



KIRKLAND PARKPLACE

Mixed-Use Development

457 CENTRAL WAY
KIRKLAND, WA 98033

DESIGN RESPONSE CONFERENCE
SUBMITTAL DATE: SEPTEMBER 22, 2015
PRESENTATION DATE: OCTOBER 5, 2015

W
OLLINS
C
ERMAN

RYAN
BUILDING LASTING RELATIONSHIPS

TALON
PRIVATE CAPITAL

INTRODUCTION

PROJECT INFORMATION

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Kirkland, WA 98033

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Reviewed by: _____

INTRODUCTION

This booklet contains additional information in response to Design Review Board comments from the first Design Response Conference held on August 17th, 2015.

The primary purpose of this submittal is to present further development of buildings A, E and F as well as Landscape and Open space design.

LANDSCAPE AND OPEN SPACE DESIGN

- Present additional detail for the entire Phase one site, including approach to hardscape, Landscape and special features

BUILDING A RESIDENTIAL

- Present additional material including floor plans, elevations and perspectives reflecting the current design direction
- Present materials and finishes for the building

BUILDINGS E AND F OFFICE/ RETAIL

- Present initial material selections for buildings E and F
- Revisions to massing and material for building E

RECAP OF DRC #1 - AUGUST 17TH, 2015

Primary comments from the board:

SITE PLAN AND LANDSCAPE:

- Generally approved of direction presented
- Gateway landscape concept
 - Agreed with softer approach, extending the swath of existing vegetation from the northeast, along Central Way onto the Parkplace site
 - Provide substantial trees, variety of vegetation that will retain color/ foliage after the native trees have dropped their leaves. – more refined landscape
- South plaza- need more detail
- More detail of individual plaza landscape areas requested for next meeting

BUILDING A

- Generally approved of direction presented
- Approved of massing and articulation
- Generally approved of building relationship to grade and landscape approach at street facades and corner
- Explore alternatives at corner element-use element to break mass
- Define the degree of public access at corner element
- Consider less use of bright white vertical elements

BUILDING E

- Curved façade appears too long and unbroken
 - Explore ways to break down the scale and/or provide more detail
- Central Way façade
 - Punched opening façade needs refinement
 - Interface with base needs to be stronger
 - North west corner of tower – brick return needs to be refined
 - Overall façade needs refinement and additional detail
 - Explore ways to break down scale further
- Breezeway
 - The idea of enclosing the breezeway was presented to create an indoor-outdoor “great room”. The idea was generally well received with additional detail requested at future meeting

BUILDING F

- Generally approved of direction presented
- Approved of massing and articulation
- More detail and refinement of materials needed for next meeting

INTRODUCTION

Project Summary - Phase 1

DEVELOPMENT OBJECTIVES

PROJECT GOAL

To create and develop a vibrant gathering place for Kirkland residents, innovative office users and retailers that encompasses Kirkland's unique attributes, takes advantage of the site's location, and provides retail that will draw office users, the public, and permanent residents.

PROJECT SUMMARY

Kirkland Parkplace will be a new mixed-use office, retail, entertainment, and residential center located next to Peter Kirk Park in Kirkland's central business district. The project will be a redevelopment of the current Kirkland Parkplace shopping center, and will provide a location for office tenants, retail shops and restaurants as well as an expanded theatre and other entertainment options in a setting that will include a variety of publicly accessible open spaces.

In addition, Kirkland Parkplace will include a significant residential component to provide a true mixed-use experience and round-the-clock ownership.

PROGRAM OBJECTIVES

The Kirkland Parkplace project will address Kirkland's shortage of office space suitable for innovative office users who require larger floor plates, and sufficient space within one or more buildings to accommodate their needs. The community-serving retail and residential will complement this office use and will provide an attractive place to work, live, shop, and play.

PHASING

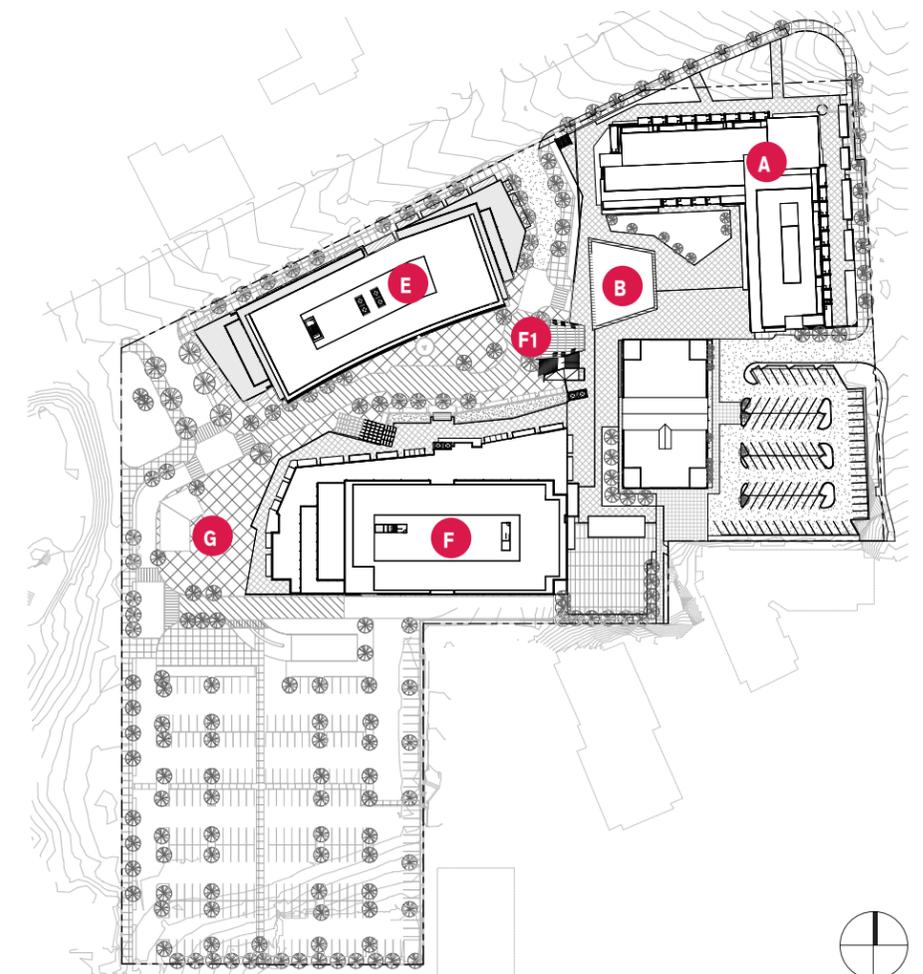
The project will likely be built in three phases. Phase 1 will include a new enlarged QFC, additional retail, two new office buildings, and one residential building. Future phases will include additional office, retail, entertainment and residential uses.

MINOR MODIFICATION REQUEST

A minor modification is requested to construct a plaza within the side yard setback to screen loading and service areas at the grocery.

SITE DEVELOPMENT (APPROX. AREAS)

	PHASE 1 BUILDINGS						TOTAL: PHASE 1	TOTAL: FULL BUILD-OUT			
	A	E	F	B	F1	G					
Office	--	194,000	189,000	--	--	--	383,000	605,000	SF	up to	650,000 SF
Residential	168,000	--	--	--	--	--	168,000	285,000	SF	up to	300,000 SF
Retail	3,000	31,000	47,000	1,400	4,000	1,600	88,000	100,000	SF	up to	125,000 SF
Grocery	--	--	47,000	--	--	--	47,000	47,000	SF		
Retail/Entertainment	--	--	--	--	--	--	--	40,000	SF		
Health Club	--	--	--	--	--	--	--	13,000	SF		
Totals	171,000	224,000	284,000	1,400	4,000	1,600	686,000 *	1,115,000	SF	up to	1,175,000 SF



* BUILDING D: 69,000 SF office building to be removed after Building F is occupied

DESIGN CONCEPT - SITE

Site Plan | Level 1 (Park Level)



MAP KEY

PHASE 1 - PARK LEVEL

	PARK LEVEL	PHASE 1 TOTAL
Office	7,488	383,205 SF
Residential	-	167,619 SF
Retail	40,493	87,170 SF
Grocery	47,400	47,400 SF
TOTAL	95,381	685,394 SF

* BUILDING D: 69,000 SF OFFICE BUILDING TO BE REMOVED AFTER BUILDING F IS OCCUPIED

DESIGN CONCEPT - SITE

Site Plan | Level 2 (Plaza Level)

MAP KEY

PHASE 1 - PLAZA LEVEL

	PLAZA LEVEL	PHASE 1 TOTAL
 Office	41,451	383,205 SF
 Residential	28,164	167,619 SF
 Retail	46,677	87,170 SF
 Grocery	-	47,400 SF
TOTAL	116,292	685,394 SF

* **BUILDING D: 69,000 SF OFFICE BUILDING TO BE REMOVED AFTER BUILDING F IS OCCUPIED**



DESIGN CONCEPT - SITE

Site Plan | Upper Level - Typical



MAP KEY

PHASE 1 - TYPICAL LEVEL

	TYPICAL LEVEL	PHASE 1 TOTAL
Office	63,941	383,205 SF
Residential	27,891	167,619 SF
Retail	-	87,170 SF
Grocery	-	47,400 SF
TOTAL	91,832	685,394 SF

* BUILDING D: 69,000 SF OFFICE BUILDING TO BE REMOVED AFTER BUILDING F IS OCCUPIED

SITE DESIGN

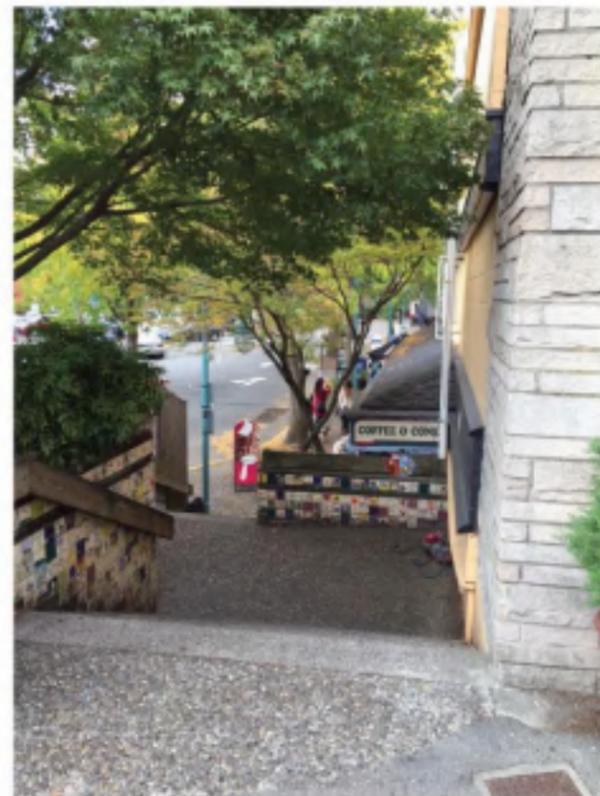
SITE DESIGN

Kirkland Context | Pedestrian Oriented Space



SITE DESIGN

Kirkland Context | Pedestrian Oriented Space



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SITE DESIGN

Overall Site | Interim Phase 1



HEWITT

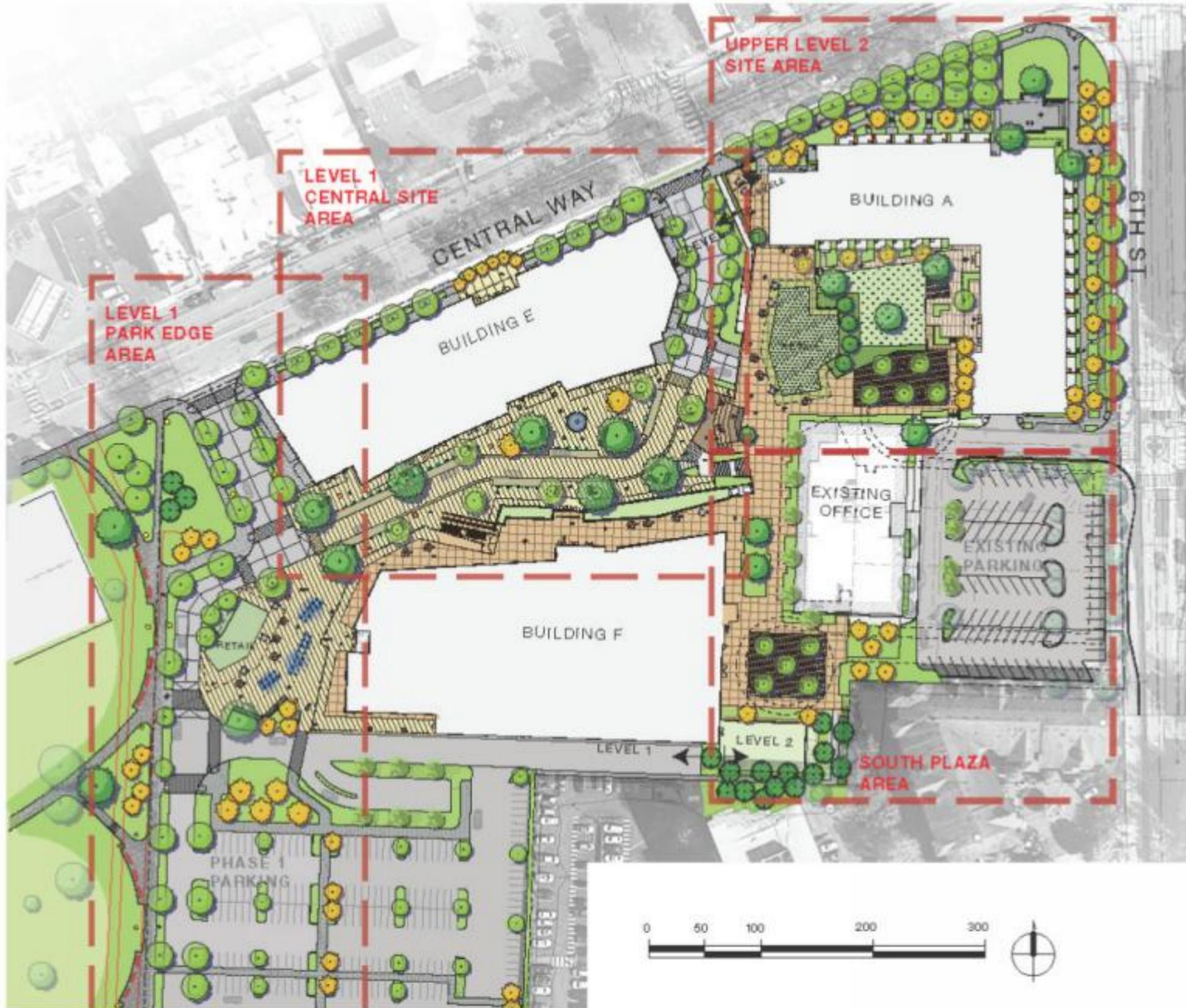
SITE DESIGN

Overall Site | Phase 1



SITE DESIGN

Overall Site | Diagram Key



SITE DESIGN

Level 1 Park Edge | Program

VIEWS TO AND FROM PARK & PLAZA

- Pedestrian walkways
- Crosswalks
- Tree Plantings
- Seating
- Lighting

PARK PLAZA

- Gathering space for various sized groups
- Flexible, multipurpose, interactive
- Foreground for adjacent retail
- Maintained sightlines to retail and Peter Kirk Park
- Decorative hardscape
- Furnishings: benches, tables, lighting

STREETScape

- Urban Street Trees
- Seating
- Retail activated space

FOCAL WATER FEATURES

- Interactive
- Accessible
- Seating and lighting

FREESTANDING RETAIL

- Define space
- Activate edge

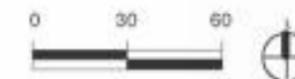
UPPER TERRACE

- Outdoor dining – tables, chairs
- Ensure visibility to terrace edges
- Overlook with views to park and plazas



STREET LIGHTS
AWNING TYP.
PLAZA LIGHTS

DECORATIVE PLAZA
HARDSCAPE
FACE OF L1 BELOW
WATER FEATURE
UPPER TERRACE
BUILDING ENTRY TYP
BENCHES



SITE DESIGN

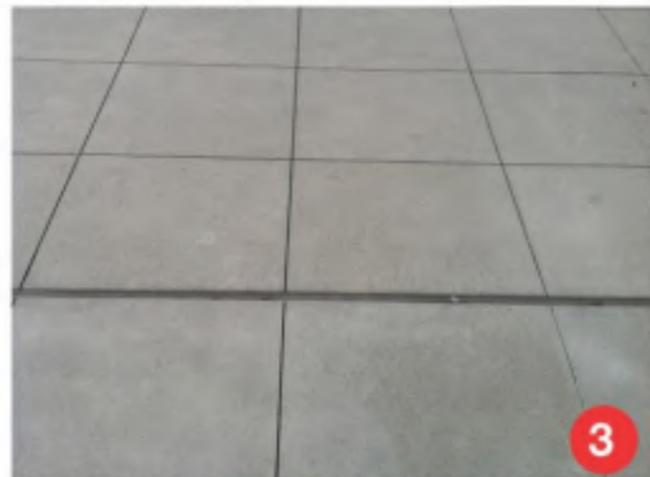
Level 1 Park Edge | Materials And Features



PARK EDGE BENCH



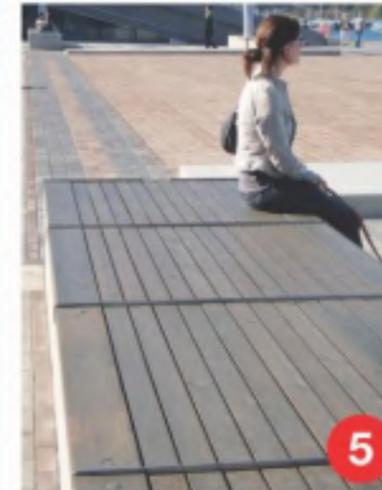
PARK EDGE + CENTRAL SITE PEDESTRIAN LIGHT 15 HT. (CITY STD.)



STANDARD CAST IN PLACE CONCRETE SIDEWALK (VEHICULAR + PEDESTRIAN)



WEST WATER FEATURE



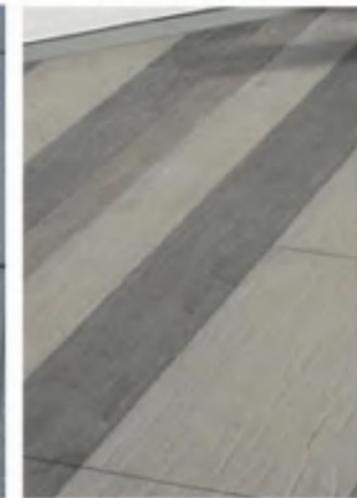
INTEGRATED WOOD BENCHES - PLAZA



PEDESTRIAN STREET LIGHTS (+/-15' POLE)

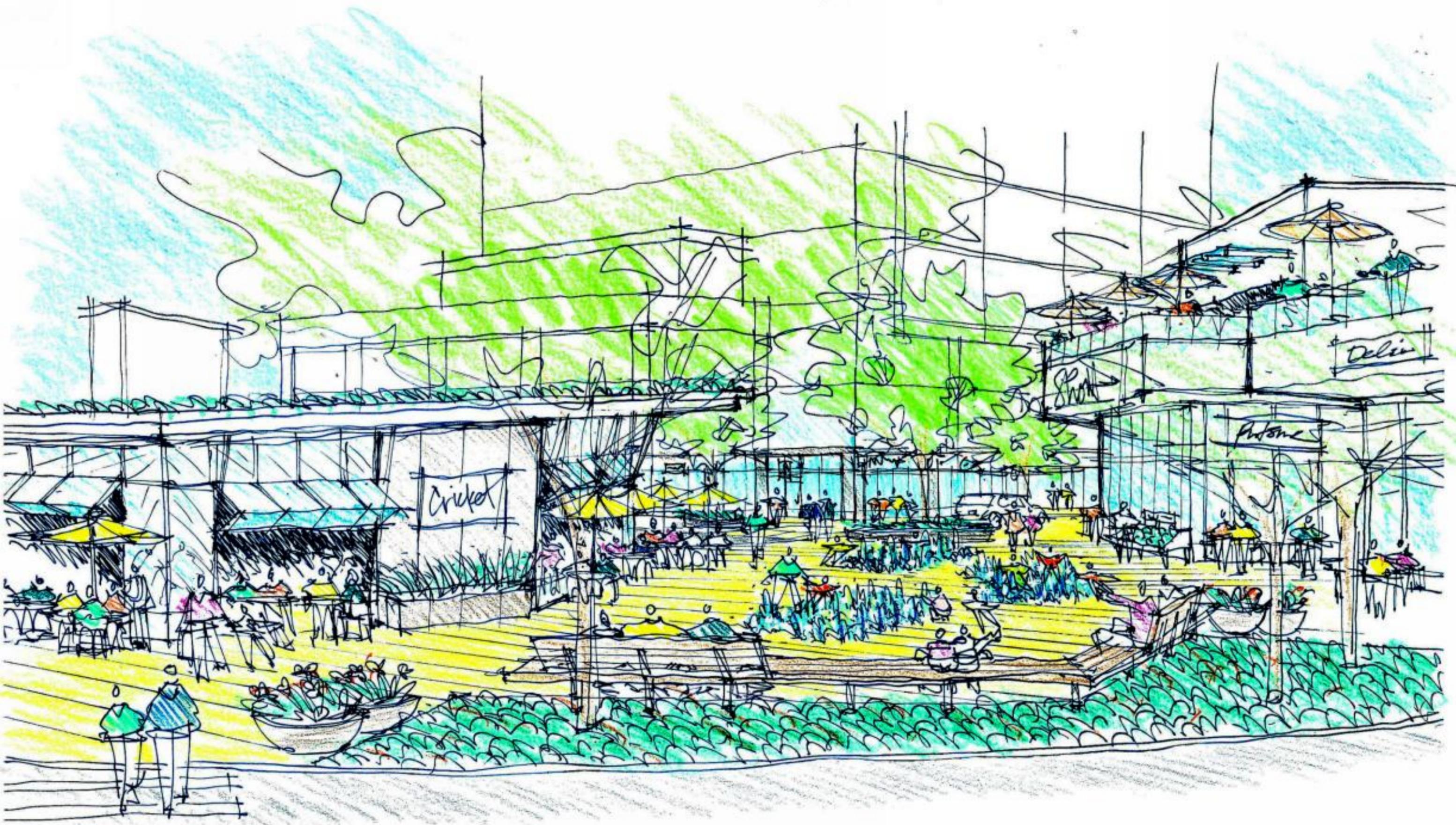


PLAZA FEATURE LIGHTING



DECORATIVE CAST IN PLACE CONCRETE PLAZA INTEGRAL COLOR, SANDBLAST OR, (SEEDED SURFACE), WITH SILICON CARBIDE





SITE DESIGN

Level 1 Central Site | Program

LIVING STREET / WOONERF

- Creates and extends civic identity
- Raised street with decorative finish
- Traffic calming
- Allows festival opportunities
- Hardscape and landscape responsive to retail edges
- Level 2 access
- Unique lighting
- Great views from level 2 to living street

STREETScape

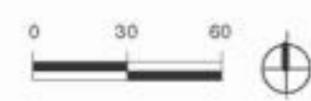
- Urban Street Trees
- Seating
- Retail activated space

FOCAL WATER FEATURES

- Interactive
- Accessible
- Seating and lighting

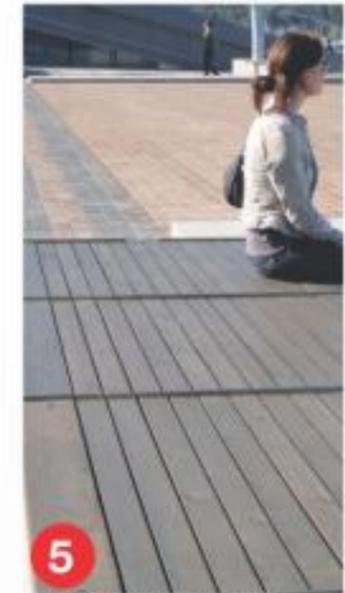
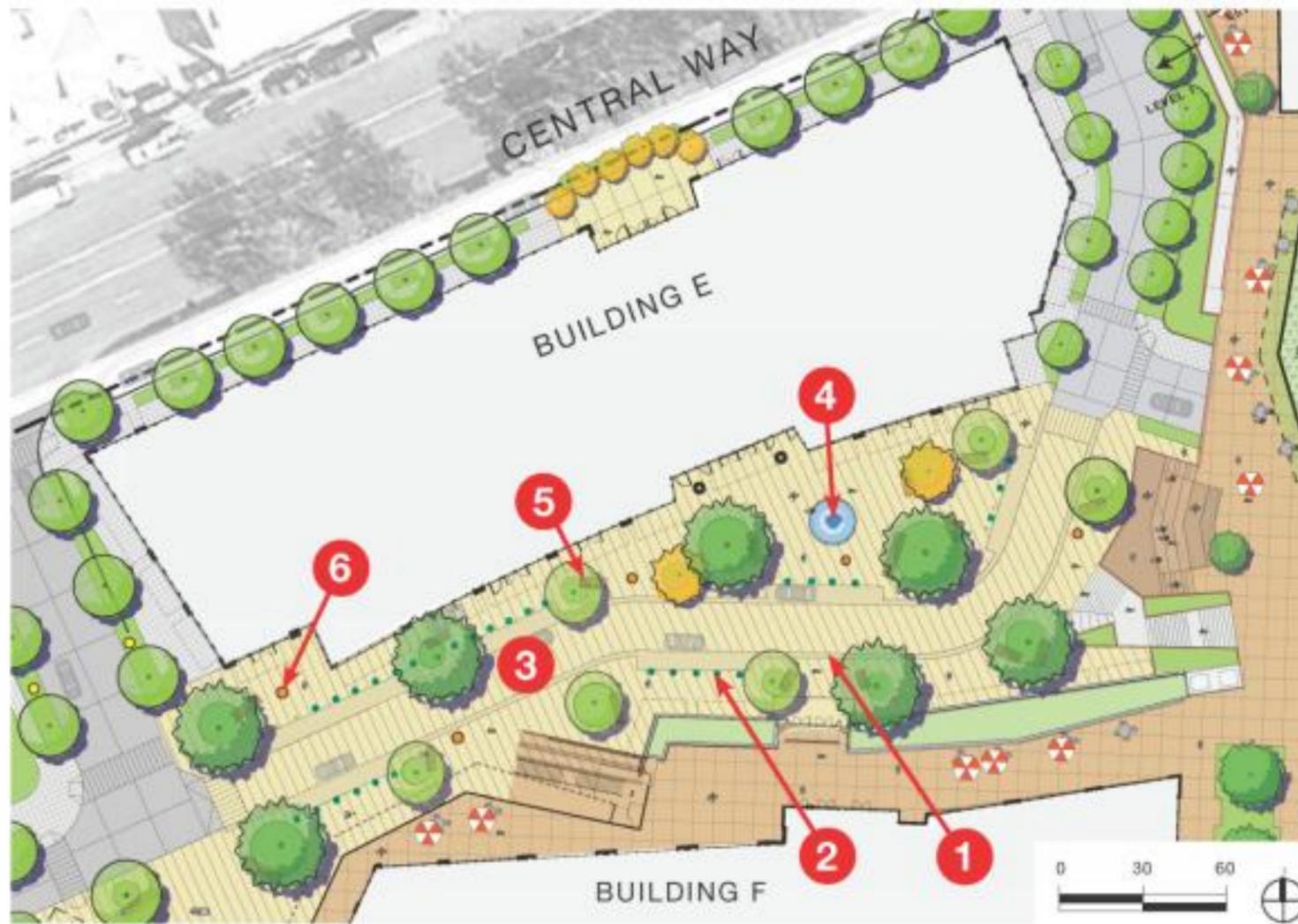
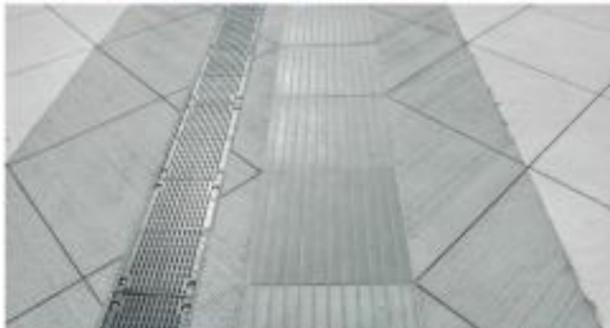
CENTRAL WAY FRONTAGE

- Adjacent retail
- Sidewalks / street trees
- Parallel parking
- Landscape improvements as appropriate for retail frontage



SITE DESIGN

Level 1 Central Site | Materials And Features



5
INTEGRATED WOOD (IPE) BENCHES



6
PLAZA FEATURE LIGHT



4
WATER FEATURE



1
TACTILE UNIT PAVER BAND / STREET EDGE



2
BOLLARD (POTENTIAL, STYLE TO BE SELECTED)



3
CENTRAL PLAZA CHARACTER

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SITE DESIGN

Upper Level 2 | Materials And Features



1 PEDESTAL PAVERS - PLANK STYLE (NEAR BUILDING A)



2 PEDESTAL PAVERS STD 2X2 STYLE (AT MOST OF LEVEL 2)



3 TERRACED WOOD BENCH W/ INTEGRAL STAIRS



4 RESIDENTIAL TOWN HOME EDGE



5 FREE STANDING METAL PLANTERS ON GRAVEL SURFACE



6 CAST IN PLACE WALLS + STAIRS



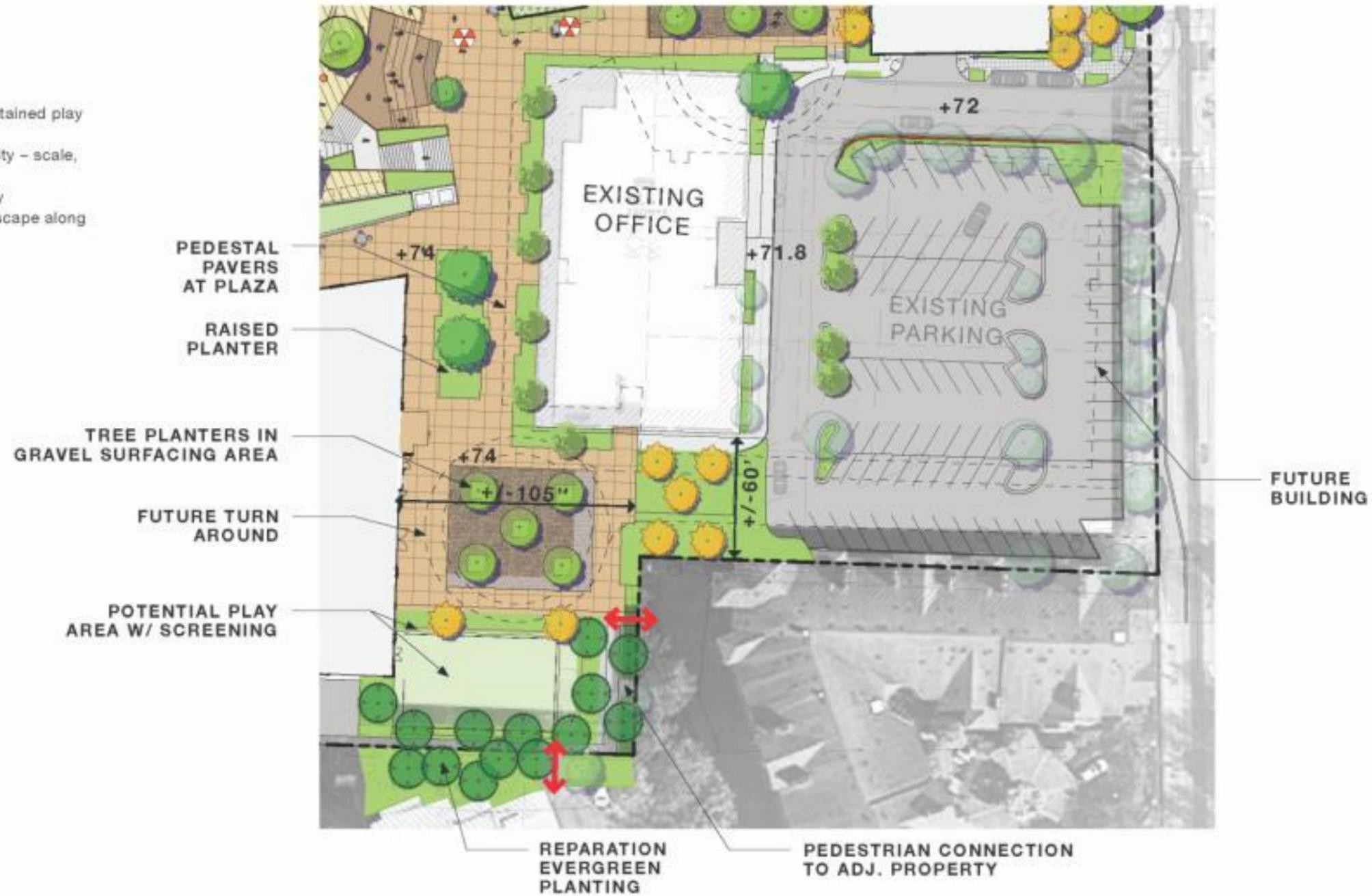
7 LAWN AREA

SITE DESIGN

Upper Level 2 South Plaza | Program

SOUTH PLAZA

- Daycare operated and maintained play area with fencing
- Transitional landscape quality – scale, buffering
- Access to adjacent property
- Reparation of existing landscape along property line



SITE DESIGN

Upper Level 2 South Plaza | Materials And Features



RAISED PLANTERS

1



GRAVEL SURFACE

2



PEDESTAL PAVERS STD 2X2 STYLE

3



PLAY AREA (BY TENANT)

4

SITE DESIGN

Roof Diagram | Planting And Materials



2X2 PEDESTAL PAVERS



EXTENSIVE GREEN ROOF +/-6" (TYPE 2)



ROOF BALLAST



-  **BUILDING E & F EXTERIOR DECKS (FINAL AREAS LEVELS 3 AND ABOVE - TBD)**
POTENTIAL ROOF TREATMENTS:
 -2X2 PEDESTAL PAVER SYSTEM
 -GREEN ROOF TYPE 2 +/-6"
 -BALLAST
-  **GREEN ROOF TYPE 1**
 18" PLANTING DEPTH
 GROUNDCOVER, SHRUB,
 ORNAMENTAL GRASS
-  **GREEN ROOF TYPE 2**
 +/-6" PLANTING DEPTH
 GROUNDCOVER,
 ORNAMENTAL GRASS
-  **RESIDENTIAL ROOF W/ WOOD TILE PEDESTAL PAVERS**
POTENTIAL AMENITIES INCLUDE:
 -FIRE PITS
 -RAISED PLANTERS
 -FREE STANDING PLANTERS
 -SPECIMEN TREES
 -BBQ AREAS



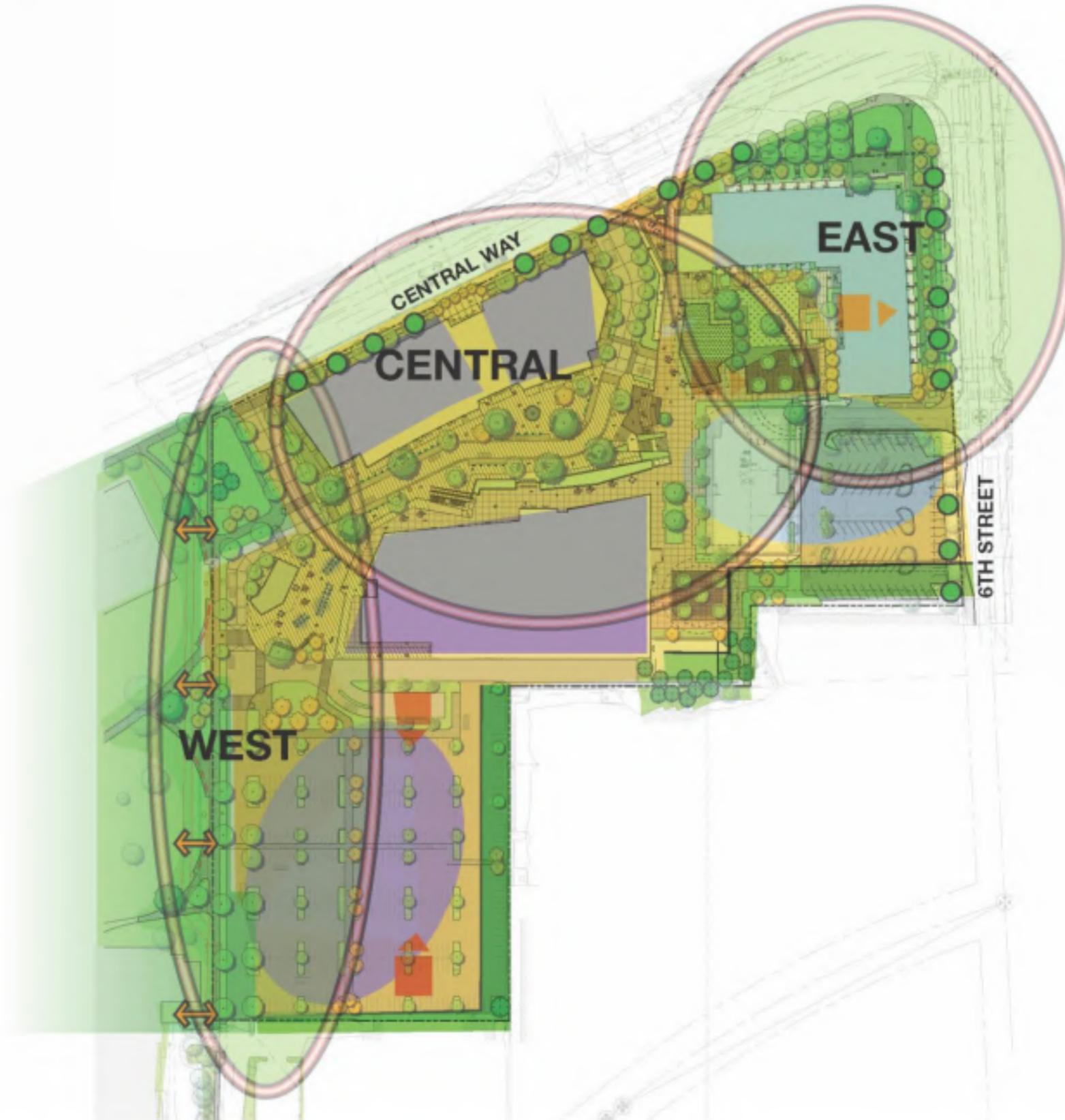
GREEN ROOF



RESIDENTIAL ROOF W/ AMENITIES

SITE DESIGN

Plant Zone Diagram



PLANT ZONE CHARACTER:

- **EAST**

Textural and coarse
Northwest adaptive / Natural
Shade tolerant
Informal

- **CENTRAL**

Seasonal color (annuals, perennials, movable pots, etc.)
Durable urban framework
Sun / Shade tolerant
More ordered and defined

- **WEST**

Moving / Flowing
Soft / Fine textured
Transitional
Sun loving
Complimentary of Park

STREET TREES



Acer nigrum



Fraxinus pennsylvanica



Ulmus americana 'Princeton'



Zelkova serrata

SHADE TREES (large)



Acer rubrum 'October Glory'

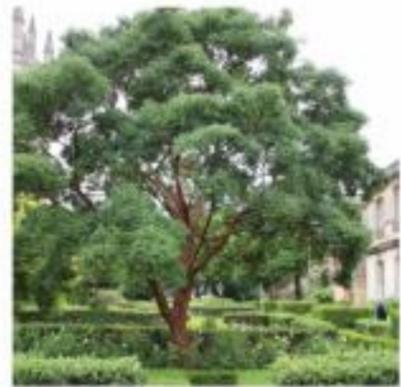


Cercidiphyllum japonicum



Robinia pseudoacacia 'Frisia'

SHADE TREES (medium)



Acer griseum



Ulmus parvifolia



Cladrastis kentukea

COLUMNAR TREES



Acer rubrum 'Armstrong'



Fagus sylvatica 'Dawycikii'



Liriodendron tulipifera fastigiata

EVERGREEN TREES



Calocedrus decurrens



Pinus flexilis 'Vanderwolf's Pyramid'



Pinus contorta

FLOWERING / SPECIMEN TREES



Acer palmatum



Amelanchier grandiflora



Cornus kousa



Magnolia 'Galaxy'



Prunus x yedoensis



Sorbus aucuparia 'Red Cascade'



Stewartia monodelpha

BUILDING DESIGN - BUILDING A

DESIGN CONCEPT - BUILDING A

RESPONSE TO DESIGN GUIDELINES

SECTION 12 - DESIGN GUIDELINES: ALL DISTRICTS

BUILDING DESIGN

2. MASSING/ARTICULATION

a. In general, break down the scale and massing of larger buildings into smaller and varied volumes.

Response: The building massing has been broken up into five distinct elements.

- 1) North-South Massing element
- 2) Northeast Corner Element
- 3) East-West Massing element
- 4) South Corner Element
- 5) West Corner Element



NORTH ELEVATION



ELEVATION



PERSPECTIVE

b. All building faces should be responsive to the context of the surrounding environment and neighboring buildings.

Response: The street-facing facades are of a residential nature, taking advantage of different units types/depths to create rhythm, scale and proportion in keeping with neighboring residential projects.

c. Design all sides of the building with care (i.e. there should be no “backside” of a building.)

Response: Building A addresses the streets, 6th Street and Central Way, as well as the equally important Urban Plaza within the overall site. Each facade is given an equal level of design.

d. Buildings should distinguish a “base” using articulation and materials. Include regulating lines and rhythms to create a pedestrian-scaled environment.

Response: The ‘Ground’ level of Building A protrudes from the levels above creating a very prominent Base. This level has a 20’ floor to floor height, establishing a double height Rowhouse-style datum that is residential in feel and rhythm.

e. Provide clear pattern of building openings. Windows, balconies, and bays should unify a building’s street wall and add considerably to a facade’s three-dimensional quality.

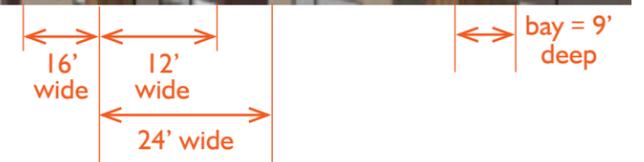
Response: All facades of the building take advantage of different unit types to provide depth and bay elements within the facade. Balconies enliven these building faces adding a finer grain texture that complements the variety of scales.



PERSPECTIVE - PLAZA FACADES



PERSPECTIVE - STREET FACADES



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RESPONSE TO DESIGN GUIDELINES

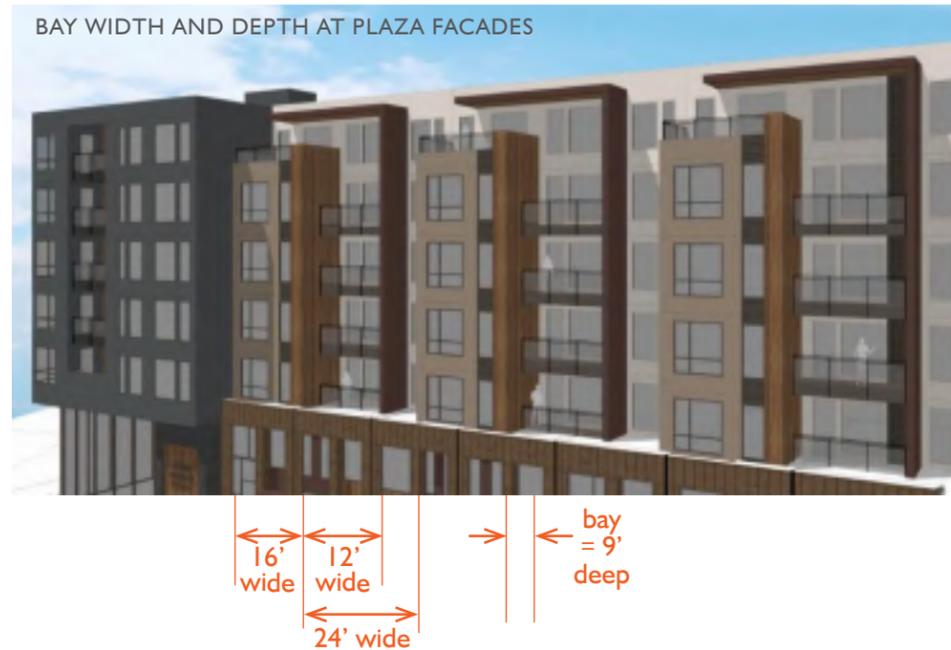
SECTION 12 - DESIGN GUIDELINES: ALL DISTRICTS

BUILDING DESIGN

2. MASSING/ARTICULATION, CONTINUED

f. Ribbon windows and extensive use of mirrored glass are discouraged.

Response: The building is composed of a variety of massing elements that create much smaller facades within the overall composition. Glass will be chosen to provide optimum clarity.



g. Employ major architectural expressions into the facade, roof form, massing, and orientation, such as tower forms, oversized windows, and entrances to demarcate gateways and intersections. Strong corner massing can function as a visual anchor at key locations within the project area.

Response: The strong corner element of Building A is a tower form that acts as a visual anchor and backdrop for the East Plaza between the building and the sidewalk. The Ground related level of this corner element is largely glass, evoking a feeling of openness and connection between public and private. Residential amenity space will open to the park enlivening both spaces. The top is an extended eave that will be subtly underlit that will act as a beacon at this corner.



h. Building modulation should be employed to break up long facades and create a visual interest unique to each building in the project. The type of modulation should be determined by the overall design concept for each building, using dimensions from window sizes, column spacing, rain screen paneling, etc. to determine a distinct design solution.

Response: All facades of the building take advantage of different unit types to provide depth and bay elements within the facade. Modulation is based on residential unit proportions, acting to clearly identify that Building A is residential. Cladding materials have been chosen to complement the other buildings of the overall development.

i. Roof Silhouettes: Express roofs in varied ways. Consider potential views of roof tops from adjacent buildings. Avoid monotonous design.

Response: The corner element has a floating eave element elevated above a strong corner tower form. Street facades employ smaller overhang elements complementing the rhythm established by the bays. The Plaza facing facades echo the overhanging elements of the street facades.

j. Locate and/or screen rooftop equipment so that it is not visible from public spaces. Integrate rooftop screening into building's form.

Response: Rooftop equipment will be located near the center of the building. On the southern roof will be a well-designed roof deck.



RESPONSE TO DESIGN GUIDELINES

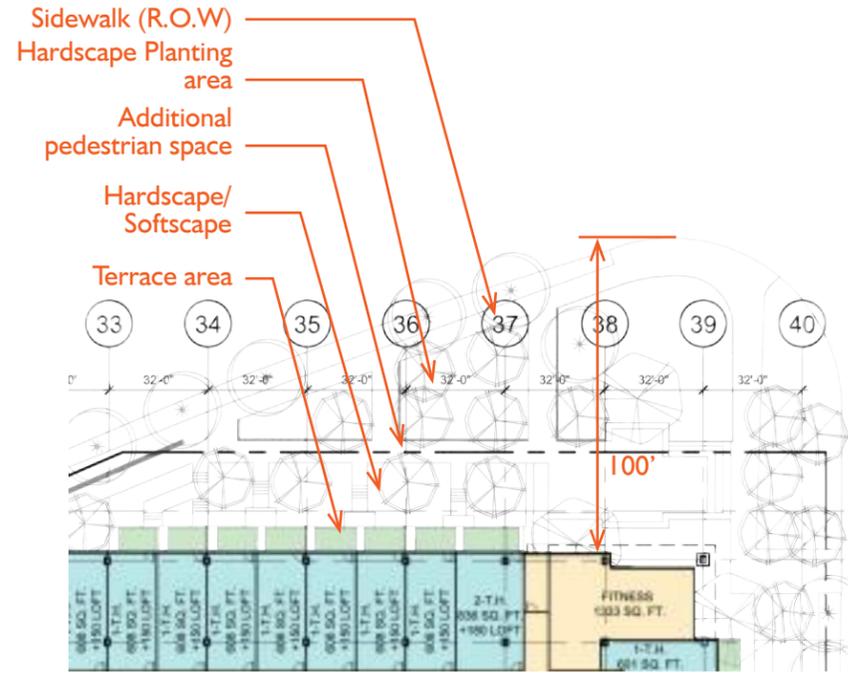
SECTION 13 - DESIGN GUIDELINES: A. GATEWAY DISTRICT

BUILDING DESIGN

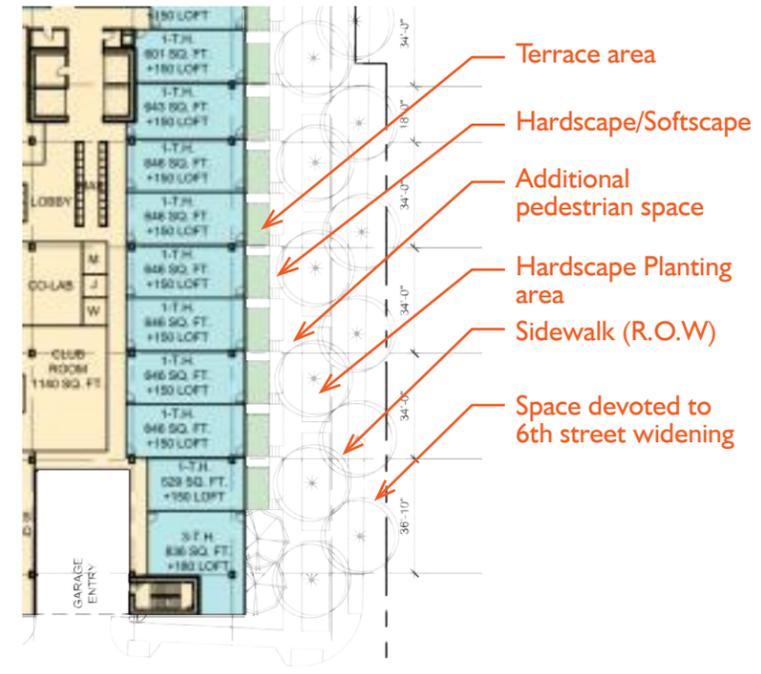
I. Ground Level Treatment

a. Setbacks from Streets - The ground floor levels of the corner building should be permitted to set back to allow for cut away view and obvious pedestrian connection into the site.

Response: Building A is set back from the East Plaza over 30' to provide additional space for this critical outdoor area, which is divided into public, semi-public, and private outdoor zones. The landscape design will act to funnel pedestrians into the site.



ENLARGED PLAN ADJACENT TO EAST PLAZA



ENLARGED PLAN ADJACENT TO 6TH STREET

b. Active and Inviting - Design for an engaging pedestrian experience along ground floor of the building.

Response: Stoop-like terrace elements add a intimate pedestrian experience evoking a rowhouse feel. This strong 22' datum responds to the scale of the pedestrian, while offering variation, depth, and visual interest within the facades themselves. The entrances to these units will create a very inviting and active pedestrian experience, allowing people to filter into the site in a park-like setting.



ENLARGED VIEW OF ROWHOUSES ADJACENT TO EAST PLAZA

RESPONSE TO DESIGN GUIDELINES

SECTION 13 - DESIGN GUIDELINES: A. GATEWAY DISTRICT BUILDING DESIGN - CONTINUED

c. Details Visible at Different Movement Speeds - Incorporate details in the building along the corner that bring visual interest at the pedestrian level, as well as for vehicular traffic entering Kirkland.

Response: Building A has been designed to incorporate a wide variety of scales. Larger design features such as the strong corner element, with extended eave element at the top and large open glass areas at the base, and a rhythm of overhanging eave elements along the street facades respond to the vehicular scale. The rowhouse language along the base responds to the scale of the pedestrian, incorporating unique and varied facade design, stoop elements, entry canopies, and individual unit lighting which add finer grain visual interest.



OCTOBER 5, 2015

KIRKLAND PARKPLACE

TALON

DESIGN CONCEPT - BUILDING A RESPONSE TO DESIGN GUIDELINES

SECTION 13 - DESIGN GUIDELINES: A. GATEWAY DISTRICT BUILDING DESIGN - CONTINUED

2. Upper Levels

a. Change of Expression/Material Choices:

A clear visual division between upper and lower floors should be incorporated through a change in materials, colors, and forms.

Response: Though final materials haven't been chosen at this phase of development, the Ground floor will be comprised of durable materials in keeping with the historic downtown core. The upper levels will be clad in a variety of fiber cement panels with different color, pattern, and surface characteristics.



HORIZONTAL DATUMS / SETBACKS



VERTICAL SETBACKS



INSET CORNER BALCONIES

b. Modulation and Building form: Modulation and shifts in the building mass should be incorporated to decrease the apparent bulk of the building at the corner of Central Way and 6th street. Modulation of building facades should include setting back portions of the building in order to reduce the apparent length. The buildings should respond to the corner condition by shifts and/or angles in the building floor plate.

Response: All facades of the building take advantage of different unit types to provide depth and bay elements within the facade. Balconies enliven these building faces adding a finer grain texture that complements the variety of scales. The depth of articulation provides a very deep and varied three dimensional facade. Inset balconies at corners of the building provide a sense of openness.

c. Step backs: The upper level (or levels) should step back significantly from the floor below to reduce the apparent height of the building at the intersection of Central Way and Sixth Street.

Response: In many areas of the building, the uppermost level is setback from the floors below to reduce the bulk of the building and incorporate terrace elements at the top level.

d. Top Floor/Roof Edge: should have a distinct profile against the sky through elements such as projections, overhangs, cornices, step backs, trellises, changes in material, or other elements.

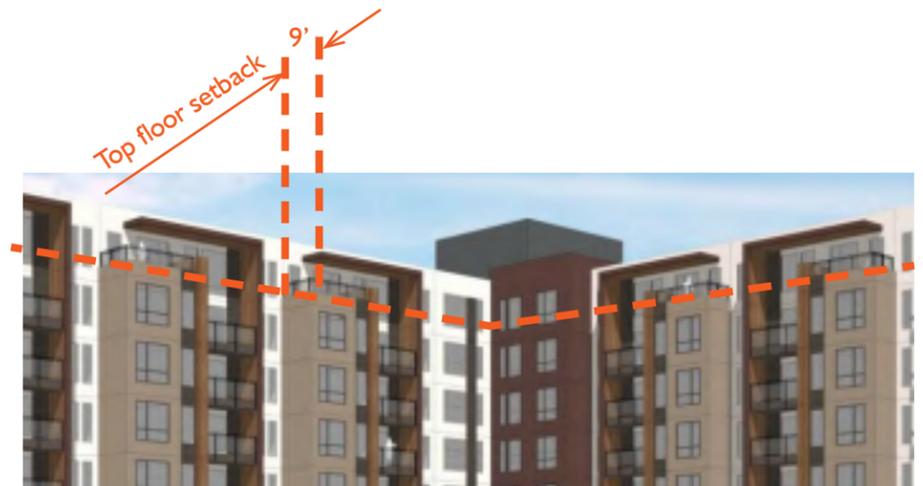
Response: The corner element has a very deep eave that will be uplit to provide a beacon-like element. Street facades employ smaller projecting elements complementing the rhythm established by the bays. In all areas of the building, the uppermost level is predominantly setback from the floors below to reduce the bulk of the building and incorporate outdoor terrace elements at the top level.

e. Accent Lighting: The innovative use of accent lighting incorporated into the building facade is encouraged. Lighting should include non-glaring design solutions such as cut off fixtures that avoid light spilling over onto other properties. Flood lighting of entire building facades is discouraged.

Response: The projecting eave of the Northeast Corner Element will be subtly uplit from a reveal, allowing this warm wood eave surface to have a glow at this very prominent street corner.



ROOF FORMS AT STREET FACADES



ROOF FORMS AT PLAZA FACADES

TALON | KIRKLAND PARKPLACE | OCTOBER 5, 2015

BUILDING EXTERIOR DESIGN

PERSPECTIVE - CORNER OF 6TH AND CENTRAL



OCTOBER 5, 2015 | KIRKLAND PARKPLACE | TALON

DESIGN CONCEPT - BUILDING A
BUILDING EXTERIOR DESIGN

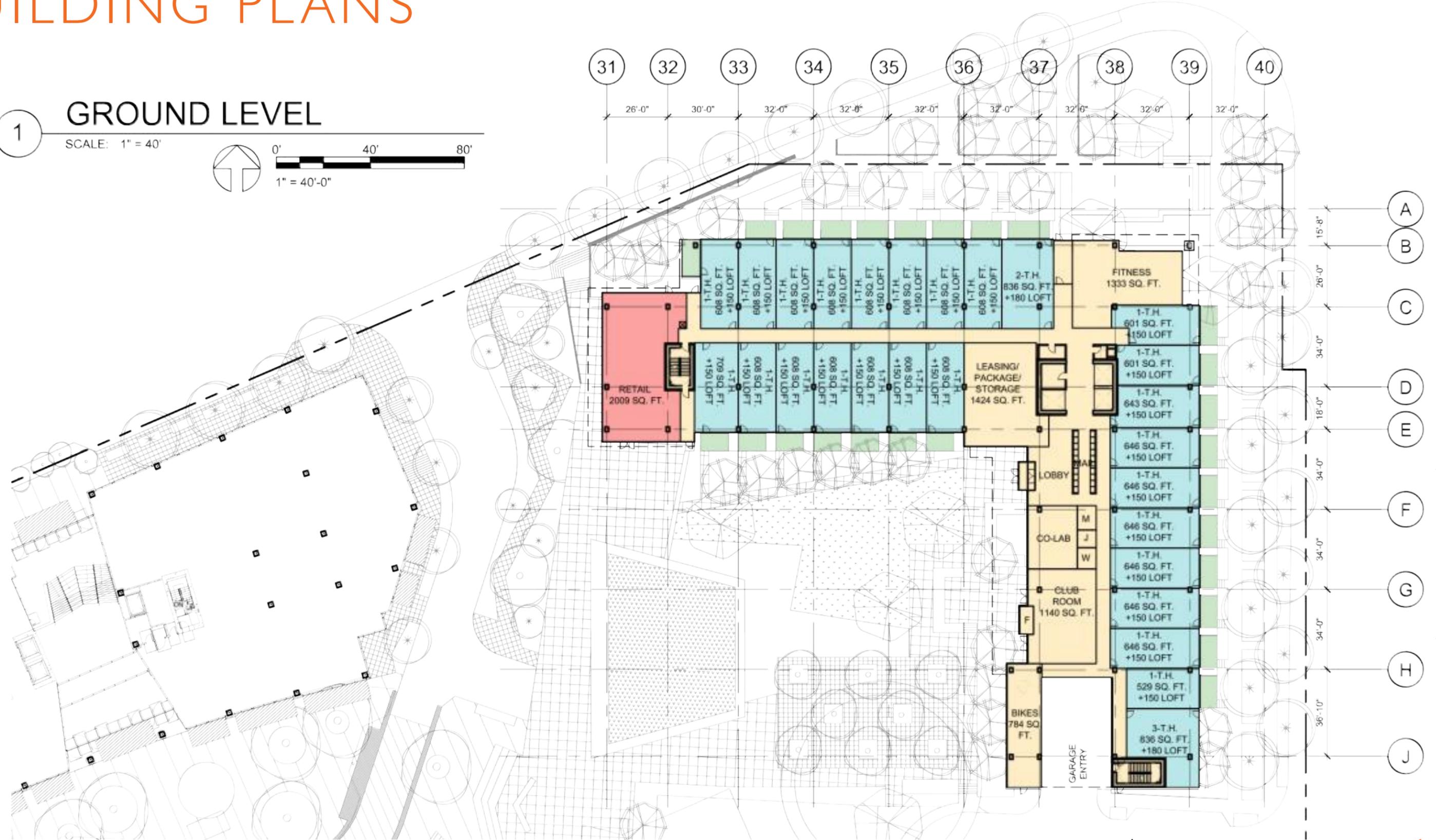
PERSPECTIVE - VIEW FROM UPPER PLAZA



TALON | KIRKLAND PARKPLACE | OCTOBER 5, 2015

BUILDING PLANS

1 GROUND LEVEL
 SCALE: 1" = 40'
 0' 40' 80'
 1" = 40'-0"



OCTOBER 5, 2015 | KIRKLAND PARKPLACE | TALON

DESIGN CONCEPT - BUILDING A

BUILDING PLANS

1 LEVELS 2-5

SCALE: 1" = 40'

0' 40' 80'

1" = 40'-0"



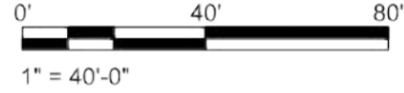
TALON | KIRKLAND PARKPLACE | OCTOBER 5, 2015

BUILDING PLANS

1

LEVEL 6

SCALE: 1" = 40'



A
B
C
D
E
F
G
H
I
J

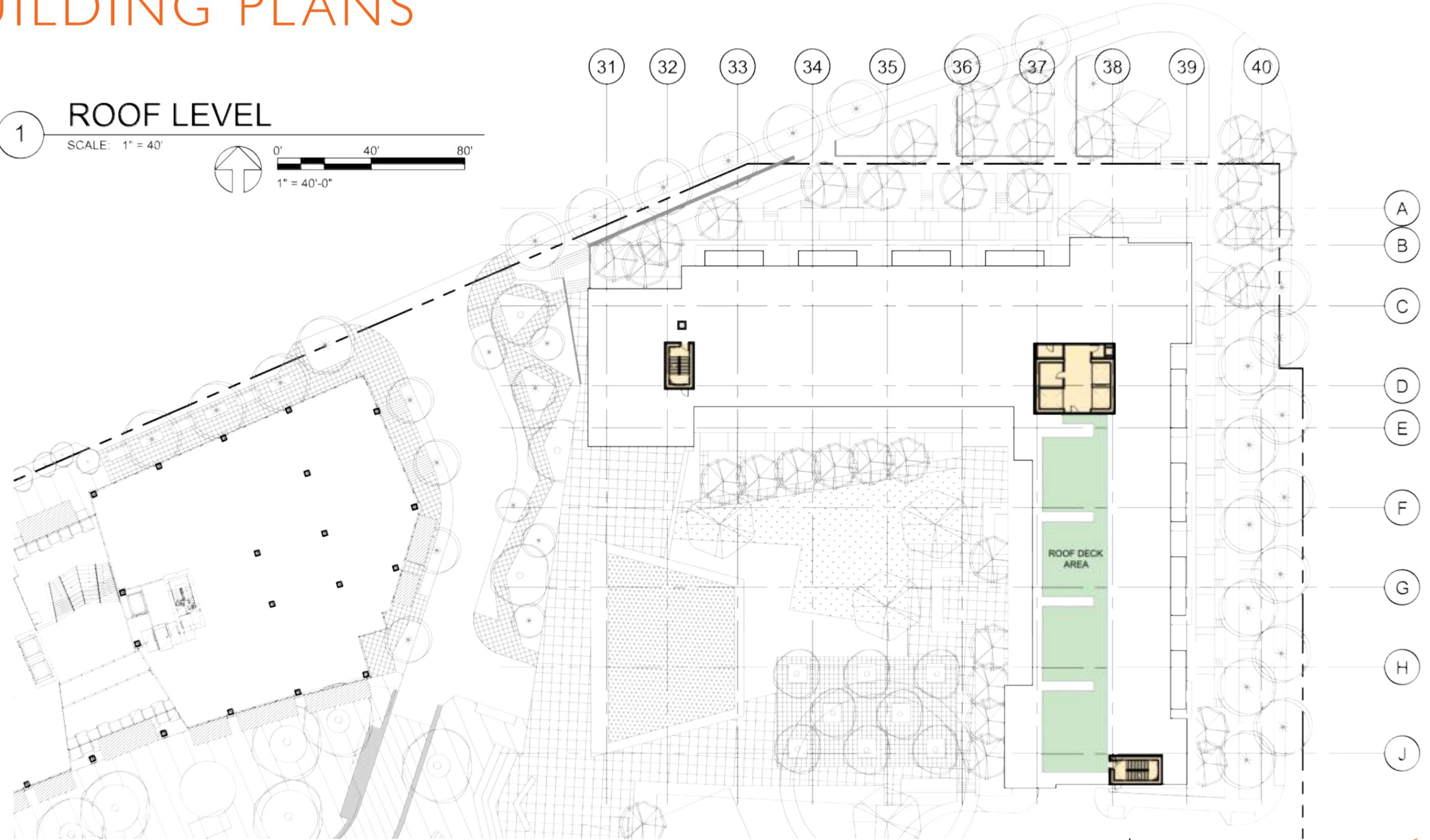
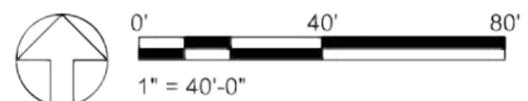
OCTOBER 5, 2015 | KIRKLAND PARKPLACE | TALON



DESIGN CONCEPT - BUILDING A

BUILDING PLANS

1 **ROOF LEVEL**
SCALE: 1" = 40'



TALON | KIRKLAND PARKPLACE | OCTOBER 5, 2015

EXTERIOR MATERIALS



A FIBER CEMENT PANEL



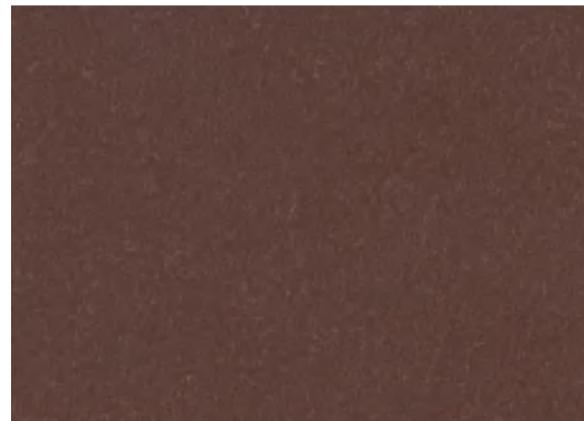
B FIBER CEMENT PANEL



C FIBER CEMENT PANEL



D HIGH-PRESSURE LAMINATE PANEL



E FIBER CEMENT PANEL



F BRICK

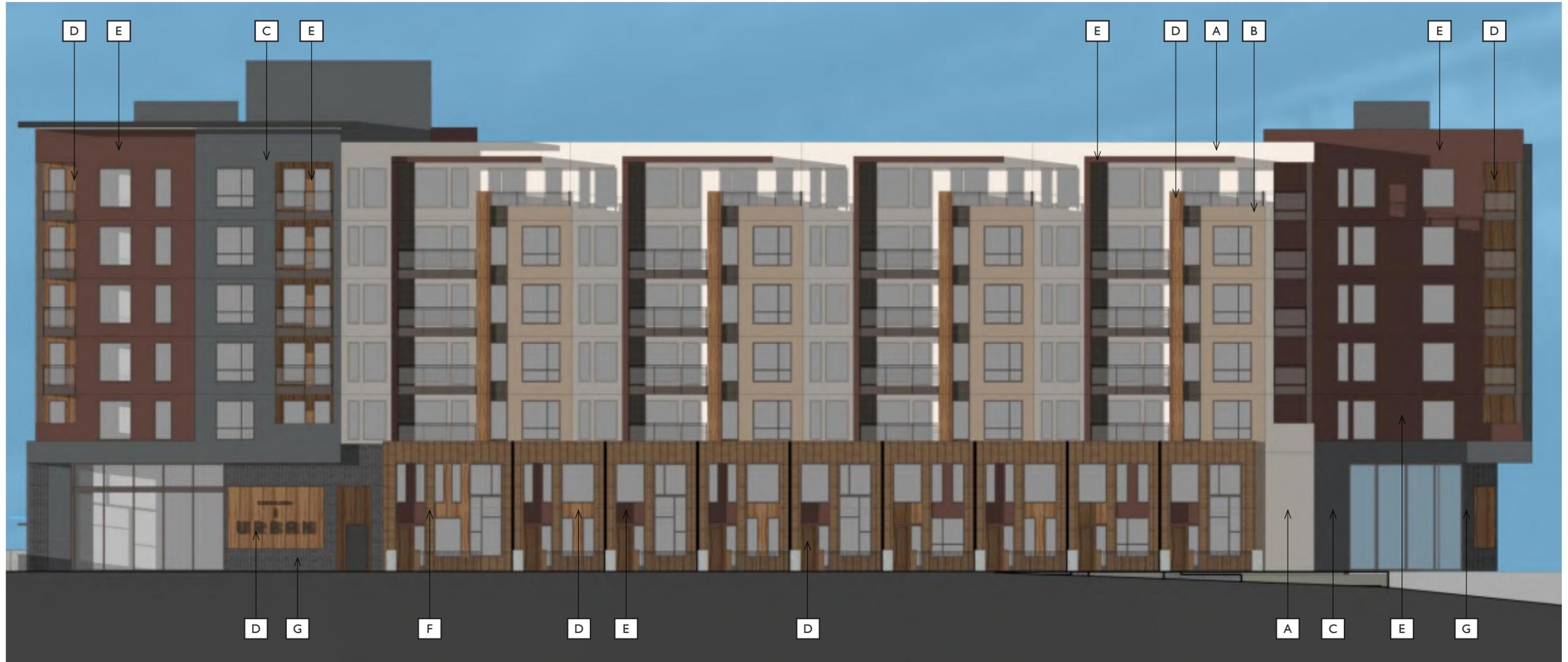
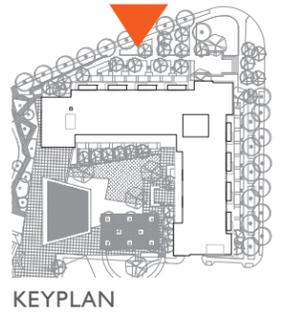


G BRICK

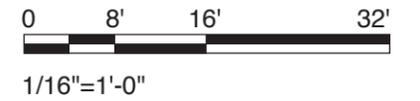
OCTOBER 5, 2015 | KIRKLAND PARKPLACE | TALON

DESIGN CONCEPT - BUILDING A BUILDING EXTERIOR DESIGN

NORTH ELEVATION



TALON | KIRKLAND PARKPLACE | OCTOBER 5, 2015



KIRKLAND URBAN

10.05.15 | 15-017 | 14

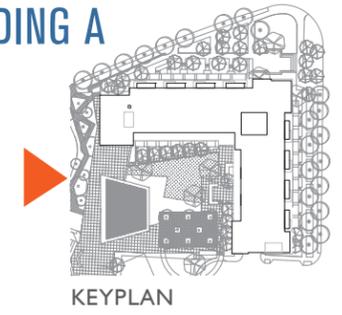
WEBER THOMPSON



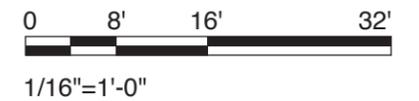
BUILDING EXTERIOR DESIGN

WEST ELEVATION

DESIGN CONCEPT - BUILDING A



OCTOBER 5, 2015 | KIRKLAND PARKPLACE | TALON



KIRKLAND URBAN

10.05.15 | 15-017 | 15

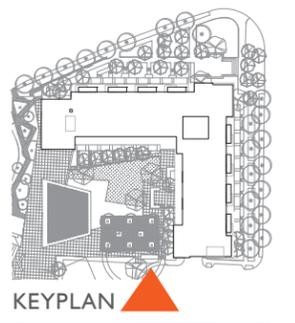
WEBER THOMPSON



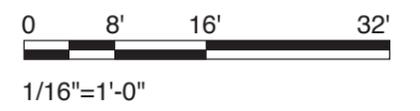
DESIGN CONCEPT - BUILDING A

BUILDING EXTERIOR DESIGN

SOUTH ELEVATION



TALON | KIRKLAND PARKPLACE | OCTOBER 5, 2015



KIRKLAND URBAN
10.05.15 | 15-017 | 16

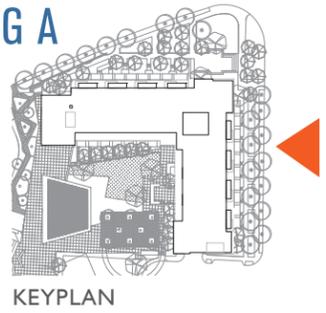
WEBER THOMPSON



BUILDING EXTERIOR DESIGN

EAST ELEVATION

DESIGN CONCEPT - BUILDING A



OCTOBER 5, 2015 | KIRKLAND PARKPLACE | TALON



DESIGN CONCEPT - BUILDING F

Design Review Board Direction at Design Response Conference (8/17/2015)

DESIGN REVIEW BOARD DIRECTION

- Generally approved of direction presented
- Approved of massing and articulation
- More detail and refinement of materials needed for the next meeting

Response:

- Preliminary material selections have been included for the office tower as well as the retail at levels one and two
- Final retail storefront design will involve individual retailers, but the framework is formulated with the provision for a variety of materials to be used at the opaque portions of the exterior wall
- Several areas of Building F are still under development
 - Escalator canopy
 - Retail Building F1
 - Feature wall at south facade adjacent to Grocery
 - Grocery storefront design

PERSPECTIVE FROM INITIAL DESIGN REVIEW CONFERENCE (AUGUST 17, 2015)



PERSPECTIVE FROM INITIAL DESIGN REVIEW CONFERENCE (AUGUST 17, 2015)



PERSPECTIVE FROM INITIAL DESIGN REVIEW CONFERENCE (AUGUST 17, 2015)



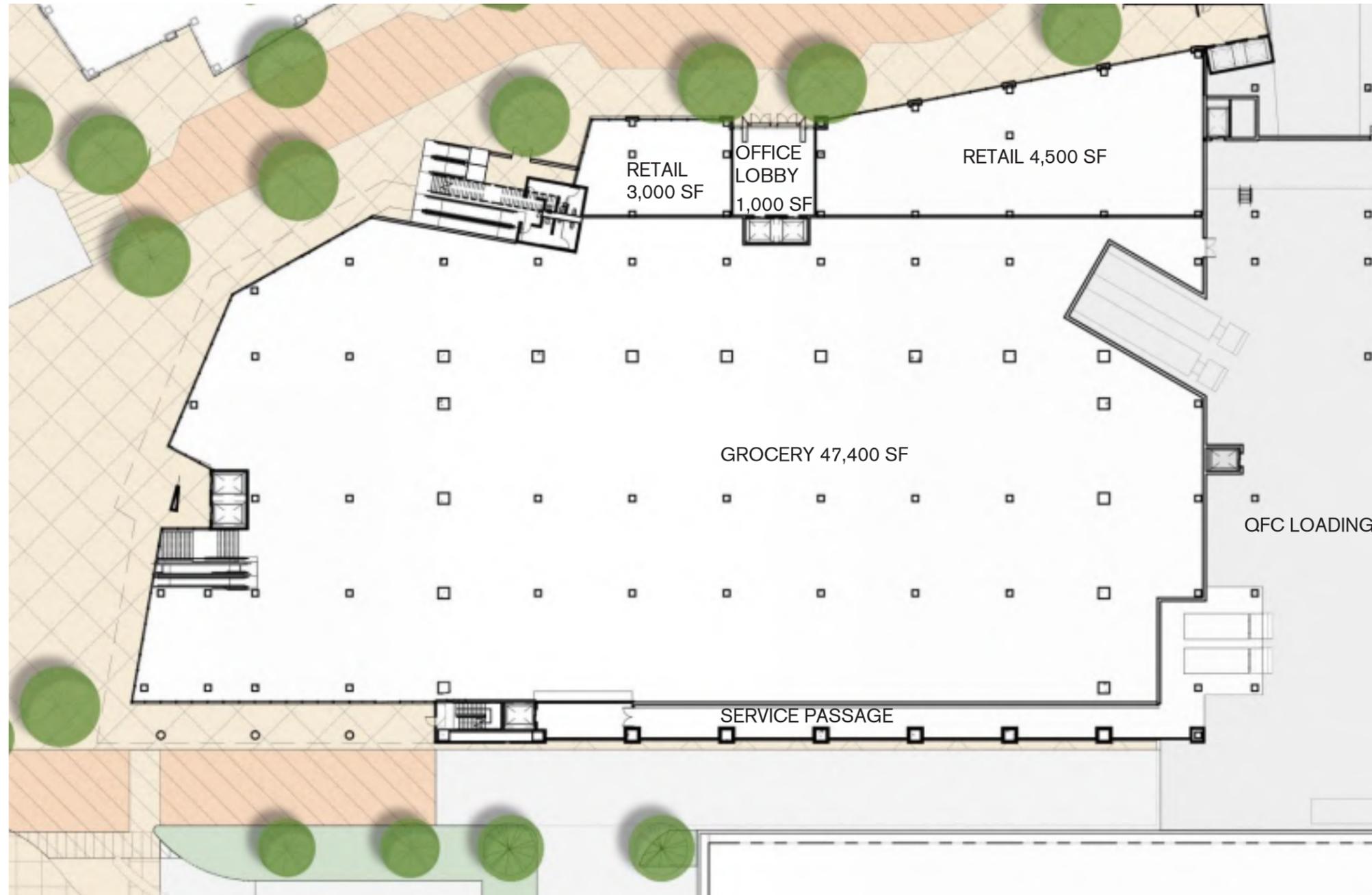
PERSPECTIVE FROM SOUTH PARKING LOT TOWARD BUILDING F



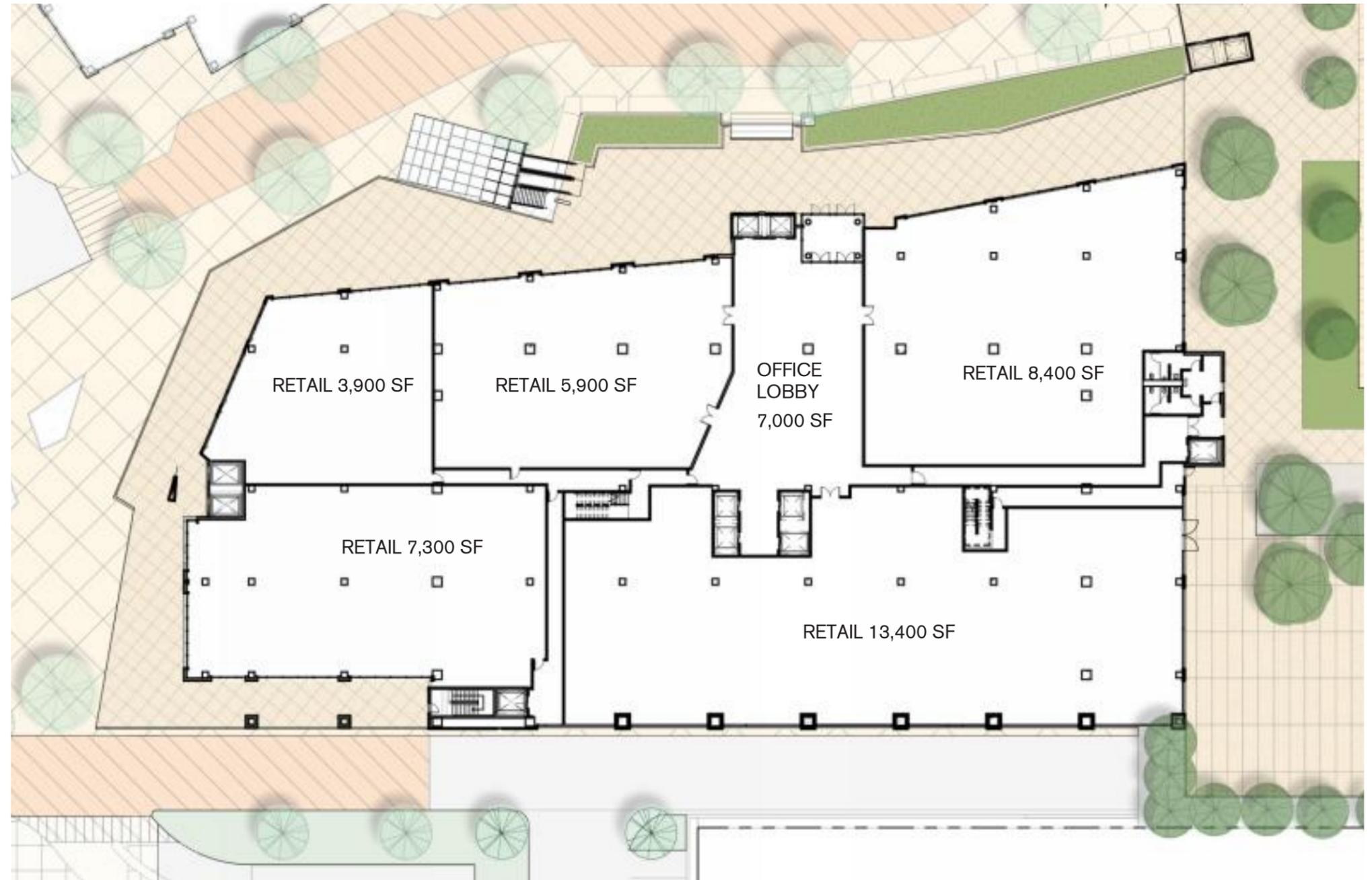
DESIGN CONCEPT - BUILDING F

Floor Plans

LEVEL 1 (PARK LEVEL)



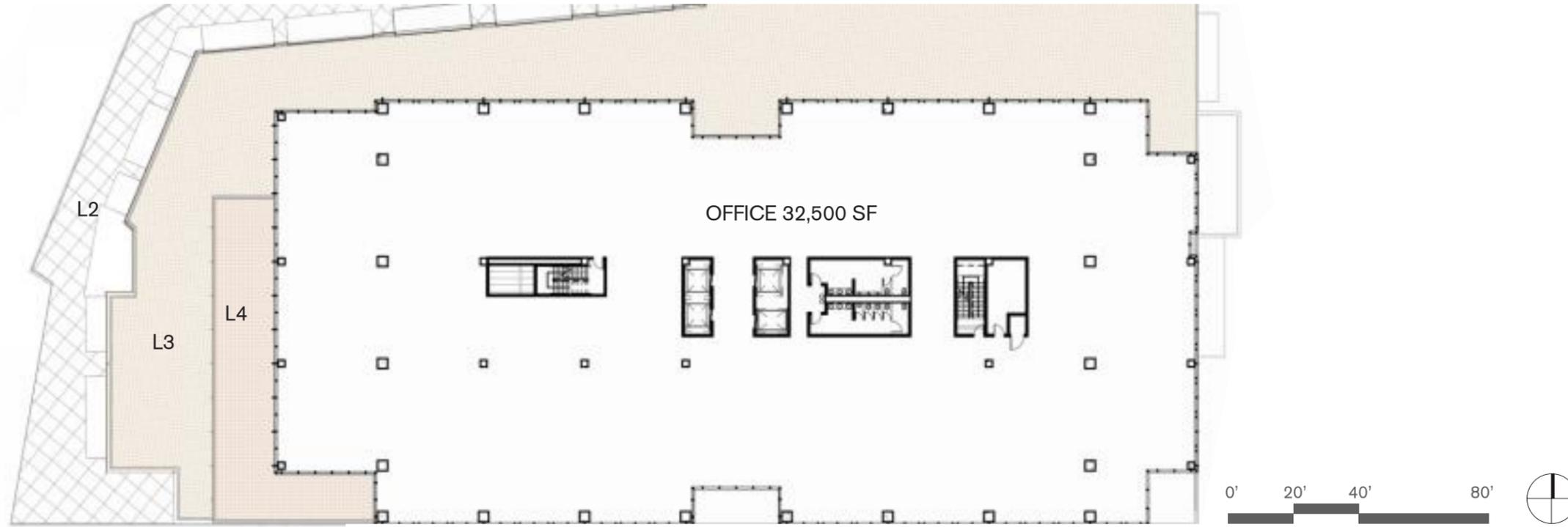
LEVEL 2 (PLAZA LEVEL)



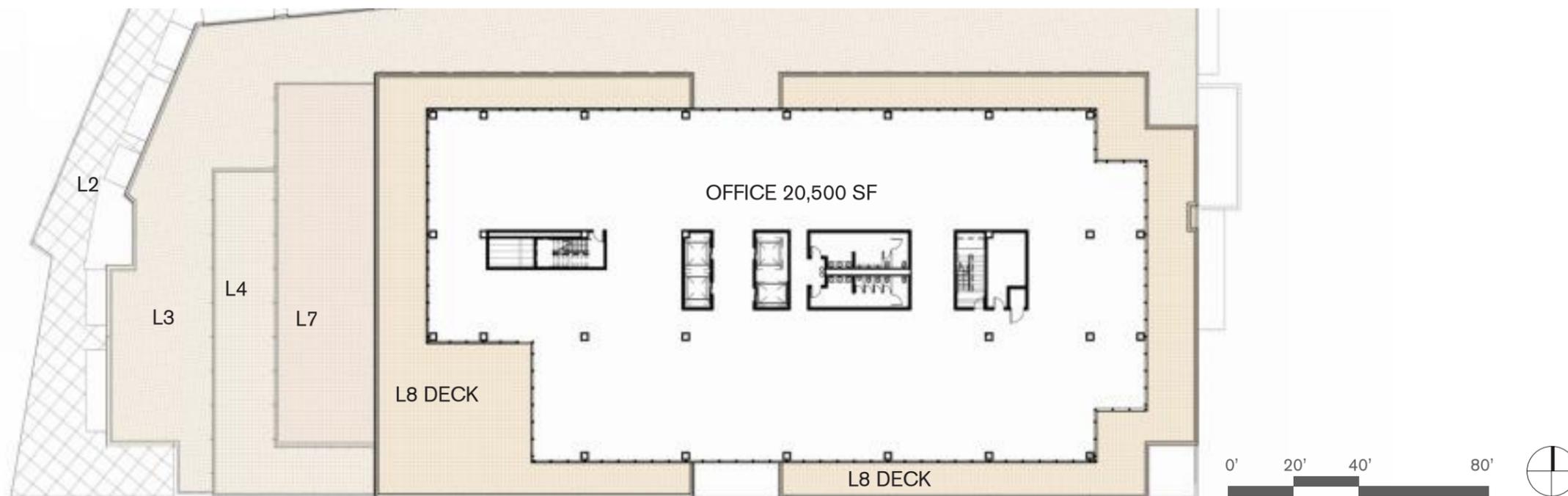
DESIGN CONCEPT - BUILDING F

Floor Plans

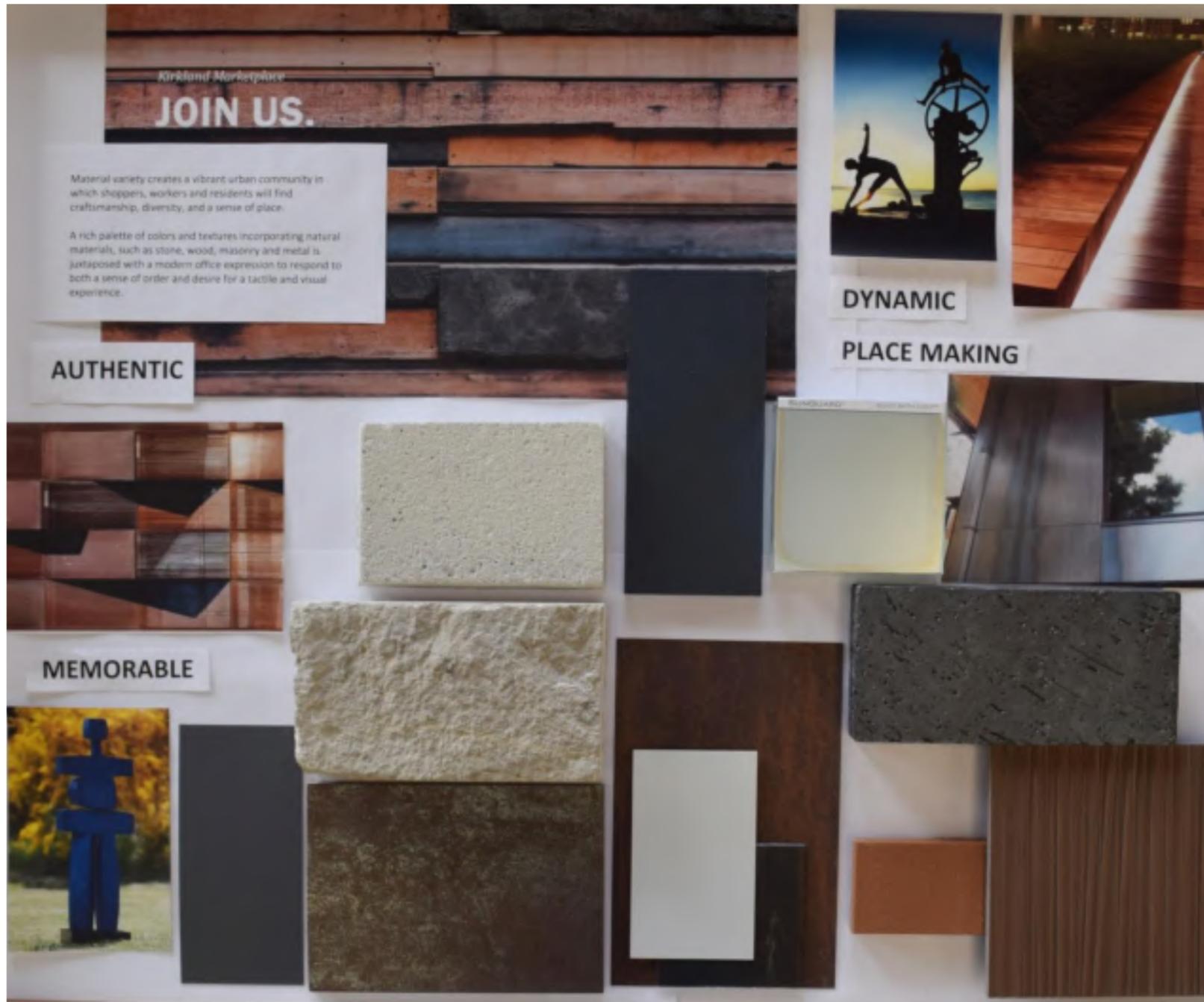
UPPER LEVEL - TYPICAL



LEVEL 8



BUILDINGS E AND F COLOR AND MATERIALS



Introduction

The materials for Buildings E and F represent a preliminary color and material palette to be used as a guideline throughout the project. Specific retail tenant requirements will likely incorporate additional materials to be reviewed by the project team.

Project Goal:

“To create and develop a vibrant gathering place for Kirkland residents, innovative office users and retailers that encompasses Kirkland’s unique attributes, takes advantage of the site’s location, and provides retail that will draw office users, the public, and permanent residents.”

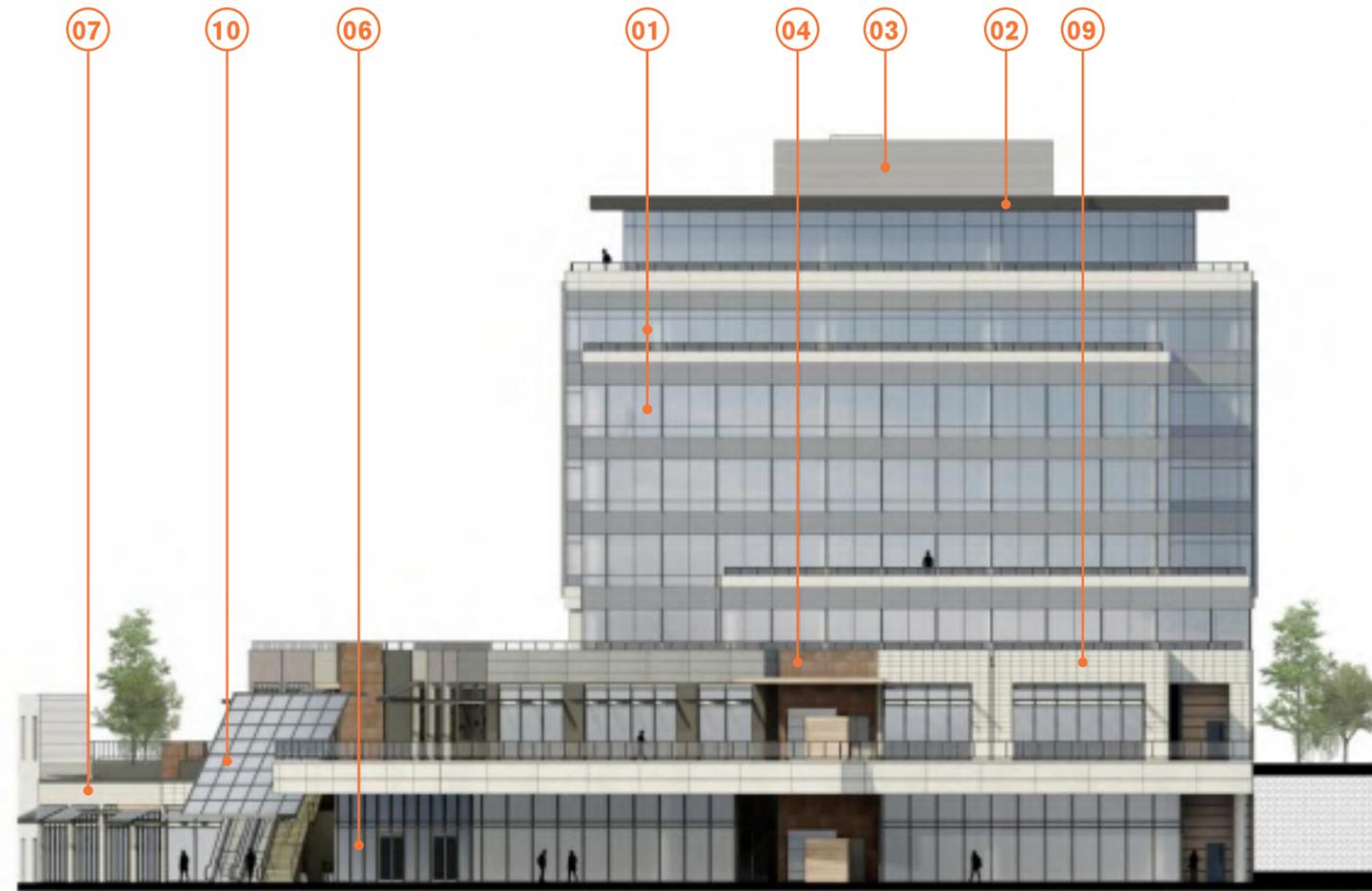
Material variety

A variety of materials will be used to create a vibrant urban community where shoppers, workers and residents will find craftsmanship, diversity, and a sense of place. Materials such as stone, wood, masonry, precast concrete and metal are juxtaposed with a modern glass expression to accommodate the need for flexible office space and the desire for a tactile and visual experience. The material palette reflects the casual, accepting nature of Kirkland while embracing its vitality and forward thinking future.

DESIGN CONCEPT - BUILDING F

Elevations

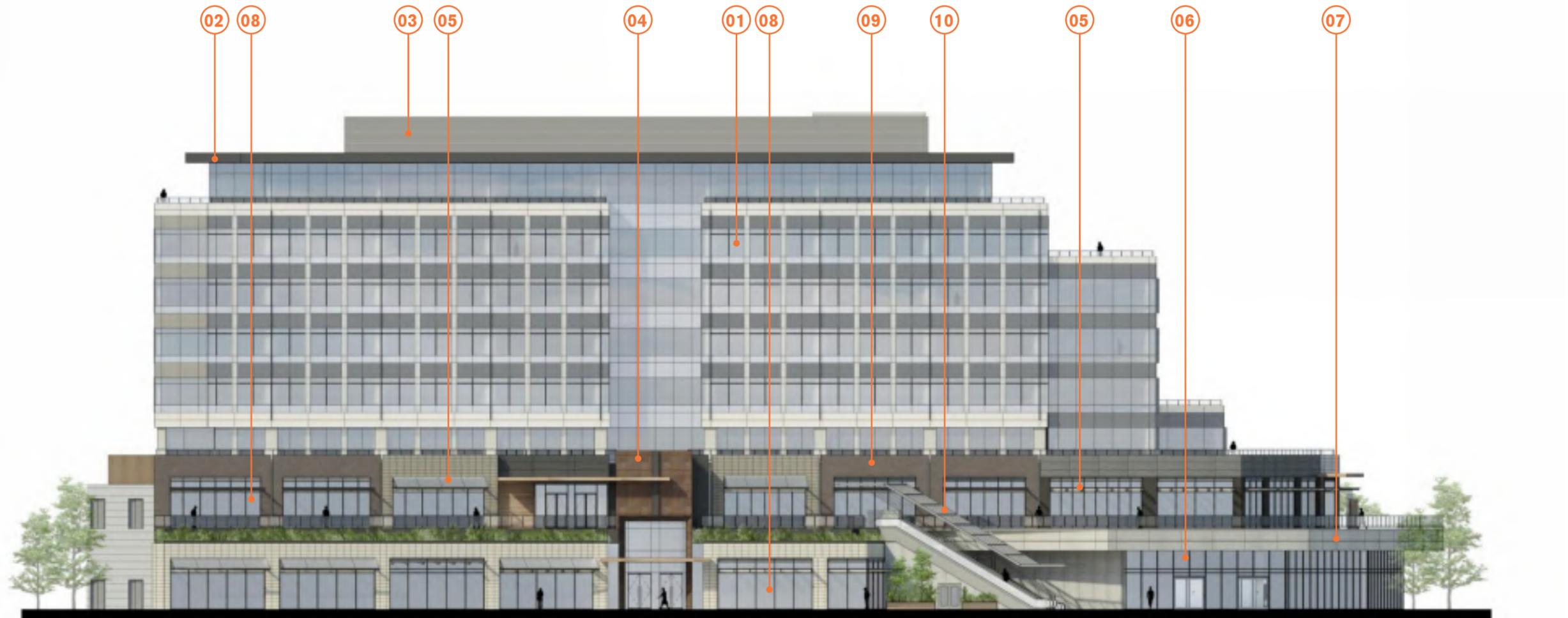
WEST ELEVATION



LEGEND

- | | | |
|---------------------------------------|------------------------------|---|
| 01 UNITIZED CURTAIN WALL | 05 CANOPIES | 09 L2 RETAIL BRICK, STONE, PRECAST, METAL PANEL |
| 02 METAL PANEL EYEBROW | 06 GROCERY STOREFRONT | 10 GLASS COVER @ ESCALATOR (TO BE DETERMINED) |
| 03 PROFILE METAL PANELS @ ROOF SCREEN | 07 L1 RETAIL STONE, PRECAST | |
| 04 METAL PANELS OR RAINSCREEN | 08 RETAIL STOREFRONT GLAZING | |

NORTH ELEVATION



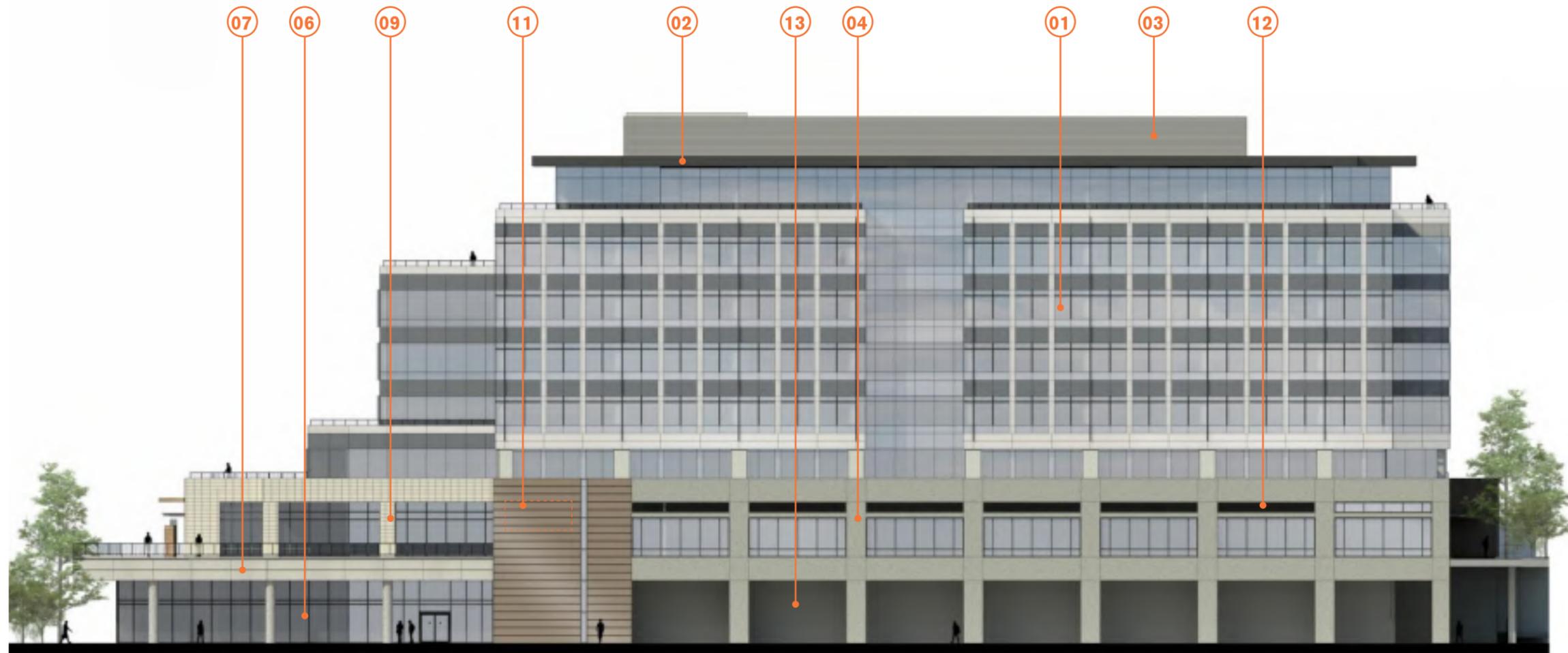
LEGEND

- | | | |
|---------------------------------------|-------------------------------|---|
| 01 UNITIZED CURTAIN WALL | 05 CANOPIES | 09 L2 RETAIL BRICK, STONE, PRECAST, METAL PANEL |
| 02 METAL PANEL EYEBROW | 06 GROCERY STOREFRONT | 10 GLASS COVER @ ESCALATOR (TO BE DETERMINED) |
| 03 PROFILE METAL PANELS @ ROOF SCREEN | 07 L1 RETAIL MASONRY, PRECAST | |
| 04 METAL PANELS OR RAINSCREEN | 08 RETAIL STOREFRONT GLAZING | |

DESIGN CONCEPT - BUILDING F

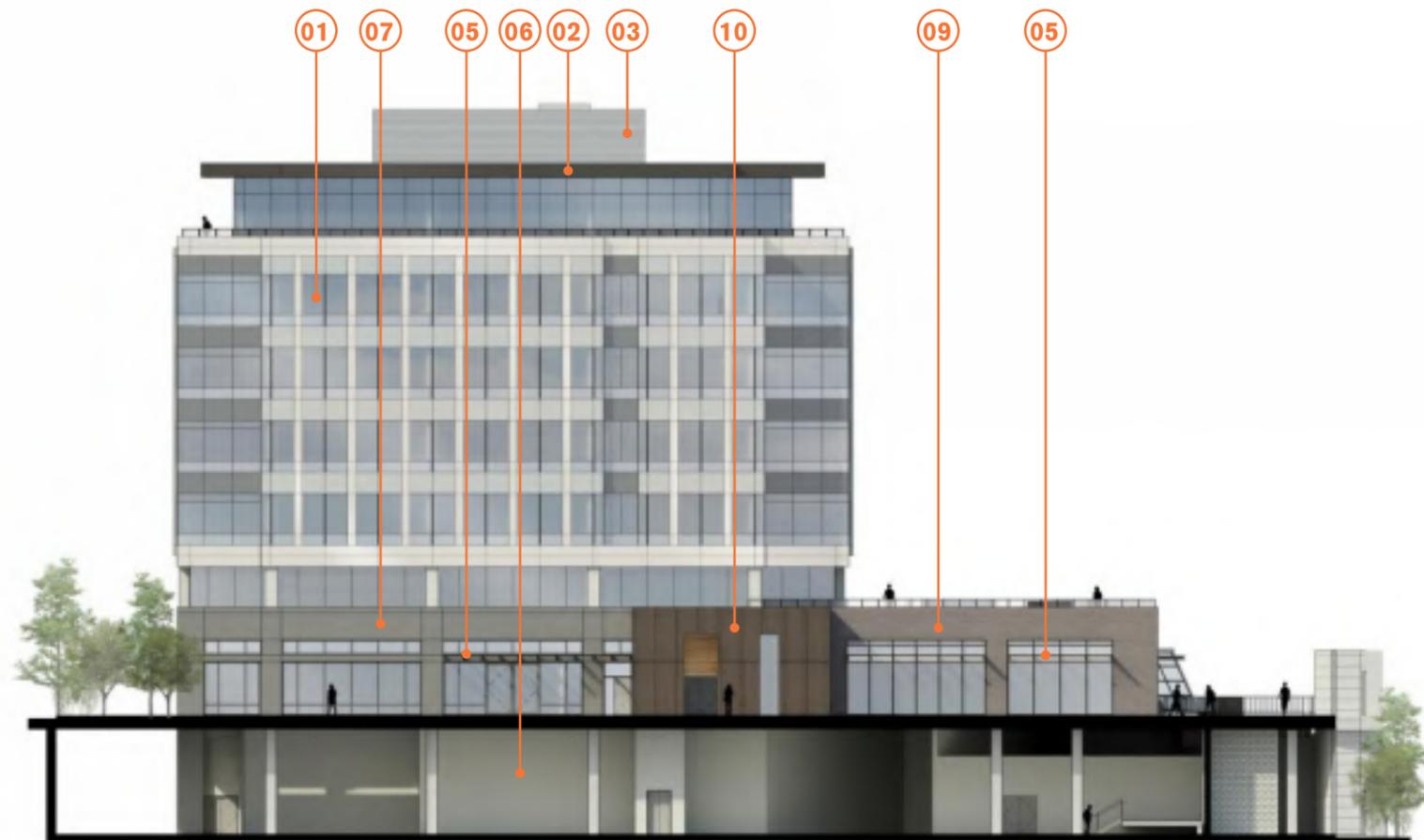
Elevations

SOUTH ELEVATION



LEGEND

- | | | | |
|---------------------------------------|------------------------------|---|---------------------------|
| 01 UNITIZED CURTAIN WALL | 05 CANOPIES | 09 L2 RETAIL BRICK, STONE, PRECAST, METAL PANEL | 13 TEXTURED CMU / PLASTER |
| 02 METAL PANEL EYEBROW | 06 QFC STOREFRONT | 10 GLASS COVER @ ESCALATOR | |
| 03 PROFILE METAL PANELS @ ROOF SCREEN | 07 PRECAST | 11 FEATURE WALL / POSSIBLE SIGNAGE LOCATION | |
| 04 METAL PANELS OR RAINSCREEN | 08 RETAIL STOREFRONT GLAZING | 12 LOUVER BAND | |



LEGEND

- | | | |
|---------------------------------------|------------------------------|---|
| 01 UNITIZED CURTAIN WALL | 05 CANOPIES | 09 L2 RETAIL BRICK, STONE, PRECAST, METAL PANEL |
| 02 METAL PANEL EYEBROW | 06 QFC LOADING | 10 TEXTURED RAINSCREEN |
| 03 PROFILE METAL PANELS @ ROOF SCREEN | 07 PRECAST | |
| 04 METAL PANELS OR RAINSCREEN | 08 RETAIL STOREFRONT GLAZING | |

DESIGN CONCEPT - BUILDING F

Enlarged Elevations

DETAIL ELEVATION WEST FACADE



Scale: 1/16" = 1'-0"





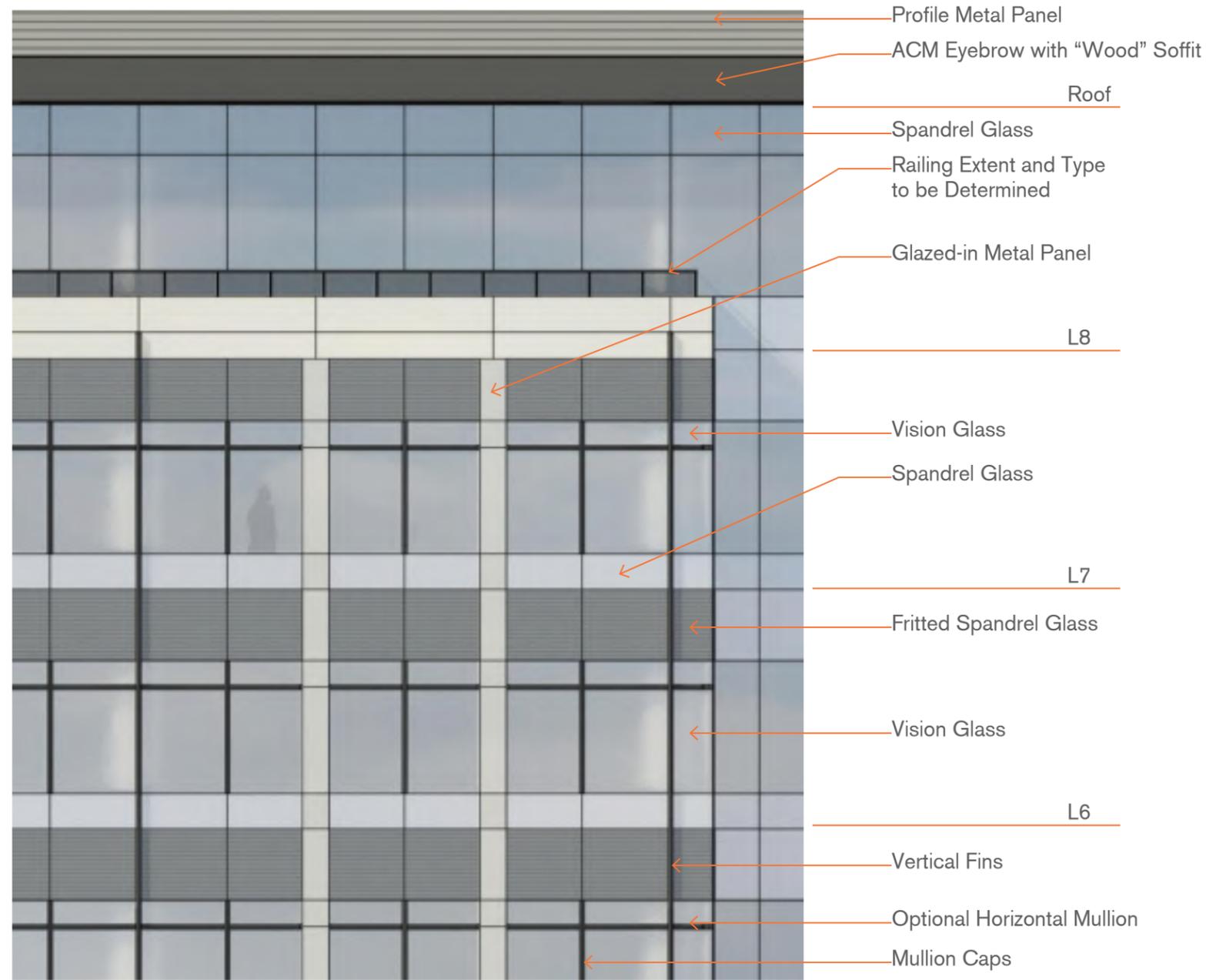
DETAIL ELEVATION NORTH FACADE



DESIGN CONCEPT - BUILDING F

Enlarged Elevations

DETAIL ELEVATION NORTH FACADE



ACM / Profile Metal Panel



"Wood" Soffit

Glazed-in Metal Panel



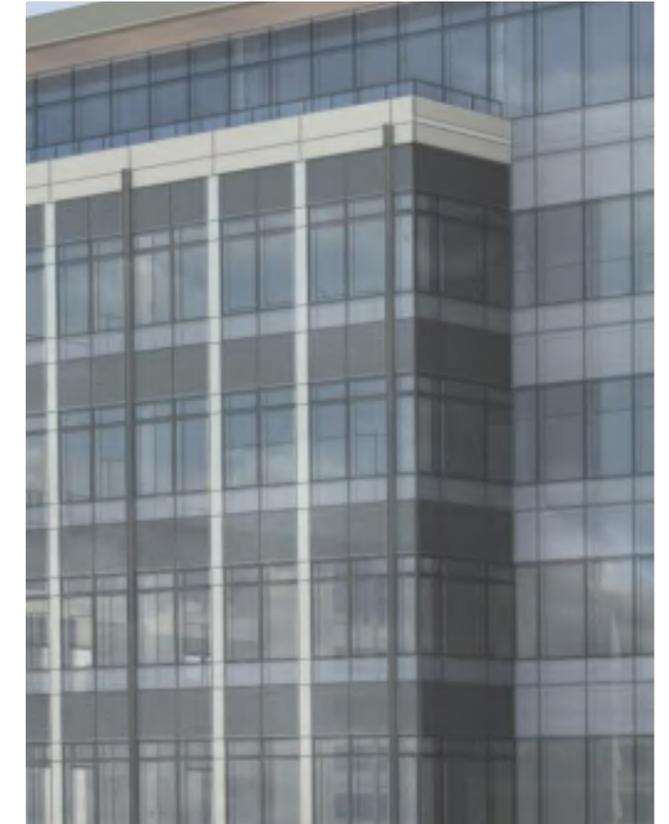
Vision Glass



Fritted Spandrel Glass



Spandrel Glass

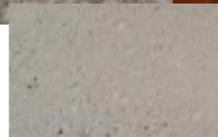


DETAIL ELEVATION NORTH FACADE

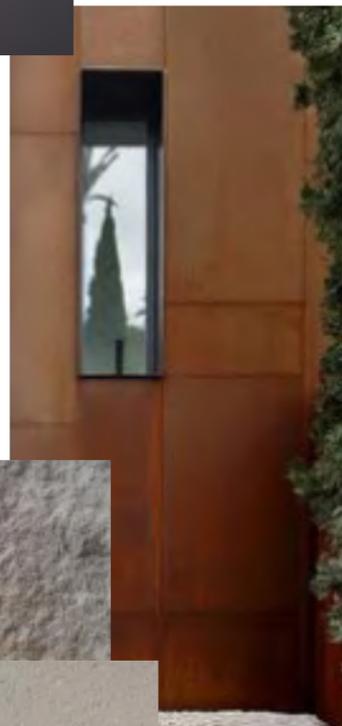
ACM / Profile Metal Panel



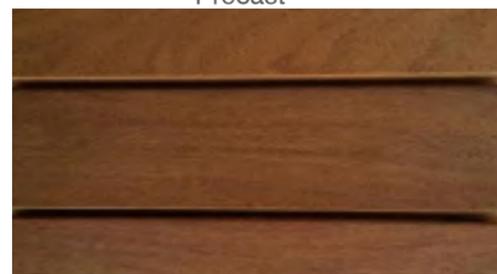
Stone



Precast



Corten



Wood Rainscreen

- L4
- Corten
- ACM Metal Panel
- ACM Column Covers
- Solid Canopy with Wood Soffit
- L3
- Stone / Rainscreen
- Canopy / Storefront per Tenant
- L2 Office Entry
- Wood Rainscreen
- Cement Composite Rainscreen
- L2
- Planter
- Stone or Precast
- Solid Canopy with Wood Soffit
- Canopy / Storefront per Tenant
- L1



Scale: 1/8" = 1'-0"

DESIGN CONCEPT - BUILDING F

Enlarged Elevations

DETAIL ELEVATION NORTH FACADE



Brick

Stone / Precast



Scale: 1/8" = 1'-0"

DETAIL ELEVATION NORTH FACADE



Metal Panel



Brick



Precast



Stone



Textured Rain Screen Panels

Metal Panel
Brick
Stone or Rainscreen

Precast
Stone / Precast
Textured Rainscreen
or Potential Artwall
Textured Rainscreen



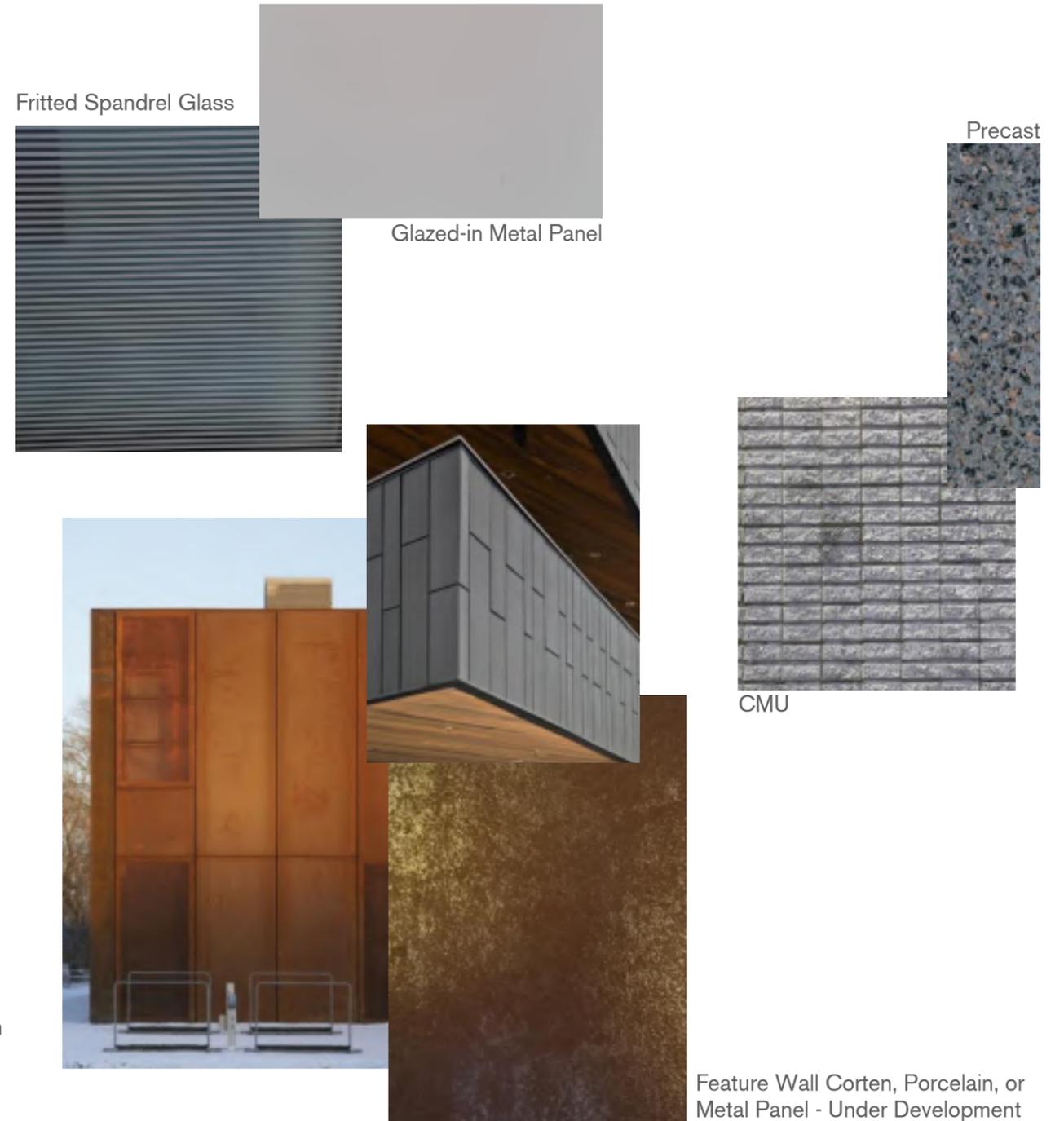
Stair, Escalators and Canopy
Under Development

Scale: 1/8" = 1'-0"

DESIGN CONCEPT - BUILDING F

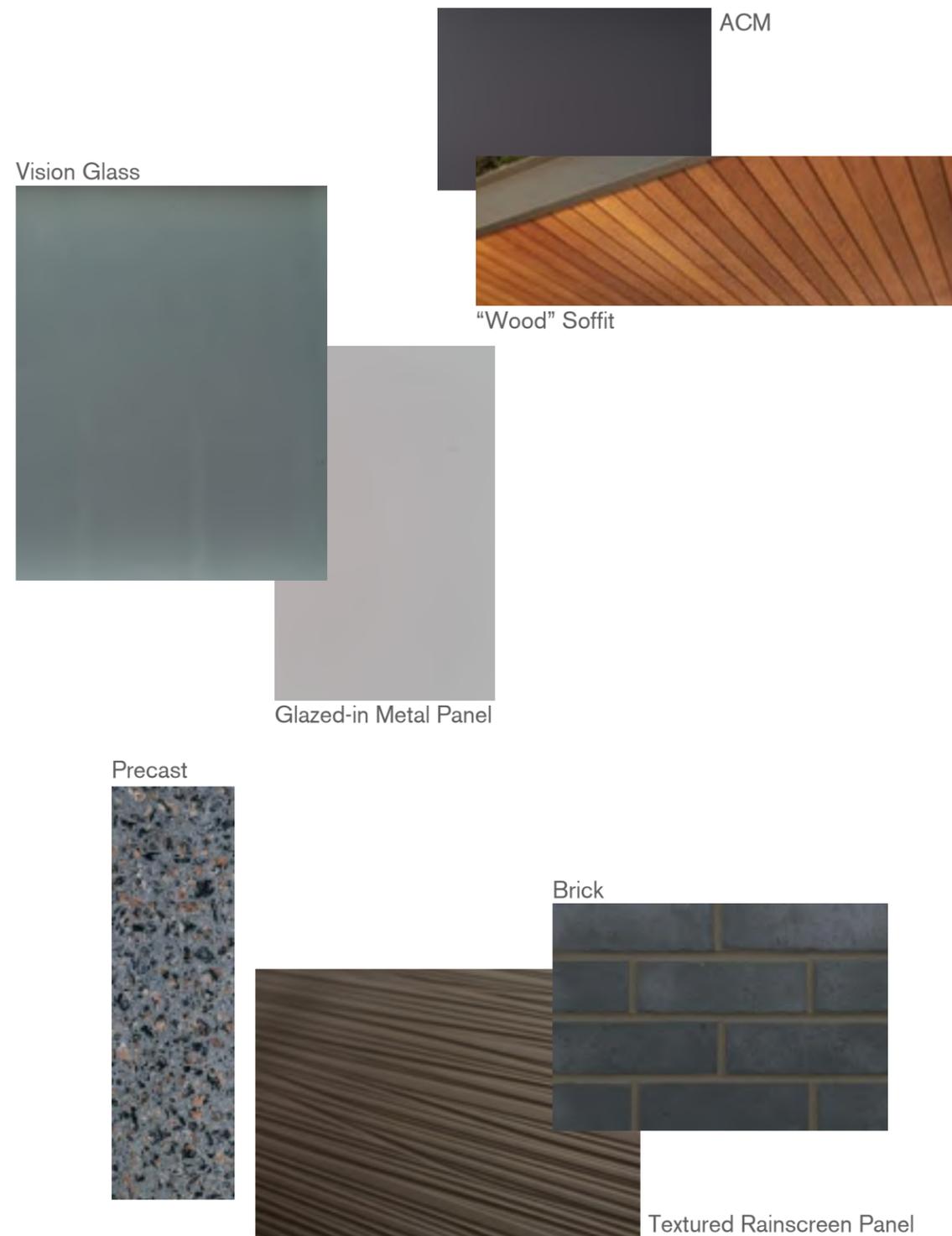
Enlarged Elevations

DETAIL ELEVATION SOUTH FACADE



Scale: 1/16" = 1'-0"

DETAIL ELEVATION EAST FACADE



Scale: 1/16" = 1'-0"

DESIGN CONCEPT - BUILDING F

Perspectives

SOUTHWEST PERSPECTIVE



NORTHWEST PERSPECTIVE



DESIGN CONCEPT - BUILDING F

Perspectives

SOUTHEAST PERSPECTIVE



NORTHEAST PERSPECTIVE



DESIGN CONCEPT - BUILDING F

Detail Perspectives

LEVEL ONE AND LEVEL TWO RETAIL @ OFFICE ENTRIES



DETAIL PERSPECTIVE OF NORTHWEST CORNER. LEVELS 4-8



DESIGN CONCEPT - BUILDING E

Design Review Board Direction at Design Response Conference (8/17/2015)

DESIGN REVIEW BOARD DIRECTION

A. CURVED FACADE AT SOUTH ELEVATION

Explore ways to break down the scale and/or provide more detail

- Appears too long and unbroken
- Investigate elements to provide a visual cue to denote the building entry
- Overhangs appear to reinforce length

Response:

- The curved facade has been shortened by 10 feet on each end, resulting in a 20 foot shorter element. A notch has been added to the facade, aligning with the building entry. This break in the facade divides the elevation into two unequal segments and provides a visual clue to mark the entry to the building central space.
- In addition, vertical fins have been added at the column lines and the horizontal sunshade is split into two or three segments that are approximately 12 inches deep. Both elements provide shade and shadow to the facade and break up the elevation into smaller components while allowing the strong gesture of the curved wall to read through.

B. CENTRAL WAY FACADE

- Western portion of the facade appears long
- Punched opening facade needs refinement
 - Interface with base needs to be stronger
 - North west corner of tower – brick return needs to be refined
- Overall facade needs refinement and additional detail
- Explore ways to break down scale further
- Provide additional detail at the base of the building

Response:

- The west portion of the Central Way facade is now broken into multiple sections to reduce the apparent length and better define the base from the upper stories.
- The punched opening expression has been eliminated and replaced with a window wall and rain screen expression that is contained within a perimeter frame of precast concrete (or cement composite rain screen).
- Vertical fins at 15 feet on center break up the facade and decrease the apparent length.

- The base below this portion of the facade consists of pilasters with storefront infill.
- To the west of this element, a bay of the unitized curtain-wall facade from the upper levels is allowed to extend to grade, providing a visual break in the facade between the frame and pilaster element and the adjoining retail facade to the west.
- Additional detail has been added to the street level facade, including articulation of the bays with thickened verticals and the addition of a wood or wood look horizontal band, and a base treatment of stone or brick at the bottom of the retail storefront.
- The preferred material at the solid sections of the building base will be either stone or Taktl rainscreen.

C. BREEZEWAY

- The idea of enclosing the breezeway was presented to create an indoor-outdoor “great room”. The idea was generally well received with additional detail requested at future meeting.

Response:

- The enclosed breezeway concept is continuing to develop and will be presented at a future Design Response Conference.

PERSPECTIVE FROM INITIAL DESIGN REVIEW CONFERENCE (AUGUST 17, 2015)



PERSPECTIVE FROM INITIAL DESIGN REVIEW CONFERENCE (AUGUST 17, 2015)



PERSPECTIVE FROM CENTRAL WAY TOWARD BUILDING E



DESIGN CONCEPT - BUILDING E

Floor Plans

LEVEL 1 (PARK LEVEL)



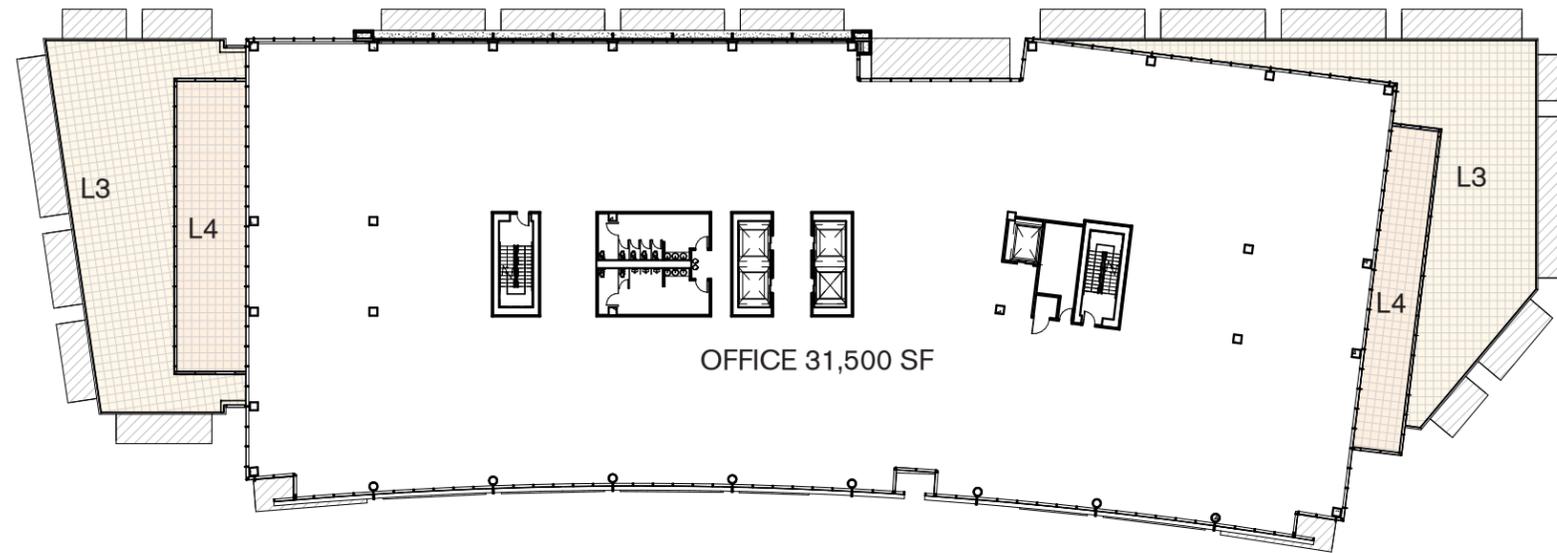
LEVEL 2 (PLAZA LEVEL)



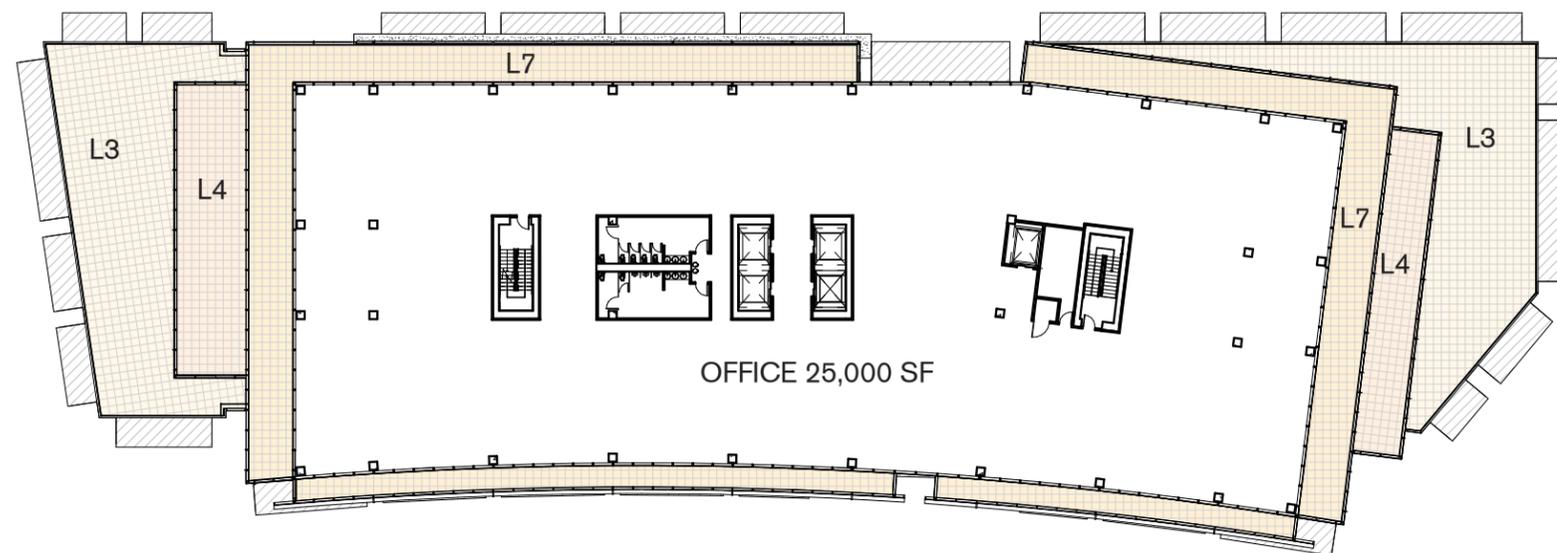
DESIGN CONCEPT - BUILDING E

Floor Plans

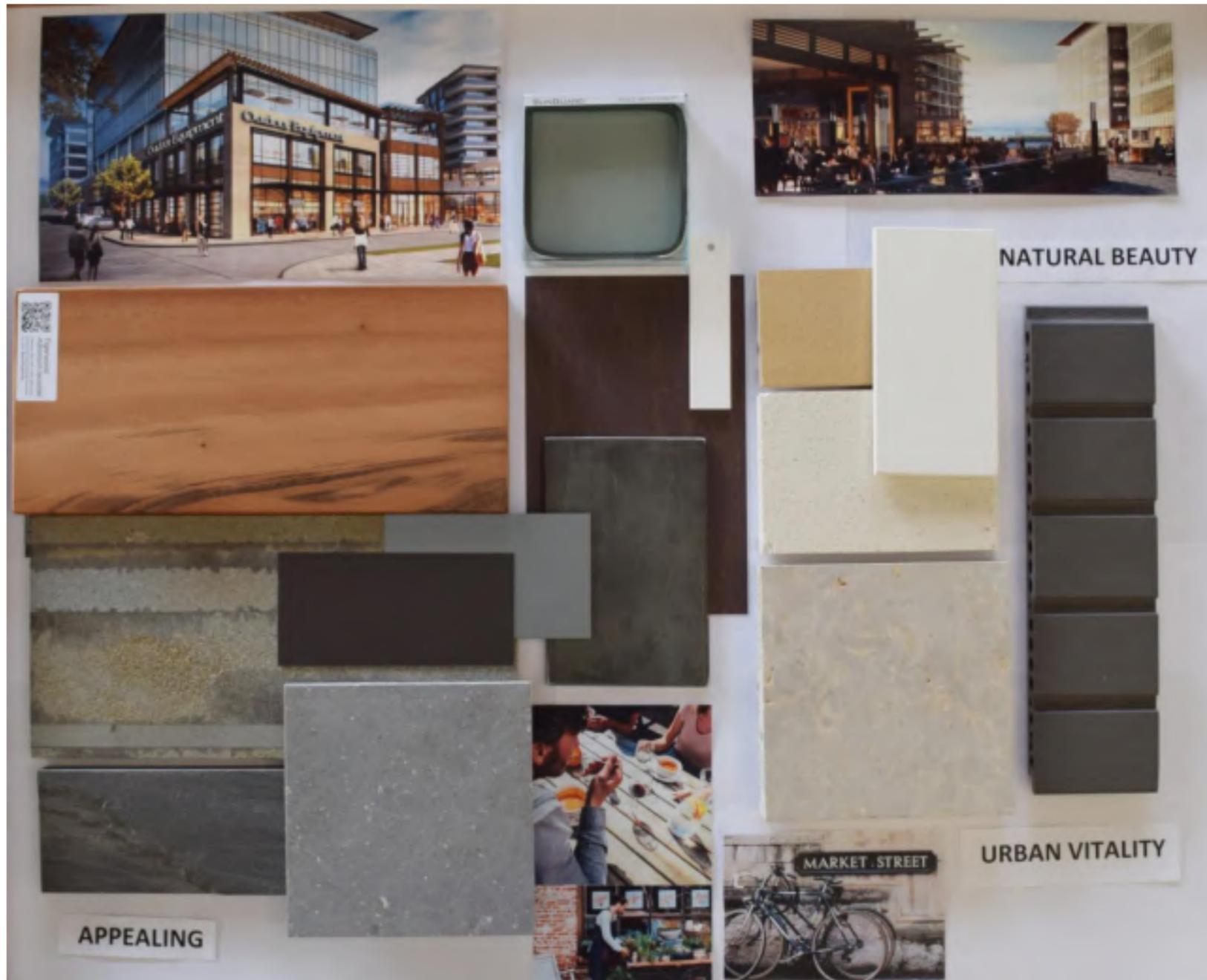
UPPER LEVEL - TYPICAL



LEVEL 7



BUILDINGS E AND F COLOR AND MATERIALS



Introduction

The materials for Buildings E and F represent a preliminary color and material palette to be used as a guideline throughout the project. Specific retail tenant requirements will likely incorporate additional materials to be reviewed by the project team.

Project Goal:

“To create and develop a vibrant gathering place for Kirkland residents, innovative office users and retailers that encompasses Kirkland’s unique attributes, takes advantage of the site’s location, and provides retail that will draw office users, the public, and permanent residents.”

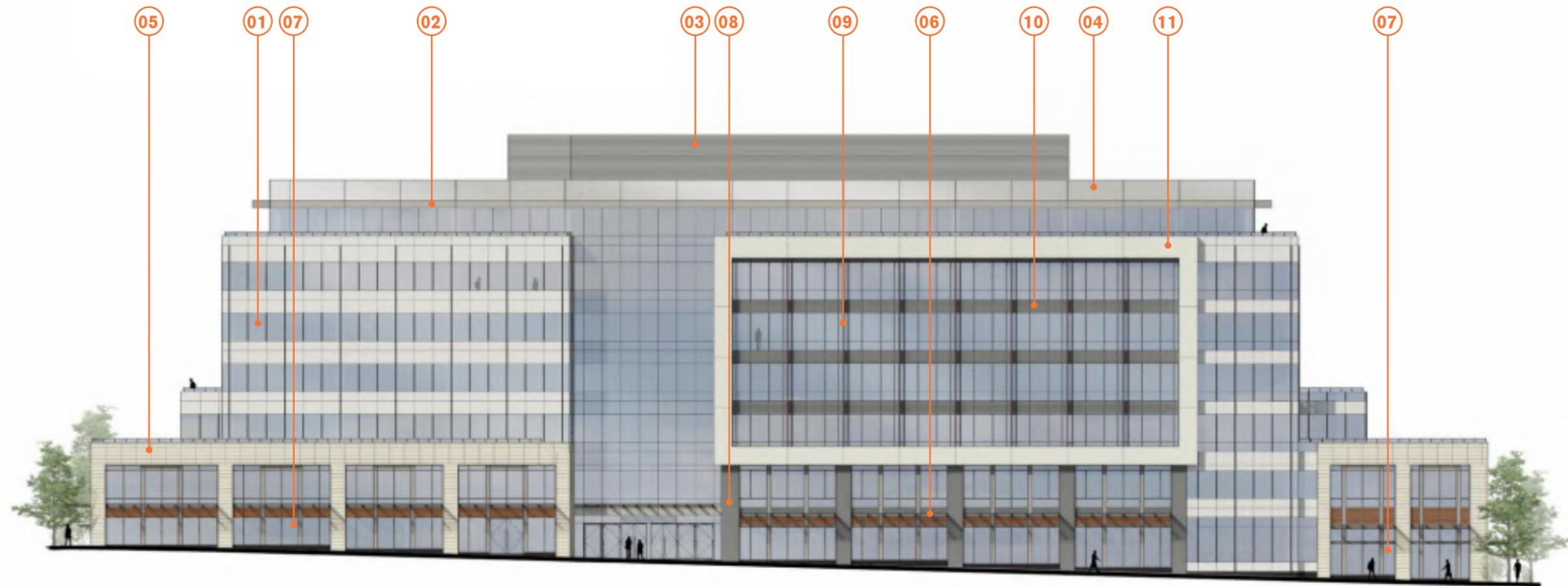
Material variety

A variety of materials will be used to create a vibrant urban community where shoppers, workers and residents will find craftsmanship, diversity, and a sense of place. Materials such as stone, wood, masonry, precast concrete and metal are juxtaposed with a modern glass expression to accommodate the need for flexible office space and the desire for a tactile and visual experience. The material palette reflects the casual, accepting nature of Kirkland while embracing its vitality and forward thinking future.

DESIGN CONCEPT - BUILDING E

Elevations

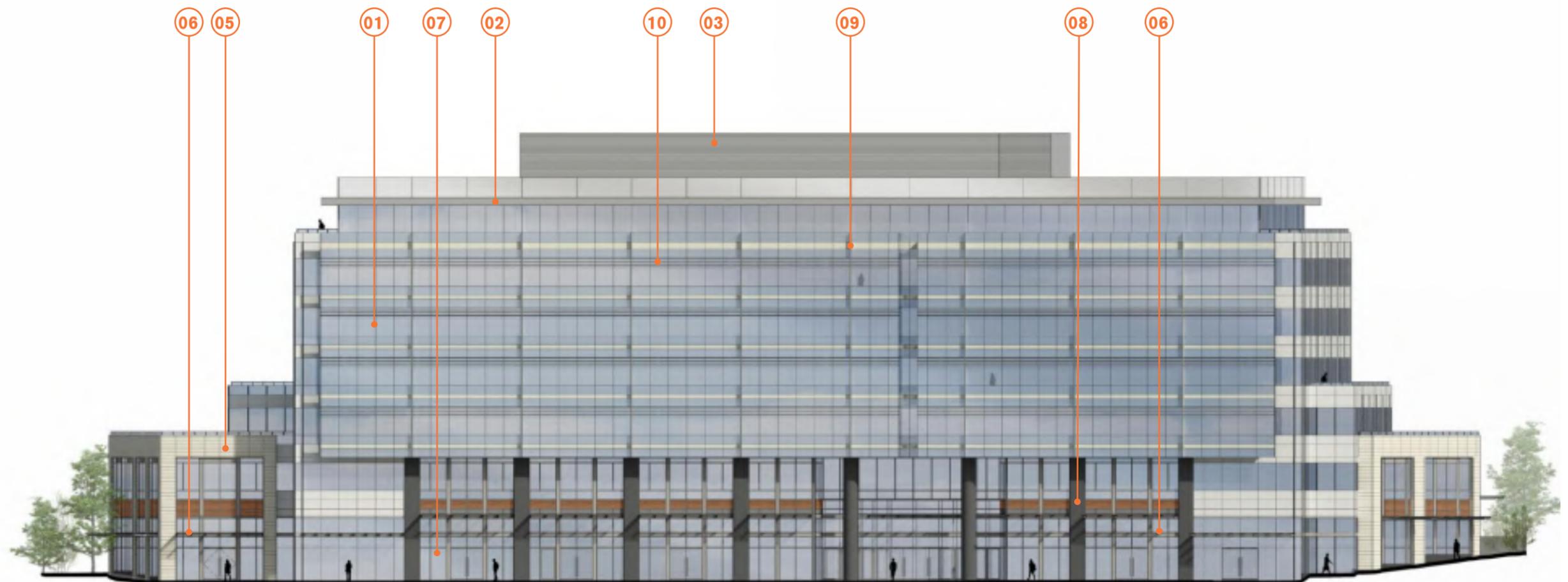
NORTH ELEVATION



LEGEND

- | | | | |
|---|--|---|--|
| 01 UNITIZED CURTAIN WALL | 04 METAL PANELS | 07 L1 RETAIL STOREFRONT | 10 RAINSCREEN |
| 02 METAL PANEL EYEBROW | 05 STONE OR TAKTL RAINSCREEN PANELS | 08 PRECAST OR METAL COLUMN COVER | 11 PRECAST OR RAINSCREEN CLADDING |
| 03 PROFILE METAL PANELS AT ROOF SCREEN | 06 METAL OR METAL & GLASS CANOPIES | 09 VERTICAL FINIS | |

SOUTH ELEVATION



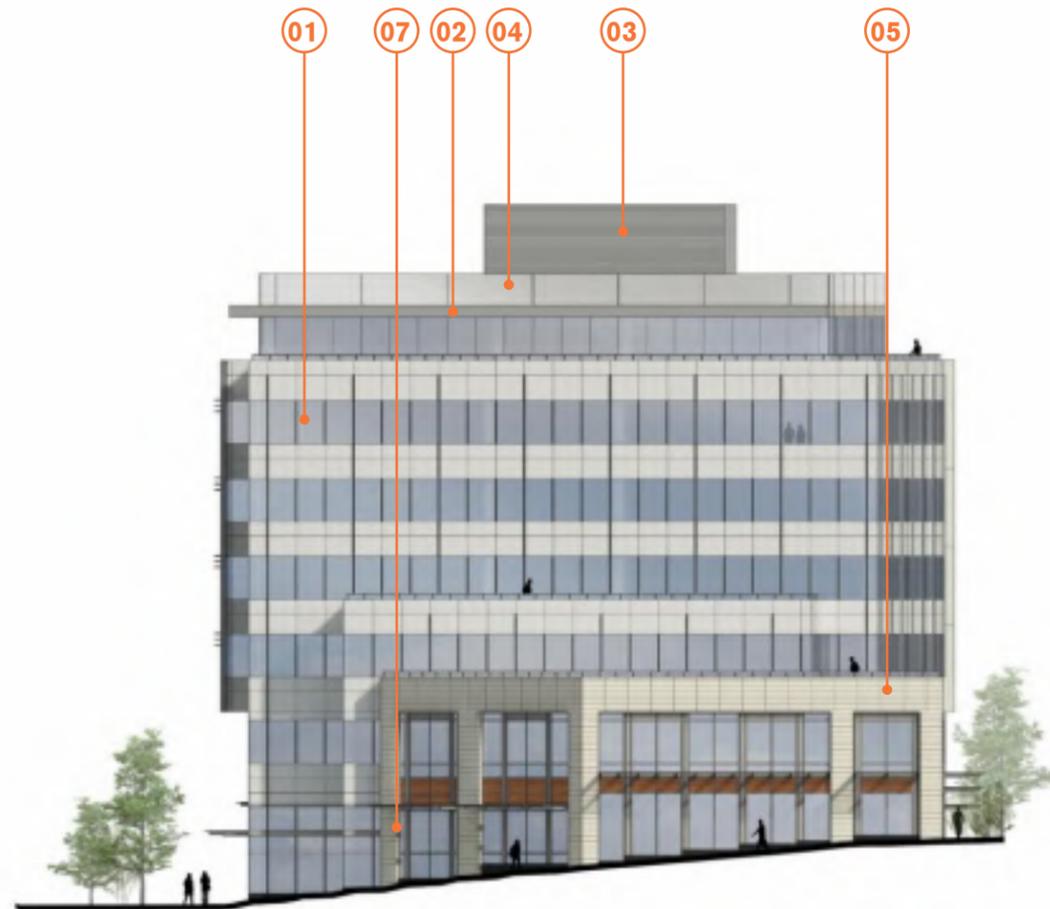
LEGEND

- | | | | |
|---------------------------------------|------------------------------------|-----------------------------------|---------------|
| 01 UNITIZED CURTAIN WALL | 04 METAL PANEL | 07 L1 RETAIL STOREFRONT | 10 SUN SHADES |
| 02 METAL PANEL EYEBROW | 05 STONE | 08 PRECAST OR METAL COLUMN COVERS | |
| 03 PROFILE METAL PANELS @ ROOF SCREEN | 06 METAL OR METAL & GLASS CANOPIES | 09 VERTICAL FINIS | |

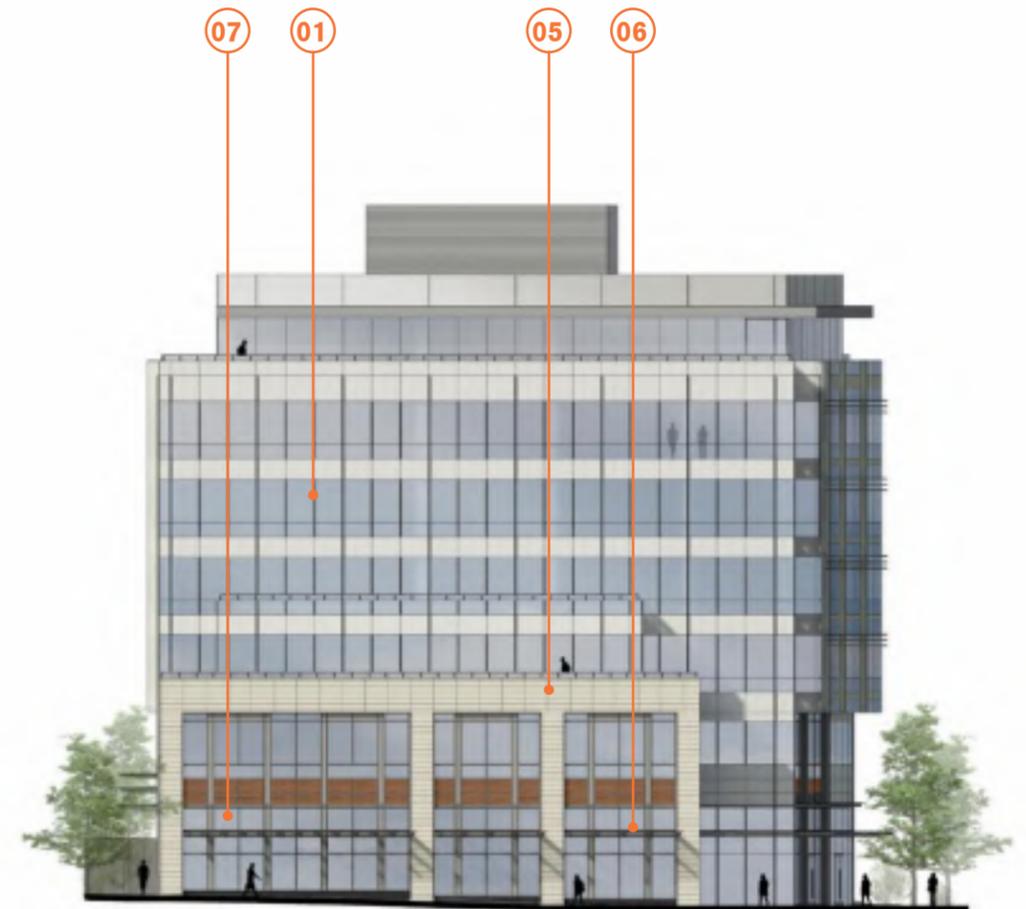
DESIGN CONCEPT - BUILDING E

Elevations

EAST ELEVATION



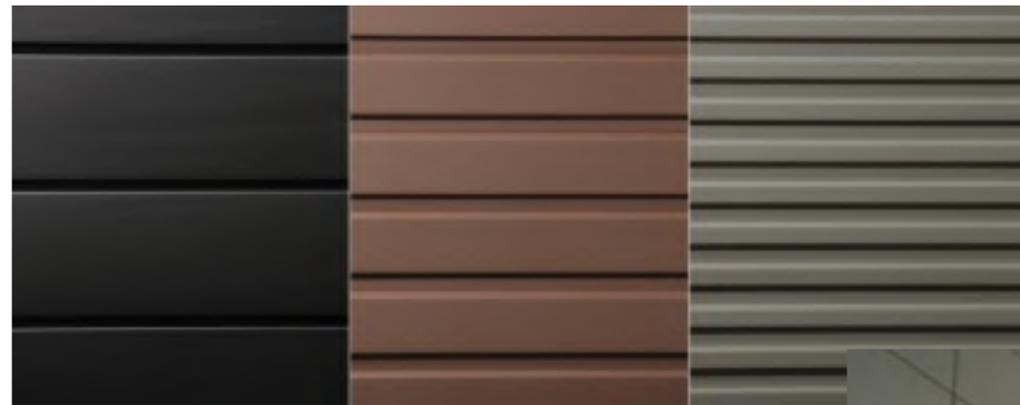
WEST ELEVATION



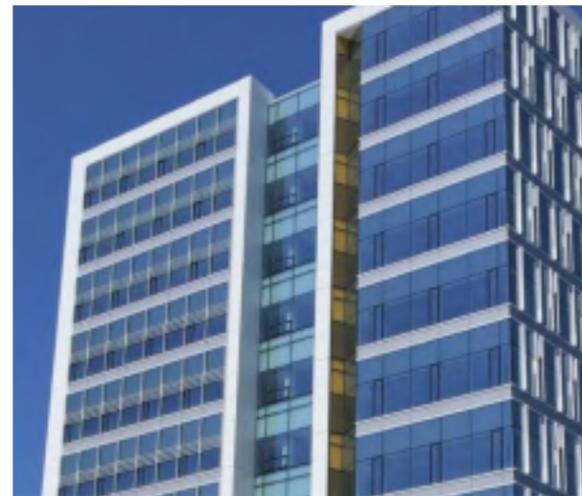
LEGEND

- | | | |
|--|------------------------------------|-------------------------|
| 01 UNITIZED CURTAIN WALL | 04 METAL PANELS | 07 L1 RETAIL STOREFRONT |
| 02 METAL PANEL EYEBROW | 05 STONE | |
| 03 PROFILE METAL PANELS AT ROOF SCREEN | 06 METAL OR METAL & GLASS CANOPIES | |

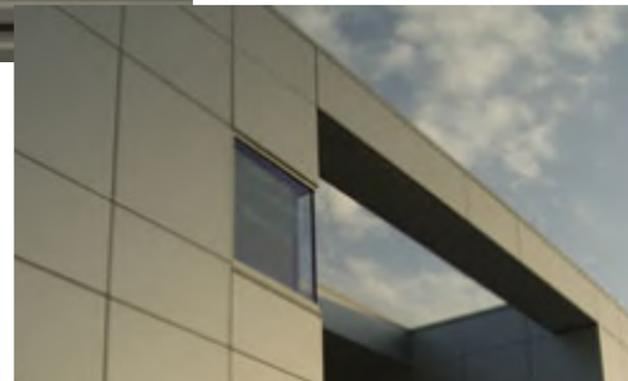
DETAIL ELEVATION NORTH FACADE



Profile Metal Panel



Unitized Curtain Wall System



Aluminum Composite Metal Panel



Stone



Wood Or Phenolic Resin Infill

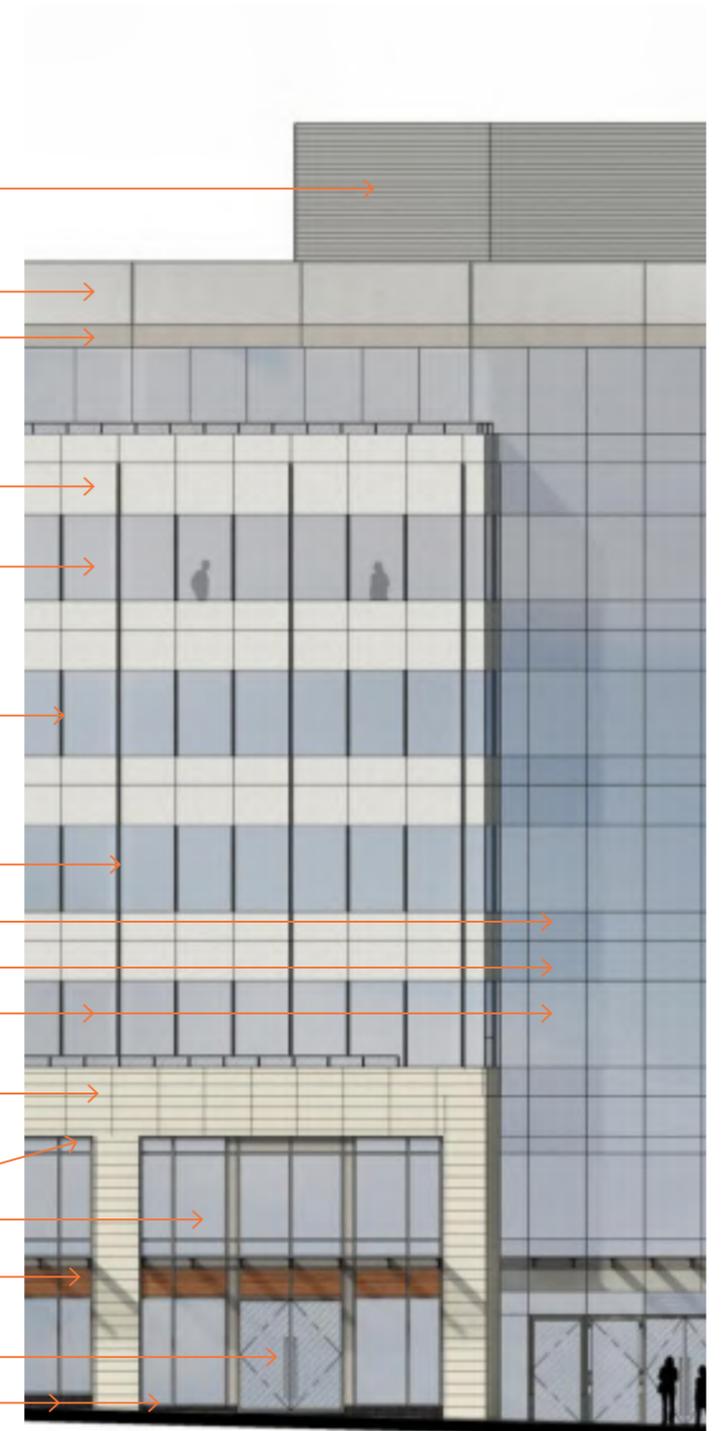


Stone or Brick Base



Textured Rainscreen

- Profile Metal Panel →
- Aluminum Composite Metal Panel →
- Metal Panel Eyebrow →
- Glazed-in Metal Panel →
- Unitized Curtain Wall System →
- 2" Mullion Caps →
- 3" Mullion Caps →
- Spandrel Glass →
- Spandrel Glass →
- Vision Glass →
- Stone or Textured Rainscreen →
- Spandrel Glass →
- Storefront Glazing →
- Wood or Phenolic Resin Infill →
- Possible Retail Tenant Entry →
- Stone or Brick Base →

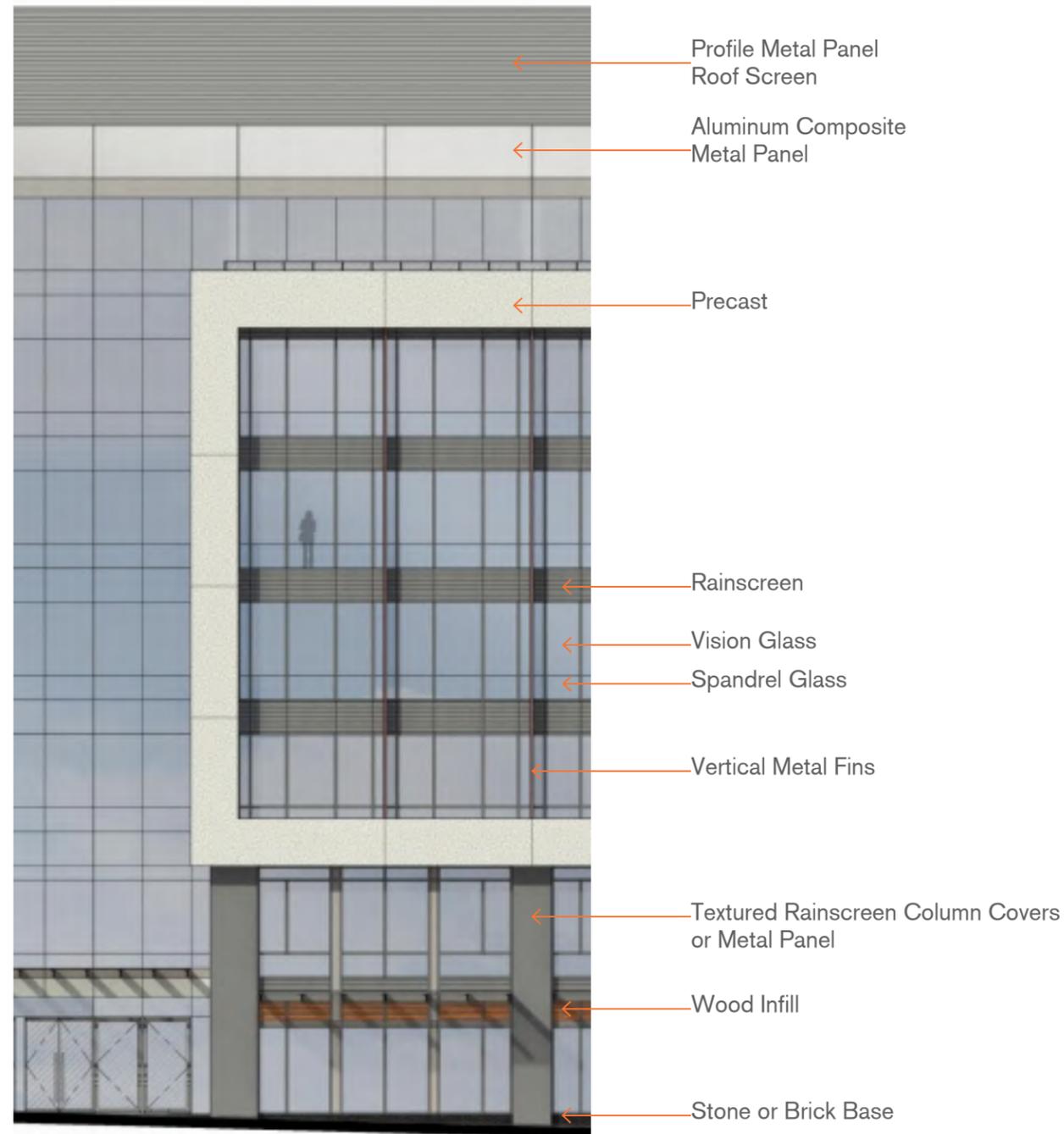


Scale: 1/16" = 1'-0"

DESIGN CONCEPT - BUILDING E

Enlarged Elevations

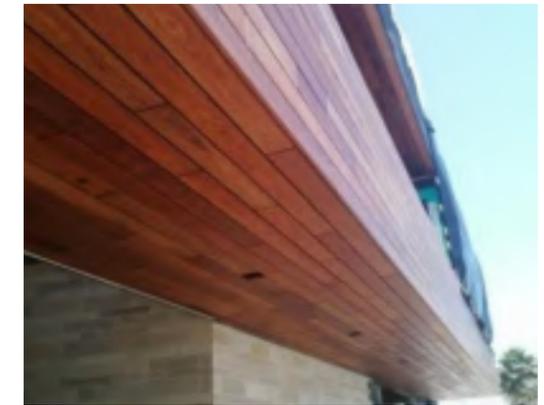
DETAIL ELEVATION NORTH FACADE



Rainscreen



Metal Fins



Wood Infill



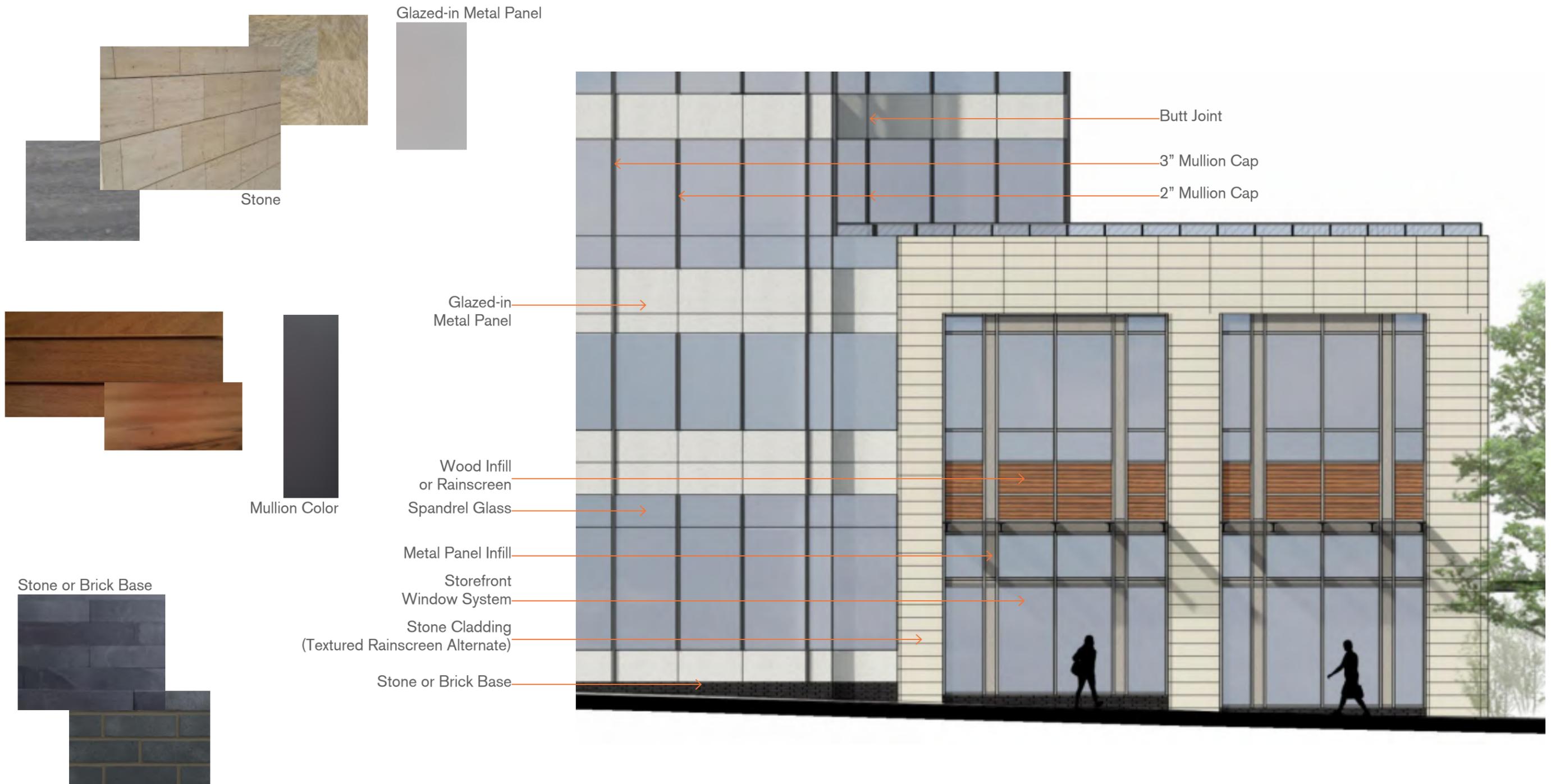
Textured Rainscreen Column Covers
or Metal Panel



Precast

Scale: 1/16" = 1'-0"

DETAIL ELEVATION NORTH FACADE

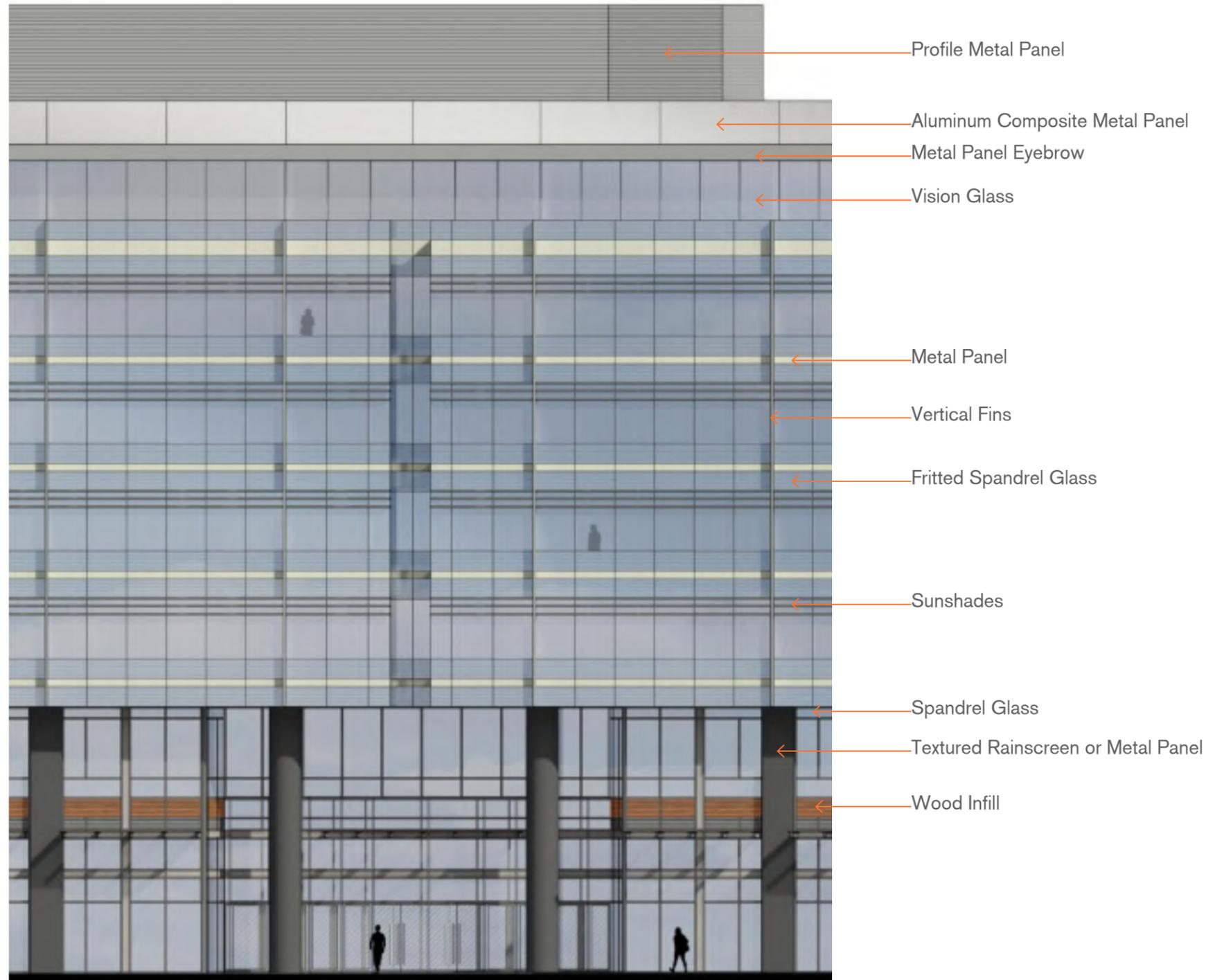


Scale: 1/8" = 1'-0"

DESIGN CONCEPT - BUILDING E

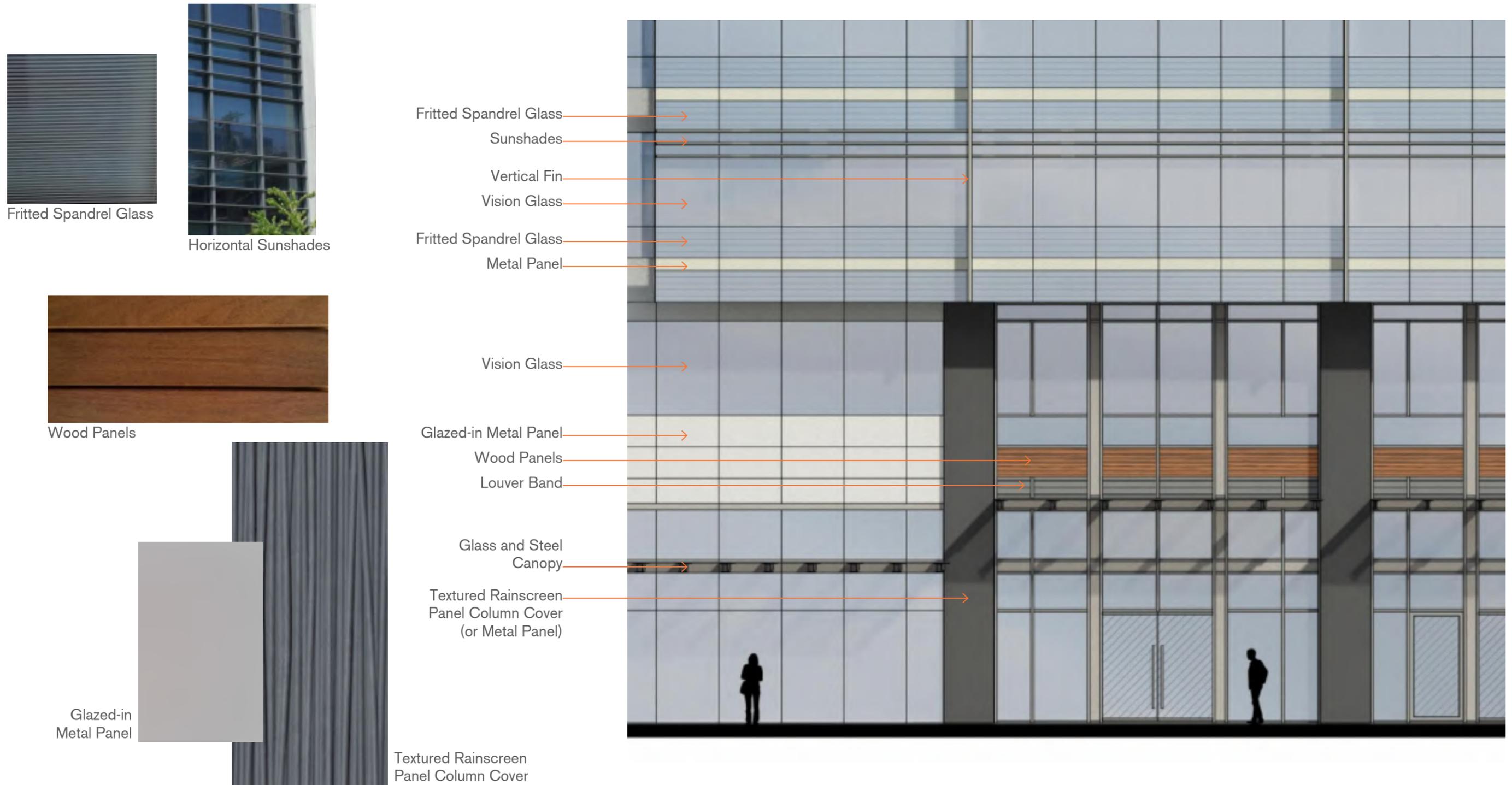
Enlarged Elevations

DETAIL ELEVATION SOUTH FACADE



Scale: 1/16" = 1'-0"

DETAIL ELEVATION SOUTH FACADE



Scale: 1/8" = 1'-0"

DESIGN CONCEPT - BUILDING E

Perspectives

NORTHEAST PERSPECTIVE



NORTHWEST PERSPECTIVE



DESIGN CONCEPT - BUILDING E

Perspectives

SOUTHWEST PERSPECTIVE



SOUTHEAST PERSPECTIVE



DESIGN CONCEPT - BUILDING E

Detail Perspectives

DETAIL PERSPECTIVE @ CENTRAL WAY



DETAIL PERSPECTIVE @ SOUTHWEST CORNER



DESIGN CONCEPT - BUILDING E
Retail Expressions





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