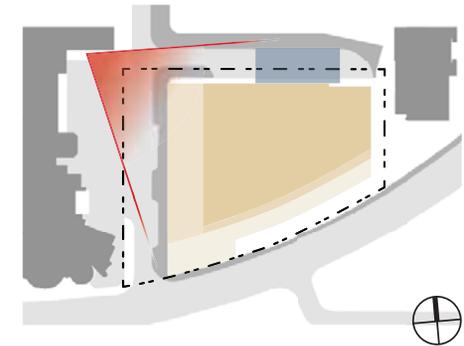


2. CONNECTION WITH KIRKLAND PERFORMANCE CENTER



PERSPECTIVE RENDERING

VIEW FROM KIRKLAND URBAN



Discussion Items and DRB Direction:

A. Scale

b. Provide more detail on the building modulation, particularly for the north elevation.

- North façade has been updated to incorporate modulation horizontally and vertically. Brick facades for the townhomes over retail articulates recessed planes and balconies using either metal or fiber cement panels. Modulation at the residential floors has been expressed with vertical and horizontal window bays. Vertical bays are expressed with the use of different color panels and window configuration. The horizontal bays span multiple units, include a row of fenestration and serves as balconies.

B. Access

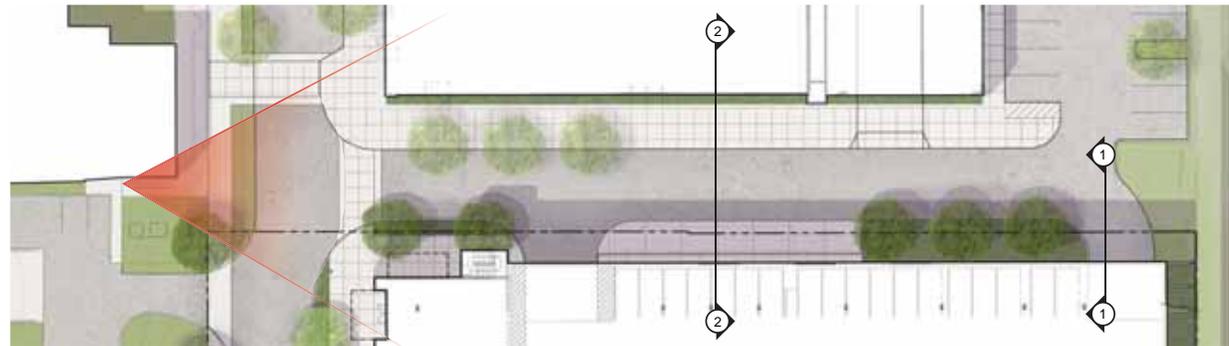
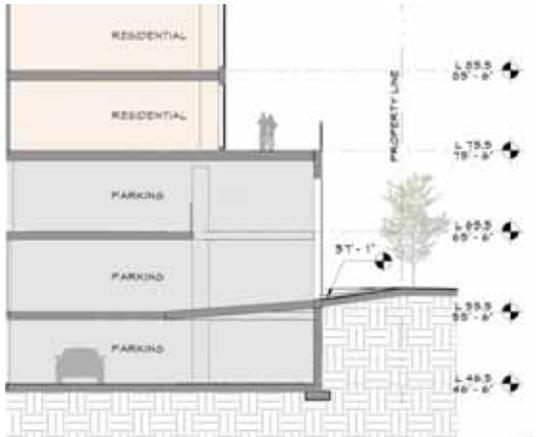
a. The DRB was generally supportive of the proposed promenade connections to Kirkland Urban, but the design must provide a smooth transition along the Promenade from Kirkland Urban to Kirkland Way.

- The proposed project maintains the intent of the architectural finish for the walking pavement. The material of the crosswalk and the sidewalk will be consistent with the design guidelines.

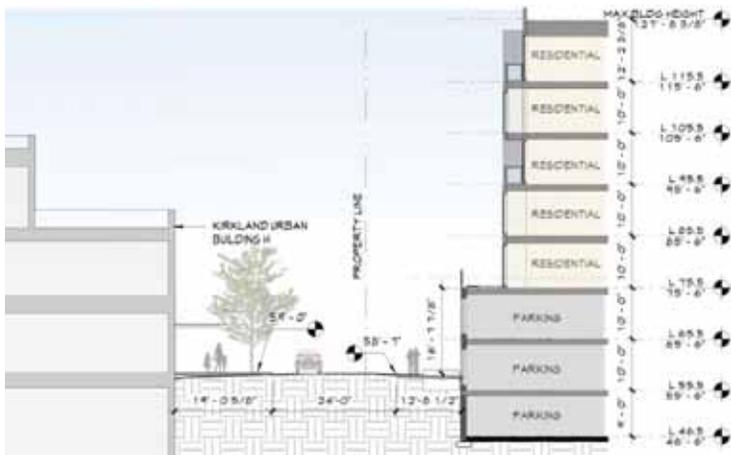


DESIGN FEATURE

TRANSITION TO KIRKLAND URBAN



1. PARKING ENTRY



2. ADJACENT WITH KIRKLAND URBAN



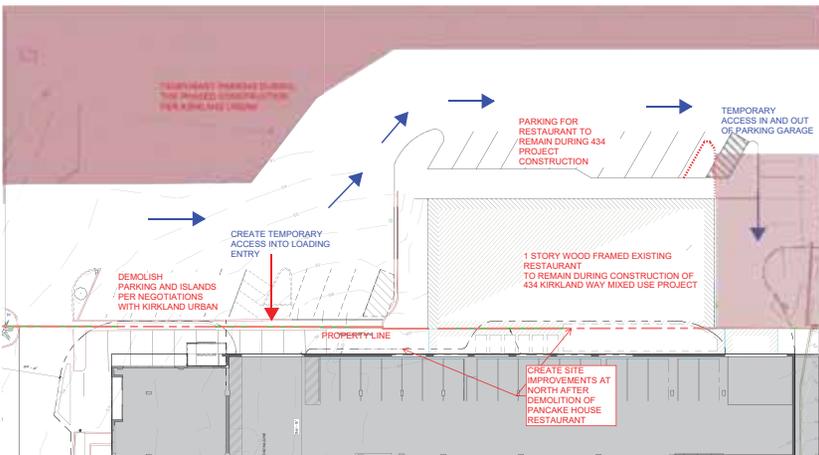
DESIGN FEATURE

NORTH ELEVATION

Interim staging site plan shows temporary vehicle circulation around the pancake house restaurant until the building is demolished as part of the last phase of Kirkland Urban development. The truck lay-by and trash staging areas along with the landscape planter will built after the demolition of the restaurant takes places.



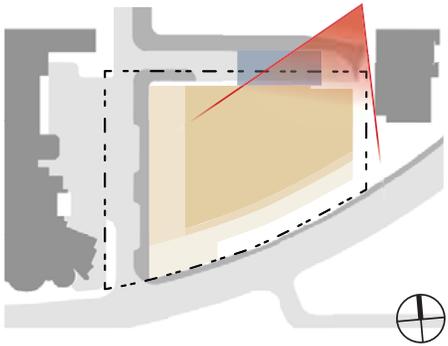
PANCAKE HOUSE CIRCULATION



NORTH ELEVATION (AFTER NORTH IMPROVEMENT AND DEMOLITION OF RESTAURANT)

PERSPECTIVE RENDERING

PERSPECTIVE - VIEW SOUTH FROM NORTH



Discussion Items and DRB Direction:

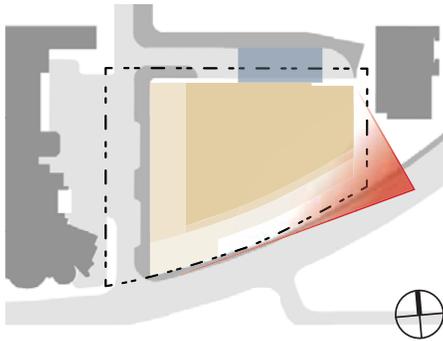
E. Items required for Design Response Conference

DRB had concerns about the transition to the property at the east as well as dealing with the steep berm at the northeast corner of the site.

As the exhibits and sections show, terraced landscape beds will rest within concrete walls as it extends east up to the neighboring keystone wall. The keystone wall remains intact and the terrace landscape bed acts as a security measure to ward off trespassing.

PERSPECTIVE RENDERING

PERSPECTIVE - VIEW NW FROM EAST ENTRY



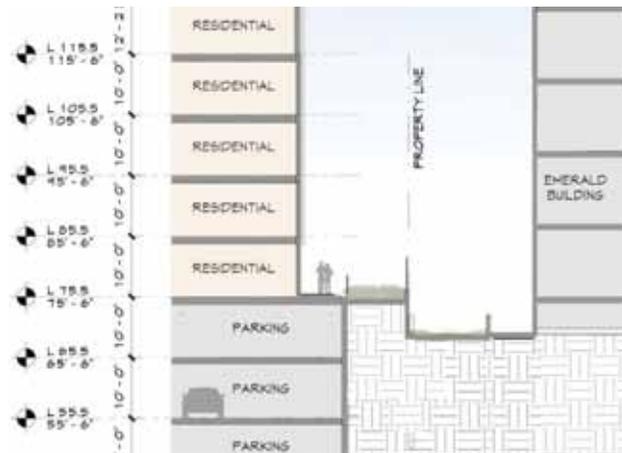
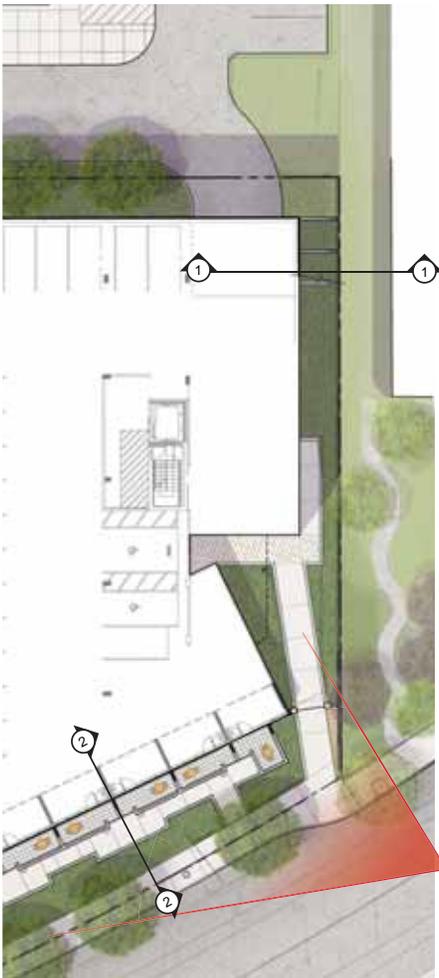
Discussion Items and DRB Direction:

E. Items required for Design Response Conference

- Pedestrian gate at the East corner is visible and well secured by gates. Entry pillars and overhead structure will frame the exterior with, continuous landscape bed and walkways to extend with a gradual slope down to the finish floor level, allowing easy access for residents to enter the building.
- Continuous landscaped berm, walkways into the building units at each porch help define boundaries. Porches are enclosed by brick partitions and allow unit residents semi private patio spaces and views.

DESIGN FEATURE

RELATIONSHIP TO EMERALD OFFICE BUILDING



ENTRY LANDSCAPE DESIGN

1. SECTION WITH EMERALD

2. BROWN STONE ENTRY

OVERALL AMENITY PLAN

Discussion Items and DRB Direction:

C. Open Space and Landscaping

- Provide more information on the inner plaza and explore ways to make it more open/ visible from o site.
- Design the SW corner to acknowledge its importance as a pedestrian gathering place and entry into the site (explore increased setback of the retail at that location).

Inner Plaza is designed with a combination of planter units and privacy screens with gates.

TOWNHOMES GREEN ROOF LEVEL 95'

ALLEY LEVEL 75'

ROOF DECK

KIRKLAND PERFORMANCE CENTER

PRIVATE PATIOS LEVEL 75'

PET TERRACE ROOF LEVEL

COURTYARD LEVEL 75'

PRIVATE TERRACE LEVEL 95'

KIRKLAND WAY



AMENITY AREA

COURTYARD LEVEL 75



PLANTING MATERIAL



Hydrangea p. Limelight
Limelight Hardy Hydrangea



Dryopteris erythrosora 'Brilliance'
Autumn fern



Hakonechloa macra 'Aureola'
Japanese Forest Grass



Sarcococca hookeriana var. humilis
Himalayan Sweet Box



Daphne odora 'Marginata'
Variegated Winter Daphne



Pachysandra terminalis
Japanese Spurge



Liriope muscari 'Big Blue'
Big Blue Lilyturf



Heuchera mix



Ligularia 'The Rocket'
Rocket Ligularia

AMENITY AREA

COURTYARD LEVEL 75

LANDSCAPE MATERIALS



Mounded planting with seating



Stone slabs



Corten planter with ballast rock



Staggered pedestal pavers with mounded planting



AMENITY AREA

COURTYARD LEVEL 75

PLANTING MATERIAL



Acer palmatum (Green)
Japanese Maple



Stewartia pseudocamellia
Japanese Stewartia



Hosta mix



Sarcococca hookeriana var. *humilis*
Himalayan Sweet Box



Rhod. 'Cunningham's White'
White Rhododendron



Astilbe chinensis 'Visions'
Visions Astilbe



Helleborus orientalis
Lenten rose



Asarum canadense
Wild Ginger



AMENITY AREA

TERRACE LEVEL 95



Private terraces



Private terraces



Green roof with geometric shapes



Sedum green roof



AMENITY AREA

ROOF



Seating



Trees in planters



Fire pit area



Parrotia persica 'Vanessa'
Persian Ironwood



Sedum tiles

TITLE

SUB TITLE

blank for space holder

MATERIAL AND COLORED ELEVATION

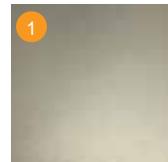


NORTH ELEVATION



EAST ELEVATION

Cool metallic champagne



Cool dark bronze



Fiber Cement onyx 7090



Red varitone brick



So t decks

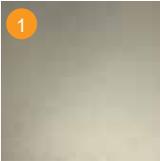


GFRC acid etched limestone



MATERIAL AND COLORED ELEVATION

Cool metallic champagne



Cool dark bronze



Fiber Cement onyx 7090



Red varitone brick



GFRC acid etched limestone



So t decks



SOUTH ELEVATION



WEST ELEVATION

MATERIAL AND COLORED ELEVATION



NORTH ELEVATION



EAST ELEVATION

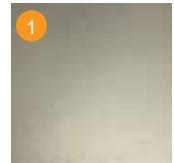


SOUTH ELEVATION



WEST ELEVATION

Cool metallic champagne



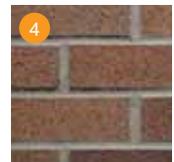
Cool dark bronze



Fiber Cement onyx 7090



Red varitone brick

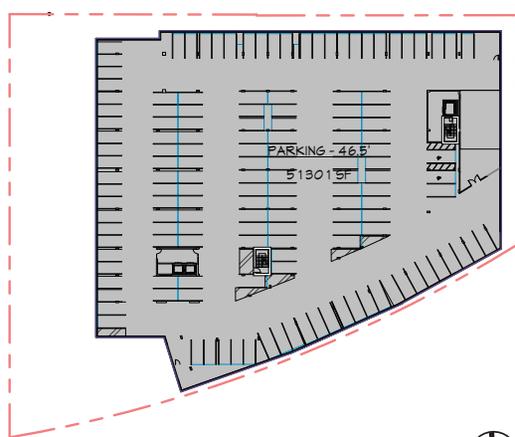


So t decks



BUILDING FLOOR PLAN

PARKING LEVEL



L 46.5 FLOOR PLAN

Scale: 1/64" = 1'-0"

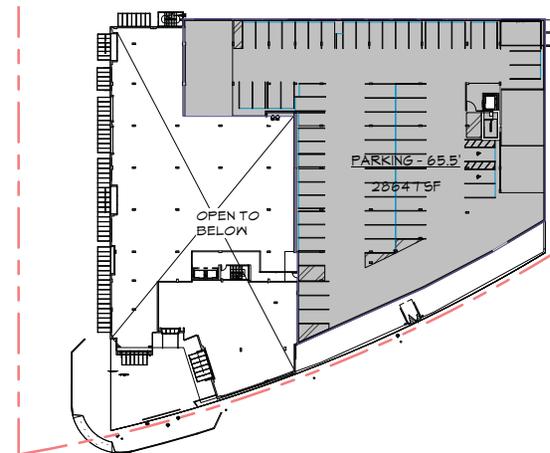
Total: 51,301 SF



L 55.5 FLOOR PLAN

Scale: 1/64" = 1'-0"

Total: 49,593 SF



L 65.5 FLOOR PLAN

Scale: 1/64" = 1'-0"

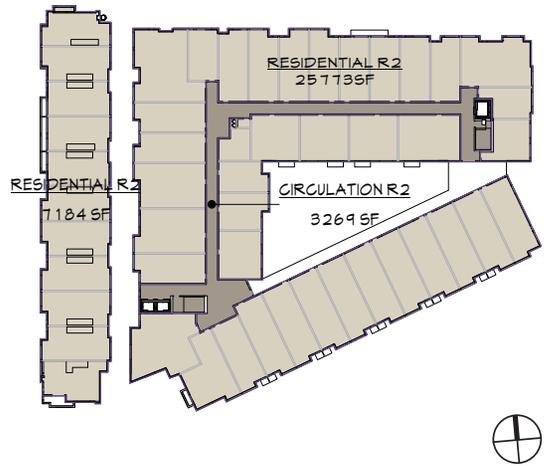
Total: 28,647 SF

BUILDING FLOOR PLAN

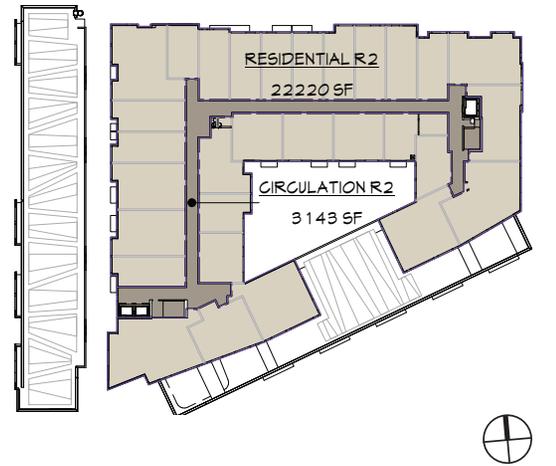
RESIDENTIAL LEVEL



L 75.5 FLOOR PLAN
 Scale: 1/64" = 1'-0" Total: 35,853 SF



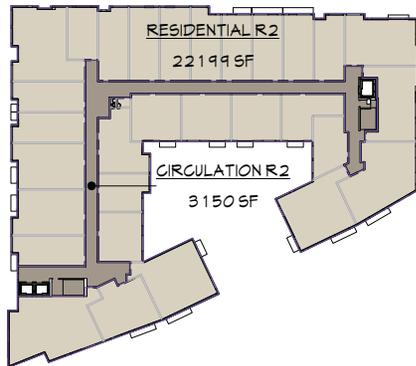
L 85.5 FLOOR PLAN
 Scale: 1/64" = 1'-0" Total: 36,226 SF



L 95.5 FLOOR PLAN
 Scale: 1/64" = 1'-0" Total: 25,363 SF

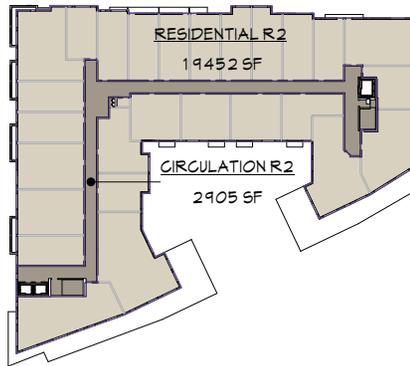
BUILDING FLOOR PLAN

RESIDENTIAL LEVEL



L 105.5 FLOOR PLAN
Scale: 1/64" = 1'-0"

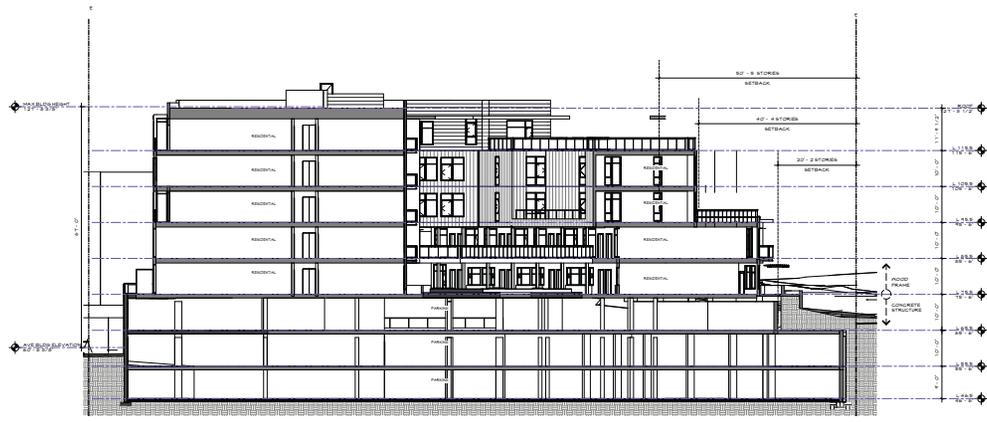
Total: 25,349 SF



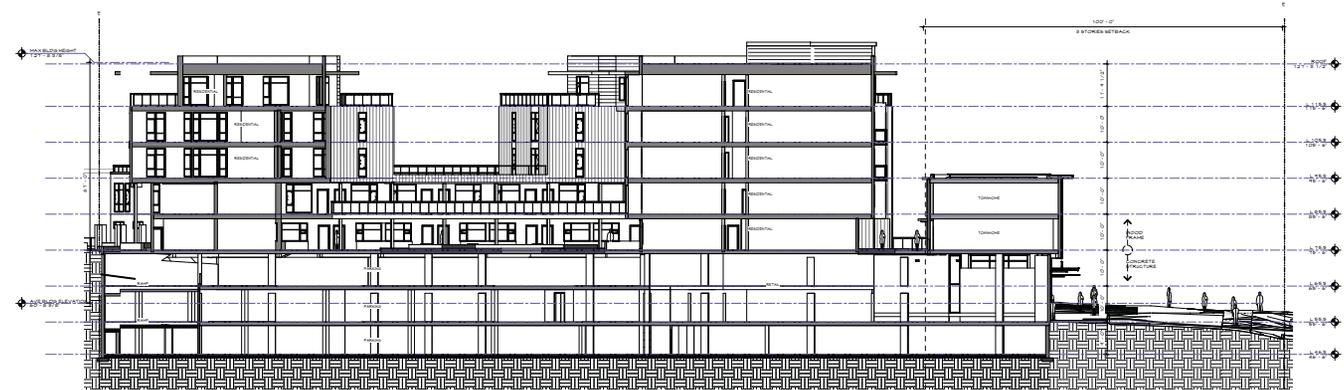
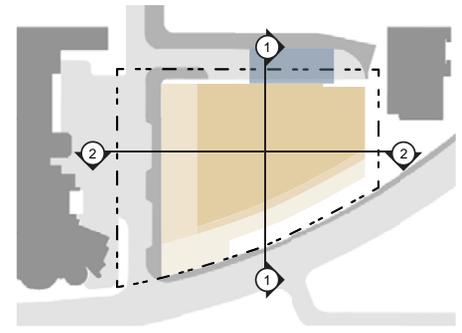
L 115.5 FLOOR PLAN
Scale: 1/64" = 1'-0"

Total: 22,357 SF

BUILDING SECTION

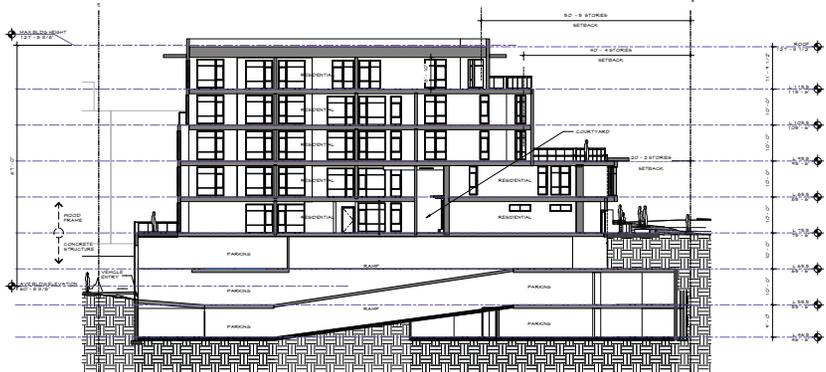
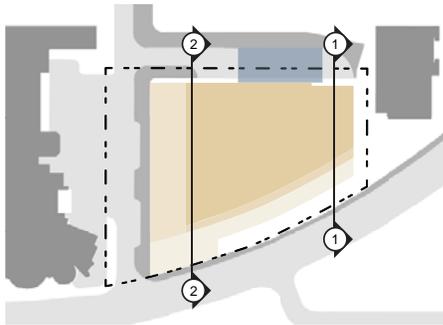


SECTION 1

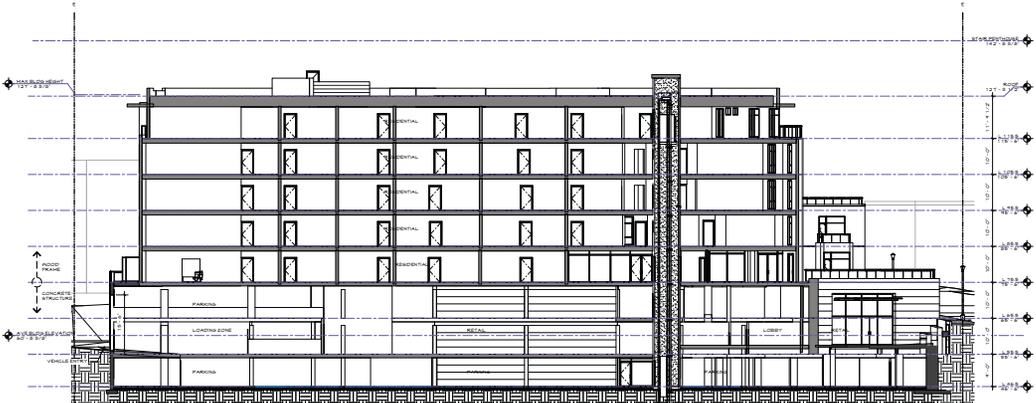


SECTION 2

BUILDING SECTION



SECTION 3



SECTION 4

434 PROJECT PERSPECTIVE





11415 NE 128th St Suite 110 Kirkland WA 98034 • (425)820-3420 • FAX (425)820-3437

www.americanforestmanagement.com

**Arborist Report
For
434 Kirkland Way
Kirkland, WA**



September 1, 2016

Table of Contents

1. Introduction..... 1
2. Description..... 1
3. Methodology 1
4. Observations 2
5. Discussion 3
6. Tree Protection Measures..... 3
7. Tree Replacement 4

Appendix

Site/Tree Photos – pages 5 - 7

Site Plan Specifications (To Be Incorporated onto Site Plan) – page 8

Tree Summary Table – attached

Tree Locator Map – attached

1. Introduction

American Forest Management was contacted by The Schwartz Company, and was asked to compile an 'Arborist Report' for one parcel located within the City of Kirkland, WA.

The proposed development encompasses the property at 434 Kirkland Way in the downtown area. Our assignment is to prepare a written report on present tree conditions, which is to be filed with the preliminary permit application.

This report encompasses all of the criteria set forth under the City of Kirkland's tree regulations (Chapter 95 of the Kirkland Zoning Code). The property is zoned commercial and therefore a minimum tree density does not apply.

Date of Field Examination: August 30, 2016

2. Description

The site is currently an office building and parking lot. All subject property trees are located within the planter strips within the parking lot area. Nine 'significant' trees were identified within the property boundaries. The subject tree locations and numbers are shown on a copy of the site survey which is attached. These numbers correspond with the numbers on the Tree Summary Table.

Another twenty-seven neighboring trees were assessed and are part of this report. These primarily exist in planted rows west of the main access drive that borders the properties west boundary. These were labeled with a numbered aluminum tag during a prior assessment. These tag numbers can also be found on the attached Tree Summary Table.

3. Methodology

Each tree in this report was visited. Tree diameters were measured by tape. The tree heights were measured using a Spiegel Relaskop. Each tree was visually examined for defects and vigor. The tree assessment procedure involves the examination of many factors:

- The crown of the tree is examined for current vigor. This is comprised of inspecting the crown (foliage, buds and branches) for color, density, form, and annual shoot growth, limb dieback and disease. The percentage of live crown is estimated for coniferous species only and scored appropriately.
- The bole or main stem of the tree is inspected for decay, which includes cavities, wounds, fruiting bodies of decay (conks or mushrooms), seams, insects, bleeding, callus development, broken or dead tops, structural defects and unnatural leans. Structural defects include crooks, forks with V-shaped crotches, multiple attachments, and excessive sweep.
- The root collar and roots are inspected for the presence of decay, insects and/or damage, as well as if they have been injured, undermined or exposed, or original grade has been altered.

Based on these factors a determination of condition is made. A 'viable' tree, as defined by the City of Kirkland is "*A significant tree that a qualified professional has determined to be in good health, with a low risk of failure due to structural defects, is wind firm if isolated or remains as part of a grove, and is a species that is suitable for its location.*" Trees considered 'non-viable' are trees that are in poor condition due to disease and/or pests, age related decline, have significant decay issues and/or cumulative structural defects, which exacerbate failure potential.

The four condition categories are described as follows:

434 Arborist Report

Excellent – free of structural defects, no disease or pest problems, no root issues, excellent structure/form with uniform crown or canopy, foliage of normal color and density, above average vigor, it will be wind firm if isolated, suitable for its location

Good – free of significant structural defects, no disease concerns, minor pest issues, no significant root issues, good structure/form with uniform crown or canopy, foliage of normal color and density, average or normal vigor, will be wind firm if isolated or left as part of a grouping or grove of trees, suitable for its location

Fair – minor to moderate structural defects not expected to contribute to a failure in near future, no disease concerns, moderate pest issues, no significant root issues, asymmetric or unbalanced crown or canopy, average or normal vigor, foliage of normal color, moderate foliage density, will be wind firm if left as part of a grouping or grove of trees, cannot be isolated, suitable for its location

Poor – major structural defects expected to cause fail in near future, disease or significant pest concerns, decline due to old age, significant root issues, asymmetric or unbalanced crown or canopy, sparse or abnormally small foliage, poor vigor, not suitable for its location

The attached Tree Summary Table provides specific information on tree size, condition and viability, as well as drip-line and Limit of Disturbance (LOD) measurements.

4. Observations

Subject trees are comprised of a mix of planted native and ornamental species, both coniferous and deciduous. They are described as follows.

Parcel Trees

The existing parking lot was improved or redesigned in the recent past. The survey included with this reports shows the old design. A planter strip was added merging the three planter islands together. A variety of large flowering cherry trees were recently planted. Six of these are larger than 6” in diameter. These are Trees #1, #2, and #6 > #9. Total heights range between 12’ and 14’. Most are in good condition with the exception of #8 and #9. Tre #8 has significant top dieback and #9 to a lesser extent. The dieback is likely attributable to poor soils and drought. All are considered viable.

Tree #3 is a semi-mature purple-leaf plum or cherry plum. It has developed typical form and structure. The main trunk forks at roughly 2’ above ground into multiple stems. The forked attachment is inherently weak. Foliage color and density is normal. It is in fair condition and viable.

Tree #4 is a semi-mature western red cedar near the northwest property corner. It is comprised of two stems or trunks with a sound attachment at the root crown. Foliage color and density is normal. No significant defects were observed. It is in good condition.

Tree #5 is a young to semi-mature deodar cedar. Foliage color and density is normal. No significant defects were observed. It is in good condition.

Neighboring Trees

The only neighboring trees affected by the proposal are on the property to the west and in the parking lot in the northwest corner. Tree #201 is a semi-mature red maple in a small island planter just off the property to the north. Root growth is restricted and exposed. Surface roots have been damaged by vehicles in the past. Overall condition is fair.

Tree #202 is a young red maple situated north of the northwest property corner. It has a natural lean to the north away from the adjacent cedar trees. Overall condition is fair.

Trees #203, #204, #207 > #209, and #211 > #216 are semi-mature western red cedar, estimated at +/- 35 to 40 years of age. These were planted in a row in a large planter strip separating a paved access drive and parking

lot. All are in fair to good condition with the exception of #203. This tree forks at roughly 10' above ground into codominant or equal diameter stems. The forked attachment is very weak, evident by prior splitting and advanced decay at the fork. Light can be seen through the attachment. Tree #203 is considered high risk and non-viable.

Tree #210 is a semi-mature California incense cedar situated close to the west line. The main trunk forks at roughly 3' above ground into codominant or equal diameter stems. The forked attachment is more "U"-shaped appears fairly sound. It has a natural lean to the east away from adjacent cedar trees. Overall condition is fair.

Trees #217 > #226 are another planted row of western red cedar trees. These are of a younger age class than the row to the north, estimated at 15 to 20 years of age. No overly concerning defects were observed. All are in fairly good condition and considered viable.

Tree #227 is a young to semi-mature California incense cedar at the front of the property. No concerning defects were observed. It is in good condition.

5. Discussion

The extent of drip-lines (farthest reaching branches) for all viable trees can be found on the Tree Summary Table at the back of this report. These have also been delineated on a copy of the site survey for the neighboring trees. The information plotted on the attached survey may need to be transferred to a final tree retention/protection plan to meet City submittal requirements. Trees to be removed shall be shown "X'd" out on the final plan.

Given the extent of the development, all of the parcel trees will be removed. It is our understanding that part of the proposal is to redesign the landscape on the adjacent property to the west for the construction of the promenade that will serve both properties. The entire area will be re-landscaped, requiring the removal of the neighboring trees subject to this report.

The subject neighboring trees are young to semi-mature. They are currently at heights of 40' to 60'. Western red cedar trees mature at very large sizes. Since these were planted at a close spacing, they will grow taller than an individual open-grown specimen would, as they compete for sunlight. Eventually heights will grow to 120' or more over the next 30 years. Trees that mature at these heights are likely not compatible with the downtown urban development plan. Re-landscaping the area with trees appropriate for the site is likely preferable to the City.

6. Tree Protection Measures

The following guidelines are recommended to ensure that the designated space set aside for any preserved trees are protected and construction impacts are kept to a minimum. Standards have been set forth under Kirkland Zoning Code 95.34 of Chapter 95. Please review these standards prior to any development activity.

1. Tree protection fencing should be erected per attached tree plan prior to moving any heavy equipment on site. Doing this will set clearing limits and avoid compaction of soils within root zones of retained trees.
2. Excavation limits should be laid out in paint on the ground to avoid over excavating.
3. Excavations within the drip-lines shall be monitored by a qualified tree professional so necessary precautions can be taken to decrease impacts to tree parts. A qualified tree professional shall monitor excavations when work is required and allowed within the "limits of disturbance".
4. To establish sub grade for foundations, curbs and pavement sections near the trees, soil should be removed parallel to the roots and not at 90 degree angles to avoid breaking and tearing roots that lead back to the trunk within the drip-line. Any roots damaged during these excavations should be exposed to sound tissue and cut cleanly with a saw. Cutting tools should be sterilized with alcohol.
5. Areas excavated within the drip-line of retained trees shall be thoroughly irrigated weekly during dry periods.
6. Preparations for final landscaping shall be accomplished by hand within the drip-lines of retained trees. Large equipment shall be kept outside of the tree protection zones at all times.

434 Arborist Report

7. Tree Replacement

Supplemental trees will be required as part of landscaping requirements for the urban development. Consult with your City planner to determine the number of supplemental trees required and appropriate replacement sizes.

New trees shall be given the appropriate space for the species and their growing characteristics. Refer to the *Kirkland Plant List* on the City's website for a list of desirable species.

For planting and maintenance specifications, refer to chapters 95.45, 95.50 and 51 of the Kirkland Zoning Code.

There is no warranty suggested for any of the trees subject to this report. Weather, latent tree conditions, and future man-caused activities could cause physiologic changes and deteriorating tree condition. Over time, deteriorating tree conditions may appear and there may be conditions, which are not now visible which, could cause tree failure. This report or the verbal comments made at the site in no way warrant the structural stability or long term condition of any tree, but represent my opinion based on the observations made.

Nearly all trees in any condition standing within reach of improvements or human use areas represent hazards that could lead to damage or injury.

Please call if you have any questions or I can be of further assistance.

Sincerely,



Bob Layton
ISA Certified Arborist #PN-2714A
ISA Tree Risk Assessment Qualified

434 Arborist Report

Recently planted flowering cherry trees in the parking lot island



Tree #201, exposed surface roots damaged by vehicles driving over curb



434 Arborist Report

Tree #203, major structural defect – high risk



Neighboring trees off west property line (north end)



434 Arborist Report

Neighboring trees off west property line (south end)



Overview of neighboring trees to west, looking south



City of Kirkland - Tree Protection Standards

1. Tree Protection Fencing shall be erected at prescribed distance per arborist report. Fences shall be constructed of chain link and be at least 4 feet high.
2. Install highly visible signs on protection fencing spaced no further than 15 feet apart. Signs shall state "Tree Protection Area-Entrance Prohibited", and "City of Kirkland" code enforcement phone number.
3. No work shall be performed within protection fencing unless approved by Planning Official. In such cases, activities will be approved and supervised by a "Qualified Professional".
4. The original grade shall not be elevated or reduced within protection fencing without the Planning Official authorization based on recommendations from a qualified professional.
5. No building materials, spoils, chemicals or substances of any kind will be permitted within protection fencing.
6. Protection Fencing shall be maintained until the Planning Official authorizes its removal.
7. Ensure that any approved landscaping within the protected zone subsequent to the approved removal of protection fencing be performed with hand labor.

In addition to the above, the Planning Official may require the following:

- a. If equipment is authorized to operate within the root zone, the area will be mulched to a depth of 6" or covered with plywood or similar material to protect roots from damage caused by heavy equipment.
- b. Minimize root damage by excavating a 2-foot deep trench, at edge of protection fencing to cleanly sever the roots of protected trees.
- c. Corrective pruning to avoid damage from machinery or building activity.
- d. Maintenance of trees throughout construction period by watering and fertilization.

Tree Summary Table

For: 434 Kirkland Way

American Forest Management, Inc

Date: 8/30/2016

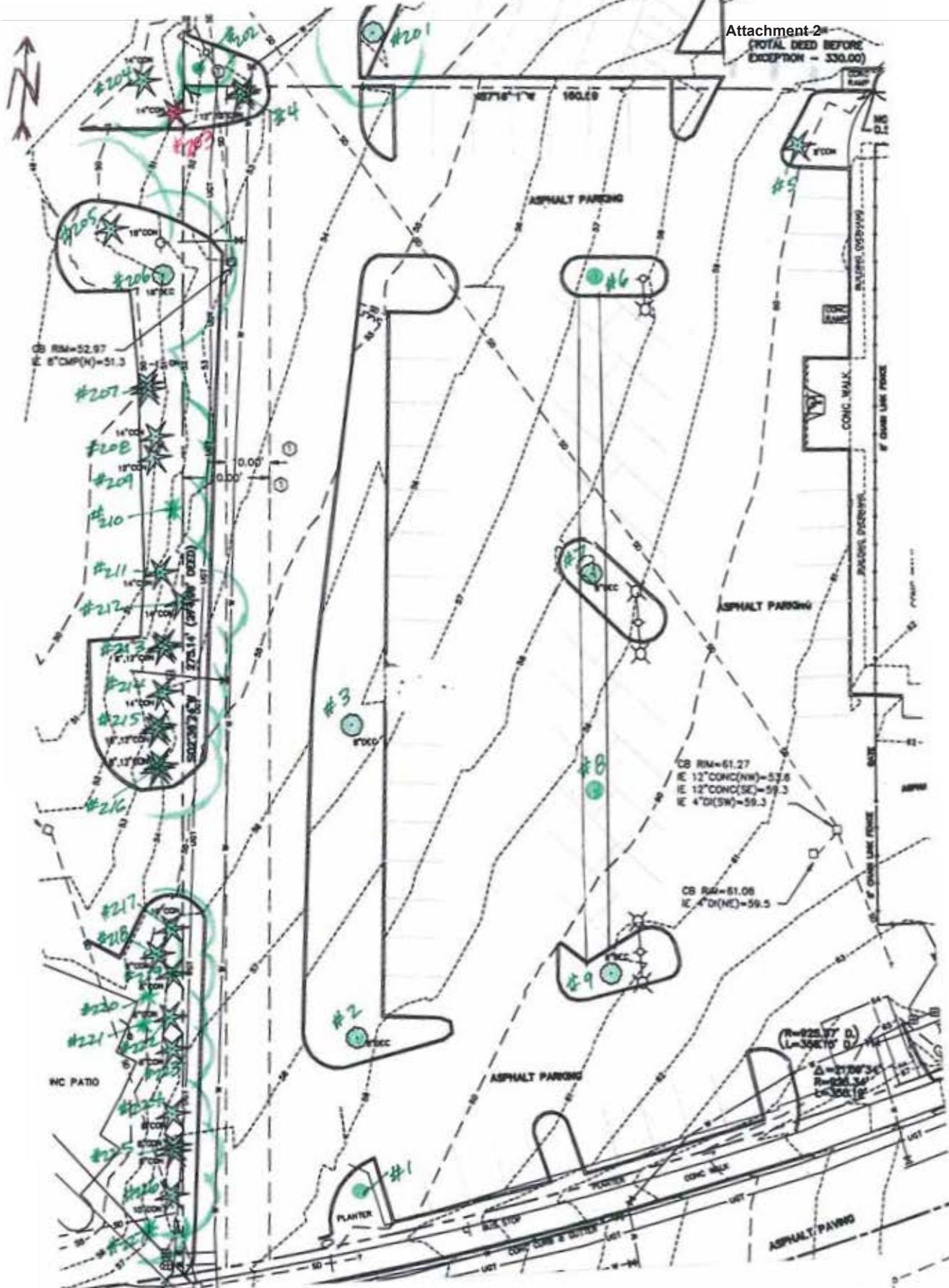
Inspector: Layton

Existing Tag #	Tree #	Species	Native/ Planted/ Volunteer	DBH	Tree Height	Credit	Drip-Line/Limits of Disturbance (feet)				Condition	Viability	Comments
							N	S	E	W			
	1	flowering cherry	P	6	12	1	7	7	5	5	good	viable	young, recently planted
	2	flowering cherry	P	6	13	1	8	8	6	7	good	viable	young, recently planted
	3	purple-leaf plum	P	*12	16	2	12	13	10	11	fair	viable	trunk forks at 2', poor attachment
131	4	western red cedar (2)	P	16,21	56		14/7	16/6	12/6	12/8	good	viable	2 stems or trunks, sound attachment
	5	Deodar cedar	P	13	32	2.5	11/10	10/5	12/10	11/4	good	viable	good taper
	6	flowering cherry	P	6	12	1	8	8	6	8	good	viable	young, recently planted
	7	flowering cherry	P	6	14	1	8	6	8	10	good	viable	young, recently planted
	8	flowering cherry	P	6	12	1	7	8	8	7	fair	viable	significant top dieback
	9	flowering cherry	P	7	12	1	7	6	8	8	fair	viable	minor top dieback
NEIGHBORING TREES													
	201	red maple	P	11	39		12/8	16/10	12/4	14/3	fair	viable	in confined space, past root damage
132	202	red maple	P	8	28		NA	4/8	8/6	NA	fair	viable	natural lean, exposed roots
130	203	western red cedar	P	17	52		x	x	x	x	poor	non	codominant stems, splitting apart
128	204	western red cedar	P	16	50		NA	12/5	10/10	NA	fair	viable	sparse top
127	205	Deodar cedar	P	25	48		22/7	24/14	14/14	NA	good	viable	old basal wound, flat top
126	206	purple-leaf plum	P	*20	34		20/11	18/16	17/10	NA	fair	viable	mature, needs crown cleaning
125	207	western red cedar (2)	P	14,10	52		9/10	6/10	9/10	NA	fair	viable	trunk forks at 3', minor fork, trunk wound
124	208	western red cedar	P	17	54		10/12	8/12	12/12	NA	fair	viable	sparse top
123	209	western red cedar	P	16	53		8/12	12/12	12/12	NA	fair	viable	sparse top
122	210	CA incense cedar	P	9,9	36		6/10	8/10	7/5	NA	fair	borderline	codominant trunks, seam, natural lean
121	211	western red cedar	P	18	53		12/12	10/12	12/11	NA	good	viable	no concerns
120	212	western red cedar	P	19	56		10/12	10/12	14/5	NA	good	viable	no concerns
119	213	western red cedar (2)	P	16,12	56		8/10	8/10	15/9	NA	good	viable	no concerns
118	214	western red cedar	P	15	55		8/10	8/10	13/9	NA	good	viable	bark stripped from lower trunk
117	215	western red cedar (2)	P	15,14	59		8/10	8/10	13/10	NA	good	viable	no concerns
116	216	western red cedar (2)	P	19,13	61		8/10	12/4	13/8	NA	fair	viable	old trunk wounds
115	217	western red cedar	P	14	33		8/6	8/9	9/7	NA	good	viable	no concerns
114	218	western red cedar	P	9	34		6/7	6/7	5/6	NA	good	viable	no concerns
113	219	western red cedar	P	10	35		7/9	8/10	10/6	NA	good	viable	no concerns
112	220	western red cedar	P	8	28		6/8	4/8	6/6	NA	good	viable	no concerns
111	221	western red cedar	P	8	40		4/8	7/8	5/6	NA	good	viable	no concerns
110	222	western red cedar	P	10	39		7/8	6/8	7/6	NA	good	viable	natural lean
109	223	western red cedar	P	11	40		6/8	9/10	9/5	NA	good	viable	no concerns
108	224	western red cedar	P	9	37		7/8	6/8	8/5	NA	good	viable	no concerns
107	225	western red cedar (2)	P	9,17	41		6/8	8/10	10/4	NA	good	viable	no concerns
106	226	western red cedar	P	15	42		8/10	10/10	10/4	NA	fair	viable	old trunk wound, good callus growth
	227	CA incense cedar	P	9,10	42		6/8	7/8	6/6	NA	good	viable	no concerns

Drip-Line and Limits of Disturbance measurements from face of trunk

* - caliper measurement at 1' above ground

TOTAL DEED BEFORE EXCEPTION - 330.00



434 KIRKLAND WAY - SIGNIFICANT TREE LOCATIONS

- # 201 - VIABLE SIGNIFICANT TREE
- # 203 - NON-VIABLE SIGNIFICANT TREE
- DRIP-LINE

APPROX. SCALE 1"=25'



Permit #: DRV16-0250
 Project Name: MRM Development
 Project Address: 434 Kirkland Way
 Date: November 14, 2016

PUBLIC WORKS CONDITIONS

Public Works Staff Contacts

Land Use and Pre-Submittal Process:

Rob Jammerman, Development Engineering Manager

Phone: 425-587-3845 Fax: 425-587-3807

E-mail: rjammer@kirklandwa.gov

Building and Land Surface Modification (Grading) Permit Process:

John Burkhalter, Development Engineer Supervisor

Phone: 425-587-3846 Fax: 425-587-3807

E-mail: jb Burkhalter@kirklandwa.gov

General Conditions:

1. All public improvements associated with this project including street and utility improvements, must meet the [City of Kirkland Public Works Pre-Approved Plans and Policies Manual](#). A Public Works Pre-Approved Plans and Policies manual can be purchased from the Public Works Department, or it may be retrieved from the Public Works Department's page at the City of Kirkland's web site.
2. This project will be subject to [Public Works Permit and Connection Fees](#). It is the applicant's responsibility to contact the Public Works Department by phone or in person to determine the fees. The applicant should anticipate the following fees:
 - Water, Sewer, and Surface Water Connection Fees (paid with the issuance of a Building Permit)
 - Side Sewer Inspection Fee (paid with the issuance of a Building Permit)
 - Septic Tank Abandonment Inspection Fee
 - Water Meter Fee (paid with the issuance of a Building Permit)
 - Right-of-way Fee
 - Review and Inspection Fee (for utilities and street improvements).
 - Building Permits associated with this proposed project will be subject to the traffic, park, and school impact fees per Chapter 27 of the Kirkland Municipal Code. The impact fees shall be paid prior to issuance of the Building Permit(s). Any existing buildings within this project which are demolished will receive a Traffic Impact Fee credit, Park Impact Fee Credit and School Impact Fee Credit. This credit will be applied to the first Building Permits that are applied for



within the project. The credit amount for each demolished building will be equal to the most currently adopted Fee schedule.

3. Performance and Maintenance Securities:
 - Prior to issuance of the BMF or BNR Permit a standard right of way restoration security ranging from 30,000.00 - \$100,000(value determined based on amount of ROW disruption) shall be posted with Public Works Department. This security will be held until the project has been completed
4. Prior to submittal of a Building or Zoning Permit, the applicant must apply for a Concurrency Test Notice. Contact Thang Nguyen, Transportation Engineer, at 425-587-3869 for more information. A separate Concurrency Permit will be created.
5. After Concurrency has passed a certificate will be issued that will read as follows: CERTIFICATE OF CONCURRENCY: This project has been reviewed and approved for water, sewer, and traffic concurrency. Any water and sewer mitigating conditions are listed within the conditions below. Any traffic mitigating conditions will be found in an attached memorandum from the Public Works Traffic Engineering Analyst to the Planning Department Project Planner. Upon issuance of this permit, this project shall have a valid Certificate of Concurrency and concurrency vesting until the permit expires. This condition shall constitute issuance of a Certificate of Concurrency pursuant to chapter 25.12 of the Kirkland Municipal Code.
6. All civil engineering plans which are submitted in conjunction with a building, grading, or right-of-way permit must conform to the [Public Works Policy G-7, Engineering Plan Requirements](#). This policy is contained in the Public Works Pre-Approved Plans and Policies manual.
7. All street improvements and underground utility improvements (storm, sewer, and water) must be designed by a Washington State Licensed Engineer; all drawings shall bear the engineers stamp.
8. All plans submitted in conjunction with a building, grading or right-of-way permit must have elevations which are based on the King County datum only (NAVD 88).
9. A completeness check meeting is required prior to submittal of any Building Permit applications.
10. Prior to issuance of any commercial or multifamily Building Permit, the applicant shall provide a plan for garbage storage and pickup. The plan shall conform to [Policy G-9](#) in the Public Works Pre-approved Plans and be approved by Waste Management and the City.



11. The required tree plan shall include any significant tree in the public right-of-way along the property frontage.

Sanitary Sewer Conditions:

1. The existing sanitary sewer main within the public right-of-way along the front of the property is adequate to serve all the lots within the proposed project.
2. The applicant shall extend an 8" sewer main into the site to serve the Project. The sewer may either be extended from Kirkland Way to the south or from the new Kirkland Urban sewer main from the north.
3. Provide a plan and profile design for the sewer line extension
4. A 20 foot wide public sanitary sewer easement must be recorded with the property.

Water System Conditions:

1. Now that Kirkland Urban is moving forward and is installing a 16" water main between Central Way and Kirkland Way the City's water model will need to be re-run to verify the new system upgrades will provided the required fire flow along Kirkland way for the proposed Project. Additional water main improvements may be required.
2. Provide water service(s) for the project sized per the Uniform Plumbing Code.
3. The existing water service shall be abandoned unless otherwise approved by the Development Engineer or Construction Inspector.
4. In mixed-use projects each use shall have a separate water meter, i.e., the retail use shall have a separate water meter from residential use.

Surface Water Conditions:

1. Provide temporary and permanent storm water control per the 2009 King County Surface Water Design Manual and the Kirkland Addendum ([Policy D-10](#)). See Policies [D-2](#) and [D-3](#) in the PW Pre-Approved Plans for drainage review information, or contact city of Kirkland Surface Water staff at (425) 587-3800 for help in determining drainage review requirements. The drainage review levels can be determined using the [Drainage Review Flow Chart](#). Summarized below are the levels of drainage review based on site and project characteristics:
 - Full Drainage Review



- ✓ A full drainage review is required for any proposed project, new or redevelopment, that will:
 - ✓ Adds 5,000ft² or more of new impervious surface area or 10,000ft² or more of new plus replaced impervious surface area,
 - ✓ Propose 7,000ft² or more of new pervious surface or,
 - ✓ Be a redevelopment project on a single or multiple parcel site in which the total of new plus replaced impervious surface area is 5,000ft² or more and whose valuation of proposed improvements (including interior improvements but excluding required mitigation and frontage improvements) exceeds 50% of the assessed value of the existing site improvements.
2. Projects submitted on or after January 1, 2017 shall be subject to updated stormwater regulations. The City plans to adopt the [2016 King County Surface Water Design Manual](#) with a City addendum. Unless vested by another zoning permit.
 3. This project is in a Level 1/Potential Direct Discharge Area, and is required to comply with core drainage requirements in the 2009 King County Surface Water Design Manual. To qualify for direct discharge, the applicant must demonstrate (at a minimum):
 - The conveyance system between the project site and Lake Washington will be comprised of manmade conveyance elements and will be within public right-of-way or a public or private drainage easement, AND
 - The conveyance system will have adequate capacity per Core Requirement #4, Conveyance System, for the entire contributing drainage area, assuming build-out conditions to current zoning for the equivalent area portion and existing conditions for the remaining area; or,
 - This project may qualify for an exception to flow control if the target surfaces will generate no more than a 0.1 cfs increase in the existing site conditions 100-year peak flow.
 4. Evaluate the feasibility and applicability of dispersion, infiltration, and other stormwater low impact development facilities on-site (per section 5.2 in the 2009 King County Surface Water Design Manual). If feasible, stormwater low impact development facilities are required. See PW Pre-Approved Plan Policy L-1 or L-2 (depending on drainage review) for more information on this requirement.
 5. Because this project site is one acre or greater, the following conditions apply:
 - Amended soil requirements (per Ecology BMP T5.13) must be used in all landscaped areas.
 - If the project meets minimum criteria for water quality treatment (5,000ft² pollution generating impervious surface area), the enhanced level of treatment is required if the project is multi-family residential, commercial, or industrial. Enhanced treatment targets the removal of metals such as copper and zinc.



- The applicant is responsible to apply for a Construction Stormwater General Permit from Washington State Department of Ecology. Provide the City with a copy of the Notice of Intent for the permit. Permit Information can be found at the following website:
<http://www.ecy.wa.gov/programs/wq/stormwater/construction/>
 - Among other requirements, this permit requires the applicant to prepare a Storm Water Pollution Prevention Plan (SWPPP) and identify a Certified Erosion and Sediment Control Lead (CESCL) prior to the start of construction. The CESCL shall attend the City of Kirkland PW Dept. pre-construction meeting with a completed SWPPP.
 - Turbidity monitoring by the developer/contractor is required if a project contains a lake, stream, or wetland.
 - A Stormwater Pollution Prevention and Spill (SWPPS) Plan must be kept on site during all phases of construction and shall address construction-related pollution generating activities. Follow the guidelines in the 2009 King County Surface Water Design Manual for plan preparation.
6. Amended soil per Ecology BMP T5.13 is recommended for all landscaped areas.
 7. If this project is creating or replacing more than 5000 square feet of new impervious area that will be used by vehicles (PGIS - pollution generating impervious surface). Provide storm water quality treatment per the 2009 King County Surface Water Design Manual. The enhanced treatment level is encouraged when feasible for multi-family residential, commercial, and industrial projects less than 1 acre in size.
 8. Provide a level one off-site analysis (based on the King County Surface Water Design Manual, core requirement #2).
 9. It doesn't appear that any work within an existing ditch will be required, however the developer has been given notice that the Army Corps of Engineers (COE) has asserted jurisdiction over upland ditches draining to streams. Either an existing Nationwide COE permit or an Individual COE permit may be necessary for work within ditches, depending on the project activities.
 Applicants should obtain the applicable COE permit; information about COE permits can be found at: U.S. Army Corps of Engineers, Seattle District Regulatory Branch
<http://www.usace.army.mil/Missions/CivilWorks/RegulatoryProgramandPermits.aspx>
- Specific questions can be directed to: Seattle District, Corps of Engineers, Regulatory Branch, CENWS-OD-RG, Post Office Box 3755, Seattle, WA 98124-3755, Phone: (206) 764-3495



10. Provide an erosion control report and plan with Building or Land Surface Modification Permit application. The plan shall be in accordance with the 2009 King County Surface Water Design Manual.
11. Construction drainage control shall be maintained by the developer and will be subject to periodic inspections. During the period from May 1 and September 30, all denuded soils must be covered within 7 days; between October 1 and April 30, all denuded soils must be covered within 12 hours. Additional erosion control measures may be required based on site and weather conditions. Exposed soils shall be stabilized at the end of the workday prior to a weekend, holiday, or predicted rain event.
12. Provide collection and conveyance of right-of-way storm drainage
13. Provide a plan and profile design for any storm sewer system improvements.
14. Provide a 15' wide access easement to the storm detention control manhole; easement must be improved with 10' of asphalt and drainage control to protect against erosion.

Street and Pedestrian Improvement Conditions:

1. The subject property abuts Kirkland Way. This street is a Collector type street. Zoning Code sections 110.10 and 110.25 require the applicant to make half-street improvements in rights-of-way abutting the subject property. Section 110.30-110.50 establishes that this street must be improved with the following:
 - A. Kirkland Way Improvements:
 - Widen the street to 25.5 feet from centerline to face of curb.
 - Install storm drainage, curb and gutter, 8 foot sidewalk, street trees in 4'x6' tree wells 30 foot on center, and pedestrian street lights every 60 foot on center.
 - Dedicate Right-of-Way to encompass the new improvements. The dedication must at least encompass 5 feet of the sidewalk width, the remaining 3 feet may be provided in a public pedestrian access easement per City of Kirkland standard form.
 - B. Major Pedestrian Sidewalk Connection:
 - Along the west side of the new access road provide Type A curb, 8 foot sidewalk, street trees in 4'x6' tree wells 30 foot on center, and pedestrian street lights every 60 foot on center.
 - Provide a public pedestrian access easement per City of Kirkland standard form.
2. Access to the site, traffic circulation and parking will be reviewed during SEPA. Additional requirements may be required pending the outcome of that review.



3. When three or more utility trench crossings occur within 150 lineal ft. of street length or where utility trenches parallel the street centerline, the street shall be overlaid with new asphalt or the existing asphalt shall be removed and replaced per the City of Kirkland [Street Asphalt Overlay Policy R-7](#).
 - Existing streets with 4-inches or more of existing asphalt shall receive a 2-inch (minimum thickness) asphalt overlay. Grinding of the existing asphalt to blend in the overlay will be required along all match lines.
 - Existing streets with 3-inches or less of existing asphalt shall have the existing asphalt removed and replaced with an asphalt thickness equal or greater than the existing asphalt provided however that no asphalt shall be less than 2-inches thick and the subgrade shall be compacted to 95% density.
4. Meet the requirements of the City of Kirkland [Driveway Pre-Approved Policy R-4](#).
5. All street and driveway intersections shall not have any visual obstructions within the sight distance triangle. See [Public Works Pre-approved Policy R.13](#) for the sight distance criteria and specifications.
6. Prior to the final of the building or grading permit, pay for the installation of stop, street signs, parking and other signs that may be required.
7. It shall be the responsibility of the applicant to relocate any above-ground or below-ground utilities which conflict with the project associated street or utility improvements.
8. Underground all new and existing on-site utility lines and overhead transmission lines.
9. Underground any new off-site transmission lines.
10. Zoning Code Section 110.60.9 establishes the requirement that existing utility and transmission (power, telephone, etc.) lines on-site and in rights-of-way adjacent to the site must be underground. All lines along the property frontage are currently underground.
11. New street lights may be required per Puget Power design and Public Works approval. Contact the INTO Light Division at PSE for a lighting analysis. If lighting is necessary, design must be submitted prior to issuance of a grading or building permit. New street lighting must be LED.
12. A striping plan for the street must be submitted with the building or grading permit.

Links

- [City of Kirkland Pre-Approved Plans and Policies](#)



- [Public Works Development Fees](#)
- [Stormwater FAQs](#)
- Application Forms ([Electronic](#), [Paper](#))
- [KZC105 – Private Drive, Private and Pedestrian Walkway Requirements](#)
- [KZC110 - Public Right-of-way Improvement Requirements](#)

50.33 User Guide – CBD 5 zones.

SHARE

The charts in KZC 50.35 contain the basic zoning regulations that apply in the CBD 5 zones of the City. Use these charts by reading down the left hand column entitled Use. Once you locate the use in which you are interested, read across to find the regulations that apply to that use.

Section 50.34



Section 50.34 – GENERAL REGULATIONS

The following regulations apply to all uses in this zone unless otherwise noted:

1. Refer to Chapter 1 KZC to determine what other provisions of this code may apply to the subject property.
2. No portion of a structure above the elevation of Kirkland Way as measured at the midpoint of the frontage of the subject property on Kirkland Way may exceed the following:
 - a. Within 20 feet of Kirkland Way, two stories;
 - b. Within 40 feet of Kirkland Way, four stories;
 - c. Within 50 feet of Kirkland Way, five stories.
3. The minimum required yard abutting Peter Kirk Park is 10 feet. The required front yard is zero feet for those portions of buildings with continuous retail or restaurant uses at street level. Kirkland Way shall be considered a pedestrian-oriented street if the front yard is less than 20 feet.
4. No portion of a structure within 100 feet of Peter Kirk Park shall exceed three stories above average building elevation.
5. Ground floor porches and similar entry features may encroach into the required front yard, provided the total horizontal dimensions of such elements may not exceed 25 percent of the length of the facade of the structure (does not apply to Public Park uses).
6. The following requirement applies to property adjoining Peter Kirk Park: The existing easement adjacent to Peter Kirk Park that connects Parkplace and Kirkland Way must be increased to a minimum 38-foot width and improved to include:
 - a. Two minimum 11-foot-wide drive lanes;
 - b. Two minimum eight-foot-wide sidewalks (one on each side of the easement) with street trees and landscaping;
 - c. Easement design must be approved by the Planning and Building Department and Public Works Department.

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 50.35	USE  REGULATIONS 	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARDS (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.010	Restaurant or Tavern	D.R., Chapter 142 KZC.	None	20'	0'	0'	80%	67' above average building elevation.	B	E	One per each 125 sq. ft. of gross floor area.	1. For restaurants with drive-in or drive-through facilities: a. One outdoor waste receptacle shall be provided for every eight parking stalls. b. Access for drive-through facilities shall be approved by the Public Works Department. Drive-through facilities shall be designed so that vehicles will not block traffic in the right-of-way while waiting in line to be served. c. Landscape Category A shall apply.
.030	Entertainment, Cultural and/or Recreational Facility	D.R., Chapter 142 KZC.	None	20'	0'	0'	80%	67' above average building elevation.	B	E	See KZC 105.25.	1. The parking requirements for hotel or motel use do not include parking requirements for ancillary meetings and convention facilities. Additional parking requirements for ancillary uses shall be determined on a case-by-case basis.
.040	Hotel or Motel										One per each room. See Spec. Reg. 1.	
.050	Any Retail Establishment, other than those specifically listed, limited, or prohibited in the zone, selling goods, or providing services including banking and related financial services										One per each 350 sq. ft. of gross floor area.	
.060	Private Lodge or Club								C	B	See KZC 105.25.	

Section 50.35



USE ZONE CHART

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 50.35	 	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARDS (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.070	Office Use	D.R., Chapter 142 KZC.	None	20'	0'	0'	80%	67' above average building elevation. See Spec. Reg. 3.	C	D	One per each 350 sq. ft. of gross floor area.	<ol style="list-style-type: none"> 1. Ancillary assembly and manufacture of goods on premises may be permitted as part of an office use if: <ol style="list-style-type: none"> a. The ancillary assembled or manufactured goods are subordinate to and dependent on this office use; and b. The outward appearance and impacts of this office use with ancillary assembly and manufacturing activities must be no different from other office uses. 2. The following regulations apply to veterinary office only: <ol style="list-style-type: none"> a. May only treat small animals on the subject property. b. Outside runs and other outside facilities for the animals are not permitted. c. Site must be designed so that noise from this use will not be audible off the subject property. A certification to this effect, signed by an Acoustical Engineer, must be submitted with the D.R. and building permit applications. d. A veterinary office is not permitted if the subject property contains dwelling units. 3. For property adjoining Peter Kirk Park, 80 feet above average building elevation, if following is provided: <ol style="list-style-type: none"> a. At least 50 percent of gross floor area is office use. b. A minimum 54-foot-wide improved easement street from Parkplace to Kirkland Way which meets the requirements for the Park Promenade in the Parkplace Master Plan. The design must be approved by the Planning and Building Department and the Public Works Department. <p style="text-align: center; margin-top: 10px;">REGULATIONS FOR THIS USE CONTINUED ON THE NEXT PAGE</p>

Section 50.35		DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS										
		Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARDS (See Ch. 115)			Lot Coverage					Height of Structure
USE ↓	REGULATIONS ↓		Front	Side	Rear							
.070	Office Use (Continued)											REGULATIONS CONTINUED FROM PREVIOUS PAGE c. The street level of all buildings shall be limited to one or more of the following uses: Retail; Restaurant or Tavern; Banking and Related Financial Services; Entertainment, Cultural and/or Recreational Facility; Parks; Government Facility; or Community Facility. At least one of the street level tenant spaces must be a minimum area of 9,000 square feet. The required uses shall have a minimum depth of 20 feet and an average depth of at least 30 feet (as measured from the face of the building on the Park Promenade). The Design Review Board (or Planning Director if not subject to D.R.) may approve a minor reduction in the depth requirements if the applicant demonstrates that the requirement is not feasible given the configuration of existing or proposed improvements and that the design of the retail frontage will maximize visual interest. Lobbies for office uses may be allowed within this space subject to applicable design guidelines. d. A minimum 2,000-square-foot public plaza that relates to Kirkland Way, the Kirkland Performance Center and Peter Kirk Park. The design must be approved by the Design Review Board. e. Public art on site valued at a minimum of \$10,000. The art must be reviewed and approved by the Kirkland Cultural Arts Commission. f. The project must be built to LEED silver or comparable standard.
.080	Church	D.R., Chapter 142 KZC.	None	20'	0'	0'	80%	67' above average building elevation.	C	D	One per every four people based on maximum occupancy of any area of worship.	1. No parking is required for day-care or school ancillary to the use.
.090	School, Day-Care Center, or Mini-School or Day-Care Center								D		See KZC 105.25.	1. A six-foot-high fence is required along all property lines adjacent to outside play areas. 2. Hours of operation may be limited by the City to reduce impacts on nearby residential uses. 3. An on-site passenger loading area may be required depending on the number of attendees and the extent of the abutting right-of-way improvements.

Section 50.35



USE ZONE CHART

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 50.35	USE  REGULATIONS 	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARDS (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.100	Assisted Living Facility See Spec. Reg. 3.	D.R., Chapter 142 KZC.	None	20'	0'	0'	80%	67' above average building elevation.	C	A	1.7 per independent unit. 1 per assisted living unit.	<ol style="list-style-type: none"> 1. A facility that provides both independent dwelling units and assisted living units shall be processed as an assisted living facility. 2. A nursing home use may be permitted as part of an assisted living facility use in order to provide a continuum of care for residents. If a nursing home use is included, the following parking standard shall apply to the nursing home portion of the facility: <ol style="list-style-type: none"> a. One parking stall shall be provided for each bed. 3. This use only allowed: <ol style="list-style-type: none"> a. On properties with frontage on Second Avenue. b. For property adjoining Peter Kirk Park, if the following are provided: <ol style="list-style-type: none"> 1) A minimum 54-foot-wide improved easement street from Parkplace to Kirkland Way which meets the requirements for the Park Promenade in the Parkplace Master Plan. The design must be approved by the Planning and Building Department and the Public Works Department. 2) The street level of all buildings shall be limited to one or more of the following uses: Retail; Restaurant or Tavern; Banking and Related Financial Services; Entertainment, Cultural and/or Recreational Facility; Parks; Government Facility; or Community Facility. At least one of the street level tenant spaces must be a minimum of 9,000 square feet. The required uses shall have a minimum depth of 20 feet and an average depth of at least 30 feet (as measured from the face of the building on the Park Promenade). The Design Review Board (or Planning Director if not subject to D.R.) may approve a minor reduction in the depth requirements if the applicant demonstrates that the requirement is not feasible given the configuration of existing or proposed improvements and that the design of the retail frontage will maximize visual interest. Lobbies for residential uses may be allowed within this space subject to applicable design guidelines. 3) A minimum 2,000-square-foot public plaza that relates to Kirkland Way, the Kirkland Performance Center and Peter Kirk Park. The design must be approved by the Design Review Board.

REGULATIONS FOR THIS USE CONTINUED ON THE NEXT PAGE

Section 50.35		DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS									
		Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
			Lot Size	REQUIRED YARDS (See Ch. 115)			Lot Coverage				
USE ↓	REGULATIONS ↓		Front	Side	Rear						
.100	Assisted Living Facility (Continued).									REGULATIONS CONTINUED FROM PREVIOUS PAGE 4) Developments creating four or more new dwelling units shall provide at least 10 percent of the units as affordable housing units as defined in Chapter 5 KZC. See Chapter 112 KZC for additional affordable housing incentives and requirements. 5) Public art on site valued at a minimum of \$10,000. The art must be reviewed and approved by the Kirkland Cultural Arts Commission. 6) The project must be built to LEED silver or comparable standard.	

Section 50.35



USE ZONE CHART

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 50.35	USE  REGULATIONS 	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARDS (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.110	Stacked or Attached Dwelling Units See Spec. Reg. 1.	D.R., Chapter 142 KZC.	None	20'	0'	0'	80%	67' above average building elevation.	C	A	1.2 per studio unit. 1.3 per 1 bedroom unit. 1.6 per 2 bedroom unit. 1.8 per 3 or more bedroom unit. See KZC 105.20 for visitor parking requirements.	1. This use only allowed: a. On properties with frontage on Second Avenue. b. For property adjoining Peter Kirk Park, if the following are provided: 1) A minimum 54-foot-wide improved easement street from Parkplace to Kirkland Way which meets the requirements for the Park Promenade in the Parkplace Master Plan. The design must be approved by the Planning and Building Department and the Public Works Department. 2) The street level of all buildings shall be limited to one or more of the following uses: Retail; Restaurant or Tavern; Banking and Related Financial Services; Entertainment, Cultural and/or Recreational Facility; Parks; Government Facility; or Community Facility. At least one of the street level tenant spaces must be a minimum of 9,000 square feet. The required uses shall have a minimum depth of 20 feet and an average depth of at least 30 feet (as measured from the face of the building on the Park Promenade). The Design Review Board (or Planning Director if not subject to D.R.) may approve a minor reduction in the depth requirements if the applicant demonstrates that the requirement is not feasible given the configuration of existing or proposed improvements and that the design of the retail frontage will maximize visual interest. Lobbies for residential uses may be allowed within this space subject to applicable design guidelines. 3) A minimum 2,000-square-foot public plaza that relates to Kirkland Way, the Kirkland Performance Center and Peter Kirk Park. The design must be approved by the Design Review Board. 4) Developments creating four or more new dwelling units shall provide at least 10 percent of the units as affordable housing units as defined in Chapter 5 KZC. See Chapter 112 KZC for additional affordable housing incentives and requirements. 5) Public art on site valued at a minimum of \$10,000. The art must be reviewed and approved by the Kirkland Cultural Arts Commission. 6) The project must be built to LEED silver or comparable standard.

(Revised 4/16)

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Section 50.35	USE  REGULATIONS 	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARDS (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.120	Public Utility, Government Facility, or Community Facility	D.R., Chapter 142 KZC.	None	20'	0'	0'	80%	67' above average building elevation.	C See Spec. Reg. 1.	B See KZC 105.25.	1. Landscape Category A or B may be required depending on the type of use on the subject property and the impacts associated with the use on nearby uses. 2. Site design must include installation of pedestrian linkages consistent with the major pedestrian routes in the Downtown Plan chapter of the Comprehensive Plan, between public sidewalks and building entrances, and between walkways on the subject property and existing or planned walkways on abutting properties.	
.130	Public Park	Development standards will be determined on a case-by-case basis. See KZC 45.50 for required review process.										