

Building 'D' Revised Final Design

May 3, 2010

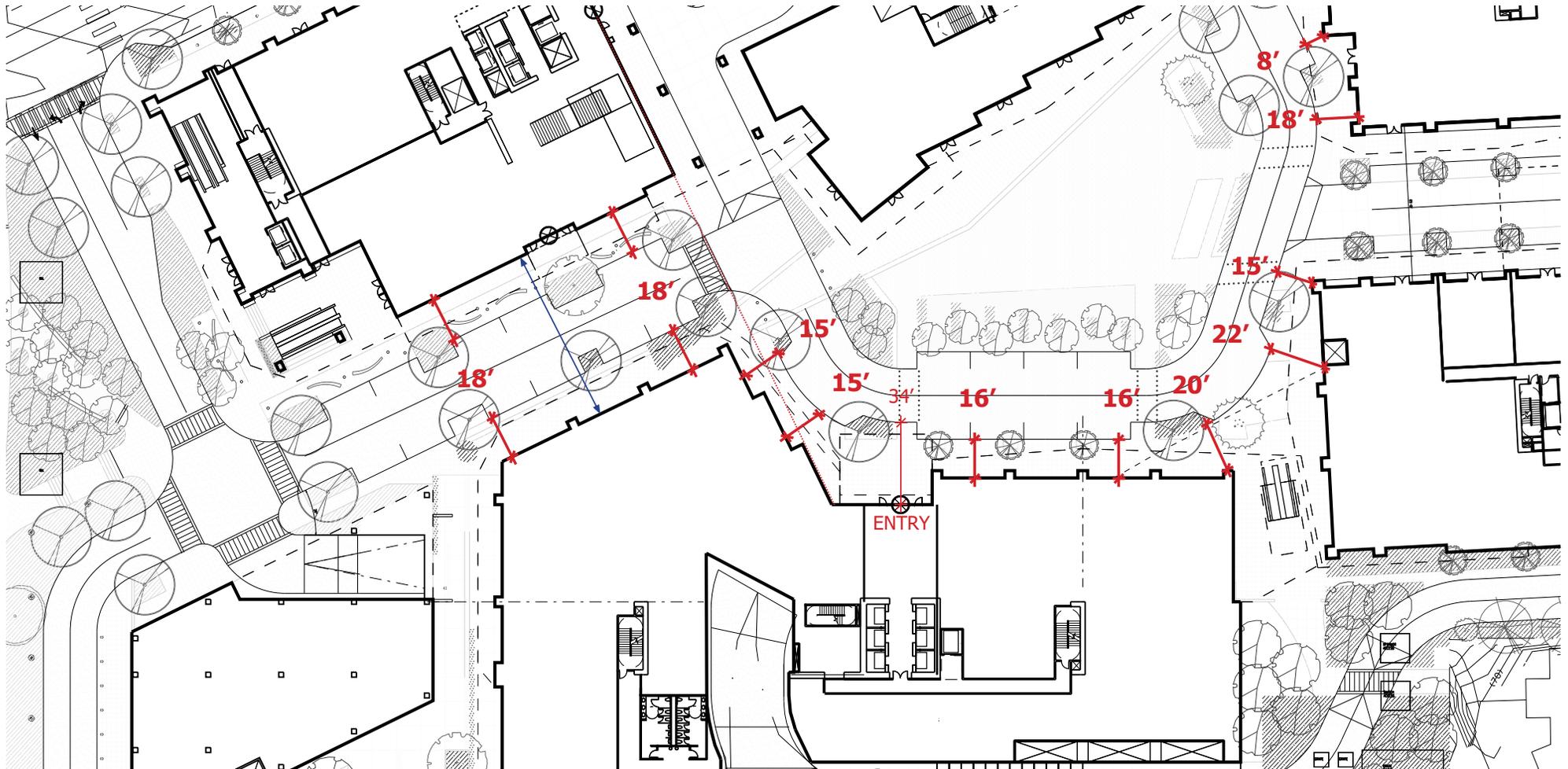
DRB Comments from 4/19 Meeting

- 1. The gasket and 2nd story glazing and reveal are fundamental to the design concept. The DRB is not comfortable with unlimited discretion for tenants to alter this concept. The design team should study the range of modifications that will protect the concept and propose guidelines in the forthcoming retail design guidelines that address the DRB's concern.**
- 2. The DRB thought the shift of the retail out to the sidewalk was a good solution, however, the shift of the retail and gasket northward have created too much necking of the streetscape and impeded views from the park into the plaza. The design team should consider shifting these forms in a manner that improves the visual access to the plaza with methods such as chamfering the retail space at the 3rd column line.**
- 3. Since the poplars along the south side will be removed, they should be removed from all drawings.**
- 4. South pathway:**
 - a. Consider a different material such as precast concrete or ground face CMU instead of the stucco along the south pathway.**
 - b. In response to security concerns, propose trees with a higher branching habit to preserve views into the pathway from the access road and indicate lighting solutions.**
- 5. The south elevation still requires additional definition and articulation in response to neighboring properties. This is not a primary façade and does not require the same response as the north façade, but does require more than has been proposed.**
- 6. Study opening up the roof over the top balcony on the north façade (e.g. – opening, or skylight) to enhance the existing modulation of the buildings skyline.**
- 7. Review transition of the proposed green wall on the east façade as it turn the corner to the south façade.**
- 8. Further detail and define roof plantings and pedestrian access on the gasket at the northwest corner.**

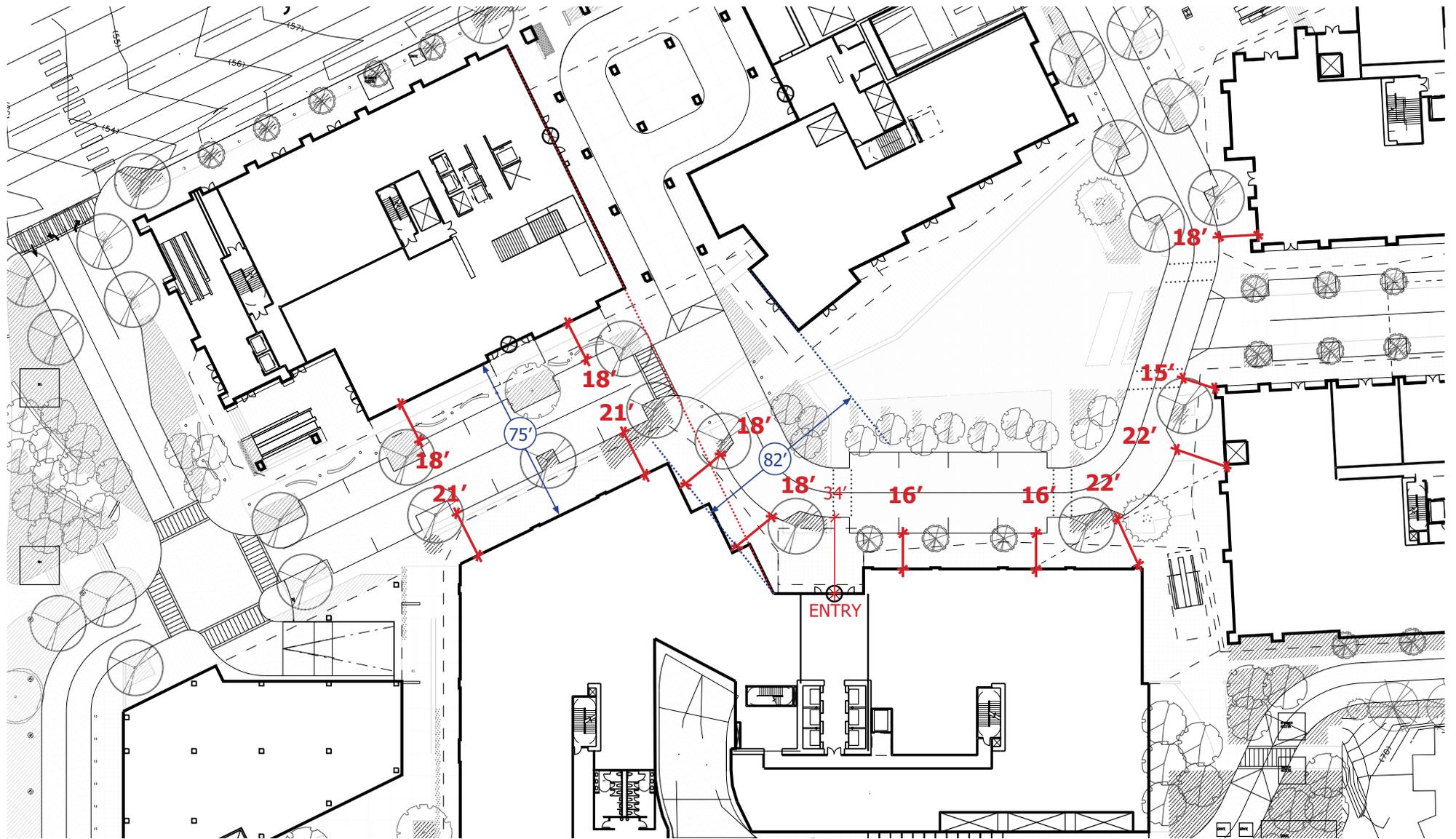
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Previous Ground Floor Plan



Revised Ground Floor Plan



Previous Retail View from West



Revised Retail View from West

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Previous View from South



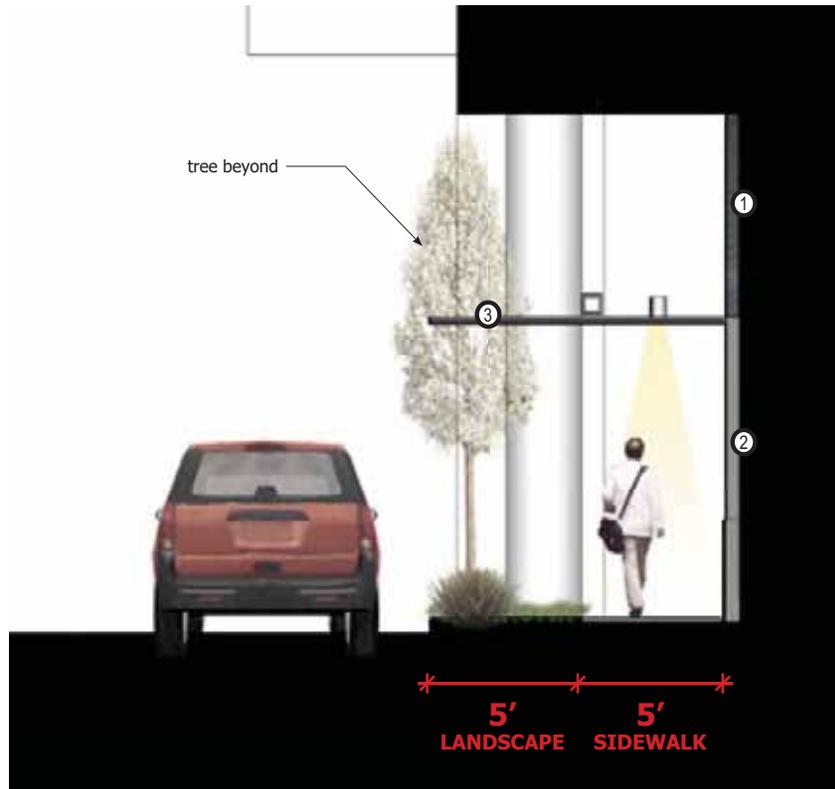
Revised View from South



Building 'D' South Elevation

4. South pathway:

- a. Consider a different material such as precast concrete or ground face CMU instead of the stucco along the south pathway.**
- b. In response to security concerns, propose trees with a higher branching habit to preserve views into the pathway from the access road and indicate lighting solutions.**



LEGEND	
①	exhaust louver
②	precast concrete
③	perf. metal screen canopy

SECTION: Bldg D South Road



Previous View of South Road



Revised View of South Road

6. Study opening up the roof over the top balcony on the north façade (e.g. – opening, or skylight) to enhance the existing modulation of the buildings skyline.



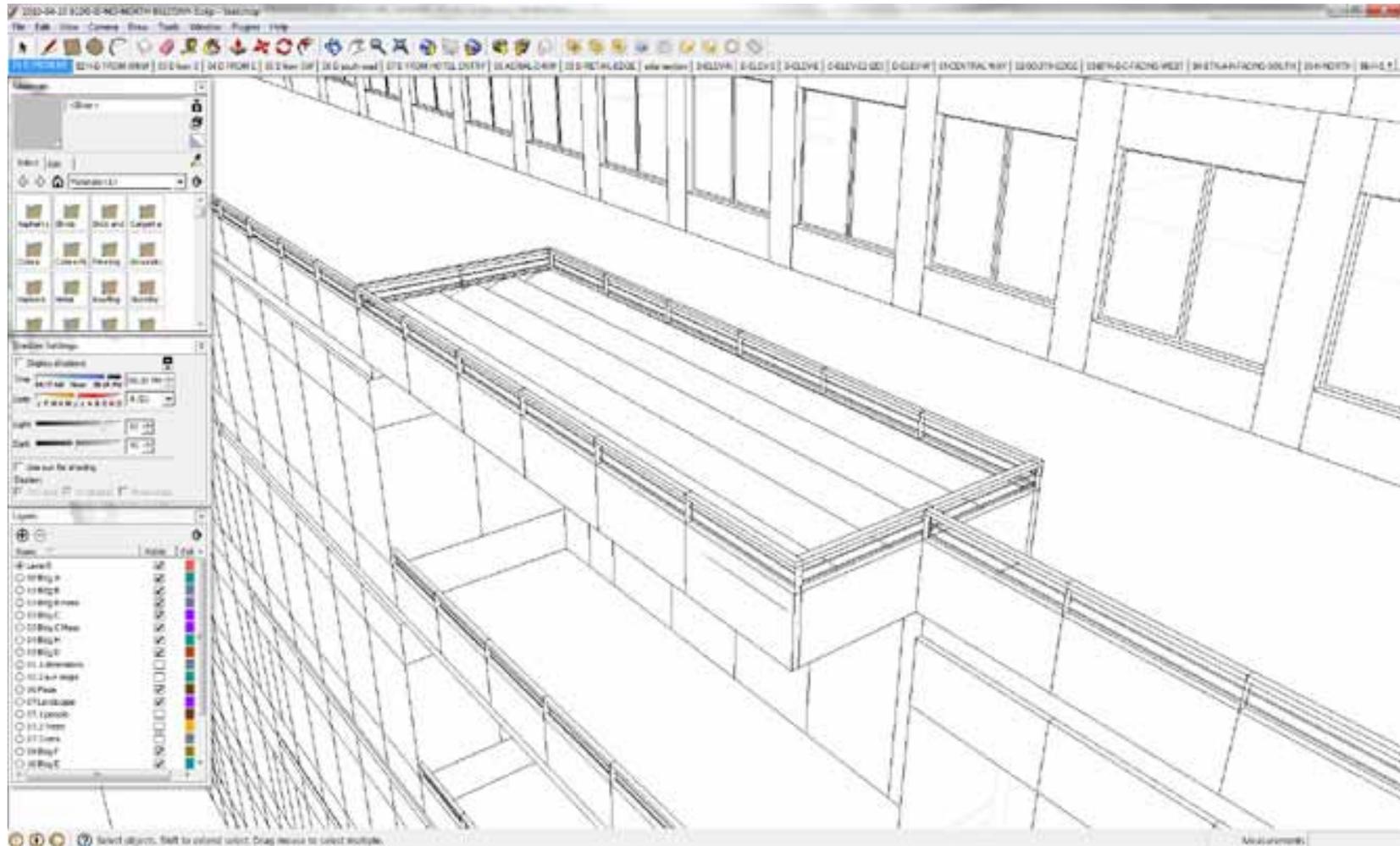
Previous View from Central Plaza



Alternate View from Central Plaza



Alternate View from Central Plaza



Detail: Alternate View from Central Plaza



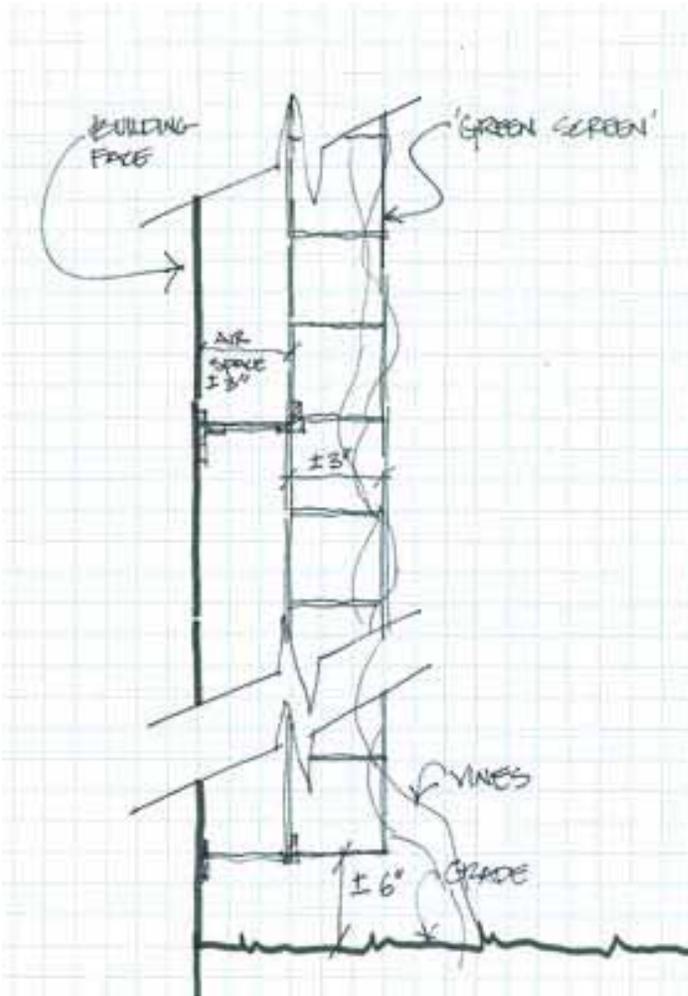
Preferred View from Central Plaza

3. Since the poplars along the south side will be removed, they should be removed from all drawings.

7. Review transition of the proposed green wall on the east façade as it turn the corner to the south façade.



Previous View from East

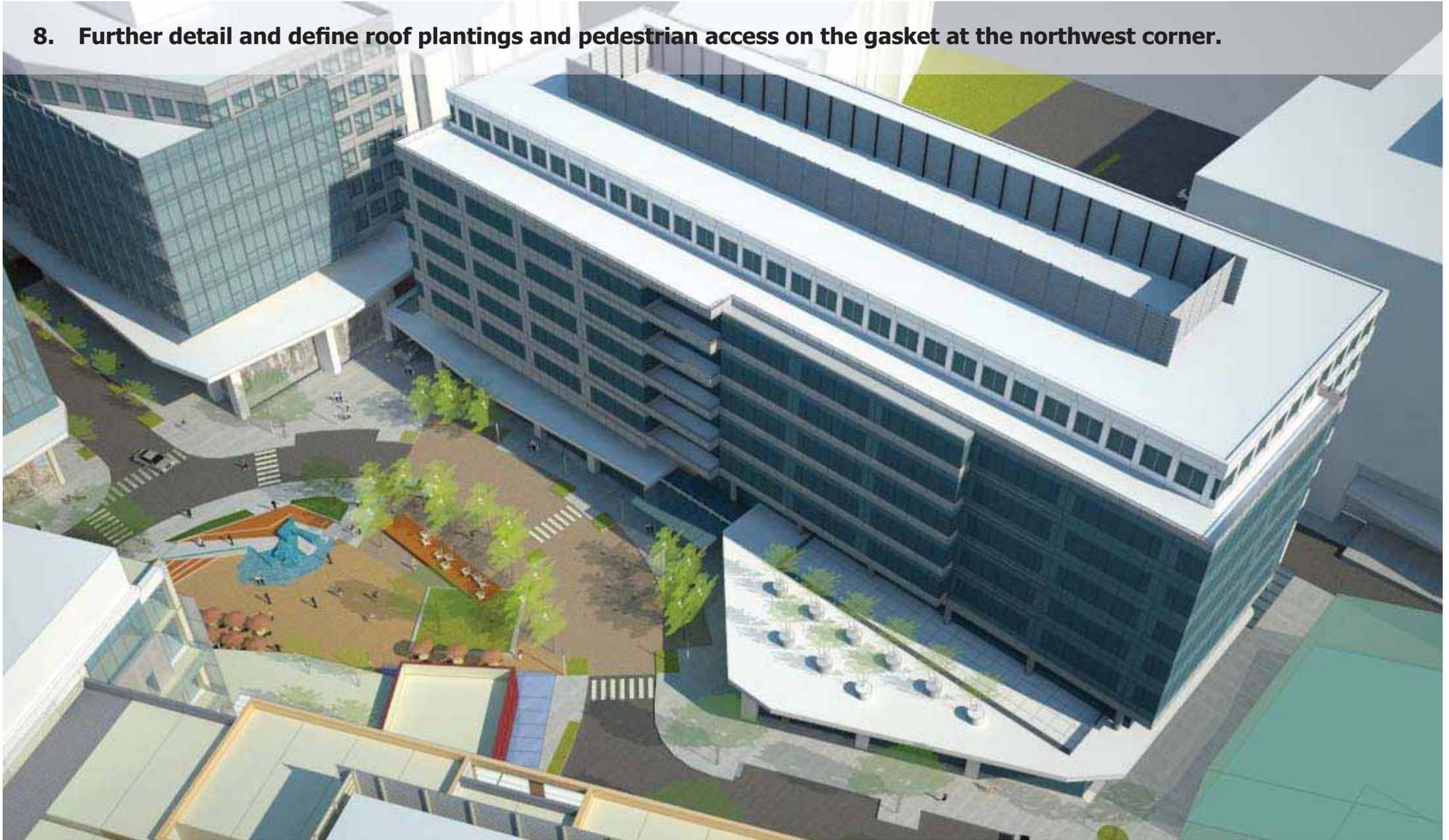


Green Screen Wall Section and Detail



Revised View from East

8. Further detail and define roof plantings and pedestrian access on the gasket at the northwest corner.

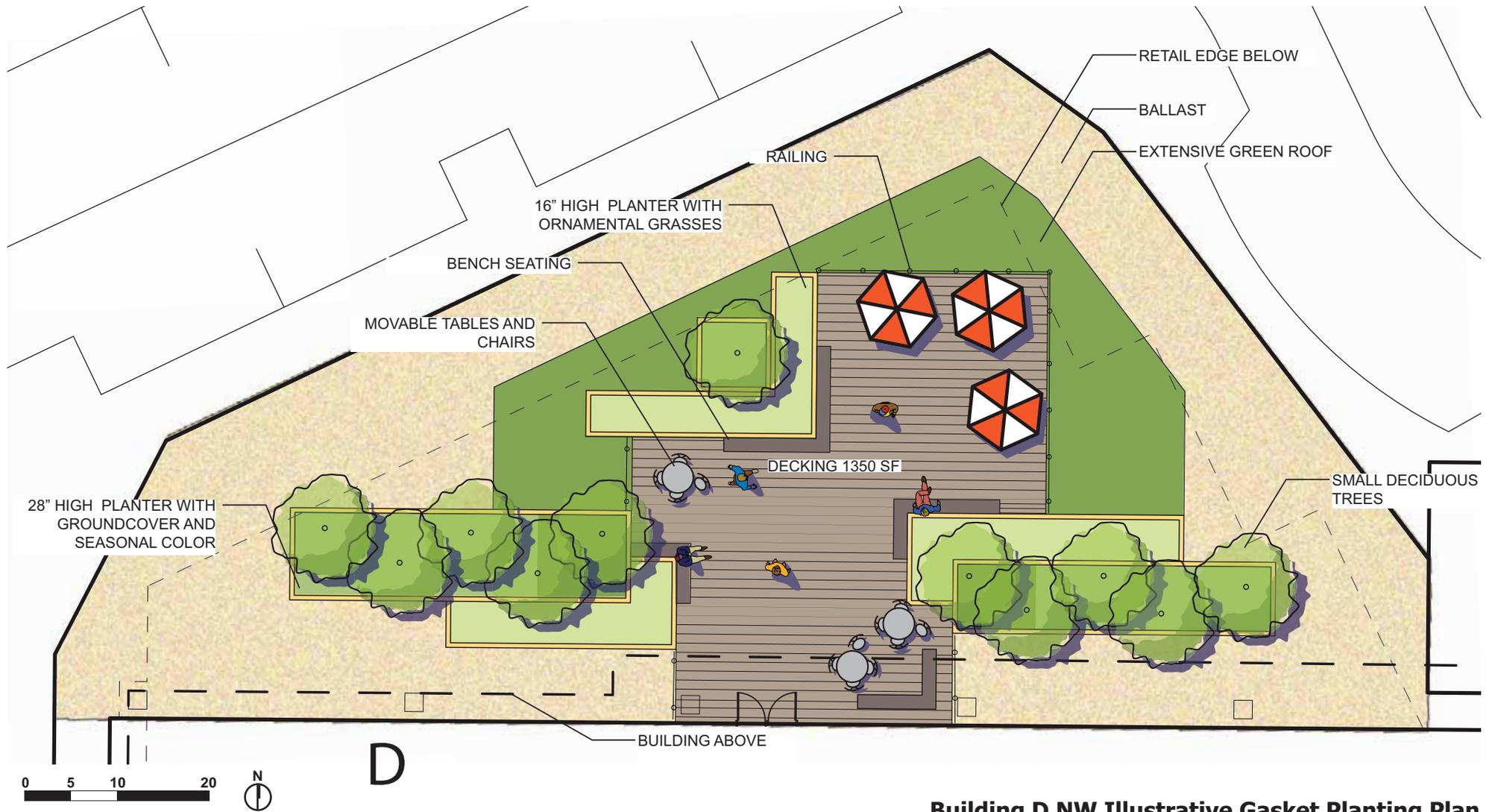


Previous View from Northwest



Revised View from Northwest

ENLARGEMENT OF BUILDING D ROOF



Building D NW Illustrative Gasket Planting Plan



- LEGEND
- ① metal panel
 - ② vision glass
 - ③ spandrel glass
 - ④ curtainwall
 - ⑤ retail storefront

Building 'D' North Elevation



- LEGEND
- ① metal panel
 - ② vision glass
 - ③ spandrel glass
 - ④ curtainwall
 - ⑤ retail storefront
 - ⑥ metal louvers
 - ⑦ stucco
 - ⑧ exposed concrete

Building 'D' South Elevation



LEGEND	
①	metal panel
②	vision glass
③	spandrel glass
④	curtainwall
⑤	retail storefront
⑥	green wall

Building 'D' East Elevation



- LEGEND
- ① metal panel
 - ② vision glass
 - ③ spandrel glass
 - ④ curtainwall
 - ⑤ retail storefront

Building 'D' West Elevation