



MEMORANDUM

To: Kirkland Planning Commission

From: Jeremy McMahan, AICP

Date: September 29, 2008

Subject: UPDATED DRAFT CODES AND DRAFT MASTER PLAN AND DESIGN GUIDELINES FOR PARKPLACE PRIVATE AMENDMENT REQUEST, FILE NO. ZON07-00016

RECOMMENDATION:

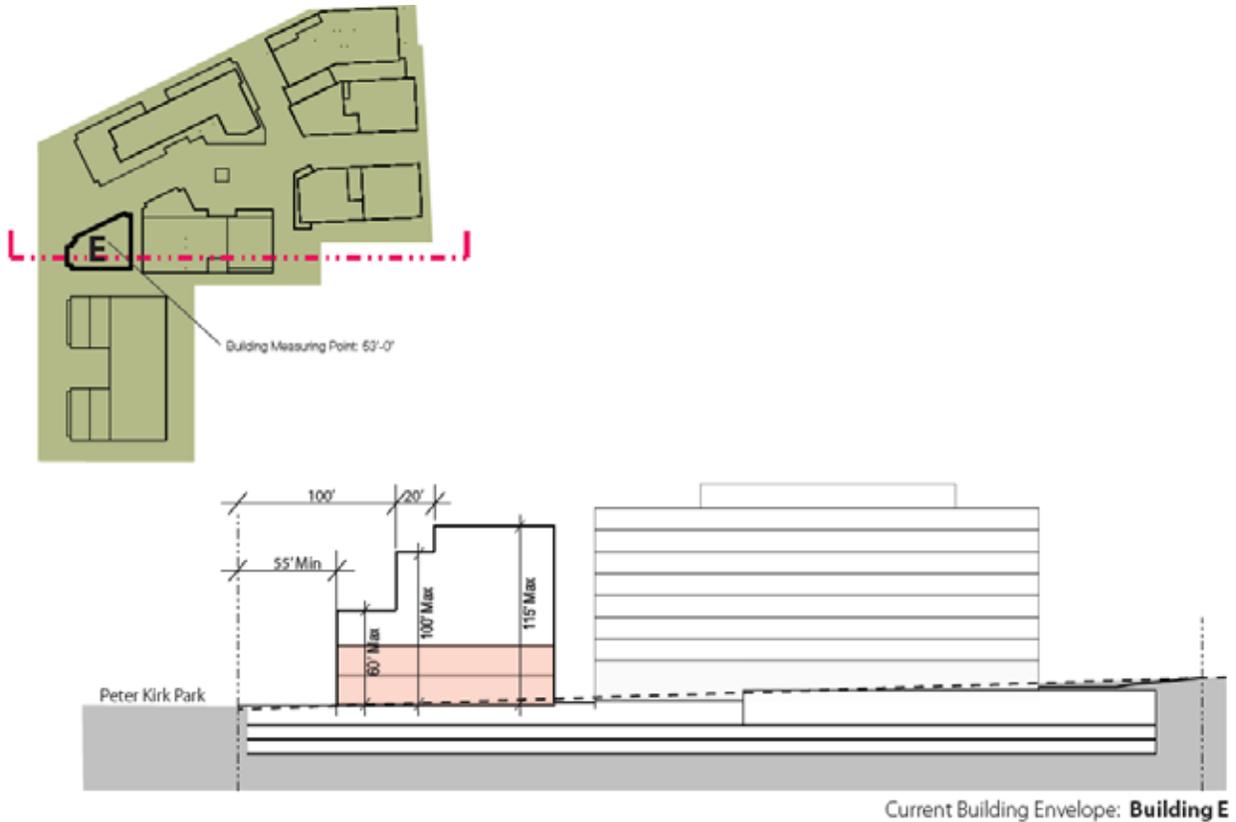
Finalize a draft of the Zoning Code amendments (Attachment 1) and the Master Plan and Design Guidelines (Attachment 2) for consideration at the October 23 public hearing.

BACKGROUND:

Use Zone Charts: Attachment 1 reflects the following Planning Commission direction on the draft Use Zone Charts with changes highlighted:

- Retail:
 - Movie theater may be counted in the retail square footage provided it does not exceed 10% of the minimum retail square footage requirement.
 - Child care that is accessory to retail uses (e.g. – drop off play areas) should be allowed as retail, but traditional licensed facilities should not be considered retail.
- Height:
 - Buildings A, B, and C should share a common height measurement benchmark of 74.5'.
 - Buildings H and D should share a common height measurement benchmark of 63'.
 - Buildings E and F should share a common height measurement benchmark of 53'.
 - Where showing maximum building heights relative to the Park, the height diagram should be consistent in using distance from the Park.

The Planning Commission should confirm allowed building heights for Building E. The building has been represented as a two-story building in recent diagrams. However, the proposed height allowances would allow a building between 60' high on the west side, terracing up to the east to 100' and 115' in height. The diagram below shows proposed height allowances for Building E.



Master Plan and Design Guidelines: Attachment 2 reflects the Planning Commission direction on the draft Master Plan and Design Guidelines with changes highlighted.

Sustainability: Staff and the applicant are meeting with a representative from the Cascadia Green Building Council on Wednesday before the Planning Commission meeting. We will report to the Planning Commission on the results of that meeting. Staff is encouraging the applicant to establish a minimum and measurable commitment in the Master Plan. The Planning Commission should decide how prescriptive to be at this time.

Attachments:

1. Draft Use Zone Charts
2. Draft Master Plan and Design Guidelines

DRAFT CBD 5A USE ZONE CHART

KZC 50.38.A User Guide. The charts in KZC 50.38.C contain the basic zoning regulations that apply in the CBD 5A zones of the City. Use these charts by reading down the left hand column entitled Use. Once you locate the use in which you are interested, read across to find the regulations that apply to that use.

Section 50.38.B - GENERAL REGULATIONS

The following regulations apply to all uses in this zone unless otherwise noted:

1. Refer to Chapter 1 KZC to determine what other provisions of this code may apply to the subject property.

USE ZONE CHART

Section 50.38.C

Use: Mixed Use Development containing office, retail and restaurant uses. See Special Regulations 1, 2, 3 and 4.

Required Review Process: DR, Chapter 142 KZC. See Special Regulation 1

Minimums:

Lot Size: None

Required Yards: see Plate X-1.

Maximums:

Lot Coverage: 100%.

Height of Structures: See Special Regulation 5 and Plate X-2A and X2-B.

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Landscape Category: None

Sign Category: E. See Special Regulation 6.

Required Parking: See Special Regulation 7.

Special Regulations:

1. Development under this Use shall be pursuant to the Parkplace Master Plan and Design Guidelines contained in Kirkland Municipal Code 3.30. Compliance with the Master Plan and Design Guidelines shall be determined through DR, Chapter 142.
2. The gross floor area of retail and restaurant uses in this zone shall be equal to or greater than 25% of the gross floor area of office uses in this zone. Retail uses may include accessory short term drop-off children's play facilities.
3. The following additional uses are allowed subject to restrictions listed:
 - a. Hotel; or Athletic Club. Accessory retail or restaurant uses shall be included as retail uses under Special Regulation 2, provided they are open to the public.
 - ~~b. Movie theater. This use may be included as a retail use under Special Regulation 2 provided that the gross floor area of this use shall not count toward more than 10% of the required minimum gross floor area of retail and restaurant uses.~~
 - ~~c. Private Lodge or Club; Church; School, Day-care Center, or Mini-School or Day-care Center; Public Utility, Government Facility, or Community Facility; Public Park.~~
 - ~~d. Assisted Living Facility (including a nursing home if part of the facility); Stacked or Attached Dwelling Units; provided that the gross floor area of these uses does not exceed 10% of the total gross floor area for the Master Plan.~~
4. The following uses are prohibited:
 - a. Any retail establishment exceeding 70,000 square feet.
 - b. At grade drive-through facilities.
 - c. The outdoor storage, sale, service and/or rental of motor vehicles, sailboats, motor boats, and recreational trailers.
5. Rooftop appurtenances may exceed the applicable height limitation by a maximum of 16 feet if the area of all appurtenances and screening does not exceed 25 percent of the total area of the building rooftop. All other regulations for rooftop appurtenances in Chapter 115 shall apply.
6. Prior to installation of permanent signs, the development must submit and receive approval of a Master Sign Plan pursuant to Chapter 100.
7. Parking requirements shall be based on the shared use parking standards approved in the Planned Action ordinance.

Deleted: Entertainment, Cultural, and/or Recreational Facility

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Plate X-1

CBD 5A Required Yards

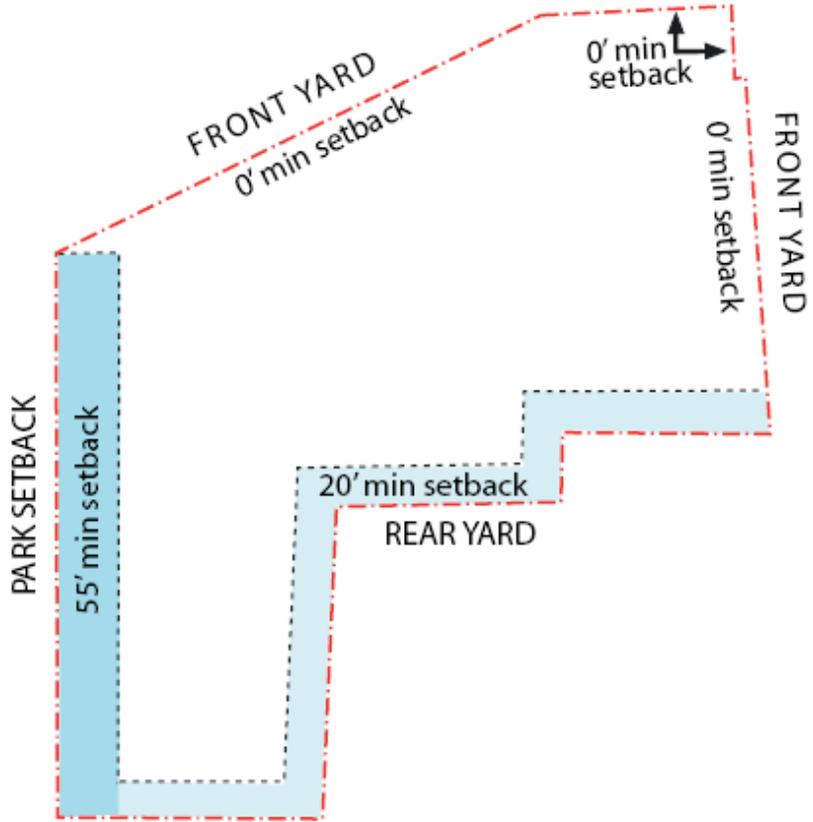
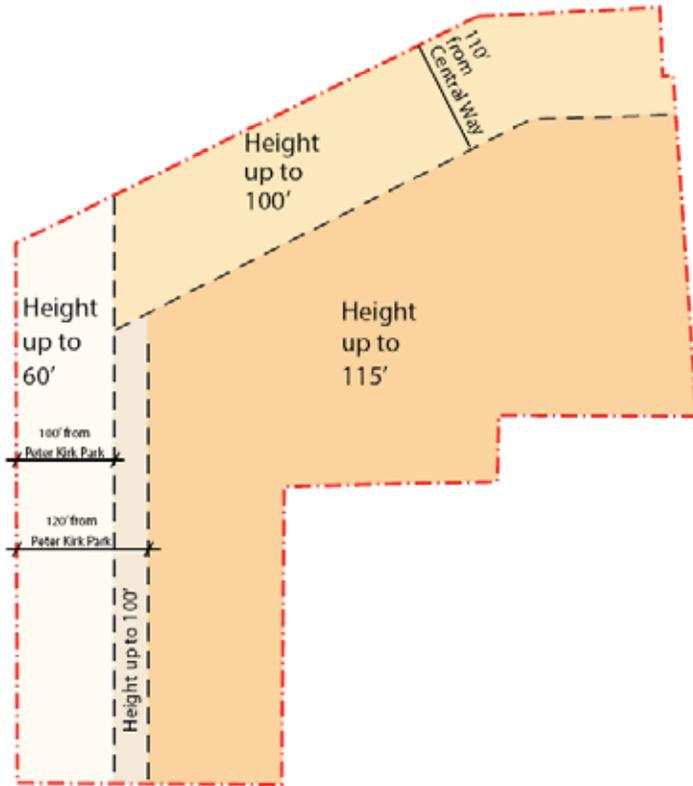


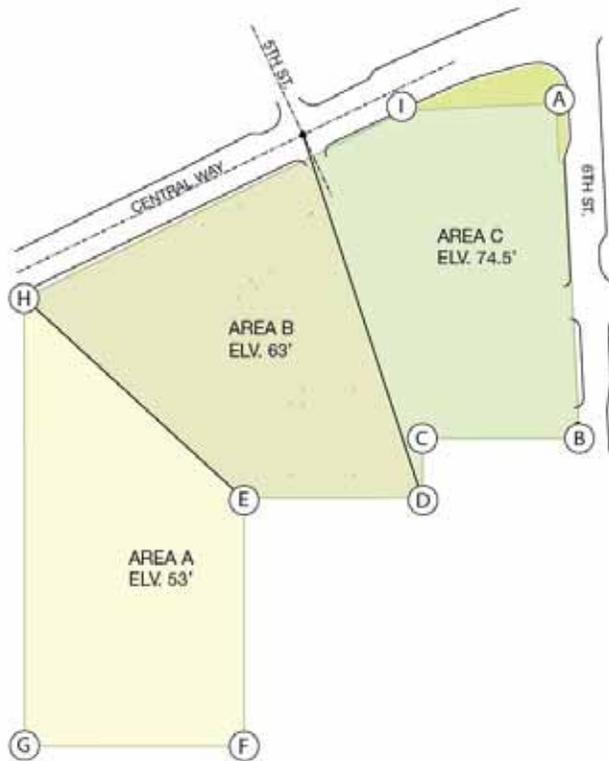
Plate X-2A

CBD 5A Maximum Building Heights

See Plate X-2B for measurement points



CBD 5A Maximum Building Height Measurement Points



Building Height Measurement Points

GENERAL NOTES:

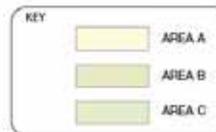
1. Where a minimum of 75% of the Gross Floor Area of a building is located in area "A", the Building Measuring Point will be elevation 53.0 feet above sea level
2. Where a minimum of 75% of the Gross Floor Area of a building is located in area "B", the Building Measuring Point will be elevation 63.0 feet above sea level
3. Where a minimum of 75% of the Gross Floor Area of a building is located in area "C", the Building Measuring Point will be elevation 74.5 feet above sea level

Area A: That portion of property area that lies west and south of a line between Property Corner H and Property Corner E.

Area B: That portion of property area that lies east of a line between Property Corner H and Property Corner E and west of a line from the centerline of the intersection of 5th Street and Central Way and property corner D.

Area C: That portion of property area that lies east of a line from the centerline of the intersection of 5th Street and Central Way and property corner D and west of 6th Street

note: Based on the Boundary and Topographic Survey for Park Place Center by Bush, Row & Hitchings, INC., dated October 2007



KIRKLAND PARK PLACE

MIXED USE DEVELOPMENT

Master Plan and
Design Guidelines
DRAFT September 29, 2008





Master Plan Organization

This document is comprised of the following sections:

POLICY OVERVIEW	<ol style="list-style-type: none"> 1. Introduction 2. Vision 3. Application 4. Determining Compliance 5. Modifications 6. Phasing 7. Comprehensive Plan Design Direction 8. Design Intent
DEVELOPMENT STANDARDS	<ol style="list-style-type: none"> 9. Program Requirements 10. Public Access and Amenities <ol style="list-style-type: none"> a. Pedestrian Access b. Retail Frontages c. Activated Open Space 11. Street Classifications
DESIGN GUIDELINES	<ol style="list-style-type: none"> 12. All District 13. District Specific <ol style="list-style-type: none"> a. Gateway b. Central Way c. Park Interface d. Retail/Office Hub

1. INTRODUCTION

Located along Central Way and 6th Street, Kirkland Parkplace has the potential to offer many great amenities to Kirkland's cherished downtown. The proposed **village** retail center includes approximately 1.75 million square feet of development consisting of retail, office, hotel and sports club that are, in effect, an extension of the existing downtown. Parkplace provides components that meet the City's Comprehensive Plan, East Core Frame (2004, 2008) as described below:

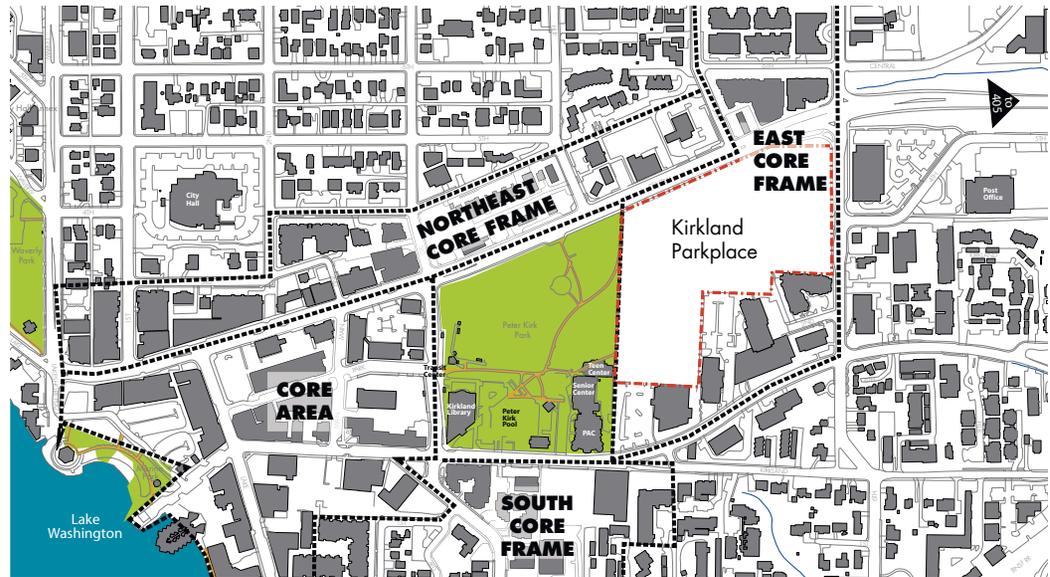
CP Policy: *Greater heights of up to eight stories are appropriate as an incentive to create a network of public open spaces around which is organized a dynamic retail destination.*

Response: Parkplace is an urban, open-air retail, restaurant, entertainment, office, hotel and sports club complex. (See page 7 for networks of open space, retail frontage and pedestrian connections.)

CP Policy: *Special attention to building design, size, and location should be provided at three key locations: at the intersection of Central Way and Sixth Street to define and enhance this important downtown gateway; along Central Way to respond to the context along the north side of street; and facing Peter Kirk Park to provide a transition in scale to downtown's central greenspace. Pedestrian connections to adjoining streets, Peter Kirk Park, and adjoining developments should be incorporated to facilitate the integration of the district into the neighborhood.*

Response: Specific design guidelines have been defined to encourage unique environments and experiences in each of these three locations.

CP Policy: *Because of the intensity of land use in 5A, the design of the buildings and site should incorporate aggressive sustainability measures, including low impact development measures, deconstruction, green buildings, and transportation demand management.*



Response: *The compact development, pedestrian-friendly, mixed-use nature of the land use in 5A is fundamentally sustainable. It provides a live-work balance in downtown Kirkland and provides access to goods and services people need in proximity to where they live. Combined with a commitment to sustainable strategies in the design of the development, Kirkland Parkplace will significantly contribute to lowering carbon emissions and energy use relative to a suburban model of development.*

2. VISION

Parkplace creates a new destination in Kirkland featuring tree lined streets, landscaped open spaces, offices overlooking public plazas, and a wide variety of shopping, dining, entertainment and recreation experiences. Parkplace's contemporary Northwest architecture evokes Kirkland and its environs with green design, appropriate massing, and orientation. Appropriate placement of trees, fountains, benches, street lamps, and decorative sidewalk treatments add a rich texture to Parkplace's plazas and streets.

The combination of pedestrian oriented streets, distinctive architecture, unique urban character, sensitive integration and progressive sustainable design strategies will make Kirkland Parkplace an attractive and valued gathering place for Kirkland's citizens for years to come.

3. APPLICATION

The Master Plan and Design Guidelines set forth in this document have been created to guide the development of Kirkland Parkplace to meet the intent of the vision for CBD-5A of the City of Kirkland. Compliance with this Master Plan and Design Guidelines document shall be required to allow increased height and reduced setbacks in exchange for providing a retail village center and public amenities. These Standards and Guidelines are to be used in addition to the standard zoning regulations for CBD-5A. These Standards and Guidelines are supplemental, not a substitution, to the City of Kirkland Municipal Code and its supporting documents.

4. REVIEW PROCESS: DETERMINING COMPLIANCE

This document establishes performance criteria and provides recommendations for achieving specific design objectives. Compliance with the Master Plan including: general standards, general public amenity and access locations and street dimensional requirements shall be determined by administrative review. Compliance and consistency with the Design Guidelines shall be determined by the Design Review Board in a Design Response conference, (refer to DRB process KMC 142.35.9).

Section	Review Process
Development Standards <ul style="list-style-type: none"> • Program Requirements (Item 9) • Public Amenities and Access (Item 10) • Street Classifications (Item 11) 	Planning Official
Design Guidelines <ul style="list-style-type: none"> • All Districts (Item 12) • District Specific (Item 13) 	Design Review Board

5. MODIFICATIONS

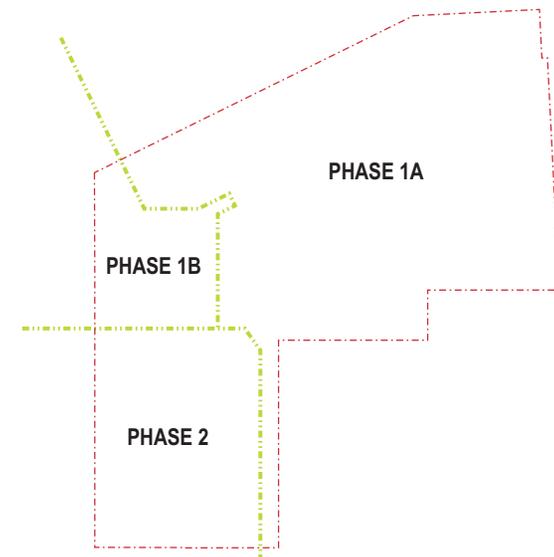
A major modification to the Master Plan is any proposal that would result in a change that would substantially alter the Plan's proposed development such as: decrease in open space quantity, changes to locations of primary access/pedestrian streets, or changes in allowed use. Major modifications to the Master Plan shall require a staff review for consistency with the Comprehensive Plan and City Council Approval, (refer to KMC 3.30.040).

A minor modification to the Master Plan is any proposal that would result in a change that would not substantially alter the Plan's proposed development such as: façade treatments, street design variation, character/design detail of public spaces, or minor variations in design of sidewalks, pathways, lighting and landscaping. The Design Review Board may grant a design departure or minor variation only if it finds that both of the following requirements are met:

- the variation is consistent with the intent of the guideline and results in superior design.
- the departure will not result in any substantial detrimental effect on nearby properties or the neighborhood.

6. PHASING

This development shall be staged in two major phases (1 and 2) with two minor stages in phase one (1A and 1B).



8. DESIGN INTENT

This Master Plan and Design Guidelines document was created using the identified 8 Guiding Principles for the project which were derived from input from the City staff, the Design Review Board, Planning Commission, various community groups and the residents of Kirkland.

GUIDING PRINCIPLES OF INTENT

1. Emotional Ownership by the Community
 - Incorporate the project into the story of Kirkland
 - Enable meaningful community exchanges
 - Inspire unique, emerging experiences and discoveries
 - Promote the coalescence of Community, Culture and Commerce
 - Provide a ‘transforming experience’ vs. a ‘transaction experience’
 - Include neighborhood retail
2. Site Planning “Connections”
 - Public spaces such as plazas
 - Vehicular access and parking
 - Strong emphasis on the streetscape
 - Supports active public spaces
 - Clear and inviting public access
3. Places for People
 - Best public spaces tend to be easily accessible
 - Vary in size, offer choices for all ages
 - Provide safety and comfort
 - Integral part of the social life of downtown Kirkland
4. Enhance the Pedestrian Environment
 - Walkability: network of internal and external pedestrian connections
 - Visual interest for street
 - Rich texture of materials
5. Integrate Vehicular Access and Parking
 - Parking is an integral component of downtown
 - Minimize the visual presence of parked cars
 - Pedestrian circulation and retail continuity
 - Parking can be utilized during nights/weekends for benefit of community and downtown
6. A Mix of Uses = A mix of Building Types
 - Variety of building types, scales, and materials
 - Three-dimensional quality to the public spaces
7. Appropriate Massing and Scale
 - Address sun exposure and sensitivity to surrounding edges
 - Scale, massing, and detail of individual buildings
 - Human-scale, detailed street level building façades
8. Sustainability
 - Macro-Scale/Site
 - Building Specific
 - Tenant Specific

9. Program Requirements

~~A. Density Standards - see KZC~~

~~B. Setbacks - see KZC~~

~~C. Height - see KZC~~

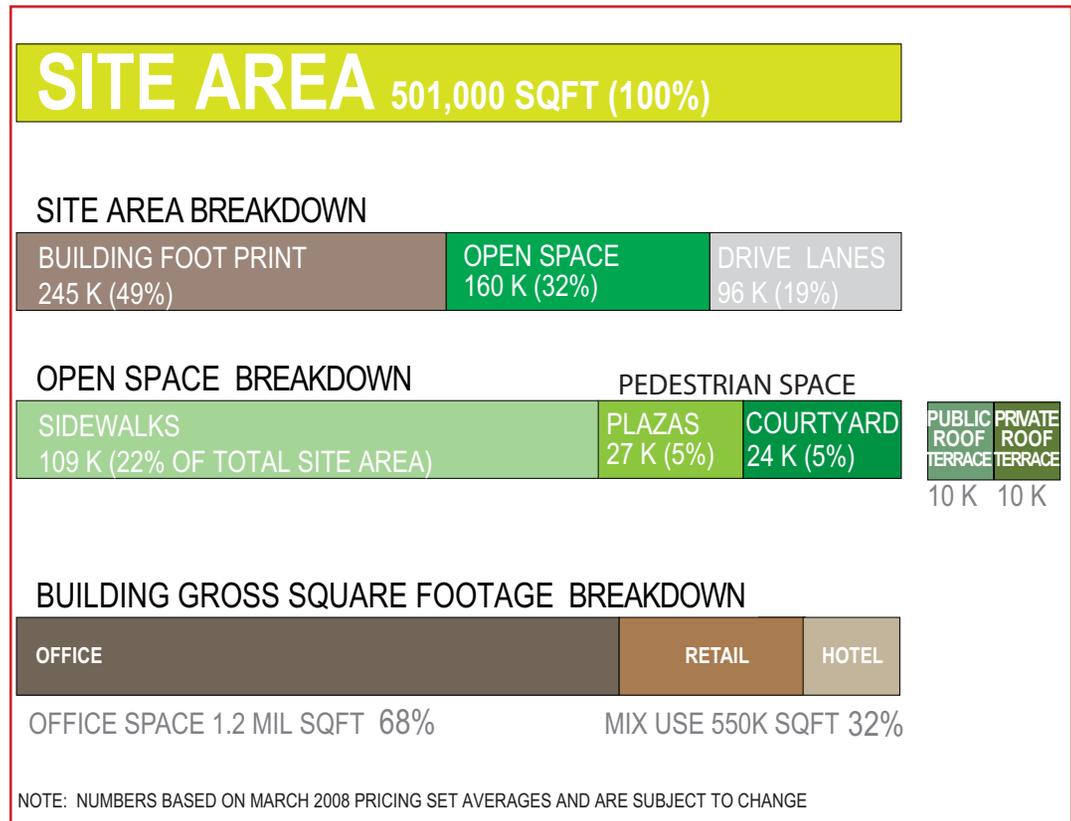
A. Pedestrian Space:

The development will include a variety of public open spaces that vary in size and character. A minimum of 10%, or 50,000 of the site shall be activated pedestrian-oriented space, in the form of courtyards, plazas, winter atriums, etc. See diagram (pg 7) for approximate locations and dimensional requirements of specific spaces. Definition of appropriate design treatments are found in the district specific design guidelines.

~~E. Parking: See KZC~~

B. Arts Commitment: In an effort to encourage integrated art into the project, Parkplace ~~has created a Public Arts and Open Space (PAOS) committee is working with~~ representatives from the cultural council and local art community. ~~This committee will continue to work with the developer and design team to identify and create opportunities to integrate art be~~ into the project.

C. Green Building Commitment: In order to create a signature project responsible to the community and the environment, Parkplace will employ a variety of sustainable development measures into the project. The developer and design team will coordinate with the City of Kirkland ~~Green Building Team~~ to identify appropriate sustainable strategies and approaches that are well suited to the project and its surroundings.



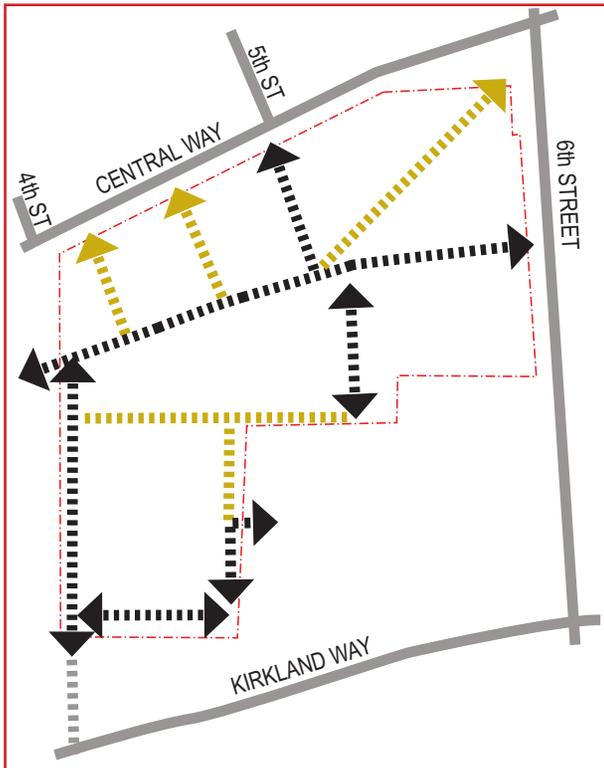
10. PUBLIC AMENITIES AND ACCESS

PEDESTRIAN CONNECTIONS

Intent: To create a network of identifiable linkages into and through the project site for pedestrians.

The diagram below shows approximate pedestrian connections. Darker lines indicate **primary** connections required by the Comprehensive Plan. Lighter lines show **secondary** pedestrian connections linking to existing and proposed streets as well as Peter Kirk Park.

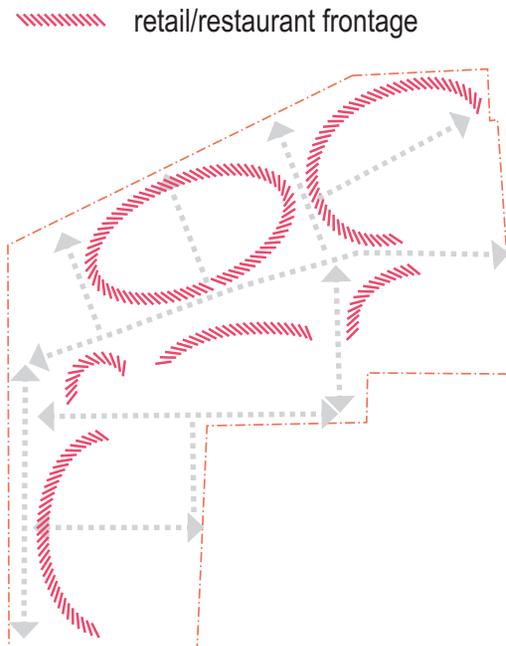
-  **primary** pedestrian connections
-  **secondary** pedestrian connections



RETAIL/RESTAURANT FRONTAGE

Intent: To encourage and contribute to the liveliness and activation of pedestrian-oriented streets and spaces by providing retail and activating uses at the ground level.

Predominant retail uses including shops, restaurants, **sports club grocery**, and a movie theatre are required along pedestrian-oriented streets and public spaces. Additional activating uses are encouraged on the ground level **throughout** the development where feasible.



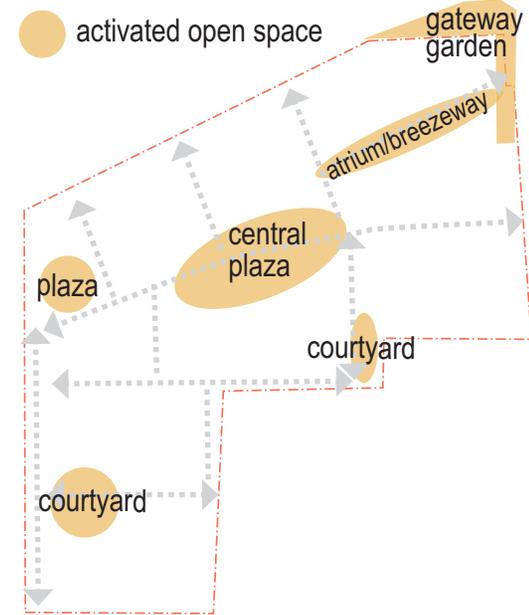
PEDESTRIAN SPACE

Intent: To provide a functional and diverse pedestrian environment by creating a variety of usable pedestrian open spaces.

The following types of public/ pedestrian space are to be provided at a minimum of 10% of the total lot area, or 50,000 sf*. Locations are approximate and not limited to those shown on the diagram below.*

- central plaza:** shall have a minimum area of 15,000 square feet with a minimum average width of 70 feet
- courtyard/plaza:** shall have a minimum area of 2,500 square feet **each**
- atrium/breezeway:** shall have a minimum 35 foot wide separation between office floor plates
- roof top terraces:** shall provide a minimum of 10,000 sf total of publicly accessible rooftop terraces in one or more locations.

*See district specific guidelines for design parameters of public space (ex. central plaza, pg 27).



11. STREET CLASSIFICATION

Intent: To create a street and sidewalk network that responds to the existing Kirkland grid pattern, creates a pedestrian oriented environment and allows direct interaction with Peter Kirk Park.

Adjacent Street Improvements

Central Way
6th Street

Access Streets

- A.1 Central and 5th Street Connection
- A.2 6th Street and Connection
- A.3 6th Street access to service alley (minor)
- A.4 Central Way and 4th Street Connection

Major Pedestrian Streets

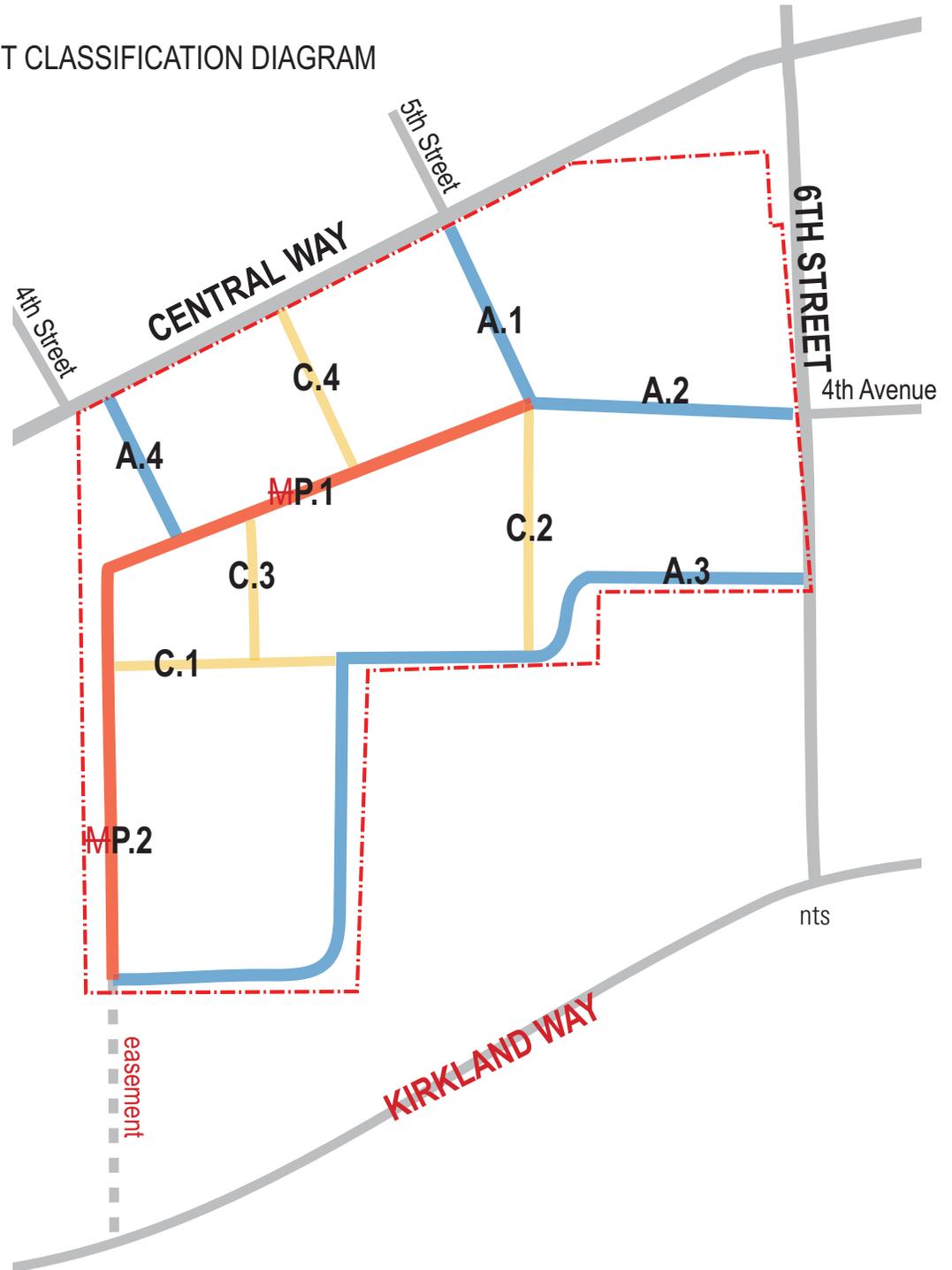
- MP.1 Main Street
- MP.2 Park Promenade

Secondary Connections

- C.1 Service Alley/Park Promenade ~~Woonerf~~
- C.2 Service Alley /Main Street Connection
- C.3 Main Street/C.2 Connection (ped only)
- C.4 Central Way Hotel Connection (right in, right out)

The following street classifications and diagrams represent the various types of streets anticipated in the project. Final location and classification of streets may be adjusted in the final Master plan design to include such design techniques as: tight turning radii to calm traffic, curb bulb outs, textured crossings, etc. Access shall be in compliance with city codes and policies for public improvements and emergency access.

STREET CLASSIFICATION DIAGRAM

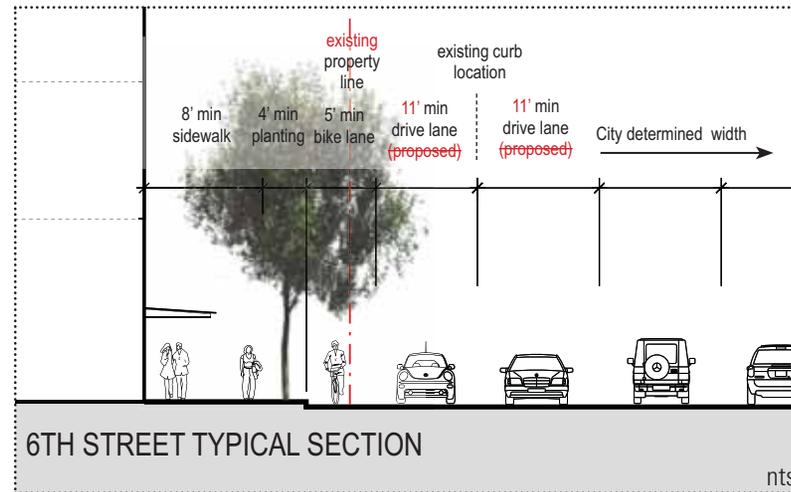
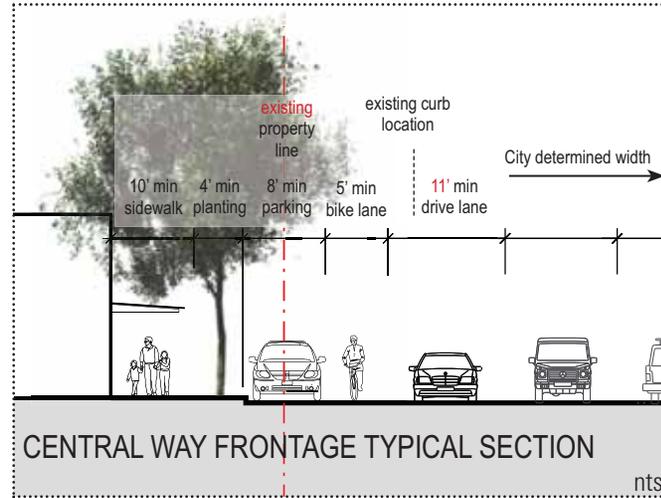
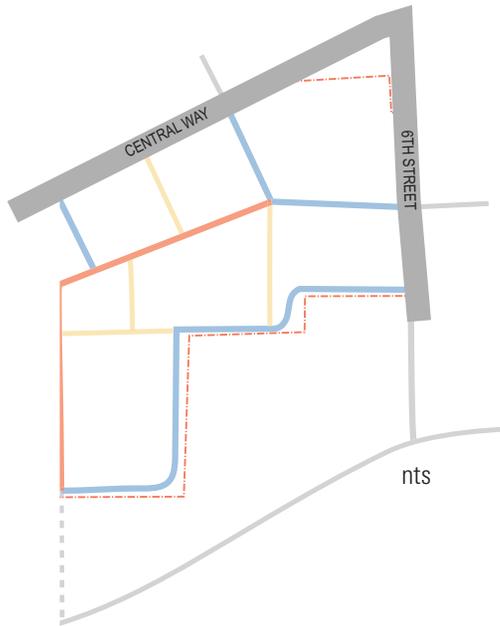


11. STREET CLASSIFICATION

Adjacent Street Improvements

Central Way
6th Street

Street classifications are meant to be typical sections of the roadway. Slight variations may be necessary to accommodate driveways, varied landscaping techniques, street furniture, structural constraints, etc.

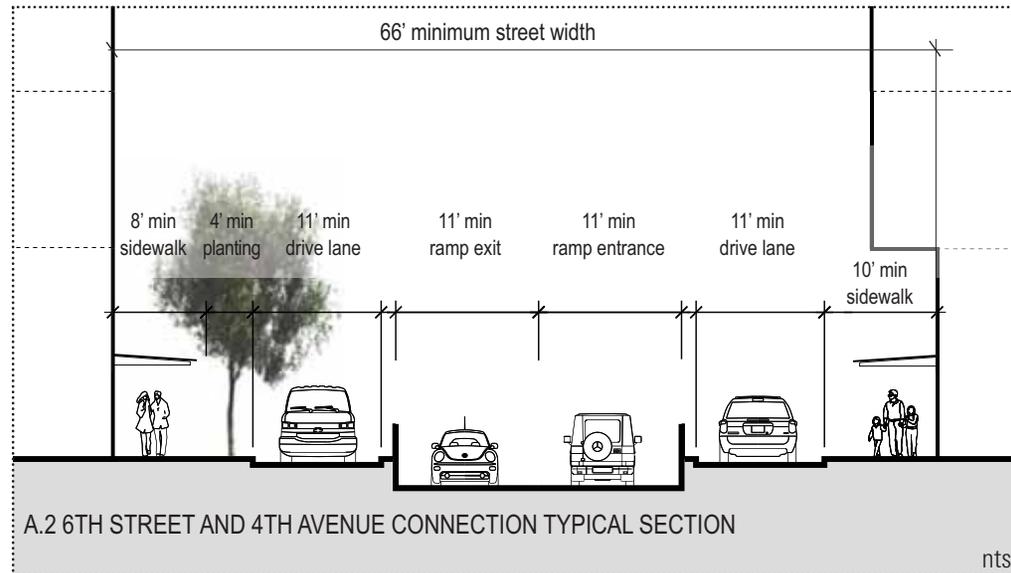
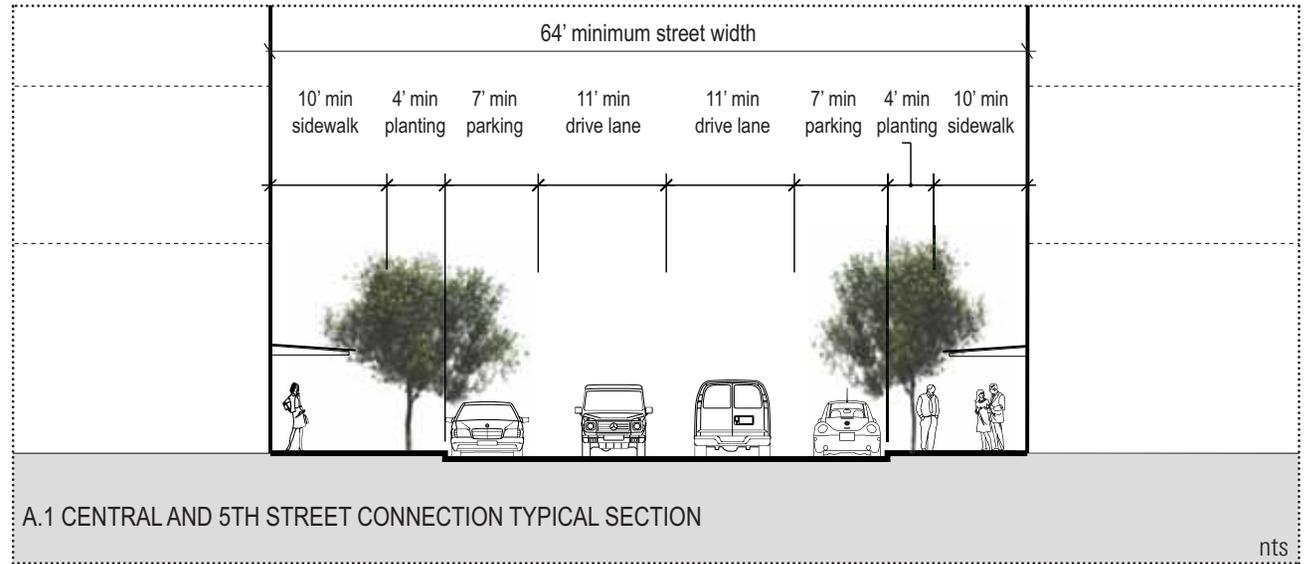
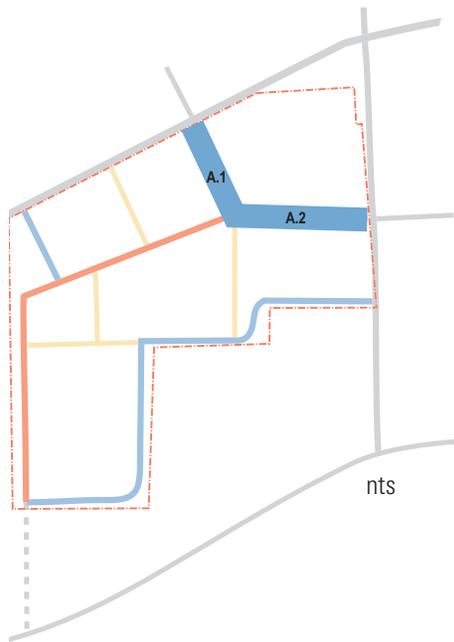


11. STREET CLASSIFICATION

Access Streets

- A.1 Central and 5th Street Connection
- A.2 6th Street and 4th Avenue Connection

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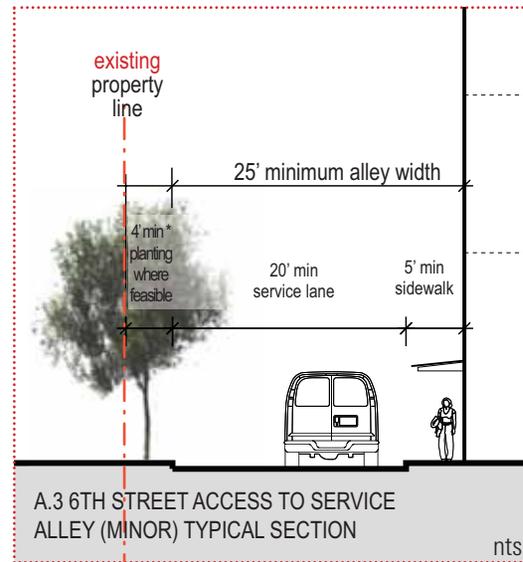
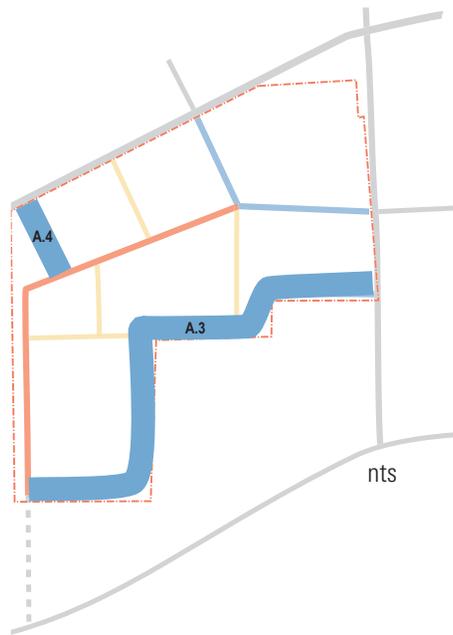


11. STREET CLASSIFICATION

Access Streets

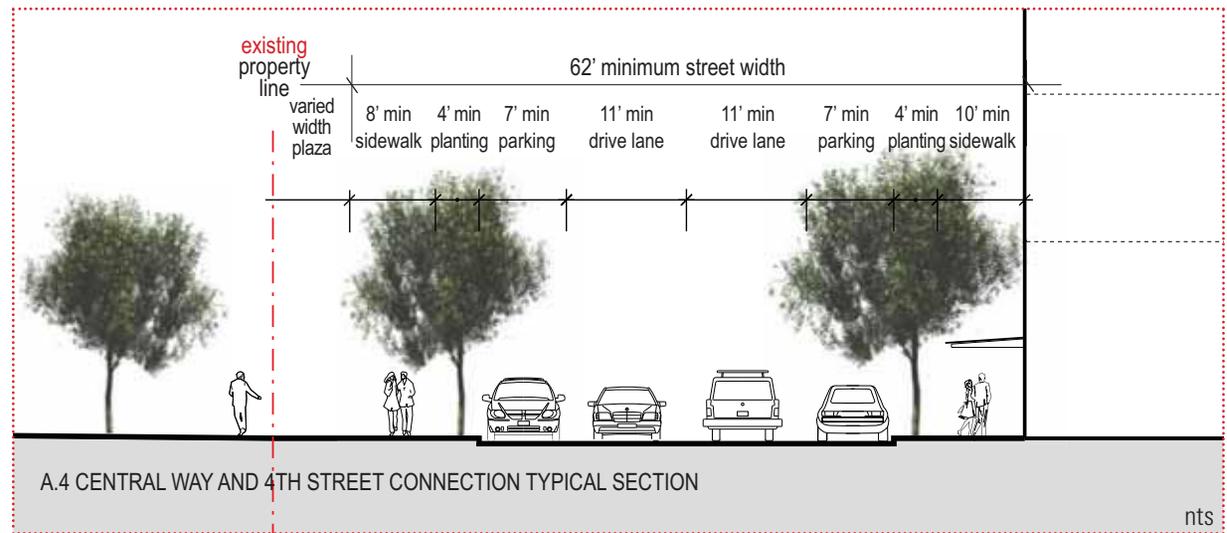
- A.3 6th Street access to service alley (minor)
- A.4 Central Way and 4th Street Connection

Street classifications are meant to be typical sections of the roadway. Slight variations may be necessary to accommodate driveways, varied landscaping techniques, street furniture, structural constraints, etc.



* a landscape or architectural screen should be incorporated along south east property line to buffer property from the adjacent the residential use, (see design guideline on page 27 for exact location).

** an 8' pedestrian path is required along the established pedestrian connections on the southeast portion of the street.

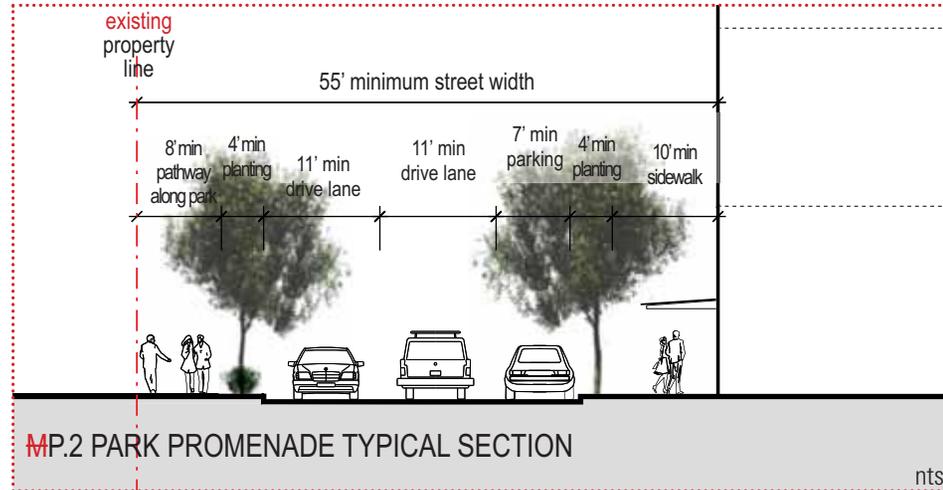
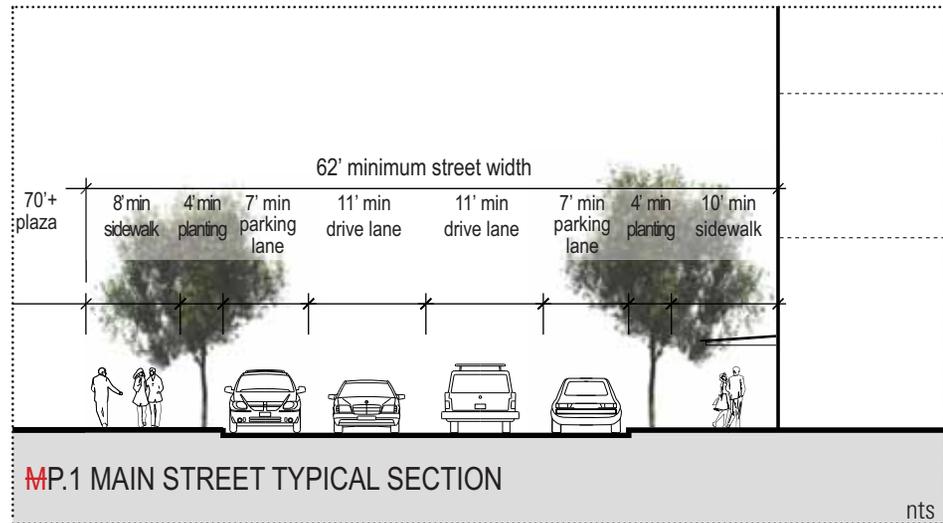
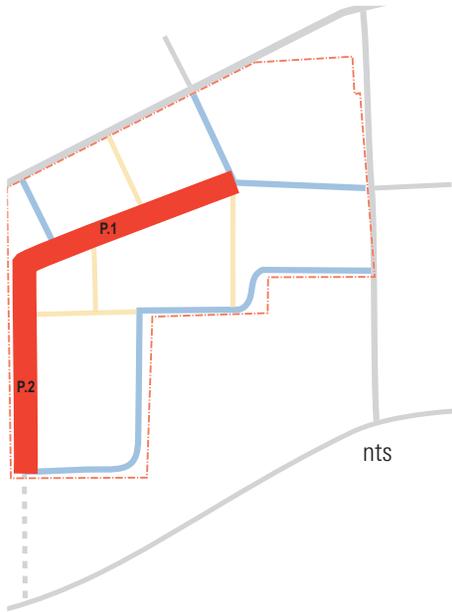


11. STREET CLASSIFICATION

Pedestrian Streets

- MP.1 Main Street
- MP.2 Park Promenade

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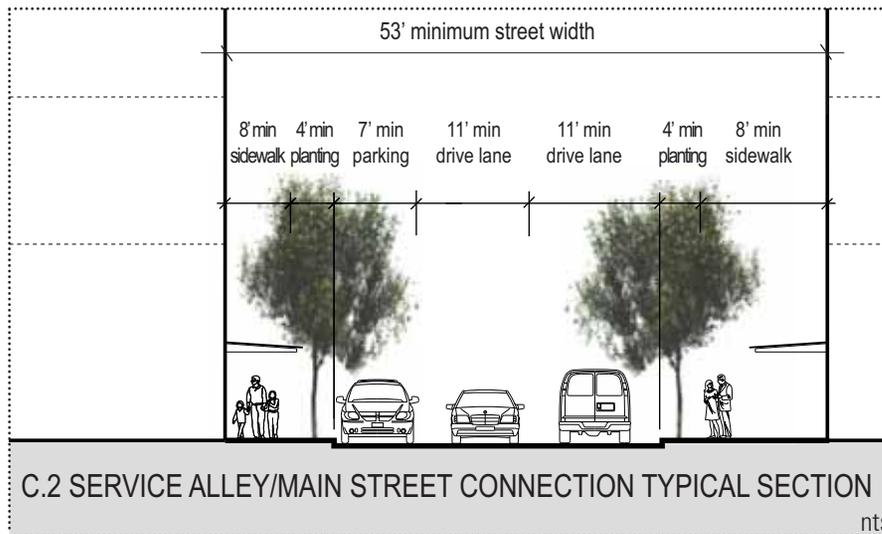
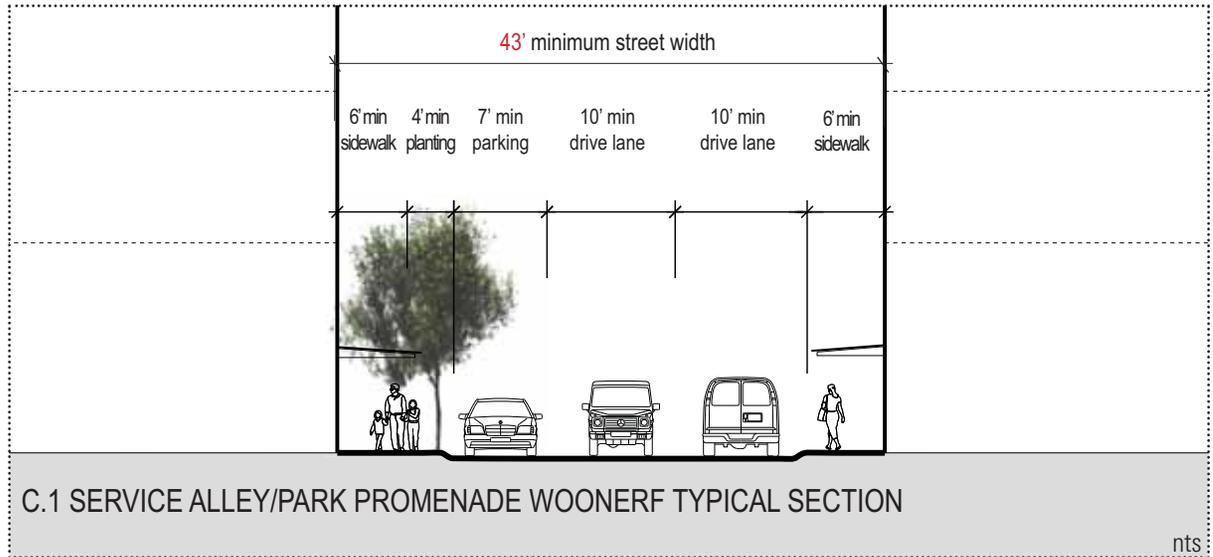
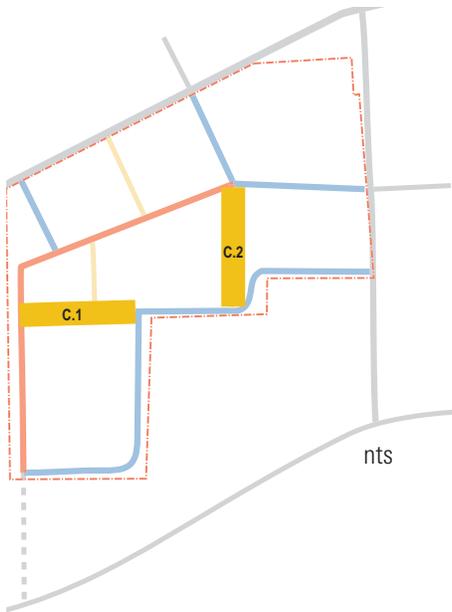


11. STREET CLASSIFICATION

Secondary Connections

- C.1 Service Alley/Park Promenade **Woonerf**
- C.2 Service Alley /Main Street Connection

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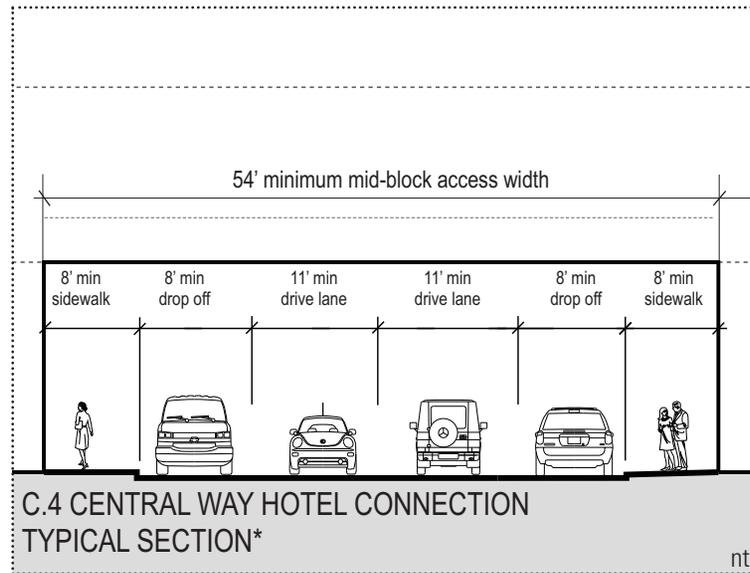
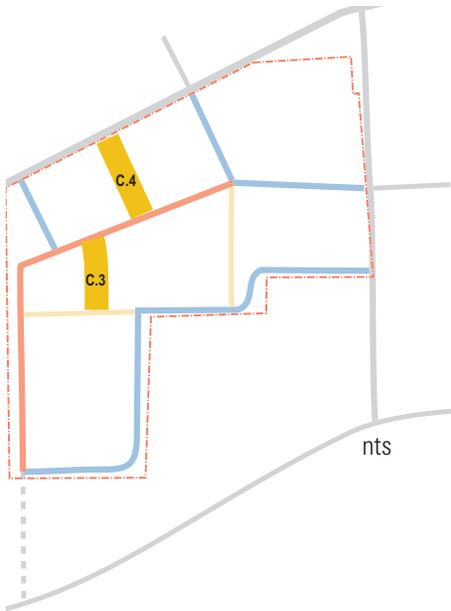
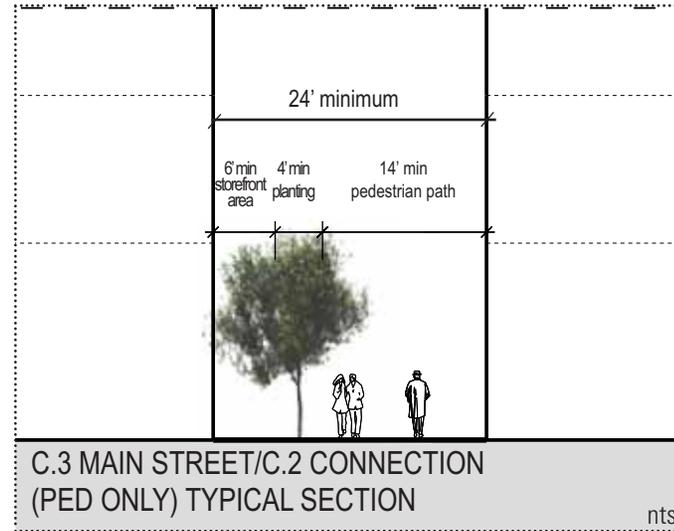


11. STREET CLASSIFICATION

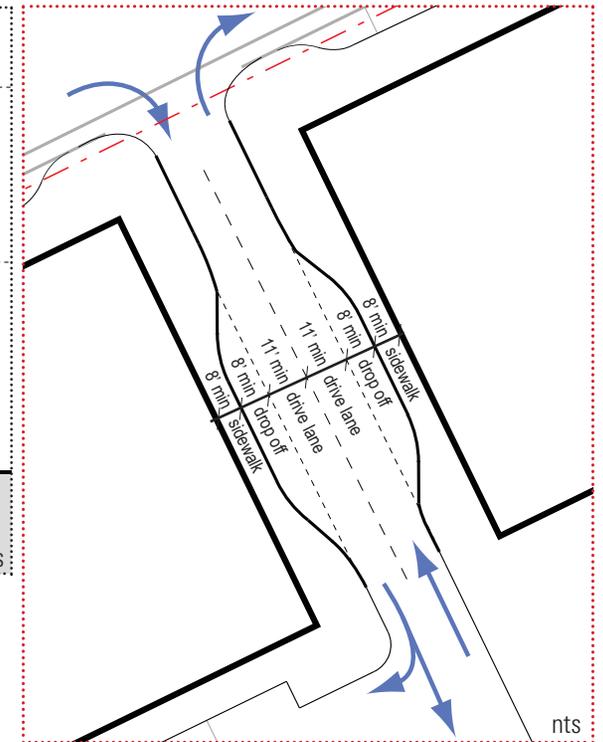
Secondary Connections

- C.3 Main Street/C.2 Connection (ped only)
- C.4 Central Way Connection

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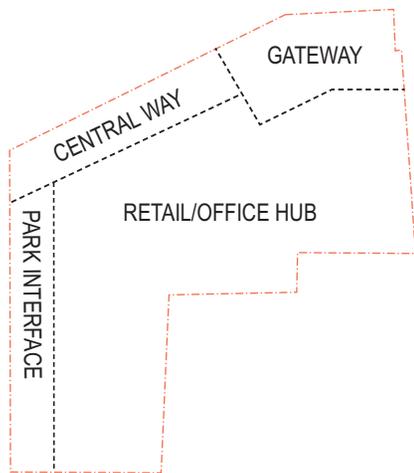
* The connection to Central Way will be a right in, right out per City of Kirkland street standards CK-R.22)



12. ALL DISTRICTS

Overall Intent:

To create a rich pedestrian-oriented environment and successful mixed-use *village* retail center.



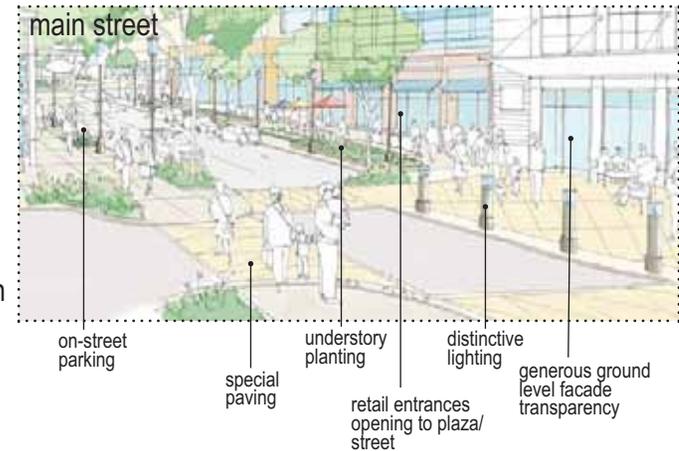
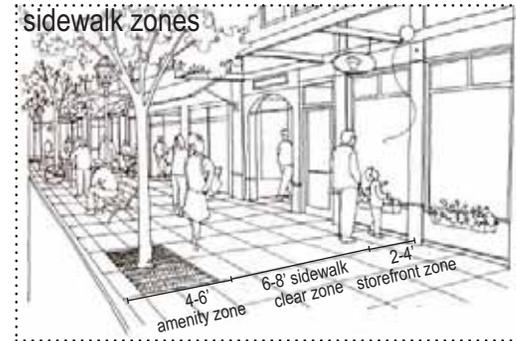
SITE PLANNING

1. Streetscape.

Intent: To maintain a continuous and safe streetscape with a pedestrian-friendly character.

- Sidewalks should maintain at least a 6-8ft clear zone for pedestrian travel.
- All streets should contribute to the physical safety and comfort of pedestrians. Provide both of the following where feasible to help define the sidewalk space:
 - On-street parking, (see street classifications, pgs 8-14)
 - A well-defined amenity zone set to the curb for understory planting, street trees*, and other street furniture such as benches, trash receptacles, signs.
- Use design elements such as separate storefronts, pedestrian-oriented signs, exterior light fixtures, awnings and overhangs to add interest and give a human dimension to street-level building facades.
- In general, buildings should be set as close as possible to sidewalk to establish active, lively uses. Maintain a continuous street wall, limiting gaps to those necessary to accommodate vehicular and pedestrian access.
- Encourage recessed main building and/or shop entrances consistent with a traditional "main street" design that is inviting and **promotes does not interrupt** streetscape continuity.
- The corners of buildings located at street intersections **may should be permitted to** step back to promote visibility and to allow for the comfortable collection of people.
- Allow larger buildings to recess from the sidewalk edge to allow for entry fore-courts, provided street continuity is not interrupted along the majority of the block.

*Minor deviations for street trees and major planting spaces may be necessary in some spaces due to structural constraints.

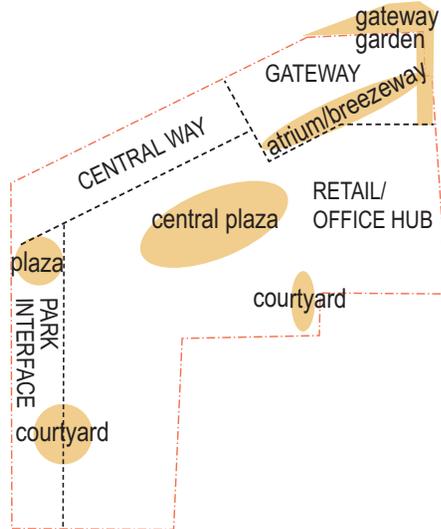


street level faced with recessed entrances, pedestrian oriented signs, and street trees

12. ALL DISTRICTS

Overall Intent:

To create a rich pedestrian-oriented environment and successful mixed-use **village** retail center.

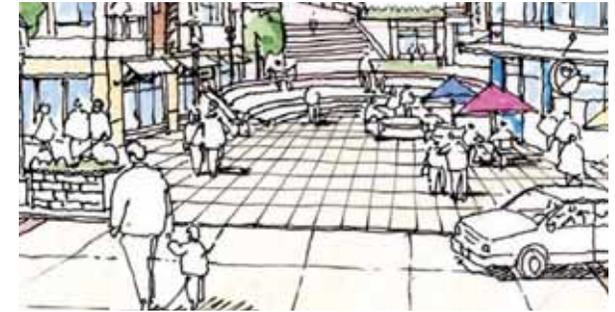


SITE PLANNING

2. Public Spaces: Plazas, Courtyards and Seating Areas

Intent: To provide a friendly pedestrian environment by creating a variety of usable and interesting public and semi-public open spaces within private development

- a. Make plazas and courtyards comfortable for human activity and social interaction – standing, sitting, talking, eating.
- b. Define and contain outdoor spaces through a combination of building and landscape; oversized spaces that lack containment are discouraged.
- c. Establish pedestrian pathways that link public spaces to other public spaces and streets.
- d. Plazas and courtyards should include the following:
 - Planters and trees to break up space.
 - Seating, such as benches, tables, or low seating walls.
 - Special paving, such as integral colored/stained concrete, brick, or other unit pavers.
 - Specialty pedestrian scale bollards or other types of accent lighting.
 And at least one of the following:
 - Public art.
 - Water feature.
- e. Design spaces to allow for variety and individualization of temporary installations such as: lighting, banners, artwork, etc.



contained outdoor space with special paving, landscaping, seating and pedestrian linkages



plaza space with seating and landscaping



courtyard with seating and water features

3. Environmental Considerations.

UNDER DEVELOPMENT

Consider environmental conditions such as sun, shade and prevailing winds when positioning courtyards and outdoor seating areas. Consider including the following amenities:

- a. Provide features and amenities to encourage and enhance pedestrian and bicycle access through out the project.
- b. Provide Low-Impact Design (LID) stormwater treatment techniques designed to reduce or prevent stormwater disposal.

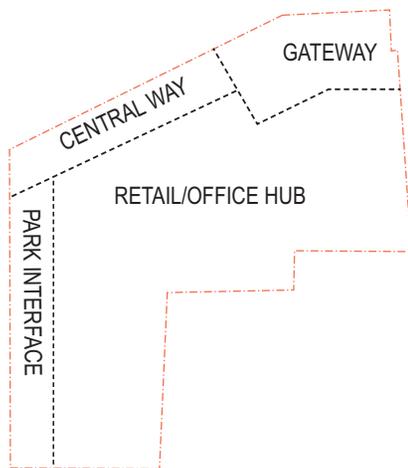


LID stormwater planting treatment

12. ALL DISTRICTS

Overall Intent:

To create a rich pedestrian-oriented environment and successful mixed-use **village** retail center.



SITE PLANNING

4. Pedestrian Connections and Wayfinding

Intent: To create a network of safe, attractive, and identifiable linkages for pedestrians.

- a. Clearly defined pedestrian connections shall be provided at locations specified in the Street Classification sections (pgs 8 -14).

5. Lighting

Intent: To ensure that lighting contributes to the character of the project, provides personal safety, and does not disturb adjacent developments and residences

- a. Use City-approved fixtures for street lighting along the city streets.
- b. Lighting elements throughout the project **and on adjoining rights of way** should be coordinated, including public open spaces, accent lighting, and streets.
- c. Accent lighting along public right of way should be soft in character and enrich the pedestrian street life.
- d. Accent lighting within the central pedestrian space should be congruous with the character of the project and supportive of the Arts and Open Space Program (see page 6) .
- e. Lighting should include non-glaring design solutions, such as cut off fixtures that avoid light spilling over onto other properties.
- f. Flood lighting of entire building facades is discouraged.

6. Screening of Trash and Service Areas

Intent: To screen trash and service areas from public view.

- a. All service, loading and trash collection areas shall be screened by a combination of planting and architectural treatment similar to the design of the adjacent building.
- b. Avoid where ever possible locating service, loading and trash collection facilities in pedestrian-oriented areas.



passageway with retail and pedestrian-scale lighting



pedestrian only connection with significant landscaping



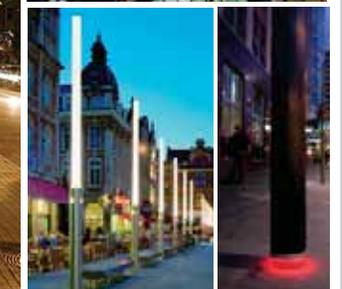
narrow passageway/ fire access with retail and pedestrian-scale lighting



clear pedestrian connection alley with retail and landscaping



pedestrian-scaled lighting



artful and expressive lighting

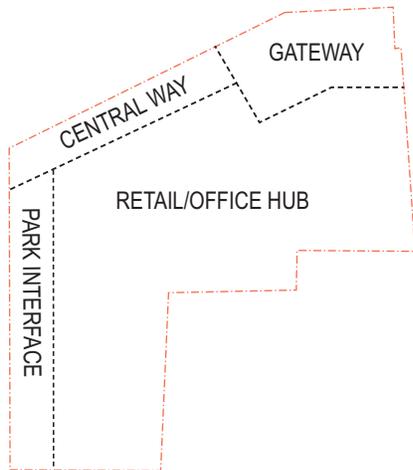


service screening

12. ALL DISTRICTS

Overall Intent:

To create a rich pedestrian-oriented environment and successful mixed-use *village* retail center.



SITE PLANNING

7. Signs: A Master Sign Plan will be created with the City that is in keeping with the following design objectives:

Intent: To create signs that are creative, engaging and effective for a variety of user groups and respond to a variety of spaces.

- a. Signs should be complementary and integrated with the unique character of the specific districts and/or buildings where they are located.
- b. Signage should be high quality and consistent with the contemporary urban/downtown character of comparable developments in similar regions.
- c. The design of buildings should identify locations, sizes and general design for future signs.
- d. ~~The diversity of sign design shall~~The Master Sign Plan should be a hierarchy of elements ~~pertaining to the~~ based on use and function, including:
 - site signage for entries, wayfinding, Parkplace identity
 - building signage for addressing and landmarking
 - tenant signage to encourage expressive individualization.
- e. ~~The Sign Master Plan will establish a hierarchical system of signs based on use and function, including: wayfinding, office and upper level signs, retail and street level signs and free-standing signs.~~



signage integrated with the building design



unique character pedestrian oriented retail signage

12. ALL DISTRICTS

Overall Intent:

To create a rich pedestrian-oriented environment and successful mixed-use **village** retail center.

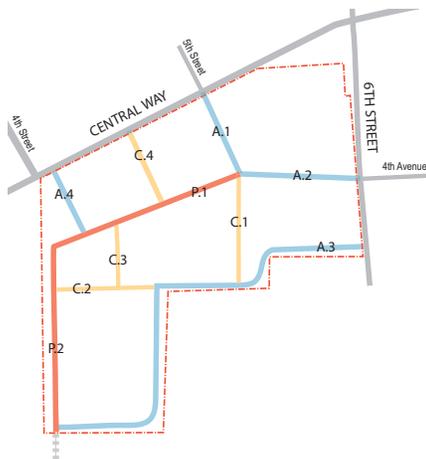
BUILDING DESIGN

1. Orientation to the Street

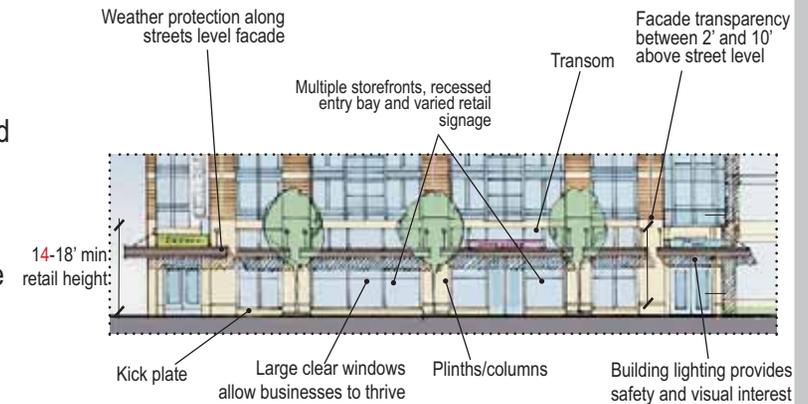
Intent: Ensure that buildings contribute to the liveliness of Parkplace's public spaces, and overall community character.

The following design treatments should apply to areas with required retail frontages, (see diagram on page 7):

- Streets and public spaces should be enlivened by storefronts, windows, merchandise and other activity. Buildings should be designed with frequent entrances to encourage multi-tenant occupancy and walk-in traffic.
- Ground level retail heights should be between 145-18 feet in height.
- Entrances: Principal building entry should be visible from the street and public space and marked by large entry doors, canopy/portico/overhang.
- Transparency:** To provide a visual connection between activities, ground floor façades should provide the following minimum standards
 - windows of clear vision glass (**transparency**) beginning no higher than 2' above grade to at least 10' at above grade
 - 60% minimum of **facade length** along Central Way, **MP.1**, **MP.2** should provide transparency
 - 50% minimum of **facade length** along A.1, A.4 should provide transparency.
- Weather Protection:** To provide pedestrians cover from weather. Canopies or awnings should be:
 - be a minimum of 5 feet in width **unless in conflict with vehicles**.
 - at least 75% of facades along required retail frontages constructed of a permanent, durable material.



street level emphasis



pedestrian-oriented street level facade



Building design that enhances the activity on the street with multiple storefronts, and a variety of signs, awnings and merchandise displayed.

12. ALL DISTRICTS

Overall Intent:

To create a rich pedestrian-oriented environment and successful mixed-use *village* retail center.

BUILDING DESIGN

2. Massing/Articulation

Intent: To create a variety of form and massing through articulation and use of materials to maintain a pedestrian scale.

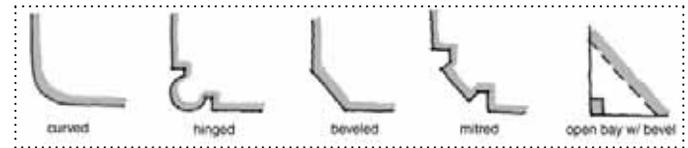
- a. In general, break down the scale and massing of buildings into smaller and varied volumes.
- b. Buildings should distinguish a “base” using articulation and materials. Include regulating lines and rhythms which may include cornice lines, belt lines, doors and windows, etc to create a pedestrian-scaled environment.
- c. Provide clear pattern of building openings. Windows, balconies and bays should unify a building’s street wall and add considerably to a façade’s three-dimensional quality.
- d. The use of ribbon windows and mirrored glass is strongly discouraged.
- e. Employ major architectural expressions into the façade, roof form, massing and orientation, such as tower forms, over-sized windows and entrances to demarcate important gateways and intersections; strong corner massing can function as a visual anchor at key locations within the project area. See diagram (left) for encouraged key locations.



window patterns, articulation, building modulation



window patterns, articulation architectural expression

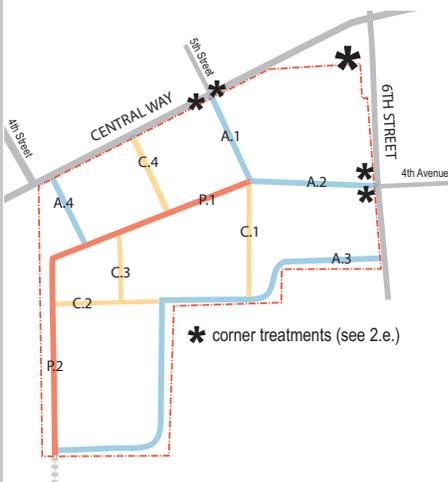


corner treatments

- f. Roof Silhouettes:
 - Express roofs in varied ways.
 - Give consideration to potential views of the roof top from adjacent buildings.
- g. Rooftop Equipment. Locate and/or screen rooftop equipment so that it is not visible from streets and other public spaces. Use methods of rooftop screening that are integral to the building’s form.



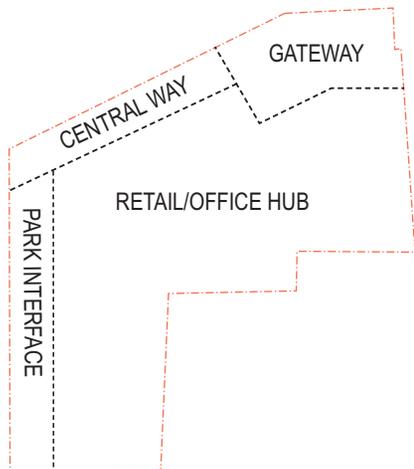
roof forms



12. ALL DISTRICTS

Overall Intent:

To create a rich pedestrian-oriented environment and successful mixed-use *village* retail center.



BUILDING DESIGN

3. Blank Wall Treatments

Intent: To reduce the visual impact of blank walls by providing visual interest.

- a. Although blank walls are generally not encouraged along public streets and pedestrian spaces, there may be a few **occasions** in which they are necessary for functional purposes. Any blank walls in these locations that are longer than **20** feet should incorporate two or more of the following:
 - Vegetation, such as trees, shrubs, ground cover and vines adjacent to the wall surface.
 - Artwork, such as bas-relief sculpture, murals, or trellis structures.
 - Seating area with special paving and planting.
 - Architectural detailing, reveals, contrasting materials or other special visual interest.

4. Encourage High-Quality Design

Intent: To ensure that all buildings in the project area are constructed as a quality addition to the Kirkland Community.

- a. Exterior architectural design and building materials should exhibit permanence and quality appropriate to an urban setting.

5. Building Diversity

Intent: To ensure that buildings in the project are distinct and respond to the unique character of their specific district.

- a. Buildings should be designed to integrate with each other, while allowing for an architectural diversity that is responsive to each specific district and its site conditions.
- b. Materials should be selected to integrate with each other, while allowing a richness of architectural diversity for various buildings.
- c. Windows should incorporate variation in patterning between buildings.



Columns, trellis, art and varied materials offer visual appeal on blank walls



A green wall can soften an otherwise unwelcoming street level facade

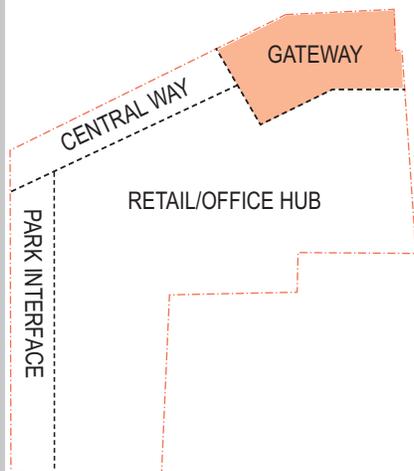


Buildings using high quality materials at the street level

13a. GATEWAY DISTRICT

INTENT:

To create a welcoming feature to the Parkplace development and downtown Kirkland. This area should create an inviting entryway that is representative of the community through the use of art, landscape and architecture.



SITE PLANNING

1. Incorporation of Triangular Lot “Gateway Garden”

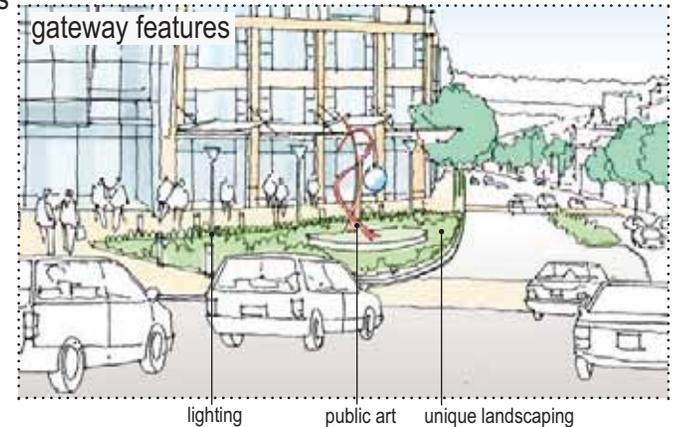
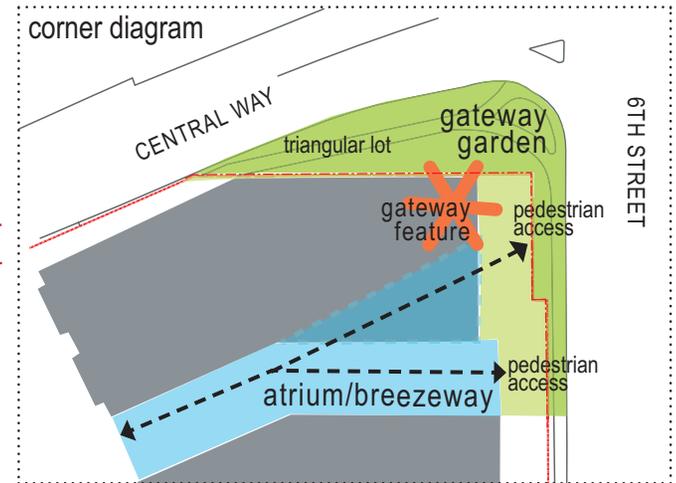
Incorporate the northeast triangular lot (excess right-of-way) into the project design to create a distinct gateway entrance that is integrated with the Parkplace development. ~~The design of this area should encourage a symbolic sense of community ownership of this key gateway.~~ Include:

- Public Access:** Public access into the site should be visible and accessible from the corner of 6th Street and Central Way.
- Hardscape / Vegetation:** Paving and landscaping materials should ~~be used to~~ distinguish pedestrian spaces and access.
- Trees and Other Planting:** Landscaping should be of appropriate scale and species to make an appropriate gateway gesture. Trees should be selected ~~and maintained~~ to provide visibility of businesses, and ~~maintained~~ to encourage proper growth and height.
- Signage** (downtown entry): Incorporate wayfinding signage directing visitors to ~~areas of interest~~: Downtown/ Peter Kirk Park/Waterfront ~~and~~ Marina.

2. Public Space Connecting to Triangular Lot

Design of additional public space should be integrated with the triangular lot to provide a congruous pedestrian environment.

- Public Access:** Connect pedestrian access to the gateway garden, adjacent streets and public open spaces.
- Hardscape / Vegetation:** Paving and landscaping materials should ~~be used to~~ distinguish pedestrian spaces and access.
- Seating:** Incorporate seating along pedestrian pathways and gathering spaces.
- Lighting:** Pedestrian-scaled lighting should be incorporated along pedestrian pathways.
- Artwork:** Incorporate public art in an appropriate scale to distinguish the significance of this corner.



A gateway building and public open space can together shape a welcoming gathering space at this important corner

13a. GATEWAY DISTRICT

INTENT:

To create a welcoming feature to the Parkplace development and the City. This area should create an inviting entryway that is representative of the community through the use of art, landscape and architecture.

SITE PLANNING

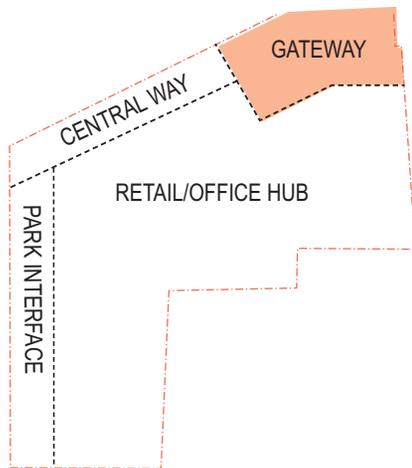
4. Atrium/Breezeway Space

Create a pedestrian connection from the corner of 6th and Central into the heart of the project, (see standards on page 7). The atrium/breezeway space will include the following:

- a. Covered walkway
- b. Public connection from 6th to central plaza
- c. Pedestrian lighting
- d. Seating

and may consider including:

- d. Enclosed public space
- e. Retail / restaurant uses
- f. Covered play /activity space.



possible atrium/breezeway treatments:



galleria accessing restaurants and landscaped public seating areas



open air lattice covered atrium with outdoor cafe seating



breezeway between buildings

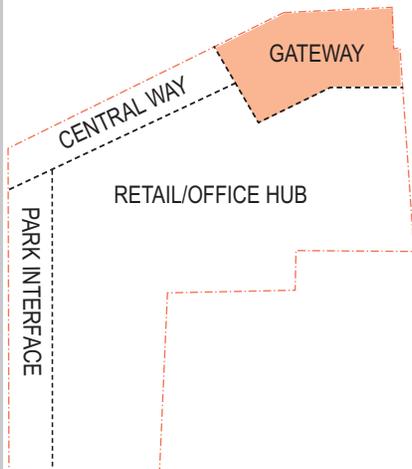


conceptual rendering of corner buildings on 6th and Central showing ground level setbacks and change of expression for upper levels

13a. GATEWAY DISTRICT

INTENT:

To create a welcoming feature to the Parkplace development and the City. This area should create an inviting entryway that is representative of the community through the use of art, landscape and architecture.



BUILDING DESIGN

1. Ground Level Treatment

- Setbacks from Streets** - The ground floor levels of the corner building should be permitted to set back to allow for cut away view and obvious pedestrian connection into the site.
- Retail / Restaurant Uses** - Design for retail and restaurant uses along ground floor of the corner building.
- Details Visible at Different Movement Speeds** - Incorporate details in the building along the corner that bring visual interest at the pedestrian level, as well as for vehicular traffic entering Kirkland.

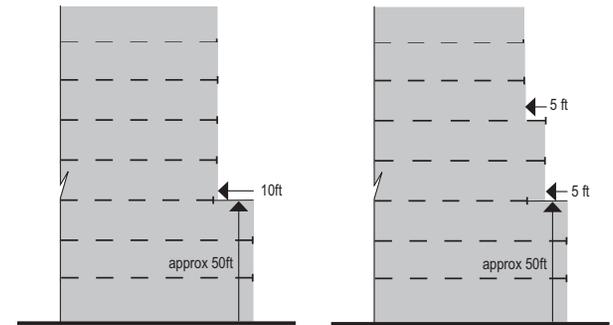
2. Upper Levels

- Change of Expression: Material Choices** A clear visual division between upper and lower floors should be incorporated through a change in materials, colors, and forms.
- Step backs:** A modulated stepback should be incorporated after the third level (approximately 50') on building facade along Central Way. This step back can vary in depths from 0-10 feet, so long the upper levels of building appear to be receding from the base.
- Top Floor / Roof Edge** - Should be have distinct profile against the sky through elements such as projections, overhangs, cornices, trellises, changes in material or other elements.
- Accent Lighting:** The innovative use of accent lighting incorporated into the building facade is encouraged.
 - Lighting should include non-glaring design solutions, such as cut off fixtures that avoid light spilling over onto other properties.
 - Flood lighting of entire building facades is discouraged.

gateway corner approaches



conceptual rendering of corner buildings on 6th and Central showing ground level setbacks and change of expression for upper levels



possible upper level step backs



example of 10' step back modulation



accent and pedestrian lighting

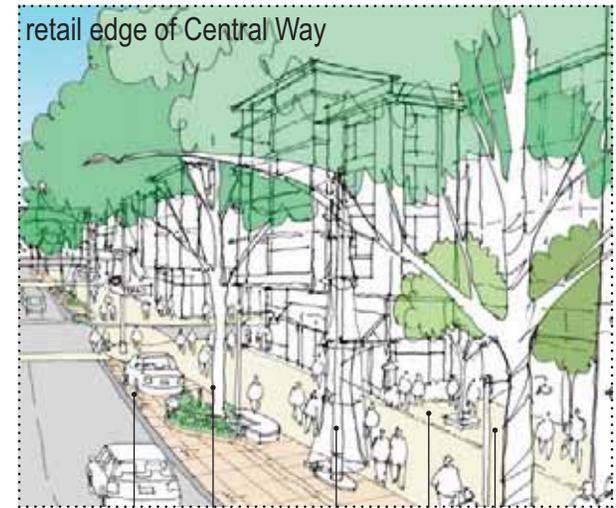
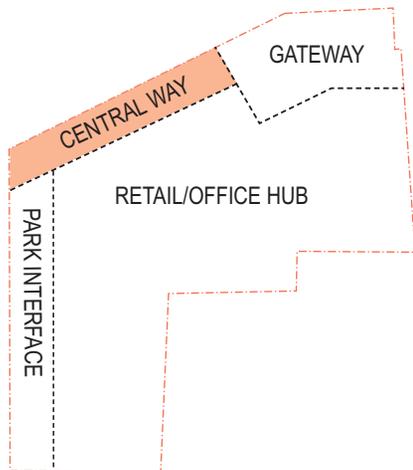
13b. CENTRAL WAY DISTRICT

INTENT:

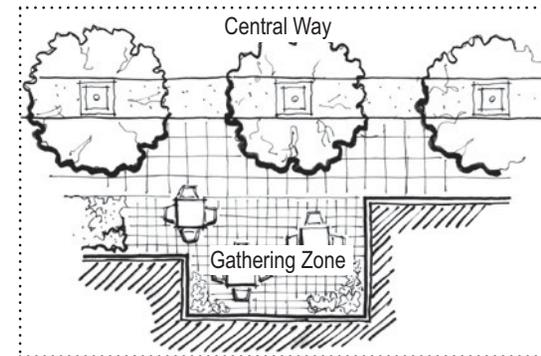
To respond to Central Way as a major arterial that links downtown Kirkland with the areas east and beyond, Parkplace must take advantage of this volume and activity to help create a multi-functioning, pedestrian-scale shopping street.

SITE PLANNING

1. Encourage and activate the street edge by incorporating:
 - on-street parking along Central Way
 - buildings located up to the edge of the sidewalk
 - storefront **and hotel** entrances
 - greater amenity zone of sidewalk (trees, lights, benches)
 - street tree selection and spacing that provide visual continuity, buffers pedestrians from the busy street, and allows visibility of retail
 - pedestrian signage.
2. Reduce the length of the street wall by pulling back portions of the building at the ground level from the street edge in key locations, provided street continuity is not interrupted.
3. The limited vehicular access to the porte cochere (drop-off) for the hotel may be accessed from Central Way and into the interior of the project, (per C.4 section on pg 14). Pedestrian access along this route should include pedestrian-scaled lighting and a clear connection to the streetscape/plaza space on the opposite side.



on-street parking ped-scaled light vehicular-scaled light small courtyard large tree species



Courtyard and gracious entry along Central Way

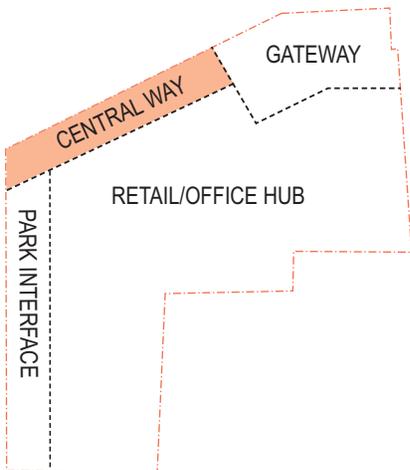


Building set to sidewalk with on-street parking

13b. CENTRAL WAY DISTRICT

INTENT:

To respond to Central Way as a major arterial that links downtown Kirkland with the areas east and beyond, Parkplace must take advantage of this volume and activity to help create a multi-functioning, pedestrian-scale shopping street.



BUILDING DESIGN

1. Reduce apparent bulk of buildings along Central Way by incorporating a 20 foot upper level step back after the third (3) story. These step back can vary in depths from 0-20 feet, so long the overall upper levels of building appear to be receding from the base.
2. Facades that are stepped back should distinguish by a change in elements such as window design, railings, trellises, details, materials and/or color so that the result is a rich organized combination of features that face the street.
3. Balconies, terraces and landscaping features are encouraged in upper level stepbacks.

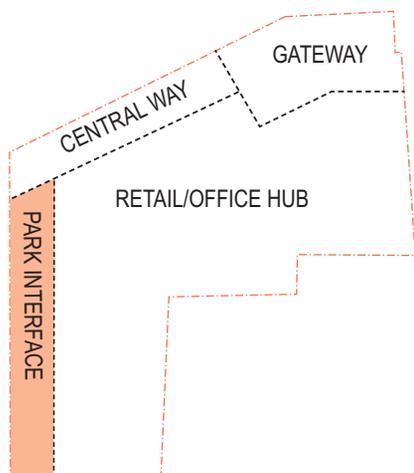


examples of varied step backs

13c. PARK INTERFACE DISTRICT

INTENT:

To create a strong connection from the park and downtown core that allows for clear pedestrian flow to and into the site by incorporating engaging building frontages and other design treatments.

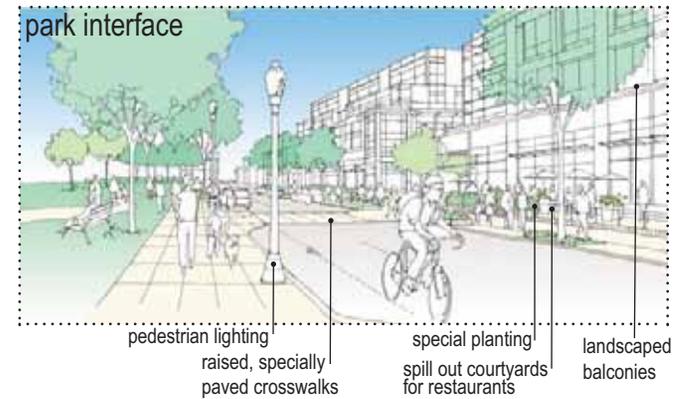


SITE PLANNING

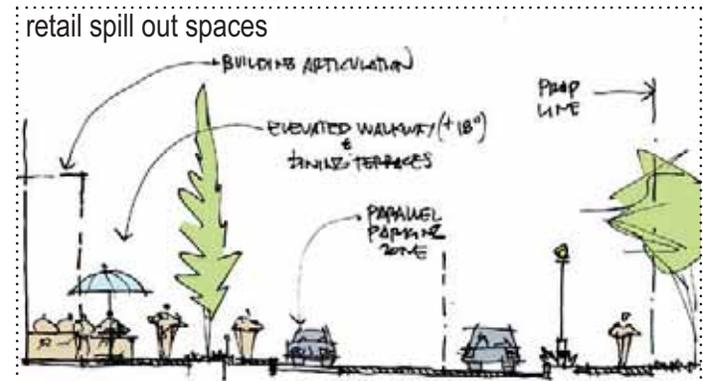
1. Incorporate ample landscaping and distinctive lighting.
2. Incorporate raised crosswalks **10-20' in width** and special paving to promote pedestrian priority along the promenade (see street section on page 12)
3. Encourage retail spill out spaces and landscaped courtyards along the building edge. Bring the "indoor" out and the "outdoor" in by spilling retail spaces onto the sidewalk and creating small gathering spaces along building edges.

BUILDING DESIGN

1. Buildings shall address park and promenade street by incorporating:
 - terraces and balconies
 - entrances to retail along promenade
 - greater transparency at ground floor.
2. Where feasible, **consider** providing rooftop terraces on lower roof levels as gathering spaces that include such amenities as:
 - seating
 - landscaping
 - canopies or coverings for weather protection
 - **public access.**



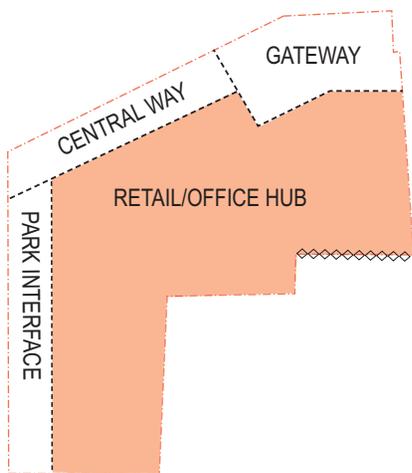
buildings addressing promenade and providing street fronting courtyards



13.d CENTRAL RETAIL HUB

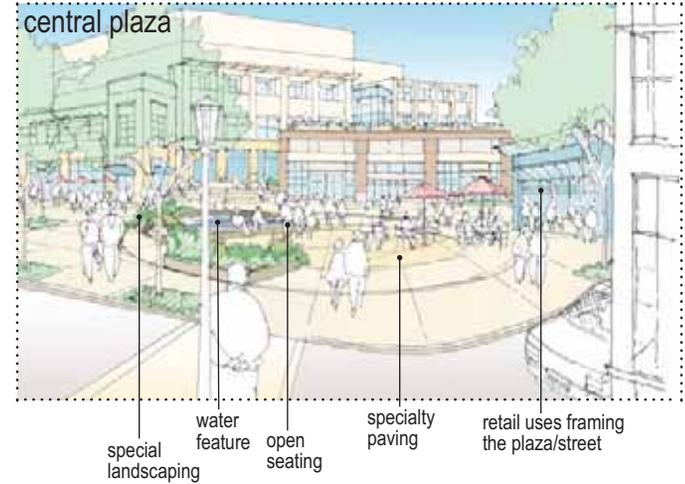
INTENT:

To establish a vibrant Central Retail Hub with activated public space and retail/window shopping experience with offices, hotel and sports club uses overlooking a common central plaza.



SITE PLANNING

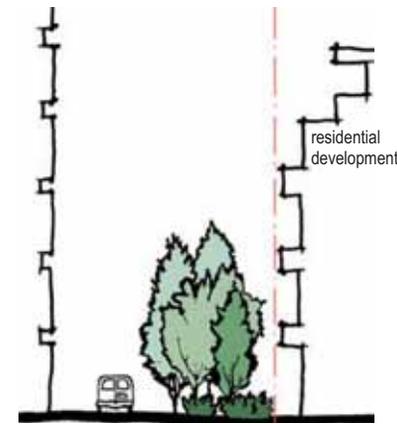
1. The central plaza space (see pedestrian space standards, pg 7) should be a grand gathering and activity space by incorporating the following:
 - special paving
 - water feature
 - special landscaping
 - seating- covered and open
 - distinct lighting
 - access to sunlight
 consider also providing:
 - small retail pavilion
 - accommodations for concerts/performances
 - kids play area/childrens interactive feature.
2. The plaza space should be supported as an important activity space by being surrounded by active public-oriented amenities such as ground floor retail, restaurants and cafes.
3. Locate plaza at or near street grade to promote physical and visual connection to the street and adjacent buildings and their entrances.
4. Design outdoor space with safety in mind; public plazas should promote visibility from the street and provide architecturally compatible lighting to enhance night time security.
5. A 10 foot permanent landscaped edge along the southeast property line adjacent to residential uses should be incorporated within the street design, (see section on page 11 and diagram to the left: ◇◇◇◇◇◇◇◇).



large plaza space with distinctive lighting and interactive water feature



plaza space with special paving and seating and small retail pavilion



landscaped edge along adjacent residential use

13.d CENTRAL RETAIL HUB

INTENT:

To establish a vibrant Central Retail Hub with activated public space and retail/window shopping experience with offices, hotel and sports club uses overlooking a common central plaza.

BUILDING DESIGN

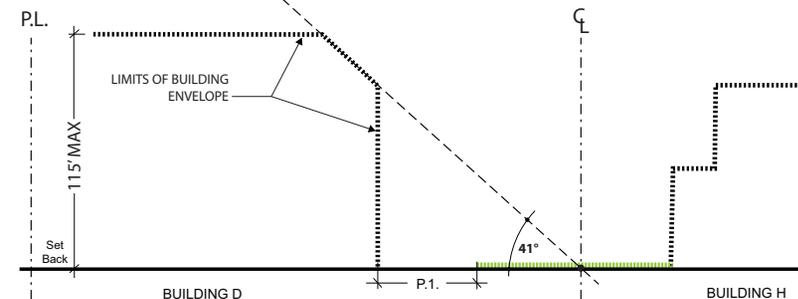
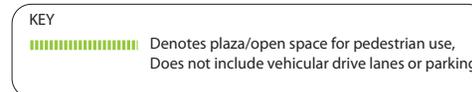
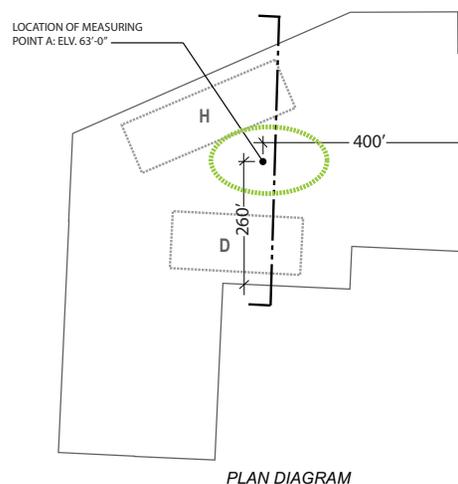
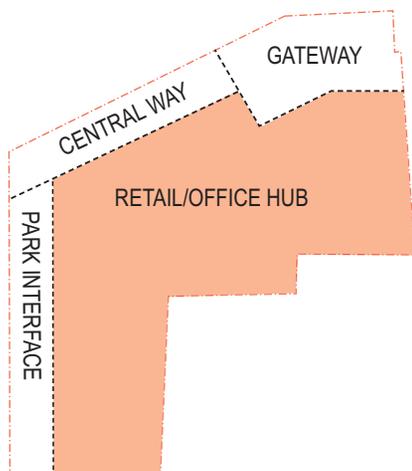
1. Lower level facades with predominant retail uses should **locate entrances and be** set to the sidewalk line or edge of public space to frame pedestrian spaces in key locations.
2. Where feasible, **consider** providing rooftop terraces on lower roof levels as gathering spaces that include such amenities as:
 - seating
 - landscaping
 - canopies or coverings for weather protection
 - **public access.**
3. In order to maximize the amount of sunlight in the central plaza, building D should be contained under a line at a 41 degree angle measured from the center of the plaza, per diagrams below.



publicly accessible roof top terrace



retail uses framing pedestrian courtyards and patios



SCHEMATIC SECTION LOOKING WEST

SEPTEMBER 29, 2008 DRAFT