



CITY OF KIRKLAND

Planning and Community Development Department
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ADVISORY REPORT FINDINGS, CONCLUSIONS, AND RECOMMENDATIONS

To: Kirkland Hearing Examiner

From: _____ Eric R. Shields, AICP, Planning Director

_____ Susan Lauinger (formerly Greene), Project Planner

Date: February 8th, 2011

File: ZON10-00022 CENTRAL PARK TENNIS CLUB

Hearing Date and Place: February 17th, 2011, 7 pm.
City Hall Council Chamber
123 Fifth Avenue, Kirkland

I. INTRODUCTION

A. APPLICATION

1. Applicant: Larry Ho of Freiheit and Ho Architects on behalf of the Central Park Tennis Club.
2. Site Location: 12630 NE 59th Street (see Attachment 1, vicinity map).
3. Request: Build a new indoor tennis building housing 4 courts, close the existing access to the Tennis Club on 127th Ave NE and change it to a private easement called 125th Lane NE that accesses directly from NE 60th Street. The existing parking lot would be demolished and a new parking lot will be constructed entering from 125th Lane NE. No changes to the existing club facilities are planned (see Attachment 2, applicant's plans).
4. Review Process: Process IIB, Hearing Examiner conducts public hearing and makes recommendation; City Council makes final decision.
5. Summary of Key Issues: The key issues for this project include a new access point proposed for the Tennis Club, height and berming requirements, and street improvements.

B. RECOMMENDATIONS

Based on Statements of Fact and Conclusions (Section II), and Attachments in this report, staff recommends approval of this application subject to the following conditions:

1. This application is subject to the applicable requirements contained in the Kirkland Municipal Code, Zoning Code, and Building and Fire Code. It is the responsibility of the applicant to ensure compliance with the various provisions contained in these ordinances. Attachment 3, Development Standards, is provided in this report to familiarize the applicant with some of the additional development regulations. This attachment does not include all of the additional regulations.
2. As part of any permit submission for the proposal (see Conclusion II.G.1.b):

- a. If the trees along the east side of the new tennis structure can not be retained, the applicant shall submit new plans that show a vegetative earthen berm on the east side of the structure, planted with sight-obscuring vegetation (see Also Condition number 6 below).
 - b. Any changes to plant selection shown in the landscape plan shall be reviewed by the Planning Department for conformance with special regulations 3, 4, and 5 of KZC 60.182.030. See also condition 6 below. Attachment 13 shows a contingency plan that shall be followed if the significant trees along the east property line cannot be saved in order to provide a sight obscuring landscape buffer.
 - c. All ancillary uses shall operate within the hours of operation for the Tennis Club as stated in Attachment 14, and shall be accessory to the primary approved use of a member's only tennis club. Expansion of any ancillary use shall require prior approval of the Planning Department
3. A modification is granted to the Tennis Club for sidewalk improvements. As part of the land surface modification permit, the applicant shall submit construction plans to the Public Works Department for the approved construction-in-lieu improvements on the north side of NE 60th that extends from the east edge of Ben Franklin Elementary school as far toward 132nd Ave NE as is feasible with the construction in lieu valuation of \$132,000. Additionally, instead of standard curb, gutter and sidewalk improvements, a modification is granted to build a single path with a landscape buffer between NE 60th Street and the path. The applicant should work with the Public Works Department to build this path with materials that can be utilized by pedestrians, school children, and equestrians. The pedestrian path will vary in width from 7-10 feet depending on topographic constraints (see Conclusion II.G.2.b).
4. Prior to Certificate of Occupancy, the applicant shall install a public pedestrian pathway as shown on their plans extending from 127th Ave NE to NE 60th Street. The path shall be built per Public Works Standards as found in Attachment 3. This path shall remain open to the public and the applicant shall submit a public pedestrian easement in a form approved by the City Attorney (see Conclusion II.G.3.b).
5. During club special events, the club shall put out signs to instruct attendees not to park on 125th Lane NE, 60th Street NE or within the neighborhoods surrounding the Tennis Club. Attendees shall be instructed to park either in the proposed club parking lot or vacant lot owned by the club. Additionally, the Tennis Club shall instruct employees to park on site. The applicant shall follow all requirements for parking lots as set forth in chapter 105 and show these requirements on any plans submitted (see Conclusion II.G.4.b).
6. Prior to submitting any permits, the applicant shall submit a report by a certified arborist that has performed, or attended a "root excavation" for trees that are slated for retention in the tree retention plan and arborist report submitted for this project. The new arborist report shall be combined with a tree retention plan that adheres to all tree plan components as required by chapter 95 and by the Planning Official, including offsite trees that may be affected by the development. The plan shall be reviewed and approved by the City's Urban Forester (See Conclusion II.G.5.b).

II. FINDINGS OF FACT AND CONCLUSIONS

A. SITE DESCRIPTION

1. Site Development and Zoning:

a. Facts:

- 1) Size: A recently approved lot line alteration (file no LLA10-00002) shows three separate parcels for this site. The three parcels have the following acreages: Parcel A has 4.56 acres; Parcel B has 2.11 acres and Parcel C has 2.75 acres. For the purposes of this application, only parcels A and C will be utilized. Parcel B is currently a vacant lot and is not proposed for development at this time, therefore the total acreage for this application is 7.31 acres.
- 2) Land Use: The property is used as a commercial recreational facility with the main focus as a membership only Tennis Club with 14 existing courts (6 outdoor and 8 indoor). The existing structures include the indoor court buildings (2), and a multipurpose building. The pool is an outdoor pool and has a jacuzzi and volleyball court. The facility also provides other services such as a café, childcare, fully equipped fitness center, lessons, a meeting room, various classes relating to health and fitness such as aerobics, and related services such as massage.
- 3) Zoning: PLA 16 (Planned Area 16). Within this zoning designation, "Commercial Recreation Area and Use" is an allowed use.
- 4) Terrain and Vegetation: The site of the new indoor tennis court and parking lot terrain slopes down from the west to the east starting at 526 feet along the west side and ending at 514 feet on the east property line (at 127th Ave NE). As discussed in section II.G. below, the new building must be screened through berming and landscaping.

The new tennis court building is proposed to be placed in the existing parking lot. This parking lot has approximately 70 trees that will be impacted by the new building and parking lot per the applicant's arborist report (see Attachment 4). However the tree inventory shows 96 trees in total (see Attachment 5). Per the arborist report, it may be the case that approximately 17 of the 96 trees could be saved. This will need to be determined by performing a "root excavation" on the trees slated for retention. Tree retention is discussed further in section II.G.5.

- b. Conclusions: The size, land use, and zoning are not factors in this application. The terrain and vegetation are factors in this application and are discussed in section II.G.

2. Neighboring Development and Zoning:

a. Facts: (See Attachment 6 for an overhead view of the surrounding development).

- 1) North: To the north of the Tennis Club are Ben Franklin Elementary School and a single family neighborhood called Silver Spurs with the zoning designation of RSX 35 (35,000 square feet per minimum lot size).
- 2) East: 128th Ave NE, NE 59th Street, and 127th Avenue NE border on the east of the Tennis Club site. Bridle Trails State Park is across this street along a section of the Tennis Club property and single family homes are across the street where the new structure is proposed. The existing

entrance to the Tennis Club parking lot is at the corner of 127th Ave NE and NE 59th street. This parking lot and entrance is proposed to be demolished and moved as part of this application.

- 3) South: To the south of the Tennis Club is a small neighborhood called Flying Horseshoe Tracts, with the zoning designation of PLA16 containing 12 lots, all approximately 35,000 square feet in size. 127th Avenue dead-ends in this neighborhood and the neighborhood is surrounded by Bridle Trails State Park on two sides.
- b. West: The Hunt Club Equestrian Center and the associated single family lots border the Tennis Club to the west. The Hunt Club lots are also large lots although the master plan allows lots that are 14,500 square feet due to the equestrian center and facility. The equestrian center within this neighborhood has a large arena and barn and associated offices and parking lot and circulation. The Hunt Club equestrian center and residences use 125th Lane NE, a 30 foot wide private easement across Tennis Club property for their main access.
- c. Conclusion: Neighboring residential and school development is a factor in the consideration of this application. The City has addressed impacts to the surrounding neighborhood within the analysis of this report and through SEPA review (see Attachment 7).

B. HISTORY

The Central Park Tennis Club was established in 1972 on the current site as a member owned Club. The City of Kirkland annexed this neighborhood in 1986. Therefore, the Tennis Club was initially built when the property was within King County jurisdiction under the existing rules at that time. When Kirkland annexed the Tennis Club area, it also created the zoning regulations for it (PLA16).

C. STATE ENVIRONMENTAL POLICY ACT (SEPA)

1. Facts: A Determination of Nonsignificance (DNS) was issued on January 5th, 2011. The Environmental Checklist, Determination, and additional environmental information are included as Attachment 7. Within Attachment 7 are Enclosures 1- 21 which include most of the public comment letters.
2. Conclusion: The City has satisfied the SEPA requirements. The appeal period for SEPA ended without appeal.

D. CONCURRENCY

1. Facts: The Public Works Department has reviewed the application for concurrency (see Attachment 7, Enclosure 7). A concurrency test was passed September 19th; 2010.
2. Conclusion: The City has satisfied the requirements for Concurrency review. The applicant has passed concurrency and should follow the requirements as set forth by the City in Attachment 7.

E. PUBLIC COMMENT

1. Facts:
 - a. The public comment period ran from 9/30/10 to 10/18/10.
 - b. Ten comment letters were received during the comment period and one additional comment letter was received on January 5th, 2011. Most of the letters submitted came from residents of the Hunt Club and most of these letters comment upon the issue of the Tennis Club's proposal to change their access point from it's current location at 127th Ave NE on the east side of the facility to

the private easement 125th Lane NE, which is a private easement, owned by the Tennis Club, but also used for access to the Hunt Club. The comments concerning traffic and safety concerns were analyzed as part of SEPA review (see Enclosures 10-19 of Attachment 7 for the comment letters). Through environmental review, the City's traffic engineer concluded that there were no adverse environmental impacts associated with traffic. The complete review of traffic safety and analysis of the access point change can be found within the SEPA review in Attachment 7. The City's Determination of Nonsignificance was not appealed.

- c. The comments that are not related to traffic, such as hours of operation for accessory uses are more appropriately addressed within the context of this report, as they are issues related to zoning regulations. Analysis of zoning issues can be found in section II.G of this report.
- d. The President of The Lake Washington Saddle Club, Jennifer Duncan submitted a letter concerning equestrian access for required street improvements (see Attachment 8). This letter contains comments regarding the type of sidewalk improvements that are safe for equestrian use and makes specific recommendations for surfacing materials and path widths. The Lake Washington Saddle Club has members surrounding the neighboring Bridle Trails State Park according to the letter, and their request is that equestrian-safe pathways be built instead of standard sidewalk, curb and gutter.

Staff Response to the Saddle Club: The Public Works Department has granted a modification to the street improvements as part of this zoning permit. These improvements will be designed to benefit equestrian use as is requested by Ms. Duncan (See section II.G of this report and Attachment 3 Development Standards, which set forth the requirements and recommendations for sidewalk and equestrian path standards for the Tennis Club project).

2. Conclusions: The City has addressed the concerns expressed within the public comment letters through environmental review and recommended conditions of approval. Through environmental review, the City has concluded that there are no adverse traffic impacts created by the proposal.

F. GENERAL ZONING CODE CRITERIA

1. Fact: Zoning Code section 152.70.3 states that a Process IIB application may be approved if:
 - a. It is consistent with all applicable development regulations and, to the extent there is no applicable development regulation, the Comprehensive Plan; and
 - b. It is consistent with the public health, safety, and welfare.
2. Conclusion: With the conditions of approval, the proposal complies with the criteria in section 152.70.3. It is consistent with all applicable development regulations (see Sections II.G and II.I) and the Comprehensive Plan (see Section II.H). In addition, it is consistent with the public health, safety, and welfare because it allows the Tennis Club to utilize its property potential and, at the same time, follows the development regulations as set forth by the City that are in place to mitigate impacts to the surrounding neighborhood and adjacent surrounding uses as described in section II.A.2 of this report. Additionally, the proposal helps to maintain the equestrian character of the neighborhood by modifying sidewalk standards to accommodate equestrian traffic while also maintaining traffic safety for pedestrians and school children walking to and from Ben Franklin Elementary.

G. DEVELOPMENT REGULATIONS

1. General Layout and Site Development Standards

a. Facts: The fundamental site development standards pertaining to a Commercial Recreation Area and Use in the PLA16 zone are set forth in Zoning Code section 60.182.030 (See Attachment 9).

- (1) Required Review Process: A Process IIB zoning permit is required for this use.
- (2) Lot Size Required: One acre is required for this use. The applicant's proposal, together with the existing tennis facility has 7.31 acres. The applicant is reserving an additional 2.11 acres on a vacant parcel for future development.
- (3) Required Yards: The required setback yards on all property lines are 20 feet each. The applicant's plans show that the new and existing tennis facilities meet the setback requirements. The applicant has set the building back further than the required 20 feet to meet special regulation number 3 and Comprehensive Plan policies (see below).
- (4) Lot Coverage: The maximum lot coverage is 80%. The applicant's plans indicate that the proposed lot coverage is 66.3%.
- (5) Height Requirements: Height is limited to 38 feet above average building elevation and is further regulated by special regulation number 3 which states "*Structures exceeding 25 feet above average building must have the ground floor placed below existing grade to the extent possible and screened by a vegetative earthen berm. Structures can be placed at existing grade if the structures are located on lower ground than the adjacent properties and if the adjacent properties are developed and do not contain residential use.*"

The plans and written information from the applicant shows that the new indoor tennis structure will be 33.7 feet above average building elevation, which meets the height requirement of 38 feet above average building elevation. However, the building will exceed 25 feet above average building elevation on all sides.

The Public Works Department has indicated that berming would not be allowed on top of an existing 30 foot wide utility easement along the southern property line that is closest to the new indoor tennis structure.

- (6) Special regulation number 4: This regulation requires that a "*20-foot wide sight obscuring landscape buffer must be provided along the west and south perimeters of the property*". The applicant has provided a landscape plan that shows a 20-foot wide landscape buffer will be installed along the west and south borders, including the south border that is shared with the Hunt Club parking lot (see Attachment 10). Additionally, the applicant is attempting to save existing mature trees along the east side of the new structure, which is discussed in combination with the height requirements below.
- (7) The applicant's engineer has addressed the height, berming and landscaping requirements in Attachment 11 (Blue line letter). This letter indicates that the applicant is attempting to meet the requirements for berming that would mitigate the height above 25 feet, and attempting to achieve a sight obscuring buffer through the following development practices:

- (a) Increased setbacks: The required setbacks for the structure are 20 feet on all sides. The proposal indicates that the structure will be set back from the property lines by more than 20 feet on all sides: 27 feet on the east side, 30 feet on the west side, and 40 feet on the south side. There are single family homes to the south and across 127th Ave NE to the east. The Hunt Club parking lot is to the west and a single family home is to the southwest. There are no structures proposed on the south property line that borders the Hunt Club parking lot. The Tennis Club's new parking lot will border the Hunt Club parking lot on that southerly property line. (See parking and landscape buffer requirements in section (d) below and within the development standards in Attachment 3).
 - (b) Burying the structure: The applicant is placing the structure below existing grade to the extent possible according to the project engineer. The topography goes from higher ground at the west side of the new structure, to lower ground on the east side at 127th Ave NE. This makes it possible to bury the building on the west side by 12 feet, but as the topography goes down toward 127th Ave NE, it must meet the road's grade to maintain vehicular access. Therefore the proposed finished grade shows minimal berming, but follows the existing grade and is built up approximately 1-2 feet as it follows the existing grade. Having the building at grade on the east side will allow the applicant to retain trees to the maximum extent possible and is useful for vegetative screening and to maintain vehicular access to the back of the structure.
 - (c) Use of existing trees: The mature trees that can be retained are along the eastern border of the proposed structure (127th Ave NE). The mature evergreen trees proposed for retention are proposed to achieve vegetative screening and height mitigation instead of using a high earthen berm. The trees can not be retained if an earthen berm is built. Because the arborist report indicates that these trees still need evaluation (see section II.G.5.b below), the applicant has supplied two conceptual views of the east side: one with the existing trees retained, and one without the trees but where a vegetated earthen berm would be used (See Attachment 12)
 - (d) Sight obscuring landscaping: The landscape plans show that the applicant is using a variety of vegetation including trees and shrubs to provide a "solid sight-obscuring" landscape buffer. An overhead view of the neighboring single family homes indicate that all four homes that are either directly adjacent or share a corner with the Tennis Club property, are between 70 to 100 feet away from the proposed structure. The landscape architect for this project has selected plants based on characteristics that can achieve the goal of obscuring the building from neighboring properties (see Attachment 13).
- (8) Landscape Category C: This property is subject to Landscape Category C and the requirements for this landscape category can be found in KZC Chapter 95.42 which requires a 15 foot wide landscape buffer on all property lines. However, the PLA16 zoning requires more stringent landscape buffer requirements and the applicant is following the more

stringent requirements. Additional landscape and parking buffer requirements can be found in Attachment 3, Development Standards.

- (9) Special Regulation number 1: This regulates the uses on the property and states “*This use may include activities such as: indoor and outdoor tennis courts, club house, swimming pool, and other sport court games and ancillary commercial recreation activities*”
- (a) The Tennis Club is primarily a member’s only club for tennis with 6 outdoor and 8 indoor courts, but has many other ancillary uses such as: a club house, a café, a pool, a volleyball court, a meeting room, a fitness room and provides ancillary classes/services such as yoga, aerobics, pilates, a book club, tennis instruction, fitness training, massage, swim lessons, and child care (see Attachment 14).
 - (b) The uses and services described in Attachment 14 by the Tennis Club manager are open to members only with the exception of the cafe. The café is open to the public but has limited hours and limited seating (7 tables) and is rarely promoted due to these constraints.
 - (c) The proposal would not expand the range or intensity of accessory uses. The only expansion of use is the primary use with the addition of a structure housing 4 indoor tennis courts.
- (10) Special regulation number 2: States that “Hours of operation may be limited to reduce adverse impacts on a residential neighborhood.”
- (a) The Tennis Club is open for operation from 5:45 am (court time beginning at 6 am) Monday through Saturday and 8 am on Sundays. The last court time available for scheduling is 8:30 pm and the club closes at 10:30 pm (see Attachment 14).
 - (b) The ancillary commercial services have varying times and days and do not operate separate hours from the club.
 - (c) The neighborhood comment letters (see Enclosures 10-19 of Attachment 7) have made the point that the café is a separate business from the Tennis Club and that three businesses should not operate from the same road.
 - (d) The Tennis Club is retaining the same ancillary uses, has not proposed additional uses or hours with this proposal and accesses from a neighborhood street.
 - (e) The Tennis Club has provided the following information regarding operation of the café. The café does not operate when the Tennis Club is not open, keeps mostly day hours of operation with a few nights open until 9 pm, and provides catering to club members and events. Although the café is open to the public, seating is limited to 7 tables, which can not accommodate a high number of additional people that are not club members. The cafe is not promoted to the public.
- (11) Special Regulation number 6: “*Vehicular and pedestrian circulation to and from the property shall be coordinated with the other properties in the vicinity to the maximum extent possible*”
- (a) Pedestrian circulation is addressed in section II.G.3.b.
 - (b) Vehicular circulation for the Tennis Club is changing from 127th Ave NE to 125th Lane NE.

- (c) The Hunt Club accesses off of 125th Lane NE, which is a private easement, across property owned by the Tennis Club (see Attachment 15).
- (d) The Public Works Department has made specific recommendations concerning 125th Lane NE that can be found in Attachment 3, Development Standards for Public Works. These requirements include the Tennis Club having to repair 125th Lane NE, and to also build a sidewalk along the easement.
- (e) As part of SEPA review, a traffic report was submitted and reviewed by the City's Transportation Engineer. No adverse impacts due to the change in access were found as part of SEPA (see Attachment 7). The City's Transportation Engineer has approved the access change to 125th Lane NE.
- (f) Street improvements include a multi-use path for the neighborhood along NE 60th Street.

b. Conclusion: The proposal complies with the regulations as set forth in Zoning Code section 60.182.030, as conditioned below.

- (1) Special regulation 3: If the trees along the east side of the new indoor tennis building can not be retained, the applicant should submit plans that show a vegetative earthen berm on the east side of the structure, planted with sight-obscuring vegetation.

Special regulations 3, 4, and 5: The applicant's structure is approximately 8 feet above the 25 foot "special regulation" height requirement. The applicant has proposed to mitigate the height of the proposed structure by burying it, setting it back further than is required, and by providing an earthen berm that is between 1-2 feet in height. The plant selection shown in the landscape plan (see Attachment 10) should be implemented.

If the applicant is not able to retain enough of the existing mature trees along the east property line to provide a sight obscuring landscape buffer, in order to meet special regulations 3, 4, and 5 of KZC 60.182.030, an alternate plan with berming should be implemented to provide the required screening and berming. In lieu of an earthen berm, a sight obscuring landscape plan as shown in Attachment 13 should be implemented. Any such plans should be approved by the Planning Department.

- (2) Special regulations 1 and 2: The operating hours for all ancillary uses should be restricted to the hours of operation for the Tennis Club and must be accessory to the primary approved use of a member's only tennis club. Expansion of any ancillary use should not be permitted without prior approval of the Planning Department.

2. Right-of-Way Improvements

a. Facts: Zoning Code Chapter 110 establishes right-of-way improvement requirements: The project abuts 127th Ave. NE, 128th Ave. NE and NE 59th St (all Neighborhood Access type streets), and NE 60th St (a Collector type street). Zoning Code sections 110.10 and 110.25 require the applicant to make half-street improvements in rights-of-way abutting the subject property. Section 110.30-110.50 establishes that these streets must be improved with the following (See also Attachment 3, development standards for Public Works):

- 1) NE 60th Street: Chapter 110 of the Kirkland Zoning Code requires street improvements (curbs, storm drainage, and sidewalks) along the lot frontage that is part of this application (approx 630 ft). Chapter 110.70 of the KZC allows applicants to propose a “sidewalk construction-in-lieu” whereby the applicant can propose to construct off-side sidewalk (pedestrian improvements) in lieu of constructing improvements along the project frontage. The Public Works Director must agree that it is in the City’s interest to allow the “sidewalk-construction-in-lieu” taking into account such factors as the pedestrian safety impacts that result from the development. In addition the KZC states that the City may accept a sidewalk construction-in-lieu in the following circumstances (per KZC 110.6.a):
 - (a) If installation of the required improvement would require substantial off-site roadway modifications; or
 - (b) If the Public Works Director determines that installation of the required improvement would result in a safety hazard; or
 - (c) If other unusual circumstances preclude the construction of the improvements as required.
- 2) The applicant has submitted a preliminary plan for offsite improvements in-lieu of improvements to NE 60th Street frontage improvements (see Attachment 16). In this case, the applicant is proposing to construct an offsite pedestrian/equestrian path along the north side of NE 60th Street. Installation of standard street improvements along the project frontage would require substantial grading (cut and fill), may cause significant trees to be removed, and would not connect to any existing pedestrian or equestrian improvements. Furthermore, the Bridle Trails/South Rose Hill Neighborhood Association, the Lake Washington School District, the Lake Washington Saddle Club, and City Staff all met, reviewed, and approved the proposed construction-in-lieu improvements.
- 3) Zoning Code Section 110.70.5.c allows for a waiver of street improvements along Neighborhood Access Roads in zones with equestrian use.
 - (a) The following streets abutting the subject property are all Neighborhood Access Roads within the equestrian use overlay: 127th Ave NE, 128th Ave NE, and NE 59th Street.
 - (b) The Public Works Department has approved a waiver of street improvements along the Neighborhood Access Roads as listed above.

b. Conclusions:

- 1) The Public Works Director recommends approval of the proposed construction-in-lieu for improvements to NE 60th St. including the following improvements:

- a) The value of the improvements will be approximately \$132,000 which is approximately 75% of the required project frontage improvements. The sidewalk construction-in-lieu program allows the in-lieu improvements to be 75% of the value of the required improvements (see KZC 110.70.6.b).
- b) Additionally, KZC 110.70.3 allows the City to grant a modification to the nature or extent of any required improvement.
- c) The improvements will consist of a 4 ft wide vegetation buffer along the north edge of NE 60th Street (the landscape buffer may be reduced to 2 ft in some areas due to topographic constraints). The buffer plantings should be approved by the Public Works Street Maintenance Division, but street trees and/or shrubs with low maintenance ground cover will be used. On the north side of the vegetative buffer, a 7-10 ft wide pedestrian/equestrian pathway will be installed using a Public Works approved trail mix base that is suitable for year-round use by pedestrians and equestrians. The width should only be reduced to 7 ft width in areas due to topographic constraints that can't be feasibly mitigated with fill material and a retaining wall, as determined by the Public Works Director.
- d) The intent is to construct the vegetative buffer and pathway along the north side of NE 60th Street from the east edge of the Ben Franklin Elementary School to 132nd Ave. NE. It won't be known until the improvements are bid on for construction if the \$132,000 will be adequate to build the entire length. The applicant should complete the improvements as far east as feasible within the construction-in-lieu amount.

3. Access – Walkways

a. Facts:

- 1) Kirkland Zoning Code section 105.18 sets forth requirements for providing pedestrian access through sites.
- 2) Based on the requirements of 105.18, the applicant is proposing a pedestrian path that extends from the back of the new tennis building beginning at 127th Ave NE and through the site, crossing over the new parking lot, and connecting to 125th Lane NE, extending to NE 60th Street.
- 3) The proposed pedestrian path plan connects the single family neighborhood from the southeast, known as Flying Horseshoe Tracts to NE 60th St. This same path connects the Hunt Club residents to NE 60th Street.

- #### b. Conclusions:
- The applicant should install a public pedestrian pathway as required by chapter 105.18 and 105.19 and as shown on their plans. This path should be open to the public and the applicant should submit a device for recording the path as a public pedestrian easement in a form approved by the City Attorney.

4. Parking Requirements

- #### a. Facts:
- The applicant is demolishing the existing parking lot that has 69 stalls, and is proposing to build a new parking lot with 103 stalls. The PLA 16 zone refers to KZC section 105.25 of the KZC. 105.25 states that the Planning

Official will establish parking requirements on a case-by-case basis based on a parking demand study. Standards for parking lot design can be found in chapter 105 and include specific requirements such as parking buffers, circulation, curbing, number of compact stalls, and requirements for bicycle parking. These specific requirements are generally reviewed as part of a building or land surface modification permit (see Attachment 3, Development Standards for more parking standards).

- 1) The applicant has submitted a parking study by Transportation Engineering NW (see Enclosure 8 of Attachment 7). This study shows the need for 99 parking stalls and is based on parking demand when the Tennis Club was “at capacity”. The parking demand includes the expansion of the 4 courts within the indoor tennis structure.
 - 2) The Tennis Club hosts three tennis events each year and has traditionally used the vacant lot that is part of its property for event parking. The parking study states that the vacant lot has provided adequate parking for these special events and that spillover parking within the neighborhood has not been an issue.
 - 3) The City's Transportation Engineer, Thang Nguyen, has reviewed the parking study (see Enclosure 9 of Attachment 7). In his memo, Mr. Nguyen made observations at the site, observing that “sight distance” along 60th Street NE is reduced when parking occurs on that street. As a result, he recommends that *to minimize impact and maintain sight distance, during special events or at times when the parking lot is full, the tennis facility should put out signs to instruct attendees not to park on-street and driveway along the site frontage and direct attendees to park in the overflow parking area. He also recommends that employees are required to park on site.*
- b. Conclusions: The applicant's plans indicate that a sufficient number of parking stalls will be installed for this project. During events, the applicant should put out signs to instruct attendees not to park on 125th Lane NE, 60th Street NE or within the neighborhoods surrounding the Tennis Club. Additionally, the Tennis Club should instruct employees to park on site.

The applicant should follow all requirements for parking lots as set forth in chapter 105 and show these on any development plans submitted.

5. Natural Features - Significant Vegetation

a. Facts:

- 1) Regulations regarding the retention of trees and requirements for tree plans can be found in Chapter 95 of the Kirkland Zoning Code.
- 2) Additionally, the development standards for a Commercial Recreation Area) in the PLA 16 zone call out specific regulations regarding the retention of trees.

Special regulation 4 found in KZC 60.182.030 requires that “*Existing natural vegetation must be maintained to the greatest extent possible*”
- (3) There are approximately 95 significant trees on the parcel where the new structure and parking lot are proposed. These trees are within the

existing parking lot that is proposed to be demolished for the new indoor tennis structure, new parking lot, and required utilities.

- (4) The applicant has submitted a Tree Plan, prepared by a certified arborist that evaluates the trees on the site (see Attachment 17).
- (5) Specific information regarding the tree retention that is possible given the proposed building, parking lot and utility locations on site can be found within the arborist report. Seventeen trees are proposed to be retained. The arborist report indicates that the trees able to be retained on site cannot be fully determined until “early root excavation is undertaken”.
- (6) The arborist report does not contain information concerning offsite trees and this is required per chapter 95 tree retention component standards.
- (7) The applicant has submitted a rationale for placement of the existing structure and parking lot in the proposed location (See Attachment 17).
- (8) Per Chapter 95 standards, the City’s Urban Forester will need to review the arborist recommendations that are submitted for the early root excavation.

b. Conclusions:

The applicant should submit an additional arborist report including early root excavation for review by the City’s Urban Forester prior to submittal of a building or land surface modification permit. This plan should follow the requirements as set forth in chapter 95.30 for tree retention plans including any offsite trees that may be affected by the development of this site. Based on the results of the early root excavation, the applicant should submit a tree plan for review by the City’s Urban Forester evaluating final tree retention with the goal of retaining existing significant trees where feasible.

H. COMPREHENSIVE PLAN

1. Fact: The subject property is located within the Bridle Trails neighborhood which had its last major update to the Comprehensive Plan policies in 1986, after the Central Park Tennis Club was built. Figure BT-1 on page XV-C.2 designates the subject property for LDR-1 or Low Density Residential with one dwelling unit per acre and also recognizes the PLA (Planned Area) designation (see Attachment 18).
 - a. Pages XV.C-5 and XV.C-6 indicate that the Tennis Club is within Planned Area 16 which is called the Central Park Area and contains a mix of commercial uses such as an equestrian stable with an indoor arena with associated lots, and a commercial Tennis Club facility with indoor and outdoor courts and clubhouse, and has very low density residential development (one dwelling unit per acre) with associated equestrian stables and pastures.
 - b. The Central Park Area is developed as a planned area designation to permit the application of special development procedures and standards to allow for full development of the area while maintaining the equestrian character. “*However, future development in this area should not be permitted to adversely affect the unique equestrian and natural environment of the park and its uses by the general public*”.
 - c. Page XV.C-6 states that “*Expansion of Central Park Tennis Club along NE 60th Street should be permitted. The existing Central Park Tennis Club has been*

compatible with the surrounding residential and equestrian uses. The Tennis Club should be permitted to expand to the degree that the following performance standards are met:"

- (1) Development is reviewed through a public process.*
- (2) To the extent possible, commercial buildings are placed below existing grade, have large setbacks, and are screened by vegetated earthen berms.*
- (3) Large setbacks with a substantial vegetative buffer should be required along the south and west borders of the subject property.*
- (4) Parking areas are aggregated and visually screened from adjoining single-family development.*
- (5) Vehicular and pedestrian circulation to and from the property should be coordinated with other properties in the vicinity."*

These standards have been codified in the PLA 16 zone.

- d. The applicant has submitted a Process IIB zoning permit for a Commercial Recreation Facility Use in order to add an additional indoor tennis court and reconfigure parking and access.
- e. The City has analyzed the impacts of this project through environmental review (SEPA) and the process IIB permit application process, which requires specific development standards as set forth for this use (See section II.G of this report and Attachment 7).

2. Conclusion With the conditions of approval for this permit, the City has found that the proposal does not "adversely affect the unique equestrian and natural environment of the park and its uses by the general public" and is consistent with the Comprehensive Plan.

I. DEVELOPMENT STANDARDS

1. Fact: Additional comments and requirements placed on the project are found on the Development Standards, Attachment 3.
2. Conclusion: The applicant should follow the requirements set forth in Attachment 3.

III. SUBSEQUENT MODIFICATIONS

Modifications to the approval may be requested and reviewed pursuant to the applicable modification procedures and criteria in effect at the time of the requested modification.

IV. CHALLENGES, / APPEALS AND JUDICIAL REVIEW

The following is a summary of the deadlines and procedures for challenges and appeals. Any person wishing to file or respond to a challenge or appeal should contact the Planning Department for further procedural information.

A. CHALLENGE

Section 152.85 of the Zoning Code allows the Hearing Examiner's recommendation to be challenged by the applicant or any person who submitted written or oral comments or testimony to the Hearing Examiner. A party who signed a petition may not challenge unless such party also submitted independent written comments or information. The challenge must be in writing and must be delivered, along with any fees set by ordinance, to the Planning Department by 5:00 p.m., _____, seven (7) calendar days following distribution of the Hearing Examiner's written recommendation on the application. Within this same time period, the person making the challenge must also mail or personally deliver to the applicant and all other people who submitted comments or testimony to the Hearing Examiner, a copy of the challenge together with notice of the deadline and procedures for responding to the challenge.

Any response to the challenge must be delivered to the Planning Department within seven (7) calendar days after the challenge letter was filed with the Planning Department. Within the same time period, the person making the response must deliver a copy of the response to the applicant and all other people who submitted comments or testimony to the Hearing Examiner.

Proof of such mail or personal delivery must be made by affidavit, available from the Planning Department. The affidavit must be attached to the challenge and response letters, and delivered to the Planning Department. The challenge will be considered by the City Council at the time it acts upon the recommendation of the Hearing Examiner.

B. JUDICIAL REVIEW

The action of the City in granting or denying an application under this chapter may be reviewed pursuant to the standards set forth in RCW 36.70C.130 in the King County Superior Court. The land use petition must be filed within 21 calendar days of the issuance of the final land use decision by the City. The date of the final decision of the City is the date of passage of the City Council ordinance or resolution constituting the City's final decision unless such City Council decision is subject to the disapproval jurisdiction of the Houghton Community Council, in which case the petition for judicial review must be filed within 21 calendar days of the date of approval or disapproval action by the Houghton Community Council. For more information on the judicial review process for land use decisions, see Chapter 36.70C RCW.

V. LAPSE OF APPROVAL

Under Section 152.115 of the Zoning Code, the applicant must submit to the City a complete building permit application, begin use of land as approved in this report and under Chapter 152, within four (4) years after the final approval on the matter, or the decision becomes void; provided, however, that in the event judicial review is initiated per Section 152.110, the running of the four years is tolled for any period of time during which a court order in said judicial review proceeding prohibits the required development activity, use of land, or other actions. Furthermore, the applicant must substantially complete construction, the development activity, use, and complete the applicable conditions listed on the Notice of Approval within six (6) years after the final approval on the matter, or the decision becomes void.

VI. APPENDICES

Attachments 1 through 18 are attached.

1. Vicinity Map
2. Applicant's plans
3. Development Standards including Planning, Public Works, Building and Fire Departments conditions
4. Arborist Report
5. Tree Inventory
6. Overhead view of the neighborhood
7. SEPA review including 21 Enclosures. Enclosure 10-19 of this attachment are comment letters from Hunt Club residents.
8. Letter from Jennifer Duncan of Lake WA Saddle Club
9. PLA 16 Use Zone Chart and applicant's response to each development standard
10. Landscape plans
11. Blueline letter
12. Conceptual views of berming vs. retention of existing mature trees
13. Landscape plan narrative and alternative plan for east side of structure
14. Letter from Club manager, Julie Weadon, concerning uses at the Tennis Club
15. Kirkland Hunt Club plat map
16. Preliminary sidewalk plan
17. Rationale for selecting placement of the building where trees are
18. Comprehensive Plan Pages apply to CPTC

VII. PARTIES OF RECORD

Applicant Larry Ho of Freiheit and Ho Architects for the Central Park Tennis Club
Parties of Record (see official file) Department of Planning and Community Development
Department of Public Works
Department of Building and Fire Services

CENTRAL PARK TENNIS CLUB ZON10-00022

Benjamin Franklin
Elementary School

RSX 35

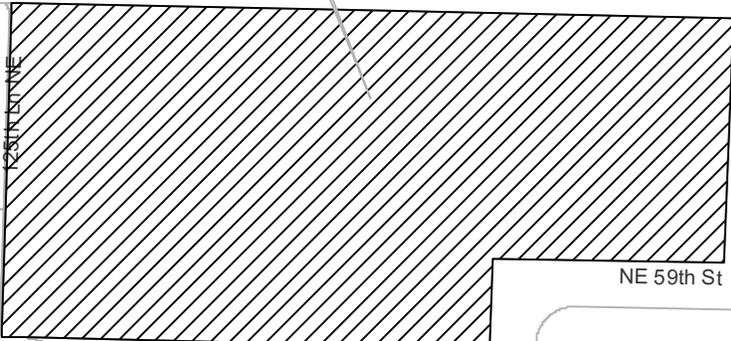
12630 NE 59th Place

NE 61st

128th Ave NE

126th Ave NE

NE 60th St



NE 59th St

PLA 16

124th Ct NE

125th Ln NE

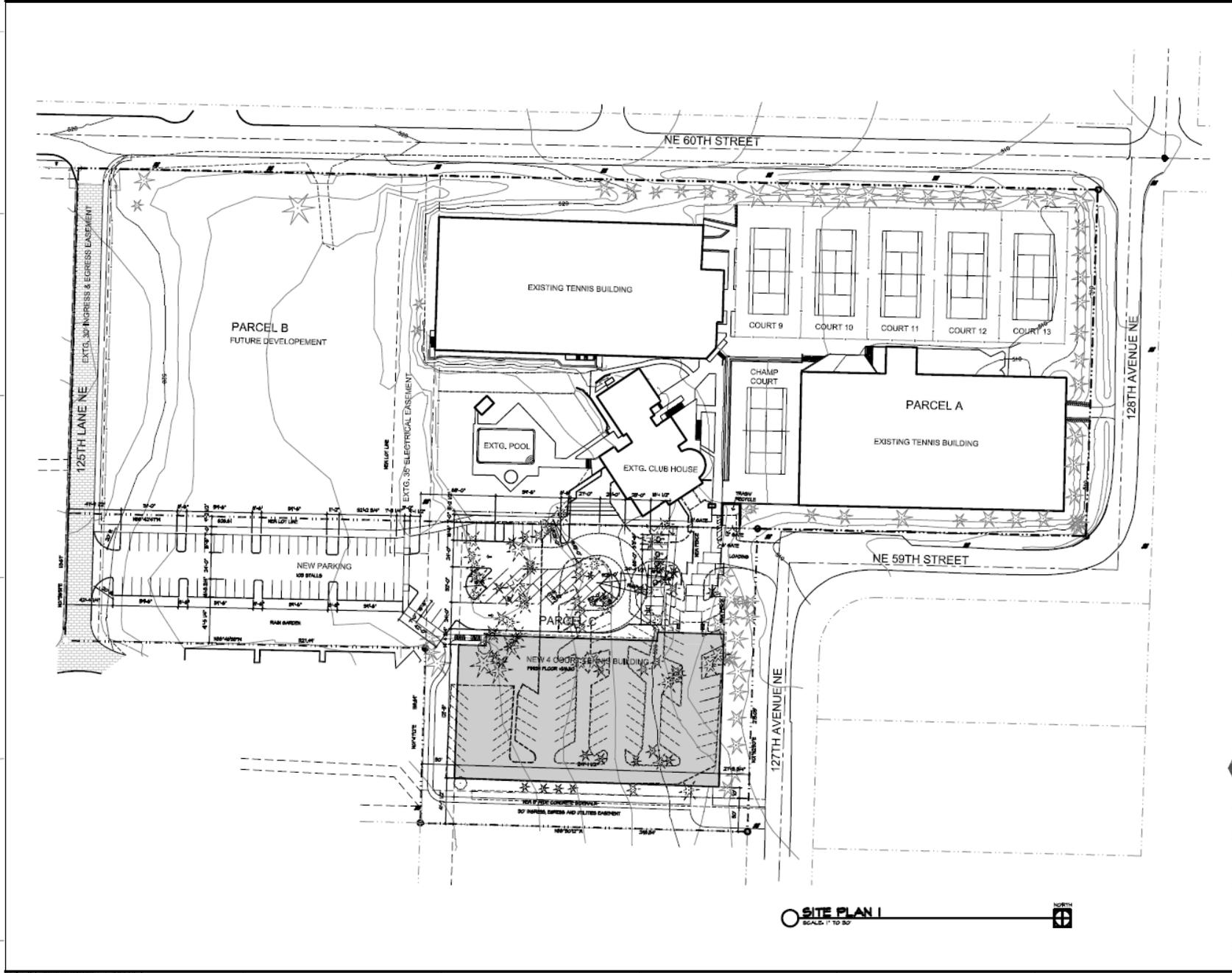
125th Ln NE

128th Ave NE

127th Ave NE

125th Ln NE





SITE PLAN I
SCALE: 1" TO 30'

Freiheit & Ho
architects

**CENTRAL PARK TENNIS CLUB
FOUR COURT TENNIS BUILDING**
12500 NE 59TH STREET
REDLANDS, WASHINGTON

DATE: 01/15/2014 10:00 AM
PROJECT: 12500 NE 59TH STREET
DRAWING: 01 - SITE PLAN I

NO SCALE
PROJECT: 12500 NE 59TH STREET
DRAWING: 01 - SITE PLAN I



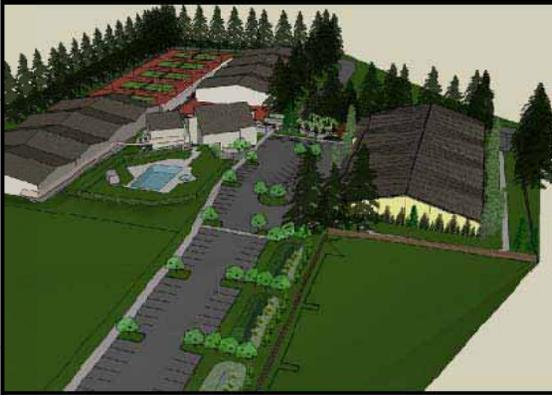
ARIAL VIEW FROM NORTHWEST CORNER



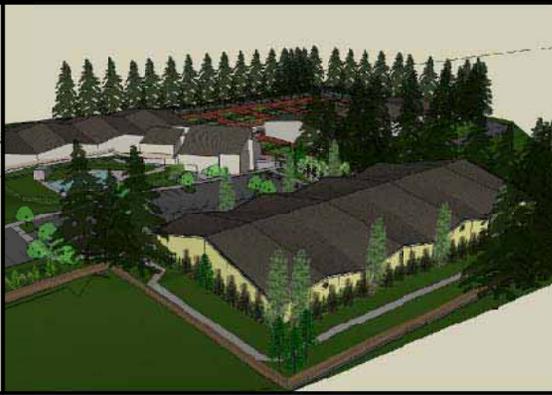
VIEW OF NEW ENTRANCE



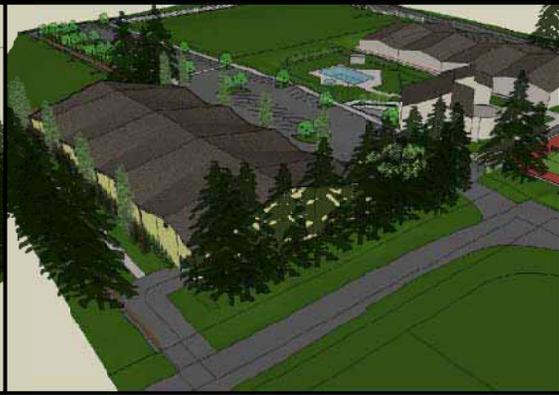
NEW PARKING LOT AND TENNIS BUILDING



ARIAL VIEW FROM WEST



VIEW OF NEW TENNIS BUILDING FROM SOUTHWEST CORNER



VIEW OF TENNIS BUILDING FROM SOUTHEAST CORNER



EXISTING CLUB ENTRY DRIVE TO BE USED FOR DELIVERIES ONLY



ARIAL VIEW FROM NORTH

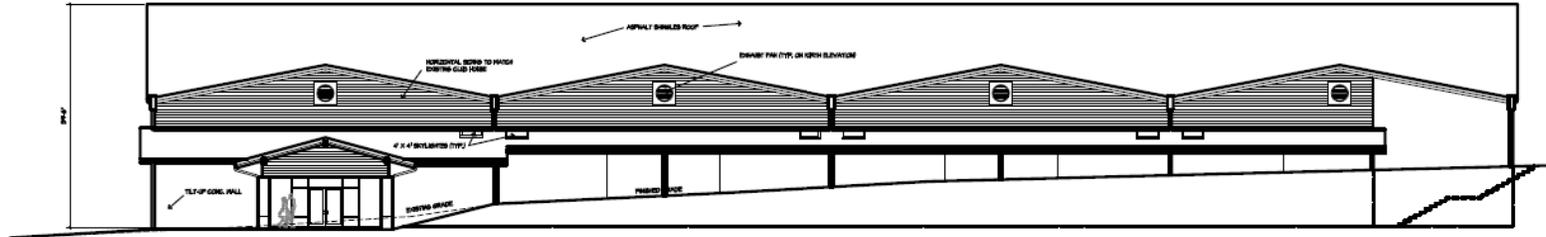


COURTYARD ENTRANCE TO NEW TENNIS BUILDING

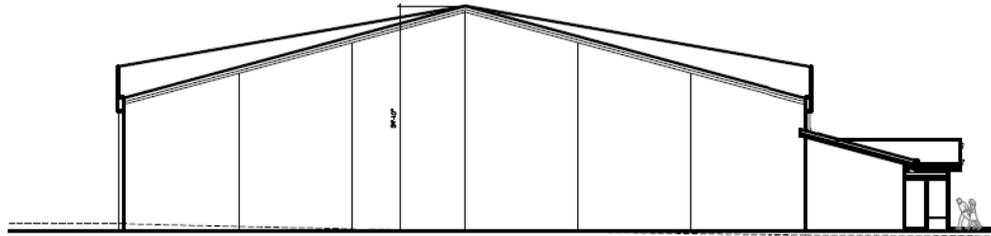
**CENTRAL PARK TENNIS CLUB
FOUR COURT TENNIS BUILDING**
14000 140TH AVE, SUITE 100
REDLANDS, WASHINGTON

Freiheit & Ho
architects

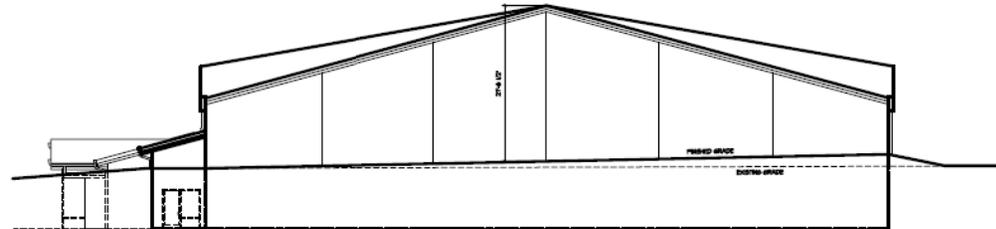
NO. 2000014
PROJECT NO. 001014
DATE
1/2014



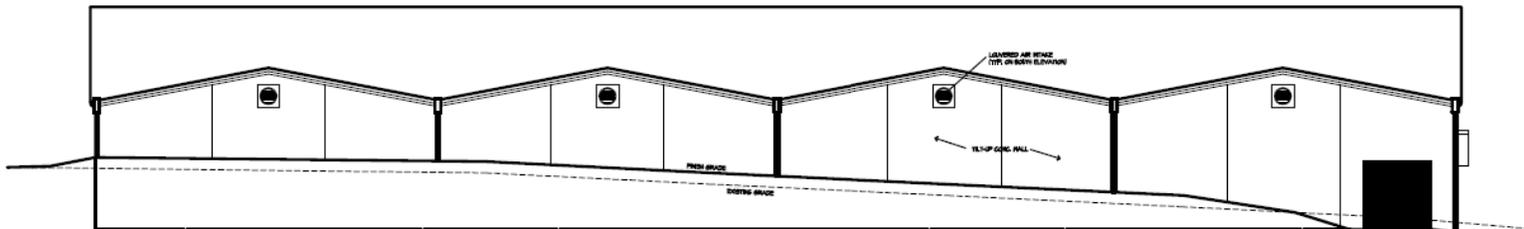
NORTH ELEVATION
SCALE: 1/8" TO 1'-0"



EAST ELEVATION
SCALE: 1/8" TO 1'-0"



WEST ELEVATION
SCALE: 1/8" TO 1'-0"

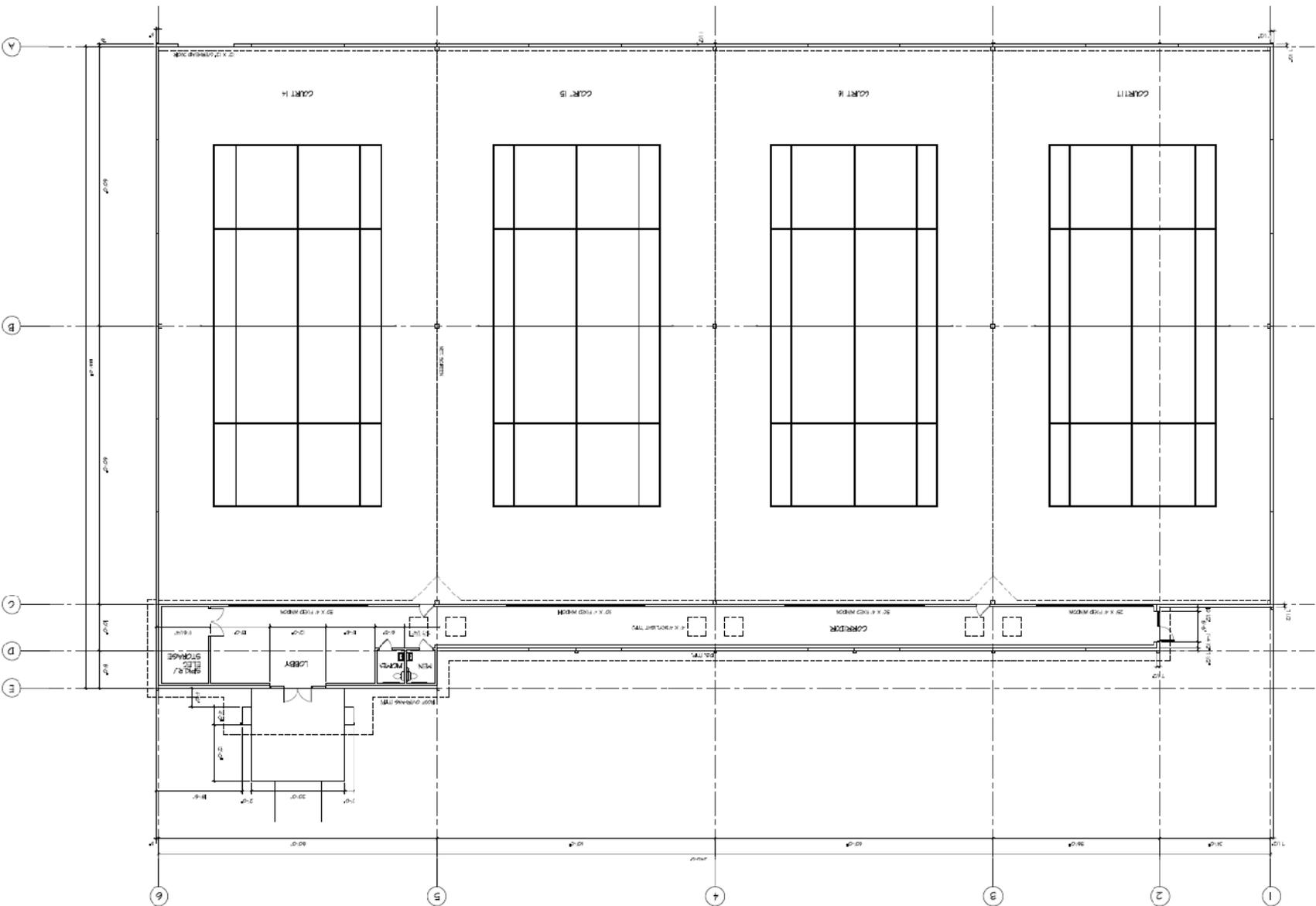


SOUTH ELEVATION
SCALE: 1/8" TO 1'-0"

CENTRAL PARK TENNIS CLUB
FOUR COURT TENNIS BUILDING
13230 N.E. 90TH STREET
REDLANDS, WASHINGTON

Freiheit & Ho
architects

BY: CDF/ES
PROJECT NUMBER: 010
DATE: 01/09



FLOOR PLAN
SCALE: 1/8" = 1'-0"



A3.0

Freiheit & Ho
architects

CENTRAL PARK TENNIS CLUB
FOUR COURT TENNIS BUILDING
1500 W. 10TH STREET
DENVER, COLORADO 80202



DATE: 10/10/2018
 DRAWN: [Name]
 CHECKED: [Name]
 PROJECT: SK-1.0

CLIENT:
 CENTRAL PARK TENNIS CLUB
 12435 NE 49th Street
 Kirkland, WA 98033

CENTRAL PARK TENNIS CLUB
 FOUR COURT TENNIS BUILDING
 12435 NE 49th Street
 Kirkland, Washington 98033

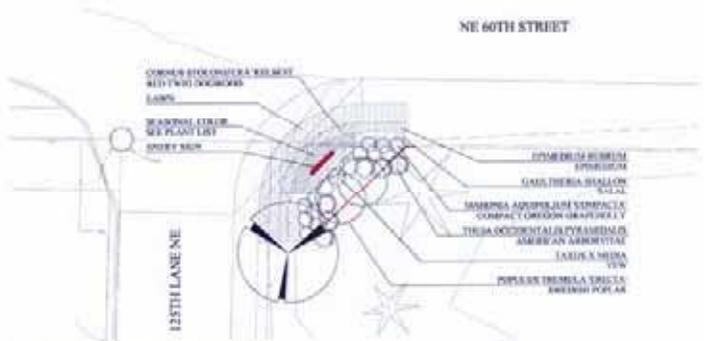


Freiheit & Ho
 ARCHITECTS

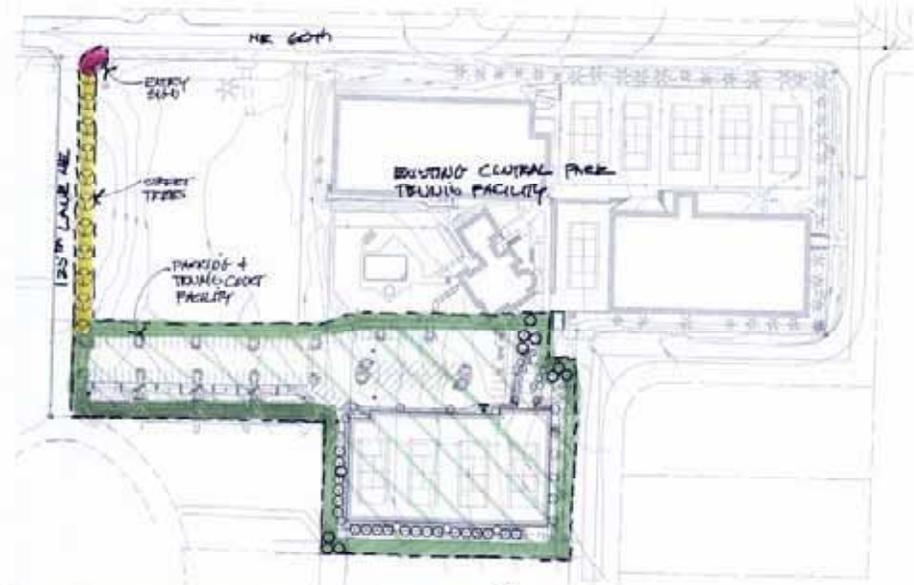
DESIGNED & DRAWN
 10/10/2018

ILLUSTRATIVE
 SITE PLAN

PROJECT NO: SK-1.0
SK-1.0



1 ILLUSTRATIVE SITE PLAN - ENTRY
 Scale: 1" = 20'



2 ILLUSTRATIVE SITE PLAN - OVERALL
 Scale: 1" = 20'



3 ILLUSTRATIVE SITE PLAN - PROPOSED TENNIS COURT FACILITY
 Scale: 1" = 20'



STUDIO FIVE PDX
 1000 NE 10TH AVE, SUITE 200
 PORTLAND, OR 97232
 TEL: 503.255.8800 FAX: 503.255.8801

CLIENT:
 CENTRAL PARK TENNIS CLUB
 1200 NE 29th Street
 Portland, WA 98133

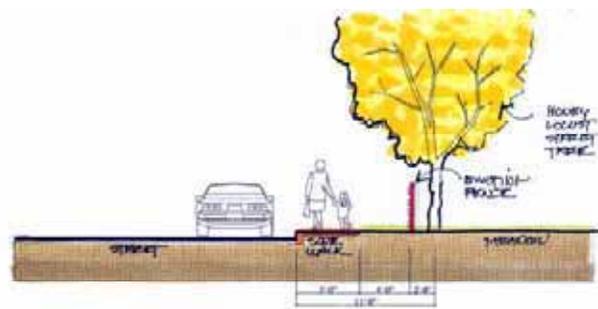
CENTRAL PARK TENNIS CLUB
 FOUR COURT TENNIS BUILDING
 1200 NE 29th Street
 Portland, Washington 98133



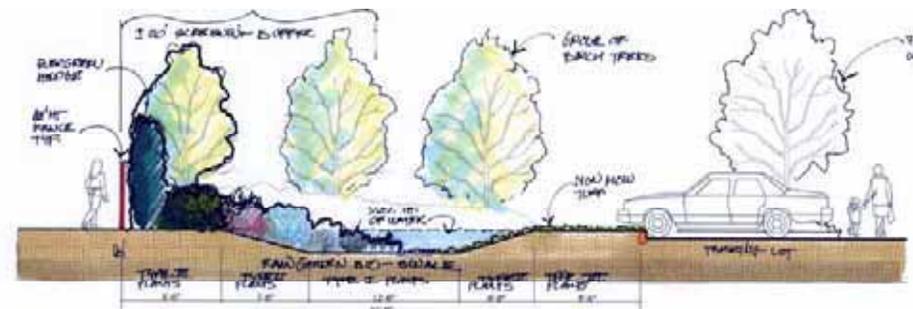
DESIGN & DRAWING
 10/15/2010
 10/15/2010

VIGNETTES

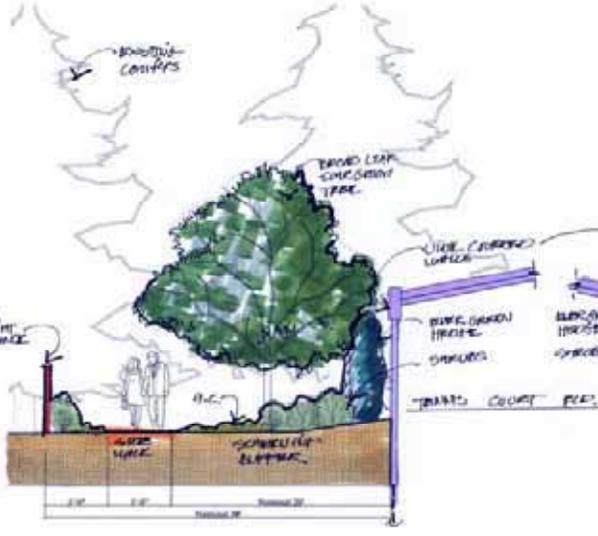
PROJECT IDENTIFICATION
SK-2.0



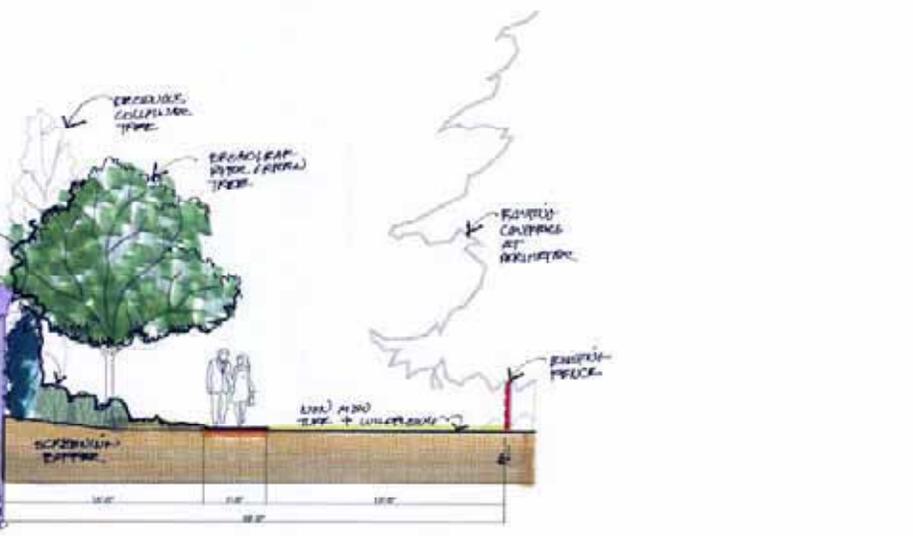
A TYPICAL STREET TREE PLANTINGS ON 125TH LANE NE
 Scale: 1/2" = 1'-0"



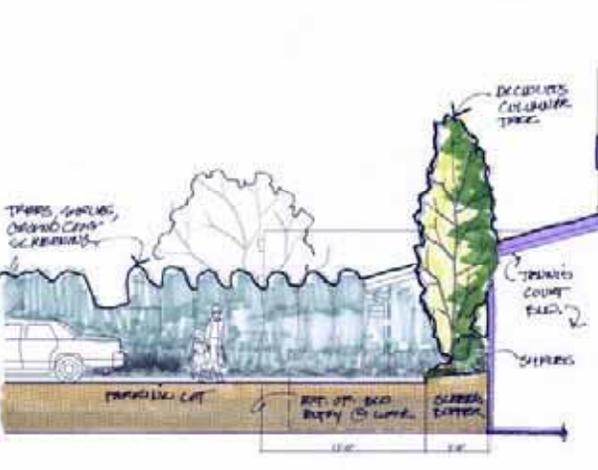
B TYPICAL SECTION AT SCREENING BUFFER AND RAIN GARDEN
 Scale: 1/2" = 1'-0"



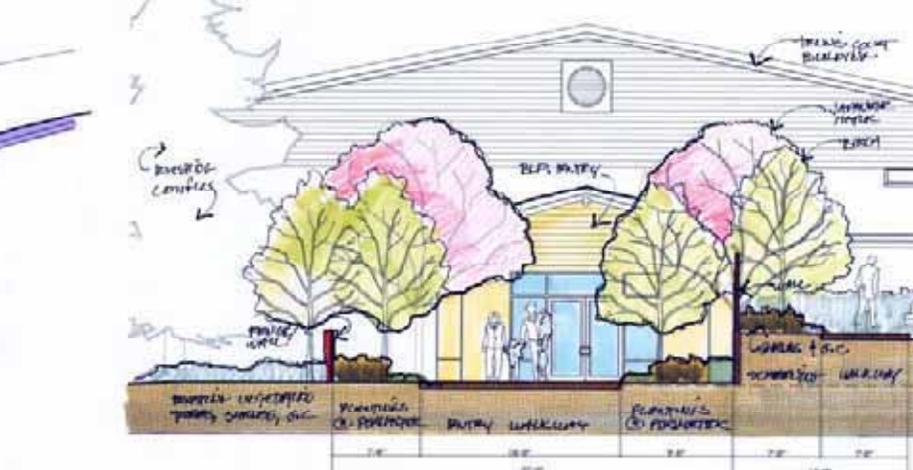
C WEST LANDSCAPE BUFFER AT NEW TENNIS COURT BUILDING
 Scale: 1/2" = 1'-0"



D SOUTH LANDSCAPE BUFFER AT NEW TENNIS COURT BUILDING
 Scale: 1/2" = 1'-0"



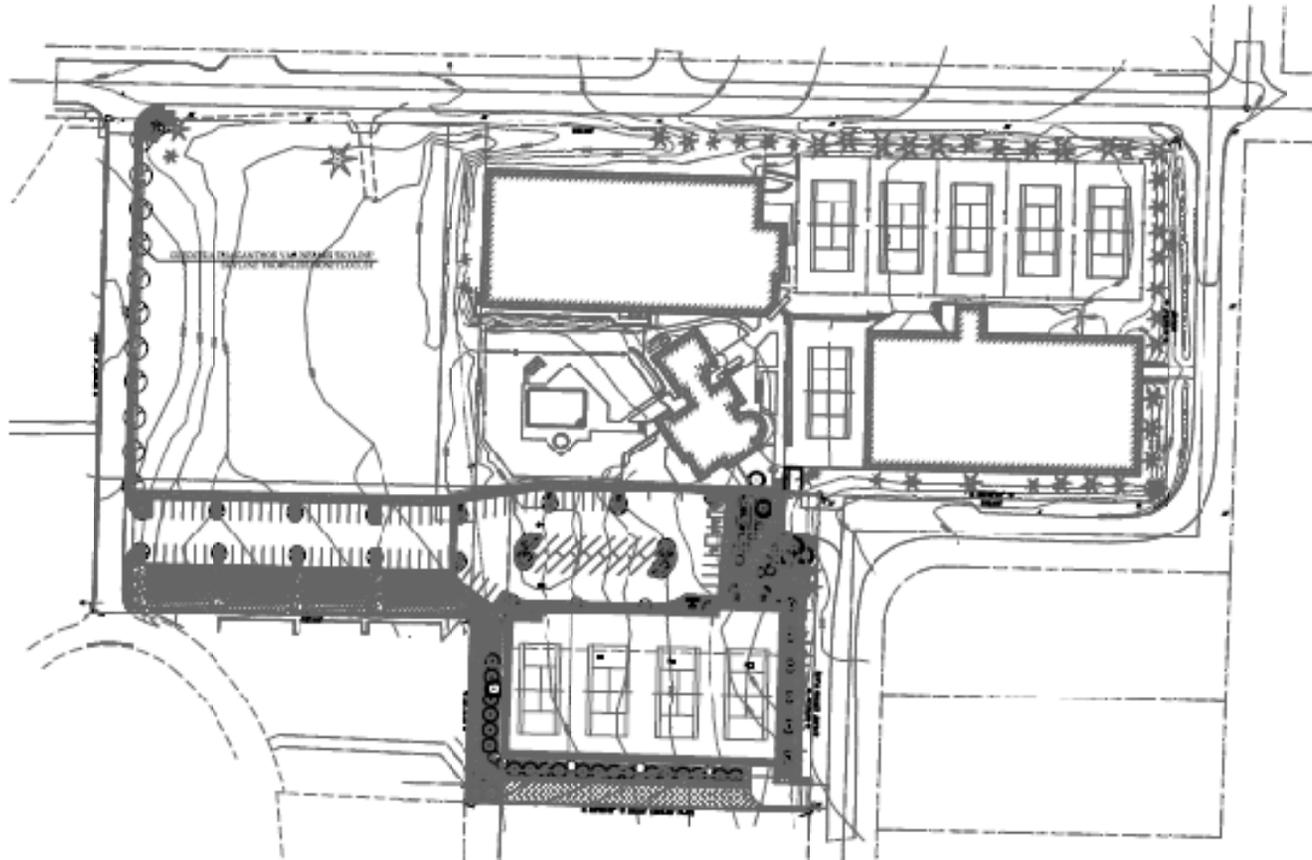
E PARKING LOT AT NORTH SIDE OF NEW TENNIS COURT BUILDING
 Scale: 1/2" = 1'-0"



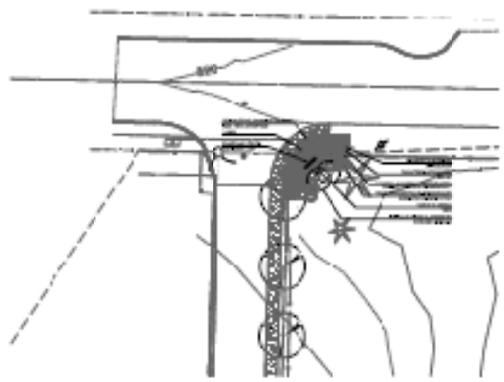
F ENTRY WALKWAY LOOKING TOWARDS NEW TENNIS COURT BUILDING
 Scale: 1/2" = 1'-0"

Freiheit & Ho
 ARCHITECTS

ATTACHMENT 2



1 OVERALL LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"



2 LANDSCAPE PLAN - MAIN ENTRY
SCALE: 1/4" = 1'-0"

CODE COMPLIANCE

DESCRIPTION	REQUIREMENT	COMPLIANCE
1. GENERAL LANDSCAPE REQUIREMENTS	<ul style="list-style-type: none"> PLANTING: 2% OF TOTAL AREA PLANTING: 2% OF TOTAL AREA PLANTING: 2% OF TOTAL AREA 	YES
2. PARKING AREA REQUIREMENTS	<ul style="list-style-type: none"> PLANTING: 2% OF TOTAL AREA PLANTING: 2% OF TOTAL AREA 	YES
3. FLOOD CONTROL	<ul style="list-style-type: none"> PLANTING: 2% OF TOTAL AREA PLANTING: 2% OF TOTAL AREA 	YES
4. TREE PRESERVATION	<ul style="list-style-type: none"> PLANTING: 2% OF TOTAL AREA PLANTING: 2% OF TOTAL AREA 	YES

TREE PRESERVATION NOTES:

- ALL TREES TO BE PRESERVED TO REMAIN.
- ALL TREES TO BE PRESERVED TO REMAIN.
- ALL TREES TO BE PRESERVED TO REMAIN.

GENERAL NOTES

- SEE PLAN FOR GENERAL NOTES.
- SEE PLAN FOR GENERAL NOTES.
- SEE PLAN FOR GENERAL NOTES.

SEEK INDEX

- 1.1 SITE PLAN
- 1.2 ENTRY DRIVE LANDSCAPE PLAN
- 1.3 MAIN PARKING LANDSCAPE PLAN
- 1.4 PLANT LIST & DETAILS



CLIENT:
CENTRAL PARK TENNIS CLUB
1000 W. 10TH STREET
DORSET, VA 22604

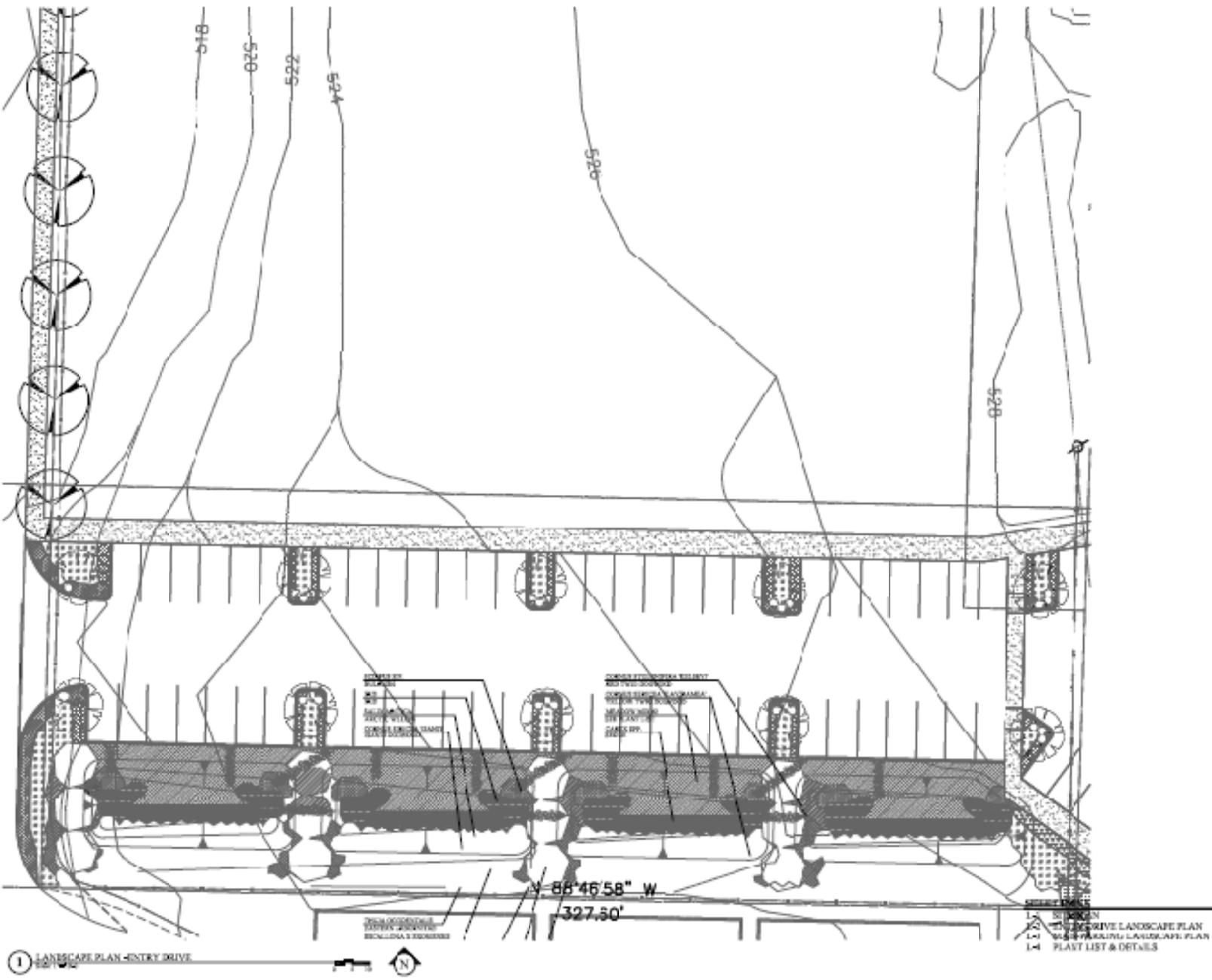
CENTRAL PARK TENNIS CLUB
1000 W. 10TH STREET
DORSET, VA 22604



LANDSCAPE PLAN
OVERALL SITE &
MAIN ENTRY

L-1.0

ATTACHMENT 2



1 LANDSCAPE PLAN - ENTRY DRIVE

- L-1 SITE PLAN
- L-2 ENTRY DRIVE LANDSCAPE PLAN
- L-3 PARKING LANDSCAPE PLAN
- L-4 PLANT LIST & DETAILS



CLIENT:
CENTRAL PARK TENNIS CLUB
1000 W 8TH STREET
DALLAS, TX 75202

CENTRAL PARK TENNIS CLUB
FOOD COURT BUILDING
1000 W 8TH STREET
DALLAS, TEXAS 75202



Freiheit & Ho
ARCHITECTS

ARCHITECT
Freiheit & Ho
1000 W 8TH STREET
DALLAS, TX 75202

DATE	DESCRIPTION

ENTRY DRIVE
LANDSCAPE PLAN

SCALE: AS SHOWN

L-2.0

BUILDING HEIGHT CALCULATIONS

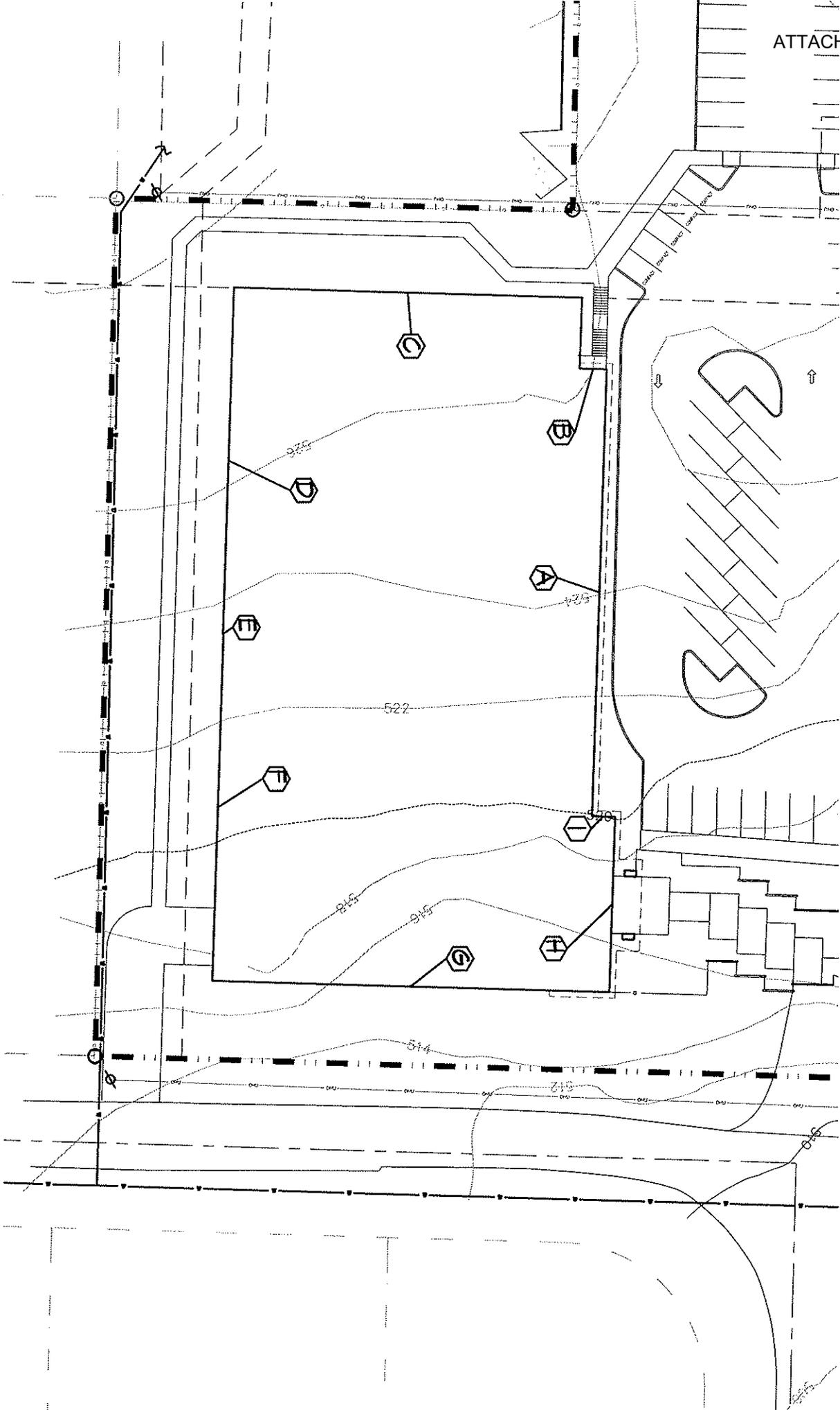
AVERAGE BUILDING ELEVATION:

POINT	LENGTH (FT.)	ELEVATION	LENGTH X ELEV.
A	155.50	524.1	81497.55
B	9.38	526.0	4931.25
C	121.25	526.9	63886.63
D	120.63	526.3	63484.94
E	0.13	523.5	65.44
F	120.50	520.7	62744.35
G	138.50	515.0	71327.50
H	61.00	516.9	31530.90
I	8.00	520.0	4160.00
	734.88		383628.55

AVERAGE GRADE= 522.0

HIGHEST POINT OF BUILDING= 555.7

BUILDING HEIGHT= 33.7



**Central Park Tennis Club - Tree Assessment
Special Protection Measures**

Stump Grinding

The following stumps should be ground out rather than pulled by machinery.

106,107,111, 118,119,120 and any other tree that is found within the Tree Protection Zone area of saved trees.

Root Pruning prior to Site Grading

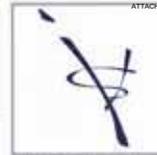
Trees #

108
109
118
121
122
123
124
125
126

Root Protection when building wall

110
112

Prepared : 2010-9-10



PROJECT LOCATION: 12500 NE 49th Street, Kirkland, WA 98033

CLIENT: CENTRAL PARK TENNIS CLUB (2000 NE 45TH STREET, KIRKLAND, WA 98033)

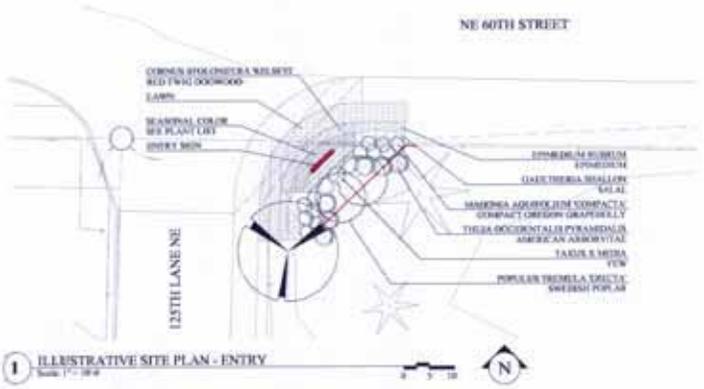
CENTRAL PARK TENNIS CLUB
FOUR COURT TENNIS BUILDING
12500 NE 49th Street
Kirkland, Washington 98033

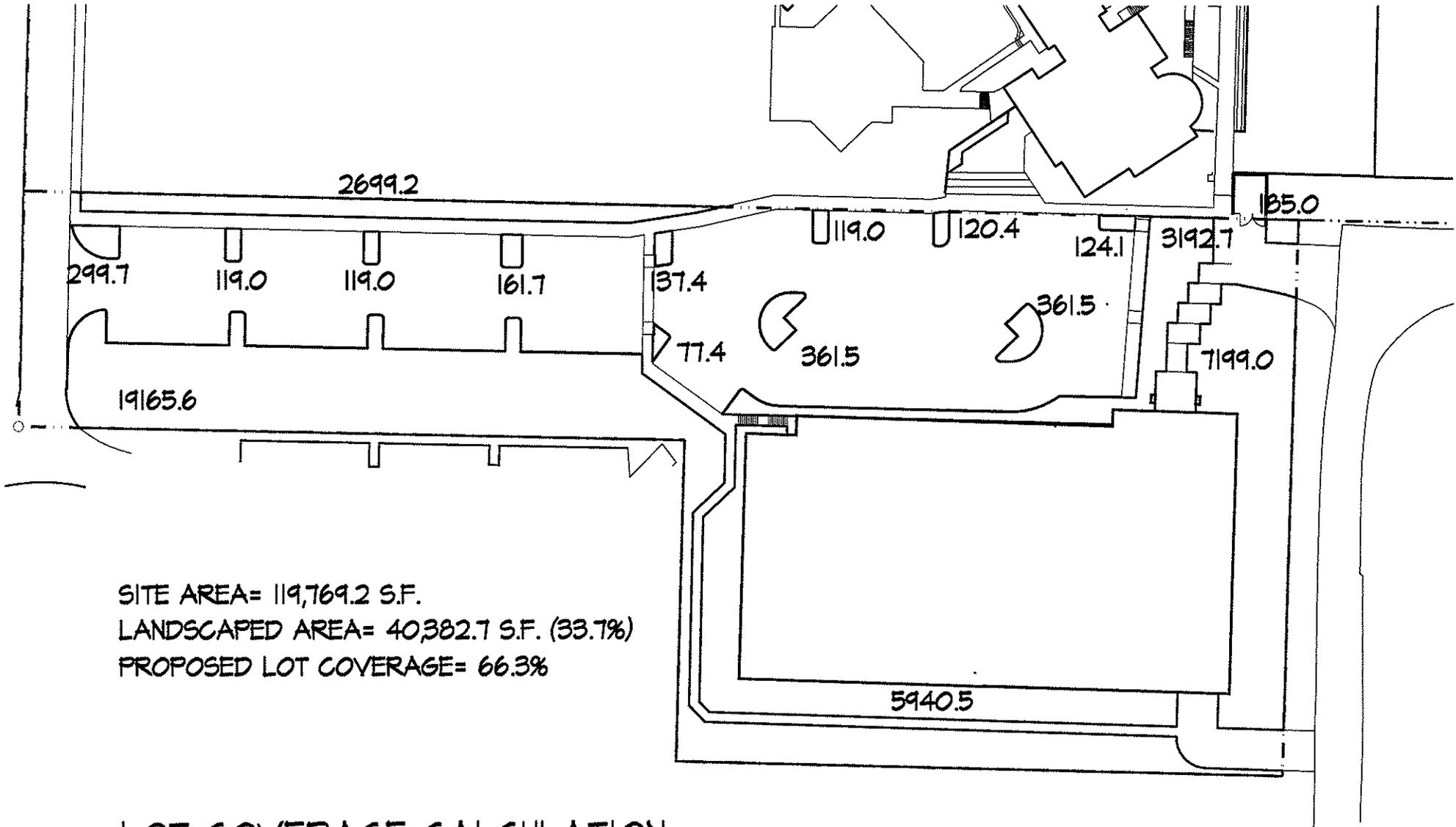


DATE: 08/20/2014
SCALE: 1/8" = 1'-0"

ILLUSTRATIVE SITE PLAN
PROJECT DOCUMENT

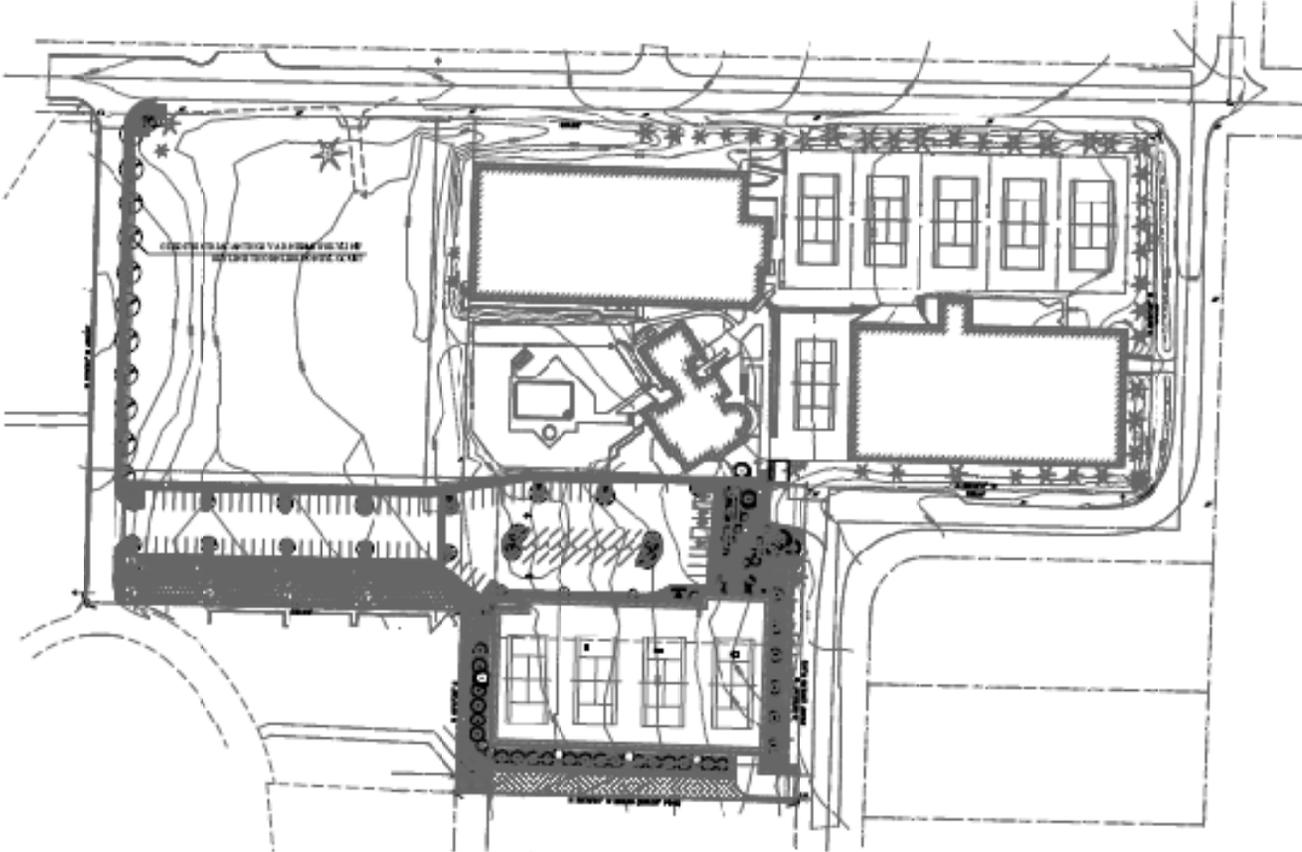
SK-1.0



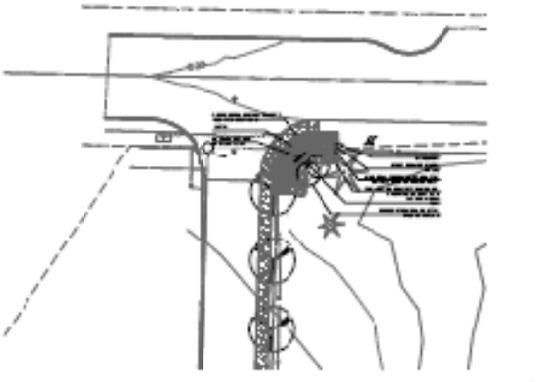


SITE AREA= 119,769.2 S.F.
 LANDSCAPED AREA= 40,382.7 S.F. (33.7%)
 PROPOSED LOT COVERAGE= 66.3%

LOT COVERAGE CALCULATION



1 OVERALL LANDSCAPE PLAN



2 LANDSCAPE PLAN - MAIN ENTRY

CODE COMPLIANCE	TREE PRESERVATION NOTES	GENERAL NOTES
<p>11 LANDSCAPE MAINTENANCE</p> <p>11.1 MAINTENANCE OF PLANTINGS</p> <p>11.2 LANDSCAPE MAINTENANCE</p> <p>11.3 MAINTENANCE OF PLANTINGS</p> <p>11.4 MAINTENANCE OF PLANTINGS</p> <p>11.5 MAINTENANCE OF PLANTINGS</p> <p>11.6 MAINTENANCE OF PLANTINGS</p> <p>11.7 MAINTENANCE OF PLANTINGS</p> <p>11.8 MAINTENANCE OF PLANTINGS</p> <p>11.9 MAINTENANCE OF PLANTINGS</p> <p>11.10 MAINTENANCE OF PLANTINGS</p>	<p>1. MAINTAIN EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED.</p> <p>2. MAINTAIN EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED.</p> <p>3. MAINTAIN EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED.</p> <p>4. MAINTAIN EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED.</p> <p>5. MAINTAIN EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED.</p> <p>6. MAINTAIN EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED.</p> <p>7. MAINTAIN EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED.</p> <p>8. MAINTAIN EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED.</p> <p>9. MAINTAIN EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED.</p> <p>10. MAINTAIN EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED.</p>	<p>1. MAINTAIN EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED.</p> <p>2. MAINTAIN EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED.</p> <p>3. MAINTAIN EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED.</p> <p>4. MAINTAIN EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED.</p> <p>5. MAINTAIN EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED.</p> <p>6. MAINTAIN EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED.</p> <p>7. MAINTAIN EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED.</p> <p>8. MAINTAIN EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED.</p> <p>9. MAINTAIN EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED.</p> <p>10. MAINTAIN EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED.</p>



CLIENT:
CENTRAL PARK TENNIS CLUB
1301 N. 10TH ST. SUITE 100
DALLAS, TX 75201

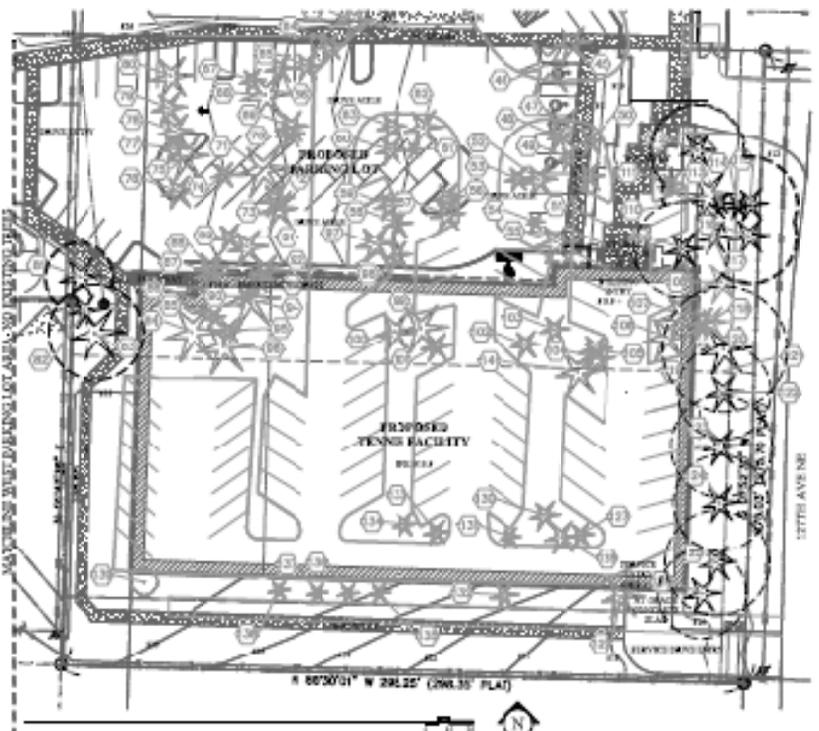
CENTRAL PARK TENNIS CLUB
PROJECT LOCATION BUILDING
1301 N. 10TH ST. SUITE 100
DALLAS, TEXAS 75201



NOTES & STANDARDS
1. MAINTAIN EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED.
2. MAINTAIN EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED.
3. MAINTAIN EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED.
4. MAINTAIN EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED.
5. MAINTAIN EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED.
6. MAINTAIN EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED.
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8. MAINTAIN EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED.
9. MAINTAIN EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED.
10. MAINTAIN EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED.

LANDSCAPE PLAN
OVERALL SITE &
MAIN ENTRY

L-1.0



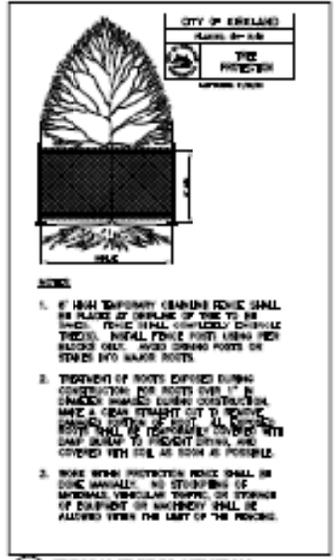
1 TREE RETENTION PLAN

NO.	DBH(DI)	SPECIES	DBP	HEALTH	STATUS
01	20"	DOUGLAS FIR	20"	Y	Y
02	18"	DOUGLAS FIR	18"	Y	Y
03	20"	DOUGLAS FIR	20"	Y	Y
04	18"	DOUGLAS FIR	18"	Y	Y
05	12"	DOUGLAS FIR	12"	Y	Y
06	14"	DOUGLAS FIR	14"	Y	Y
07	16"	DOUGLAS FIR	16"	Y	Y
08	18"	DOUGLAS FIR	18"	Y	Y
09	14"	DOUGLAS FIR	14"	Y	Y
10	12"	DOUGLAS FIR	12"	Y	Y
11	10"	DOUGLAS FIR	10"	Y	Y
12	8"	DOUGLAS FIR	8"	Y	Y
13	6"	DOUGLAS FIR	6"	Y	Y
14	4"	DOUGLAS FIR	4"	Y	Y
15	3"	DOUGLAS FIR	3"	Y	Y
16	2"	DOUGLAS FIR	2"	Y	Y
17	1"	DOUGLAS FIR	1"	Y	Y
18	1"	DOUGLAS FIR	1"	Y	Y
19	1"	DOUGLAS FIR	1"	Y	Y
20	1"	DOUGLAS FIR	1"	Y	Y
21	1"	DOUGLAS FIR	1"	Y	Y
22	1"	DOUGLAS FIR	1"	Y	Y
23	1"	DOUGLAS FIR	1"	Y	Y
24	1"	DOUGLAS FIR	1"	Y	Y
25	1"	DOUGLAS FIR	1"	Y	Y
26	1"	DOUGLAS FIR	1"	Y	Y
27	1"	DOUGLAS FIR	1"	Y	Y
28	1"	DOUGLAS FIR	1"	Y	Y
29	1"	DOUGLAS FIR	1"	Y	Y
30	1"	DOUGLAS FIR	1"	Y	Y
31	1"	DOUGLAS FIR	1"	Y	Y
32	1"	DOUGLAS FIR	1"	Y	Y
33	1"	DOUGLAS FIR	1"	Y	Y
34	1"	DOUGLAS FIR	1"	Y	Y
35	1"	DOUGLAS FIR	1"	Y	Y
36	1"	DOUGLAS FIR	1"	Y	Y
37	1"	DOUGLAS FIR	1"	Y	Y
38	1"	DOUGLAS FIR	1"	Y	Y
39	1"	DOUGLAS FIR	1"	Y	Y
40	1"	DOUGLAS FIR	1"	Y	Y
41	1"	DOUGLAS FIR	1"	Y	Y
42	1"	DOUGLAS FIR	1"	Y	Y
43	1"	DOUGLAS FIR	1"	Y	Y
44	1"	DOUGLAS FIR	1"	Y	Y
45	1"	DOUGLAS FIR	1"	Y	Y
46	1"	DOUGLAS FIR	1"	Y	Y
47	1"	DOUGLAS FIR	1"	Y	Y
48	1"	DOUGLAS FIR	1"	Y	Y
49	1"	DOUGLAS FIR	1"	Y	Y
50	1"	DOUGLAS FIR	1"	Y	Y
51	1"	DOUGLAS FIR	1"	Y	Y
52	1"	DOUGLAS FIR	1"	Y	Y
53	1"	DOUGLAS FIR	1"	Y	Y
54	1"	DOUGLAS FIR	1"	Y	Y
55	1"	DOUGLAS FIR	1"	Y	Y
56	1"	DOUGLAS FIR	1"	Y	Y
57	1"	DOUGLAS FIR	1"	Y	Y
58	1"	DOUGLAS FIR	1"	Y	Y
59	1"	DOUGLAS FIR	1"	Y	Y
60	1"	DOUGLAS FIR	1"	Y	Y
61	1"	DOUGLAS FIR	1"	Y	Y
62	1"	DOUGLAS FIR	1"	Y	Y
63	1"	DOUGLAS FIR	1"	Y	Y
64	1"	DOUGLAS FIR	1"	Y	Y
65	1"	DOUGLAS FIR	1"	Y	Y
66	1"	DOUGLAS FIR	1"	Y	Y
67	1"	DOUGLAS FIR	1"	Y	Y
68	1"	DOUGLAS FIR	1"	Y	Y
69	1"	DOUGLAS FIR	1"	Y	Y
70	1"	DOUGLAS FIR	1"	Y	Y

NO.	DBH(DI)	SPECIES	DBP	HEALTH	STATUS
71	20"	DOUGLAS FIR	20"	Y	Y
72	18"	DOUGLAS FIR	18"	Y	Y
73	20"	DOUGLAS FIR	20"	Y	Y
74	18"	DOUGLAS FIR	18"	Y	Y
75	12"	DOUGLAS FIR	12"	Y	Y
76	14"	DOUGLAS FIR	14"	Y	Y
77	16"	DOUGLAS FIR	16"	Y	Y
78	18"	DOUGLAS FIR	18"	Y	Y
79	14"	DOUGLAS FIR	14"	Y	Y
80	12"	DOUGLAS FIR	12"	Y	Y
81	10"	DOUGLAS FIR	10"	Y	Y
82	8"	DOUGLAS FIR	8"	Y	Y
83	6"	DOUGLAS FIR	6"	Y	Y
84	4"	DOUGLAS FIR	4"	Y	Y
85	3"	DOUGLAS FIR	3"	Y	Y
86	2"	DOUGLAS FIR	2"	Y	Y
87	1"	DOUGLAS FIR	1"	Y	Y
88	1"	DOUGLAS FIR	1"	Y	Y
89	1"	DOUGLAS FIR	1"	Y	Y
90	1"	DOUGLAS FIR	1"	Y	Y
91	1"	DOUGLAS FIR	1"	Y	Y
92	1"	DOUGLAS FIR	1"	Y	Y
93	1"	DOUGLAS FIR	1"	Y	Y
94	1"	DOUGLAS FIR	1"	Y	Y
95	1"	DOUGLAS FIR	1"	Y	Y
96	1"	DOUGLAS FIR	1"	Y	Y
97	1"	DOUGLAS FIR	1"	Y	Y
98	1"	DOUGLAS FIR	1"	Y	Y
99	1"	DOUGLAS FIR	1"	Y	Y
100	1"	DOUGLAS FIR	1"	Y	Y
101	1"	DOUGLAS FIR	1"	Y	Y
102	1"	DOUGLAS FIR	1"	Y	Y
103	1"	DOUGLAS FIR	1"	Y	Y
104	1"	DOUGLAS FIR	1"	Y	Y
105	1"	DOUGLAS FIR	1"	Y	Y
106	1"	DOUGLAS FIR	1"	Y	Y
107	1"	DOUGLAS FIR	1"	Y	Y
108	1"	DOUGLAS FIR	1"	Y	Y
109	1"	DOUGLAS FIR	1"	Y	Y
110	1"	DOUGLAS FIR	1"	Y	Y
111	1"	DOUGLAS FIR	1"	Y	Y
112	1"	DOUGLAS FIR	1"	Y	Y
113	1"	DOUGLAS FIR	1"	Y	Y
114	1"	DOUGLAS FIR	1"	Y	Y
115	1"	DOUGLAS FIR	1"	Y	Y
116	1"	DOUGLAS FIR	1"	Y	Y
117	1"	DOUGLAS FIR	1"	Y	Y
118	1"	DOUGLAS FIR	1"	Y	Y
119	1"	DOUGLAS FIR	1"	Y	Y
120	1"	DOUGLAS FIR	1"	Y	Y
121	1"	DOUGLAS FIR	1"	Y	Y
122	1"	DOUGLAS FIR	1"	Y	Y
123	1"	DOUGLAS FIR	1"	Y	Y
124	1"	DOUGLAS FIR	1"	Y	Y
125	1"	DOUGLAS FIR	1"	Y	Y
126	1"	DOUGLAS FIR	1"	Y	Y
127	1"	DOUGLAS FIR	1"	Y	Y
128	1"	DOUGLAS FIR	1"	Y	Y
129	1"	DOUGLAS FIR	1"	Y	Y
130	1"	DOUGLAS FIR	1"	Y	Y
131	1"	DOUGLAS FIR	1"	Y	Y
132	1"	DOUGLAS FIR	1"	Y	Y
133	1"	DOUGLAS FIR	1"	Y	Y
134	1"	DOUGLAS FIR	1"	Y	Y
135	1"	DOUGLAS FIR	1"	Y	Y
136	1"	DOUGLAS FIR	1"	Y	Y
137	1"	DOUGLAS FIR	1"	Y	Y
138	1"	DOUGLAS FIR	1"	Y	Y
139	1"	DOUGLAS FIR	1"	Y	Y
140	1"	DOUGLAS FIR	1"	Y	Y

NO.	DBH(DI)	SPECIES	DBP	HEALTH	STATUS
141	20"	DOUGLAS FIR	20"	Y	Y
142	18"	DOUGLAS FIR	18"	Y	Y
143	20"	DOUGLAS FIR	20"	Y	Y
144	18"	DOUGLAS FIR	18"	Y	Y
145	12"	DOUGLAS FIR	12"	Y	Y
146	14"	DOUGLAS FIR	14"	Y	Y
147	16"	DOUGLAS FIR	16"	Y	Y
148	18"	DOUGLAS FIR	18"	Y	Y
149	14"	DOUGLAS FIR	14"	Y	Y
150	12"	DOUGLAS FIR	12"	Y	Y
151	10"	DOUGLAS FIR	10"	Y	Y
152	8"	DOUGLAS FIR	8"	Y	Y
153	6"	DOUGLAS FIR	6"	Y	Y
154	4"	DOUGLAS FIR	4"	Y	Y
155	3"	DOUGLAS FIR	3"	Y	Y
156	2"	DOUGLAS FIR	2"	Y	Y
157	1"	DOUGLAS FIR	1"	Y	Y
158	1"	DOUGLAS FIR	1"	Y	Y
159	1"	DOUGLAS FIR	1"	Y	Y
160	1"	DOUGLAS FIR	1"	Y	Y
161	1"	DOUGLAS FIR	1"	Y	Y
162	1"	DOUGLAS FIR	1"	Y	Y
163	1"	DOUGLAS FIR	1"	Y	Y
164	1"	DOUGLAS FIR	1"	Y	Y
165	1"	DOUGLAS FIR	1"	Y	Y
166	1"	DOUGLAS FIR	1"	Y	Y
167	1"	DOUGLAS FIR	1"	Y	Y
168	1"	DOUGLAS FIR	1"	Y	Y
169	1"	DOUGLAS FIR	1"	Y	Y
170	1"	DOUGLAS FIR	1"	Y	Y
171	1"	DOUGLAS FIR	1"	Y	Y
172	1"	DOUGLAS FIR	1"	Y	Y
173	1"	DOUGLAS FIR	1"	Y	Y
174	1"	DOUGLAS FIR	1"	Y	Y
175	1"	DOUGLAS FIR	1"	Y	Y
176	1"	DOUGLAS FIR	1"	Y	Y
177	1"	DOUGLAS FIR	1"	Y	Y
178	1"	DOUGLAS FIR	1"	Y	Y
179	1"	DOUGLAS FIR	1"	Y	Y
180	1"	DOUGLAS FIR	1"	Y	Y
181	1"	DOUGLAS FIR	1"	Y	Y
182	1"	DOUGLAS FIR	1"	Y	Y
183	1"	DOUGLAS FIR	1"	Y	Y
184	1"	DOUGLAS FIR	1"	Y	Y
185	1"	DOUGLAS FIR	1"	Y	Y
186	1"	DOUGLAS FIR	1"	Y	Y
187	1"	DOUGLAS FIR	1"	Y	Y
188	1"	DOUGLAS FIR	1"	Y	Y
189	1"	DOUGLAS FIR	1"	Y	Y
190	1"	DOUGLAS FIR	1"	Y	Y
191	1"	DOUGLAS FIR	1"	Y	Y
192	1"	DOUGLAS FIR	1"	Y	Y
193	1"	DOUGLAS FIR	1"	Y	Y
194	1"	DOUGLAS FIR	1"	Y	Y
195	1"	DOUGLAS FIR	1"	Y	Y
196	1"	DOUGLAS FIR	1"	Y	Y
197	1"	DOUGLAS FIR	1"	Y	Y
198	1"	DOUGLAS FIR	1"	Y	Y
199	1"	DOUGLAS FIR	1"	Y	Y
200	1"	DOUGLAS FIR	1"	Y	Y

1. YES-TO BE REMOVED
 2. Y HEALTH
 3. YC HEALTH RATING FOR ALL TREES IS 4-5 UNLESS INDICATED OTHERWISE

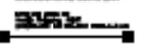


A TYPICAL TREE PROTECTION RESERVE

TREE RETENTION PLAN NOTES

- SUBJECT PROPERTY CORRESPONDS TO PARCEL "C" SITE AND TREE RETENTION PLAN IS BASED ON THE SURVEY DATED 1-10-2018, SITE PLAN PER FREHEIT & BO ARCHITECTS DATED 1-1-2018, AND CIVIL PLANS DATED 1-1-2018 PREVIOUSLY SUBMITTED TO THE CITY OF KERRLAND FOR THE PERMIT.
- THIS PLAN INCLUDES INFORMATION SUCH AS AN INVENTORY OF ALL TREES (NUMBERED), TREE SIZE/SPECIES, DRIP LINES, TREE STATUS (TO BE REMOVED OR TO REMAIN), HEALTH RATING, AND LIMITS OF DISTURBANCE.
- SEE SHEET L-000 SITE PLAN AND TREE INVENTORY.
- SEE ARBORIST'S REPORT WITH INFORMATION INCLUDING DESCRIPTION OF TREE HEALTH, DESCRIPTION OF METHODS FOR ESTABLISHING LIMITS OF DISTURBANCE, INSTRUCTIONS FOR WORK WITHIN AREAS OF NONDISTURBANCE, DESCRIPTION OF REASON FOR REMOVAL OF VIABLE TREES, IMPACT OF TREE REMOVAL ON TREES TO REMAIN, AND TIMING AND INSTALLATION OF TREE PROTECTION MEASURES.
- SEE ARBORIST'S REPORT EXHIBITS WHICH INCLUDE ROOT BARRIER AND TREE REMOVAL CRITERIA, SPECIAL PROTECTION MEASURES, AND TREE HEALTH ASSESSMENT SURVEY.
- SUBJECT PROPERTY CORRESPONDS TO PARCEL "C"

- SHEET INDEX**
- L-00 SITE PLAN & TREE INVENTORY
 - L-01 TREE RETENTION PLAN
 - L-02 DRIVE LANDSCAPE PLAN
 - L-03 MAIN PARKING LANDSCAPE PLAN
 - L-04 PLANT LIST & DETAILS



CLIENT:
 CENTRAL PARK TENNIS CLUB
 1000 W. 20TH STREET
 KERRLAND, TX 79029

CENTRAL PARK TENNIS CLUB
 1000 W. 20TH STREET
 KERRLAND, TX 79029
 Telephone: 806.896.1800

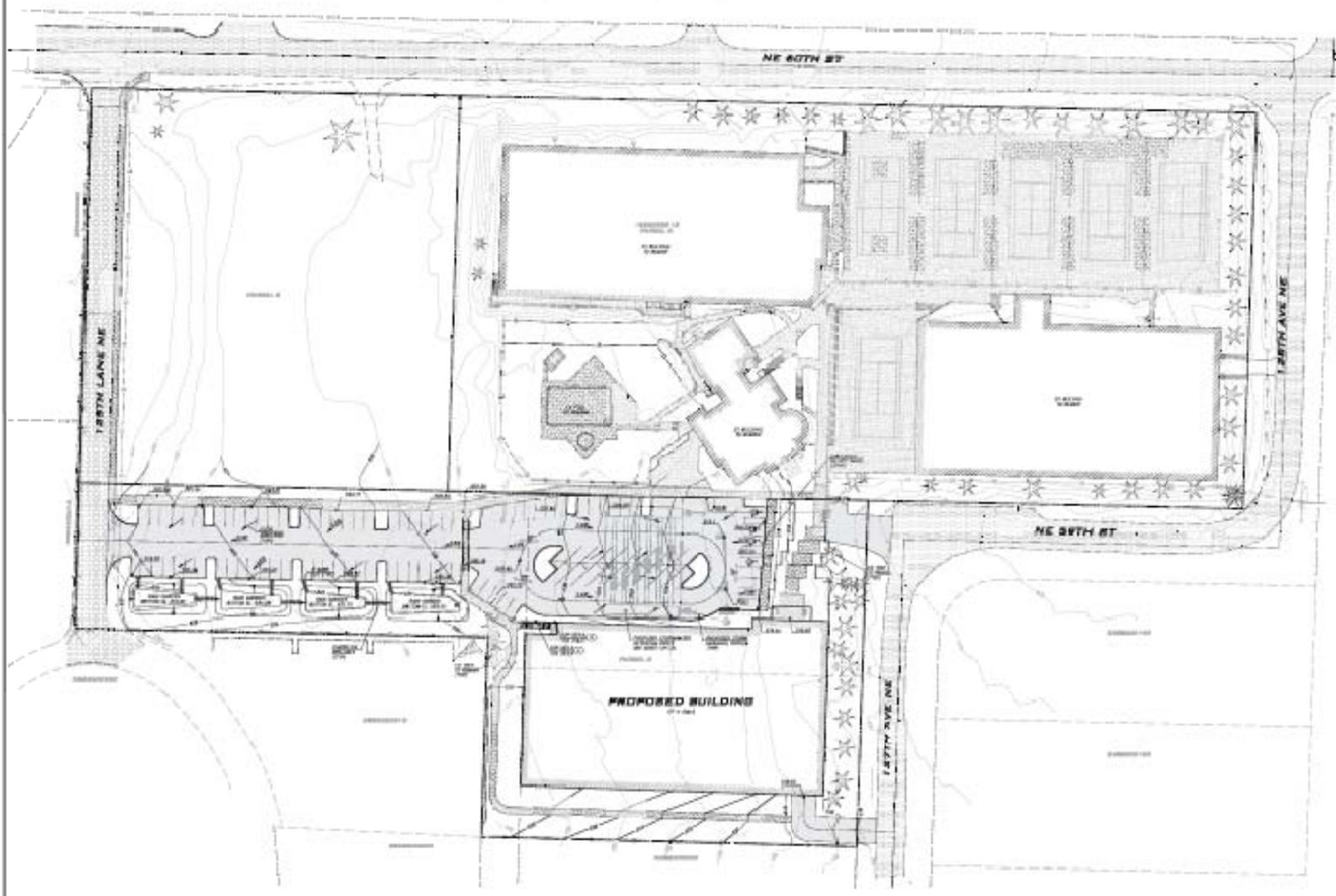


TREE RETENTION
 LOCAL INVENTORY



ATTACHMENT 2

NW 1/4, NE 1/4, SEC 16, TWP 28N, R02E, N4W



NOTE
 THIS PLAN IS A PRELIMINARY GRADING PLAN AND DOES NOT CONSTITUTE A FINAL GRADING PLAN. THE GRADING SHALL BE DETERMINED BY THE GRADING ENGINEER AND SHALL BE SHOWN ON THE GRADING PLAN.

UNDERGROUND UTILITY NOTE
 UNDERGROUND UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO ASSURANCE THAT ALL UTILITIES ARE SHOWN OR THAT THE LOCATION, DEPTH AND NUMBER IS ACCURATE. THE CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES.



BLUELINE

DATE: _____
 PROJECT: _____
 DRAWING NO.: _____
 SHEET NO.: _____

PRELIMINARY GRADING PLAN

CENTRAL PARK TENNIS CLUB

FOUR COURT TENNIS BUILDING

EDWIN PERMYT
 CITY OF KIRKLAND WASHINGTON



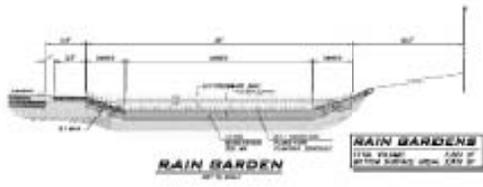
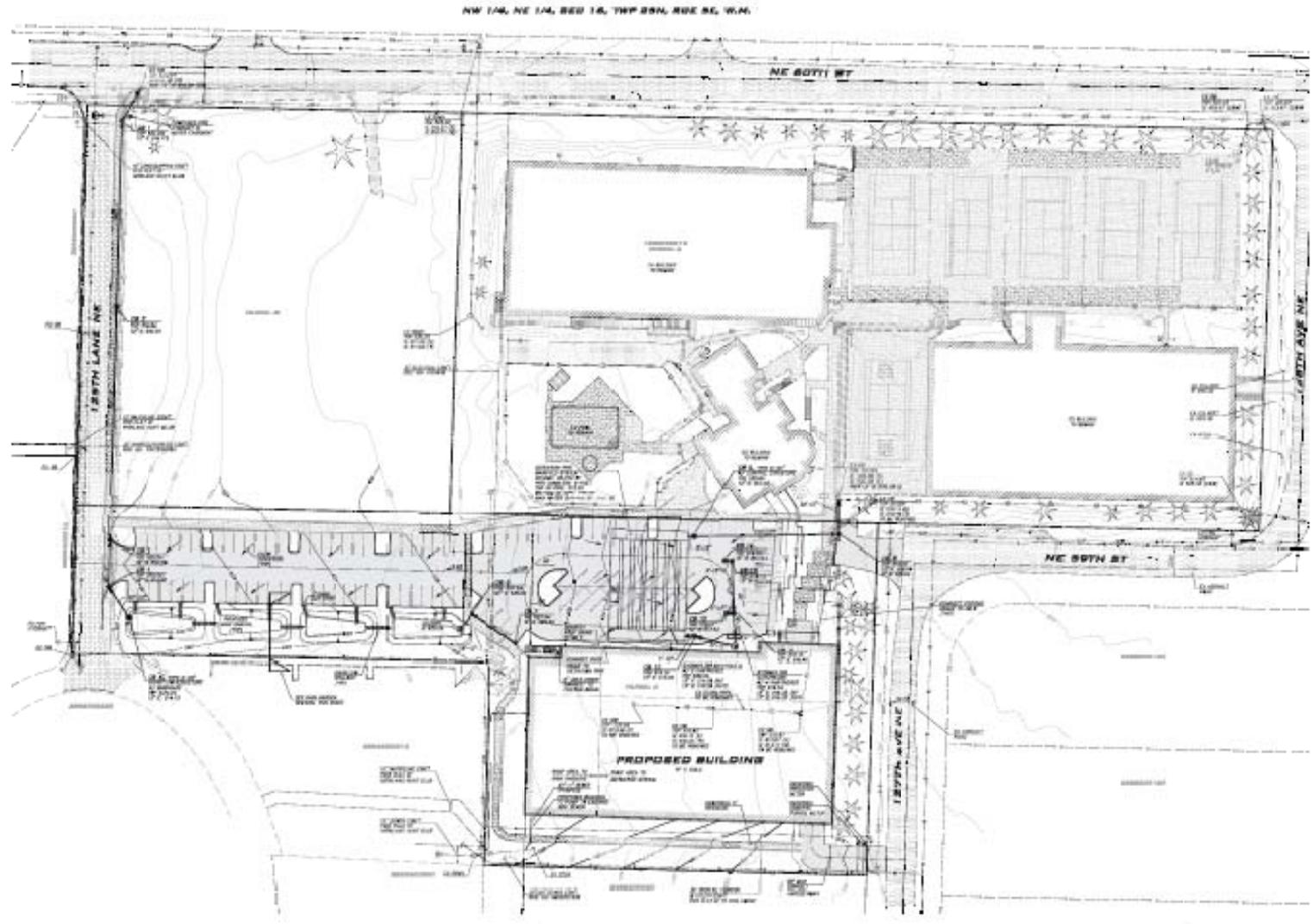
PROJECT NO:
08-112

SHEET NO. **02** OF **02**

ATTACHMENT 2



DATE: _____
 PROJECT: _____
 DRAWING NO: _____
 SHEET NO: _____



- NOTES**
1. ALL NEW UTILITIES & EXISTING UTILITIES LOCATED HAVE BEEN FIELD TO BE SHOWN AND ALL UTILITIES SHALL BE SHOWN AND LOCATED BEFORE ANY CONSTRUCTION BEGINS.
 2. SEE PLAN FOR BUILDING FOOTPRINTS TO BE PAVED TO EXISTING GRADE.
 3. SEE PLAN FOR EXISTING UTILITIES TO BE REMOVED OR RELOCATED.
 4. ALL UTILITIES TO BE SHOWN AND LOCATED BEFORE ANY CONSTRUCTION BEGINS.
 5. UTILITIES TO BE SHOWN AND LOCATED BEFORE ANY CONSTRUCTION BEGINS.

UNDERGROUND UTILITY NOTE
 UNDERGROUND UTILITIES ARE SHOWN IN THE ATTACHED LOCATION. OWNER IS RESPONSIBLE FOR ALL UTILITIES AND ANY OTHER UTILITIES LOCATED ON THE SITE. ALL UTILITIES SHALL BE SHOWN AND LOCATED BEFORE ANY CONSTRUCTION BEGINS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND SHALL REPORT ANY DISCREPANCIES TO THE OWNER BEFORE ANY CONSTRUCTION BEGINS.

PRELIMINARY UTILITY PLAN
 CENTRAL PARK TENNIS CLUB
 FOUR COURT TENNIS BUILDING
 EDWARDS PENNITT
 CITY OF KIRKLAND WASHINGTON



DATE: _____
 DRAWING NO: _____
 SHEET NO: _____



CITY OF KIRKLAND

Planning and Community Development Department

123 Fifth Avenue, Kirkland, WA 98033 425.587-3225

www.ci.kirkland.wa.us

DEVELOPMENT STANDARDS LIST

File: ZON10-00022; CENTRAL PARK TENNIS CLUB

ZONING CODE STANDARDS

85.25.1 Geotechnical Report Recommendations. The geotechnical recommendations contained in the report by GEO Group NW dated July 10th, 2010 shall be implemented.

85.25.3 Geotechnical Professional On-Site. A qualified geotechnical professional shall be present on site during land surface modification and foundation installation activities.

95.51.2.a Required Landscaping. All required landscaping shall be maintained throughout the life of the development. The applicant shall submit an agreement to the city to be recorded with King County which will perpetually maintain required landscaping. Prior to issuance of a certificate of occupancy, the proponent shall provide a final as-built landscape plan and an agreement to maintain and replace all landscaping that is required by the City.

95.44 Parking Area Landscape Islands. Landscape islands must be included in parking areas as provided in this section.

95.45 Parking Area Landscape Buffers. Applicant shall buffer all parking areas and driveways from the right-of-way and from adjacent property with a 5-foot wide strip as provided in this section. If located in a design district a low hedge or masonry or concrete wall may be approved as an alternative through design review.

95.50 Tree Installation Standards. All supplemental trees to be planted shall conform to the Kirkland Plant List. All installation standards shall conform to Kirkland Zoning Code Section 95.45.

95.52 Prohibited Vegetation. Plants listed as prohibited in the Kirkland Plant List shall not be planted in the City.

100.25 Sign Permits. Separate sign permit(s) are required.

105.18 Pedestrian Walkways. All uses, except single family dwelling units and duplex structures, must provide pedestrian walkways designed to minimize walking distances from the building entrance to the right of way and adjacent transit facilities, pedestrian connections to adjacent properties, between primary entrances of all uses on the subject property, through parking lots and parking garages to building entrances. Easements may be required.

105.32 Bicycle Parking. All uses, except single family dwelling units and duplex structures with 6 or more vehicle parking spaces must provide covered bicycle parking within 50 feet of an entrance to the building at a ratio of one bicycle space for each twelve motor vehicle parking spaces. Check with Planner to determine the number of bike racks required and location.

105.18 Entrance Walkways. All uses, except single family dwellings and duplex structures, must provide pedestrian walkways between the principal entrances to all businesses, uses, and/or buildings on the subject property.

105.18 Overhead Weather Protection. All uses, except single family dwellings, multifamily, and industrial uses, must provide overhead weather protection along any portion of the building, which is adjacent to a pedestrian walkway.

105.18.2 Walkway Standards. Pedestrian walkways must be at least 5' wide; must be distinguishable from traffic lanes by pavement texture or elevation; must have adequate lighting for security and safety. Lights must be non-glare and mounted no more than 20' above the ground.

105.18.2 Overhead Weather Protection Standards. Overhead weather protection must be provided along any portion of the building adjacent to a pedestrian walkway or sidewalk; over the primary exterior entrance to all buildings. May be composed of awnings, marquees, canopies or building overhangs; must cover at least 5' of the width of the adjacent walkway; and must be at least 8 feet above the ground immediately below it.

105.19 Public Pedestrian Walkways. The height of solid (blocking visibility) fences along pedestrian pathways that are not directly adjacent a public or private street right-of-way shall be limited to 42 inches unless otherwise approved by the Planning or Public Works Directors. All new building structures shall be setback a minimum of five feet from any pedestrian access right-of-way, tract, or easement that is not directly adjacent a public or private street right-of-way. If in a design district, see section and Plate 34 for through block pathways standards.

105.20 Required Parking. 99 parking spaces are required for this use and 103 are proposed.

105.65 Compact Parking Stalls. Up to 50% of the number of parking spaces may be designated for compact cars.

105.60.2 Parking Area Driveways. Driveways which are not driving aisles within a parking area shall be a minimum width of 20 feet.

105.60.3 Wheelstops. Parking areas must be constructed so that car wheels are kept at least 2' from pedestrian and landscape areas.

105.60.4 Parking Lot Walkways. All parking lots which contain more than 25 stalls must include pedestrian walkways through the parking lot to the main building entrance or a central location. Lots with more than 25,000 sq. ft. of paved area must provide pedestrian routes for every 3 aisles to the main entrance.

105.77 Parking Area Curbing. All parking areas and driveways, for uses other than detached dwelling units must be surrounded by a 6" high vertical concrete curb.

105.96 Drive Through Facilities. See section for design criteria for approving drive through facilities.

110.60.5 Street Trees. All trees planted in the right-of-way must be approved as to species by the City. All trees must be two inches in diameter at the time of planting as measured using the standards of the American Association of Nurserymen with a canopy that starts at least six feet above finished grade and does not obstruct any adjoining sidewalks or driving lanes.

115.25 Work Hours. It is a violation of this Code to engage in any development activity or to operate any heavy equipment before 7:00 am. or after 8:00 pm Monday through Friday, or before 9:00 am or after 6:00 pm Saturday. No development activity or use of heavy equipment may occur on Sundays or on the following holidays: New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving, and Christmas Day. The applicant will be required to comply with these regulations and any violation of this section will result in enforcement action, unless written permission is obtained from the Planning official.

115.40 Fence Location. Fences over 6 feet in height may not be located in a required setback yard except as allowed by a Planning official.

115.45 Garbage and Recycling Placement and Screening. For uses other than detached dwelling units, duplexes, moorage facilities, parks, and construction sites, all garbage receptacles and dumpsters must be setback from property lines, located outside landscape buffers, and screened from view from the street, adjacent properties and pedestrian walkways or parks by a solid sight-obscuring enclosure.

115.47 Service Bay Locations. All uses, except single family dwellings and multifamily structures, must locate service bays away from pedestrian areas. If not feasible must screen

from view.

115.75.2 Fill Material. All materials used as fill must be non-dissolving and non-decomposing. Fill material must not contain organic or inorganic material that would be detrimental to the water quality, or existing habitat, or create any other significant adverse impacts to the environment.

115.90 Calculating Lot Coverage. The total area of all structures and pavement and any other impervious surface on the subject property is limited to a maximum percentage of total lot area. See the Use Zone charts for maximum lot coverage percentages allowed. Section 115.90 lists exceptions to total lot coverage calculations. See Section 115.90 for a more detailed explanation of these exceptions.

115.95 Noise Standards. The City of Kirkland adopts by reference the Maximum Environmental Noise Levels established pursuant to the Noise Control Act of 1974, RCW 70.107. See Chapter 173-60 WAC. Any noise, which injures, endangers the comfort, repose, health or safety of persons, or in any way renders persons insecure in life, or in the use of property is a violation of this Code.

115.115 Required Setback Yards. This section establishes what structures, improvements and activities may be within required setback yards as established for each use in each zone.

115.115.3.g Rockeries and Retaining Walls. Rockeries and retaining walls are limited to a maximum height of four feet in a required yard unless certain modification criteria in this section are met. The combined height of fences and retaining walls within five feet of each other in a required yard is limited to a maximum height of 6 feet, unless certain modification criteria in this section are met.

115.115.3.p HVAC and Similar Equipment: These may be placed no closer than five feet of a side or rear property line, and shall not be located within a required front yard; provided, that HVAC equipment may be located in a storage shed approved pursuant to subsection (3)(m) of this section or a garage approved pursuant to subsection (3)(o)(2) of this section. All HVAC equipment shall be baffled, shielded, enclosed, or placed on the property in a manner that will ensure compliance with the noise provisions of KZC 115.95.

115.115.d Driveway Setbacks. Parking areas and driveways for uses other than detached dwelling units, attached and stacked dwelling units in residential zones, or schools and day-cares with more than 12 students, may be located within required setback yards, but, except for the portion of any driveway which connects with an adjacent street, not closer than 5 feet to any property line.

115.120 Rooftop Appurtenance Screening. New or replacement appurtenances on existing buildings shall be surrounded by a solid screening enclosure equal in height to the appurtenance. New construction shall screen rooftop appurtenances by incorporating them in to the roof form.

115.135 Sight Distance at Intersection. Areas around all intersections, including the entrance of driveways onto streets, must be kept clear of sight obstruction as described in this section.

152.22.2 Public Notice Signs. Within seven (7) calendar days after the end of the 21-day period following the City's final decision on the permit, the applicant shall remove all public notice signs.

Prior to issuance of a grading or building permit:

85.25.1 Geotechnical Report Recommendations. A written acknowledgment must be added to the face of the plans signed by the architect, engineer, and/or designer that he/she has reviewed the geotechnical recommendations and incorporated these recommendations into the plans.

95.30(4) Tree Protection Techniques. A description and location of tree protection measures during construction for trees to be retained must be shown on demolition and grading

plans.

95.34 Tree Protection. Prior to development activity or initiating tree removal on the site, vegetated areas and individual trees to be preserved shall be protected from potentially damaging activities. Protection measures for trees to be retained shall include (1) placing no construction material or equipment within the protected area of any tree to be retained; (2) providing a visible temporary protective chain link fence at least 6 feet in height around the protected area of retained trees or groups of trees until the Planning Official authorizes their removal; (3) installing visible signs spaced no further apart than 15 feet along the protective fence stating "Tree Protection Area, Entrance Prohibited" with the City code enforcement phone number; (4) prohibiting excavation or compaction of earth or other damaging activities within the barriers unless approved by the Planning Official and supervised by a qualified professional; and (5) ensuring that approved landscaping in a protected zone shall be done with light machinery or by hand.

Prior to occupancy:

85.25.3 Geotechnical Professional On-Site. The geotechnical engineer shall submit a final report certifying substantial compliance with the geotechnical recommendations and geotechnical related permit requirements.

90.145 Bonds. The City may require a bond and/or a perpetual landscape maintenance agreement to ensure compliance with any aspect of the Drainage Basins chapter or any decision or determination made under this chapter.

95.51.2.a Required Landscaping. All required landscaping shall be maintained throughout the life of the development. The applicant shall submit an agreement to the city to be recorded with King County which will perpetually maintain required landscaping. Prior to issuance of a certificate of occupancy, the proponent shall provide a final as-built landscape plan and an agreement to maintain and replace all landscaping that is required by the City

110.60.5 Landscape Maintenance Agreement. The owner of the subject property shall sign a landscape maintenance agreement, in a form acceptable to the City Attorney, to run with the subject property to maintain landscaping within the landscape strip and landscape island portions of the right-of-way (see Attachment). It is a violation to pave or cover the landscape strip with impervious material or to park motor vehicles on this strip.

110.60.6 Mailboxes. Mailboxes shall be installed in the development in a location approved by the Postal Service and the Planning Official. The applicant shall, to the maximum extent possible, group mailboxes for units or uses in the development.

110.75 Bonds. The City may require or permit a bond to ensure compliance with any of the requirements of the Required Public Improvements chapter.

CITY OF KIRKLAND
123 FIFTH AVENUE, KIRKLAND, WASHINGTON 98033-6189 (425) 587-3225

DEVELOPMENT STANDARDS
CASE NO.: ZON10-00022
PCD FILE NO.: ZON10-00022

Date:
12/17/2010

You can review your permit status and conditions at www.kirklandpermits.net

PUBLIC WORKS CONDITIONS

Permit #: ZON10-00022
Project Name: Central Park Tennis Club Expansion
Project Address: 12630 NE 59th St
Date: September 13, 2010

Public Works Staff Contacts

Land Use and Pre-Submittal Process:
Rob Jammerman, Development Engineering Manager
Phone: 425-587-3845 Fax: 425-587-3807
E-mail: rjammer@ci.kirkland.wa.us

Building and Land Surface Modification (Grading) Permit Process:

John Burkhalter, Development Engineering Supervisor
Phone: 425-587-3853 Fax: 425-587-3807
E-mail: jburkhal@ci.kirkland.wa.us

General Conditions:

1. All public improvements associated with this project including street and utility improvements, must meet the City of Kirkland Public Works Pre-Approved Plans and Policies Manual. A Public Works Pre-Approved Plans and Policies manual can be purchased from the Public Works Department, or it may be retrieved from the Public Works Department's page at the City of Kirkland's web site at www.ci.kirkland.wa.us.
2. This project will be subject to Public Works Permit and Connection Fees. It is the applicant's responsibility to contact the Public Works Department by phone or in person to determine the fees. The fees can also be review the City of Kirkland web site at www.ci.kirkland.wa.us. The applicant should anticipate the following fees:
 - o Water and Sewer connection Fees (paid with the issuance of a Building Permit)
 - o Side Sewer Inspection Fee (paid with the issuance of a Building Permit)
 - o Water Meter Fee (paid with the issuance of a Building Permit)
 - o Right-of-way Fee
 - o Review and Inspection Fee (for utilities and street improvements).
 - o Traffic Impact Fee (paid with the issuance of Building Permit). For additional information, see notes below.
3. The project has applied for and has received concurrency. After the project has received a Concurrency Test Notice, a Traffic Impact Analysis will need to be prepared and submitted to the Public Works Transportation Engineer.

4. Building Permits associated with this proposed project will be subject to the traffic impact fees per Chapter 27.04 of the Kirkland Municipal Code. The impact fees shall be paid prior to issuance of the Building Permit(s).
5. All civil engineering plans which are submitted in conjunction with a building, grading, or right-of-way permit must conform to the Public Works Policy titled ENGINEERING PLAN REQUIREMENTS. This policy is contained in the Public Works Pre-Approved Plans and Policies manual.
6. All street improvements and underground utility improvements (storm, sewer, and water) must be designed by a Washington State Licensed Engineer; all drawings shall bear the engineers stamp.
7. All plans submitted in conjunction with a building, grading or right-of-way permit must have elevations which are based on the King County datum only (NAVD 88).
8. A completeness check meeting is required prior to submittal of any Building Permit applications.
9. Prior to issuance of any commercial or multifamily Building Permit, the applicant shall provide a plan for garbage storage and pickup. The plan shall be approved by Waste Management and the City.
10. The required tree plan shall include any significant tree in the public right-of-way along the property frontage.

Sanitary Sewer Conditions:

1. Provide sewer service to the new building. The plans indicate that the sewer will be pumped to the existing public sewer main located at the south west corner of the property. A commercial sewer pump duplex type system per Public Works Pre-approved plans S.22 shall be used. Final design of the system will be submitted with the Building and/or LSM permit application.
2. The existing building is connected to the sewer main in Ne 60th Street that was extended to the site in 1973. Because this project is not impacting the existing sewer main, no further sewer main extensions in NE 60th St will be necessary at this time.

Water System Conditions:

1. The existing water main in the public right-of-way along the front of the subject property is adequate to serve this proposed development.
2. Provide a water service from the water main to the meter for the new building sized per the Uniform Plumbing Code; City of Kirkland will set the water meter. A separate irrigation meter should be used for the landscaping.
3. Provide fire hydrants per the Fire Departments requirements.
4. The available fire flow at this project location is approximately 2400 gpm.

Surface Water Conditions:

1. Provide temporary and permanent storm water quality and control per the 2009 King County Surface Water Design Manual.
2. If any work is proposed within an existing ditch the developer has been given notice that the Army Corps of Engineers (COE) has asserted jurisdiction over upland ditches draining to streams. Either an existing Nationwide COE permit or an Individual COE permit may be necessary for work within ditches, depending on the project activities.
Applicants should obtain the applicable COE permit; information about COE permits can be found at:

U.S. Army Corps of Engineers, Seattle District Regulatory Branch
http://www.nws.usace.army.mil/PublicMenu/Menu.cfm?sitename=REG&pagename=mainpage_NWPs
 Specific questions can be directed to: Seattle District, Corps of Engineers, Regulatory Branch,
 CENWS-OD-RG, Post Office Box 3755, Seattle, WA 98124-3755, Phone: (206) 764-3495

3. If this project disturbs greater than one acre, the applicant is responsible to apply for a Construction Storm water General Permit from Washington State Dept. of Ecology. Specific permit information can be found at the following website: <http://www.ecy.wa.gov/programs/wq/stormwater/construction/> Among other requirements, this permit requires the applicant to prepare a Storm Water Pollution Prevention Plan (SWPPP) and identify a Certified Erosion and Sediment Control Lead (CESCL) prior to the start of construction. The CESCL shall attend the City of Kirkland Public Works Department pre-construction meeting with a completed SWPPP.

4. Provide collection and conveyance of right-of-way storm drainage

5. All roof and parking lot drainage must be tight-lined to and approved storm drainage system.

Street and Pedestrian Improvement Conditions:

1. The project abuts 125th Lane NE, (a private neighborhood access type street), 127th Ave. NE, 128th Ave. NE and NE 59th St (all neighborhood access type streets), and NE 60th St (a Collector type street). Zoning Code sections 110.10 and 110.25 require the applicant to make half-street improvements in rights-of-way abutting the subject property. Section 110.30-110.50 establishes that this street must be improved with the following:

125th Lane NE (private)

A. Remove and replace the failed portions of the brick road.

B. Install a 5 ft wide sidewalk along the east side of the road from the parking lot entrance to NE 60th St. as shown on the plans; encompass the sidewalk in a public pedestrian easement.

127th Ave. NE, 128th Ave. NE, and NE 59th St

The Zoning Code allows for a waiver of street improvements along Neighborhood Access Roads in zones with equestrian use, Public Works recommends a waiver for these three street frontages

NE 60th Street

Along the lot frontage that is part of this application, the following improvements shall be installed:

" Widen the street to 18 ft from centerline to face of curb.

" Install storm drainage, curb and gutter, a 5 ft wide sidewalk and a 6 ft wide equestrian path behind the sidewalk. The landscape strip is being eliminated in front of the sidewalk in order to accommodate the path behind the sidewalk.

" Install at least 3-4 6 ft wide curb bump outs to delineate parking along the street frontage; one bump-out shall be at the west end of the improvements and one shall be at the east end at the intersection with 128th Ave. NE.

" Street trees 30 ft on center along the outside (south) edge of the right-of-way will be planted where feasible.

" The Public Works Department may support the applicant's proposal to participate in the sidewalk construction-in-lieu program if an alternate location for pedestrian improvements is proposed, is of greater benefit to pedestrians, and is generally supported by the neighborhood. A construction-in-lieu option requires the applicant to construct at least 75% of the value of the standard street improvements.

2. The 5-ft wide public pathway through the site as indicated on the plans is required per Kirkland Zoning Code Chapter 105.18 and 105.19. The public pathway shall be encompassed in a public pedestrian easement

3. A 2-inch asphalt street overlay will be required where three or more utility trench crossings occur within 150 lineal ft. of street length or where utility trenches parallel the street centerline. Grinding of the existing asphalt to blend in the overlay will be required along all match lines.

4. The existing parking and driveway within the NE 59th Street right-of-way shall be removed. A maintenance access can remain. The new service driveway to the new building on 127th Ave. NE is approved.
5. All street and driveway intersections shall not have any visual obstructions within the sight distance triangle. See Public Works Pre-approved Policy R.13 for the sight distance criteria and specifications.
6. Prior to the final of the building or grading permit, install a stop sign at the new parking lot intersection with 125th Lane NE.
7. It shall be the responsibility of the applicant to relocate any above-ground or below-ground utilities which conflict with the project associated street or utility improvements.
8. Underground all new and existing on-site utility lines and overhead transmission lines (some overhead line exist on-site but may be serving property to the south).

Zoning Code Section 110.60.9 establishes the requirement that existing utility and transmission (power, telephone, etc.) lines on-site and in rights-of-way adjacent to the site must be underground. The Public Works Director may determine if undergrounding transmission lines in the adjacent right-of-way is not feasible and defer the undergrounding by signing an agreement to participate in an undergrounding project, if one is ever proposed. In this case, the Public Works Director has determined that undergrounding of existing overhead utility along all of the applicable street frontages is not feasible at this time and the undergrounding of off-site/frontage transmission lines should be deferred with a Local Improvement District (LID) No Protest Agreement.

9. New street lights along 125th Lane NE and NE 60th Street may be required per Puget Power design and Public Works approval. Contact the INTO Light Division at PSE for a lighting analysis. If lighting is necessary, design must be submitted prior to issuance of a grading or building permit.

FIRE DEPARTMENT CONDITIONS

Fire access is required (as shown).

Fire lane marking and signs will be required.

Additional hydrant required (as shown)

Fire sprinkler system is required.

A fire alarm system is required.

Fire extinguishers required.

PERMIT NO.: ZON10-00022

DATE: 02/02/2011

PERMIT CONDITIONS AS FOLLOWS:

- 1) You can review your permit status and conditions at www.kirklandpermits.net

PUBLIC WORKS CONDITIONS

Permit #: ZON10-00022
Project Name: Central Park Tennis Club Expansion
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Public Works Staff Contacts
Land Use and Pre-Submittal Process:
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E-mail: jburkhal@ci.kirkland.wa.us

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 - o Right-of-way Fee
 - o Review and Inspection Fee (for utilities and street improvements).
 - o Traffic Impact Fee (paid with the issuance of Building Permit). For additional information, see notes below.
3. The project has applied for and has received concurrency. After the project has received a Concurrency Test Notice, a Traffic Impact Analysis will need to be prepared and submitted to the Public Works Transportation Engineer.
4. Building Permits associated with this proposed project will be subject to the traffic impact fees per Chapter 27.04 of the Kirkland Municipal Code. The impact fees shall be paid prior to issuance of the Building Permit(s).
5. All civil engineering plans which are submitted in conjunction with a building, grading, or right-of-way permit must conform to the Public Works Policy titled ENGINEERING PLAN REQUIREMENTS. This policy is contained in the Public Works Pre-Approved Plans and Policies manual.
6. All street improvements and underground utility improvements (storm, sewer, and water) must be designed by a Washington State Licensed Engineer; all drawings shall bear the engineers stamp.
7. All plans submitted in conjunction with a building, grading or right-of-way permit must have elevations which are based on the King County datum only (NAVD 88).

PERMIT CONDITIONS AS FOLLOWS:

8. A completeness check meeting is required prior to submittal of any Building Permit applications.
9. Prior to issuance of any commercial or multifamily Building Permit, the applicant shall provide a plan for garbage storage and pickup. The plan shall be approved by Waste Management and the City.
10. The required tree plan shall include any significant tree in the public right-of-way along the property frontage.

Sanitary Sewer Conditions:

1. Provide sewer service to the new building. The plans indicate that the sewer will be pumped to the existing public sewer main located at the south west corner of the property. A commercial sewer pump duplex type system per Public Works Pre-approved plans S.22 shall be used. Final design of the system will be submitted with the Building and/or LSM permit application.
2. The existing building is connected to the sewer main in Ne 60th Street that was extended to the site in 1973. Because this project is not impacting the existing sewer main, no further sewer main extensions in NE 60th St will be necessary at this time.

Water System Conditions:

1. The existing water main in the public right-of-way along the front of the subject property is adequate to serve this proposed development.
2. Provide a water service from the water main to the meter for the new building sized per the Uniform Plumbing Code; City of Kirkland will set the water meter. A separate irrigation meter should be used for the landscaping.
3. Provide fire hydrants per the Fire Departments requirements.
4. The available fire flow at this project location is approximately 2400 gpm.

Surface Water Conditions:

1. Provide temporary and permanent storm water quality and control per the 2009 King County Surface Water Design Manual.
2. If any work is proposed within an existing ditch the developer has been given notice that the Army Corps of Engineers (COE) has asserted jurisdiction over upland ditches draining to streams. Either an existing Nationwide COE permit or an Individual COE permit may be necessary for work within ditches, depending on the project activities. Applicants should obtain the applicable COE permit; information about COE permits can be found at: U.S. Army Corps of Engineers, Seattle District Regulatory Branch
http://www.nws.usace.army.mil/PublicMenu/Menu.cfm?sitename=REG&pagename=mainpage_NWPs
Specific questions can be directed to: Seattle District, Corps of Engineers, Regulatory Branch, CENWS-OD-RG, Post Office Box 3755, Seattle, WA 98124-3755, Phone: (206) 764-3495
3. If this project disturbs greater than one acre, the applicant is responsible to apply for a Construction Storm water General Permit from Washington State Dept. of Ecology. Specific permit information can be found at the following website: <http://www.ecy.wa.gov/programs/wq/stormwater/construction/>
Among other requirements, this permit requires the applicant to prepare a Storm Water Pollution Prevention Plan (SWPPP) and identify a Certified Erosion and Sediment Control Lead (CESCL) prior to the start of construction. The CESCL shall attend the City of Kirkland Public Works Department pre-construction meeting with a completed SWPPP.
4. Provide collection and conveyance of right-of-way storm drainage
5. All roof and parking lot drainage must be tight-lined to and approved storm drainage system.

Street and Pedestrian Improvement Conditions:

1. The project abuts 127th Ave. NE, 128th Ave. NE and NE 59th St (all neighborhood access type streets), and NE 60th St (a Collector type street). Zoning Code sections 110.10 and 110.25 require the applicant to make half-street

PERMIT CONDITIONS AS FOLLOWS:

improvements in rights-of-way abutting the subject property. Section 110.30-110.50 establishes that this street must be improved with the following:

127th Ave. NE, 128th Ave. NE, and NE 59th St

The Zoning Code allows for a waiver of street improvements along Neighborhood Access Roads in zones with equestrian use, Public Works recommends a waiver for these three street frontages

NE 60th Street

Chapter 110 of the Kirkland Zoning Code requires street improvements (curbs, storm drainage, and sidewalks) along the lot frontage that is part of this application (approx 630 ft). Chapter 110.70 of the KZC allows applicants to propose a "sidewalk construction-in-lieu" whereby the applicant can propose to construct off-side sidewalk (pedestrian improvements) in lieu of constructing improvements along the project frontage. The Public Works Director must agree that it is in the City's interest to allow the "sidewalk-construction-in-lieu" taking into account such factors as the pedestrian safety impacts that result from the development. In addition the KZC states that the City may accept a sidewalk construction-in-lieu in the following circumstances (per KZC 110.6.a):

- 1) If installation of the required improvement would require substantial off-site roadway modifications; or
- 2) If the Public Works Director determines that installation of the required improvement would result in a safety hazard; or
- 3) If other unusual circumstances preclude the construction of the improvements as required.

In this case, the applicant is proposing to construct an offsite pedestrian/equestrian facility along the north side of NE 60th Street that will have an overall benefit to the neighborhood (especially the elementary school and the equestrian community). Installation of standard street improvements along the project frontage would require substantial grading (cut and fill) (meets condition 1 above), may cause significant trees to be removed (meets condition 3 above), and would not connect to any existing pedestrian or equestrian improvements. Furthermore, the South Rose Hill Neighborhood Association, the Lake Washington School District, the Lake Washington Saddle Club, and City Staff have met, reviewed, and agree that the proposed construction-in-lieu improvements are a benefit to the neighborhood. Therefore, the Public Works Director agrees with the proposed construction-in-lieu and the improvements shall include the following:

" The value of the improvements will be approximately \$132,000 which is approximately 75% of the required project frontage improvements. The sidewalk construction-in-lieu program allows the in-lieu improvements to be 75% of the value of the required improvements (see KZC 110.70.6.b).

" The improvements will consist of a 4 ft wide vegetation buffer along the north edge of NE 60th Street (buffer may be reduced to 2 ft in some areas due to topographic constraints). The buffer plantings shall be approved by the Public Works Street Maintenance Division, but street trees and/or shrubs with low maintenance ground cover will be used. On the north side of the said vegetative buffer, a 7-10 ft wide pedestrian/equestrian pathway will be installed using a Public Works approved trail mix base that is suitable for year-round use by pedestrians and equestrians; the width should only be reduced to 7 ft width in areas due to topographic constraints that can't be feasible mitigated with fill material and a retaining wall.

" The intent is to construct the said vegetative buffer and pathway along the north side of NE 60th Street from the east edge of the Ben Franklin Elementary School to 132nd Ave. NE. It won't be known until the improvements are bid on for construction if the said \$132,000 will be adequate to build the entire length.

2. The project also has an existing private access easement, 125th Lane NE, that runs through the property along the west side. This project is proposing to close the access on 127th Ave NE and use the private access easement for access to the property. All standards for private access easements are contained in Chapter 105 of the Kirkland Zoning Code. The existing access easement meets these standards (pavers were approved as a modification when the Hunt Club was approved and can serve this use also). However the failed portions of the existing brick paver road shall be removed and replaced.

3. The 5-ft wide public pathway through the site as indicated on the plans is required per Kirkland Zoning Code Chapter 105.18 and 105.19. The public pathway shall be encompassed in a public pedestrian easement.

4. A 2-inch asphalt street overlay will be required where three or more utility trench crossings occur within 150 lineal ft. of street length or where utility trenches parallel the street centerline. Grinding of the existing asphalt to blend in the overlay will be required along all match lines.

5. The existing parking and driveway within the NE 59th Street right-of-way shall be removed. A maintenance access

PERMIT CONDITIONS AS FOLLOWS:

can remain. The new service driveway to the new building on 127th Ave. NE is approved.

6. All street and driveway intersections shall not have any visual obstructions within the sight distance triangle. See Public Works Pre-approved Policy R.13 for the sight distance criteria and specifications.

7. Prior to the final of the building or grading permit, install a stop sign at the new parking lot intersection with 125th Lane NE.

8. It shall be the responsibility of the applicant to relocate any above-ground or below-ground utilities which conflict with the project associated street or utility improvements.

9. Underground all new and existing on-site utility lines and overhead transmission lines (some overhead line exist on-site but may be serving property to the south).

Zoning Code Section 110.60.9 establishes the requirement that existing utility and transmission (power, telephone, etc.) lines on-site and in rights-of-way adjacent to the site must be underground. The Public Works Director may determine if undergrounding transmission lines in the adjacent right-of-way is not feasible and defer the undergrounding by signing an agreement to participate in an undergrounding project, if one is ever proposed. In this case, the Public Works Director has determined that undergrounding of existing overhead utility along all of the applicable street frontages is not feasible at this time and the undergrounding of off-site/frontage transmission lines should be deferred with a Local Improvement District (LID) No Protest Agreement.

10. New street lights along 125th Lane NE and NE 60th Street may be required per Puget Power design and Public Works approval. Contact the INTO Light Division at PSE for a lighting analysis. If lighting is necessary, design must be submitted prior to issuance of a grading or building permit.

2) *****FIRE DEPARTMENT CONDITIONS*****

3) Fire access is required (as shown).

Fire lane marking and signs will be required.

4) Additional hydrant required (as shown)

5) Fire sprinkler system is required.

6) A fire alarm system is required.

7) Fire extinguishers required.

8)

9) Building permits must comply with the 2009 editions of the International Building and Mechanical Codes and the Uniform Plumbing Code as adopted and amended by the State of Washington and the City of Kirkland.

10) Structure must comply with Washington State Energy Code (WAC 51-11).

11) Structures must be designed for seismic design category D, wind speed of 85 miles per hour and exposure B.

12) Plumbing meter and service line shall be sized in accordance with the UPC.

Stonehedge Tree Experts, Inc.



4000 SW Myrtle St. Seattle, WA 98136

Tel: 206.937.7428 Fax: 206.937.4939

Email: info@StonehedgeTree.com

9/10/2010

Ray Robinson
Integrated Site Design
12743 28th Ave NE
Seattle, WA 98125

Re: Central Park Tennis Club - Tree Assessment

I have visited the Central Park Tennis Club site in Kirkland and have made an investigation of the trees and site to determine the health and potential of the trees for retention. This report will give a general health of all the trees on the site and be more specific on those trees that are to be retained.

There are approximately 70 trees on the site which will be directly impacted by this project. Of those 70 trees, approximately 17 are to be preserved and protected during the project, the rest are to be removed. The primary reason for removing the viable trees is that the impact of necessary construction occurs at or below the critical root mass and would lead to their immediate demise.

The trees on this site are all Douglas Fir trees except one Red Cedar. The trees seem to be about equal age, those growing with little competition have full crowns with limbs close to touching the ground. Others are smaller with shorter crowns, less foliage and less trunk taper when growing more in competition with others. There has been little if any pruning on the trees. When pruning has been done it is just elevation for the cars parked under them. The trees seem to be all in good health, exhibiting good foliage color, density, with good vigor. No signs of root or stem disease was seen. On a scale of 1 to 5 with 5 the best I would rate most of them a 4. This good health will help these trees overcome construction impacts if tree protection is followed during construction.

Douglas Fir as a tree species is a tough tree, tolerating construction impacts better than other species. It is tolerant of root pruning and tolerant of fill soils as long as no more than on quarter of the root-zone is impacted. It is not tolerant of poor drainage. For trees to survive and thrive, the Tree Protection Zone area needs to be determined. The standard I recommend is for every one inch of tree trunk radius one protects 1 foot radius of rooting area. A 30 inch diameter tree would have a 30 foot radius of protections. This is the area to protect. No trenching, no filling, no compaction, no construction impacts. At this site along the eastern border it looks as though total protection is not possible with the foundation coming into the TPZ up to 25 percent with some trees. If careful root

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Certified Arborist

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Central Park Tennis Club

Kirkland, WA

pruning/protection measures are followed within this TPZ the trees will survive. Though root systems are very irregular and it may be found that the roots of the trees do not go out that far or they may go much farther. One cannot know unless an early root excavation is undertaken. If too many large roots are found during the excavation it may be decided that a particular tree may not be possible for retention. After removal of the majority of the trees for construction it will be found that specific trees will not be able to be retained due to the loss of tree protection. Tree #106 and 107 add protection and strength to the grove of trees to the east. These two trees are to be removed leading to loss of strength of the remaining trees which could lead to tree loss from wind-throw. Specifically there are four other trees that should not be retained. These are #108,120,118 and 119. These four trees all have little trunk taper and will lose the protection of the neighboring trees being removed. Stumps should be ground out and replacement trees should be planted. Western Red Cedar may be a good replacement in this area.

After site grubbing and tree removal but before grading commences it would be a good time to undertake a root investigation at the edge of site disturbance. An air spade could be used to create a narrow ditch to 12 inches in depth to determine the extent and size of tree roots.

Prior to any site disturbance and after any root trenching a 4 foot protective fence or equivalent must be installed for tree protection at the edge of the Tree Protection Zone or just outside the limit of root cutting.

Additional root protection for #110 and 112 will be required during the installation of walls and pavers. Hand digging will be required to preserve roots.

By following the proposed tree protection measures the trees on the site will withstand the construction impacts and continue to thrive for many more years.

Respectfully yours,

Mark Harman
 Certified Arborist PNWISA #0147
 Certified Tree Risk Assessor # 508
 Stonehedge Tree Experts, Inc.

Enclosures:

Critical Root-Zone Revised Site Plan
 Root Pruning and Tree Removal notes
 Special Protection Measures
 Excel Spreadsheet Tree Preservation Notes

Central Park Tennis Club - Tree Assessment Root Pruning

When excavation will occur near trees, the roots should first be pruned to sever them cleanly. Soil excavation equipment will pull, rip, and shatters roots, causing unnecessary damage for some distances towards the tree.

Root pruning is most efficiently accomplished with root pruning equipment specifically designed for that purpose. Large circular saws used to cut concrete, and rock saws also are effective. The saws must cut through the woody roots to the depth of the required excavation. Root pruning equipment designed primarily for curb and sidewalk repair may cut only 8 to 12 inches deep. Where excavation must occur very close to trees, it may be necessary to dig the soil away with a shovel, then cut the exposed root with a saw. The following procedure is recommended.

1. Stake the edge of excavation.
2. Cut with root pruning equipment 6-12 inches outside the staked line towards the tree.
3. If root pruning equipment cannot be used, dig a trench along the staked line. Equipment such as a backhoe can be used until roots larger than 1 inch in diameter are encountered. Then, dig with a shovel. An air spade may also be used.
4. When a root is encountered, expose it by removing soil by hand, and cut it cleanly with a saw at the outside edge of the trench (towards the tree). Cut to a lateral root when possible. Do not paint the cut root end. If excavation is for the installation of underground utilities, leave the root intact and thread the lines underneath.
5. Replace soil in the trench.
6. Place tree protection fencing at the edge of excavation.
7. Allow grading equipment to operate freely outside the fence area.

Tree Removal, pruning and grubbing

During site clearing care must be undertaken to protect the trees that are to be preserved. Felling techniques are to be used to not damage, scar, or break limbs off trees to be saved. If it is found that trees cannot be removed in this way a Qualified Arborist should be hired to remove the tree. Stumps of removed trees that are near or intertwined with save trees should not be pulled out. This may damage the roots. Any root-system that needs to be removed within the tree protection zone must be removed by grinding out the stump with a Stump Grinder.

Prepared: 2010-9-10

Stonehedge Tree Experts, Inc.
4000 SW Myrtle St. Seattle, WA 98136

Mark Harman
Certified Arborist

www.stonehedgegetree.com
Phone 206.937.7428 Fax 209.937.4939

Central Park Tennis Club

2010/09/09

**Central Park Tennis Club - Tree Assessment
Special Protection Measures**

Stump Grinding

The following stumps should be ground out rather than pulled by machinery.

106,107,111, 118,119,120 and any other tree that is found within the Tree Protection Zone area of saved trees.

Root Pruning prior to Site Grading

Trees #

108

109

118

121

122

123

124

125

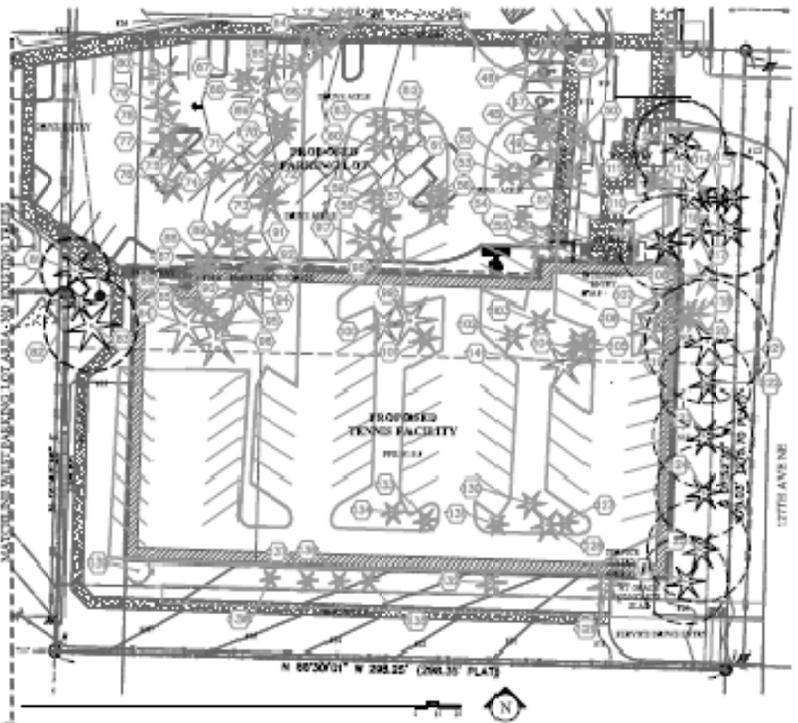
126

Root Protection when building wall

110

112

Prepared : 2010-9-10



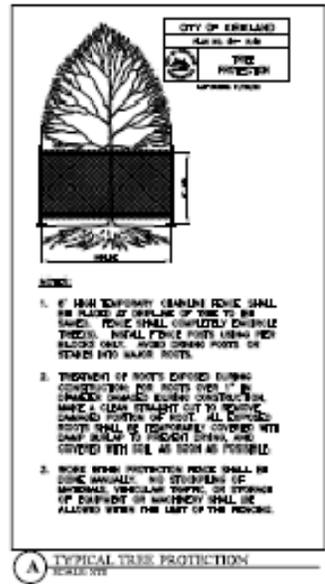
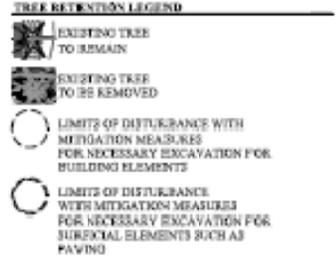
1 TREE RETENTION PLAN

ID	DBH (I)	SPECIES	TRUNK THICKNESS (T)	GENERAL HEALTH (G)	STATUS (S)
01	20"	DOGSLAS PR	20"	Y	Y
02	20"	DOGSLAS PR	20"	Y	Y
03	20"	DOGSLAS PR	20"	Y	Y
04	20"	DOGSLAS PR	20"	Y	Y
05	20"	DOGSLAS PR	20"	Y	Y
06	18"	DOGSLAS PR	18"	Y	Y
07	18"	DOGSLAS PR	18"	Y	Y
08	18"	DOGSLAS PR	18"	Y	Y
09	18"	DOGSLAS PR	18"	Y	Y
10	18"	DOGSLAS PR	18"	Y	Y
11	18"	DOGSLAS PR	18"	Y	Y
12	18"	DOGSLAS PR	18"	Y	Y
13	18"	DOGSLAS PR	18"	Y	Y
14	18"	DOGSLAS PR	18"	Y	Y
15	18"	DOGSLAS PR	18"	Y	Y
16	18"	DOGSLAS PR	18"	Y	Y
17	18"	DOGSLAS PR	18"	Y	Y
18	18"	DOGSLAS PR	18"	Y	Y
19	18"	DOGSLAS PR	18"	Y	Y
20	18"	DOGSLAS PR	18"	Y	Y
21	18"	DOGSLAS PR	18"	Y	Y
22	18"	DOGSLAS PR	18"	Y	Y
23	18"	DOGSLAS PR	18"	Y	Y
24	18"	DOGSLAS PR	18"	Y	Y
25	18"	DOGSLAS PR	18"	Y	Y
26	18"	DOGSLAS PR	18"	Y	Y
27	18"	DOGSLAS PR	18"	Y	Y
28	18"	DOGSLAS PR	18"	Y	Y
29	18"	DOGSLAS PR	18"	Y	Y
30	18"	DOGSLAS PR	18"	Y	Y
31	18"	DOGSLAS PR	18"	Y	Y
32	18"	DOGSLAS PR	18"	Y	Y
33	18"	DOGSLAS PR	18"	Y	Y
34	18"	DOGSLAS PR	18"	Y	Y
35	18"	DOGSLAS PR	18"	Y	Y
36	18"	DOGSLAS PR	18"	Y	Y
37	18"	DOGSLAS PR	18"	Y	Y
38	18"	DOGSLAS PR	18"	Y	Y
39	18"	DOGSLAS PR	18"	Y	Y
40	18"	DOGSLAS PR	18"	Y	Y
41	18"	DOGSLAS PR	18"	Y	Y
42	18"	DOGSLAS PR	18"	Y	Y
43	18"	DOGSLAS PR	18"	Y	Y
44	18"	DOGSLAS PR	18"	Y	Y
45	18"	DOGSLAS PR	18"	Y	Y
46	18"	DOGSLAS PR	18"	Y	Y
47	18"	DOGSLAS PR	18"	Y	Y
48	18"	DOGSLAS PR	18"	Y	Y
49	18"	DOGSLAS PR	18"	Y	Y
50	18"	DOGSLAS PR	18"	Y	Y
51	18"	DOGSLAS PR	18"	Y	Y
52	18"	DOGSLAS PR	18"	Y	Y
53	18"	DOGSLAS PR	18"	Y	Y
54	18"	DOGSLAS PR	18"	Y	Y
55	18"	DOGSLAS PR	18"	Y	Y
56	18"	DOGSLAS PR	18"	Y	Y
57	18"	DOGSLAS PR	18"	Y	Y
58	18"	DOGSLAS PR	18"	Y	Y
59	18"	DOGSLAS PR	18"	Y	Y
60	18"	DOGSLAS PR	18"	Y	Y
61	18"	DOGSLAS PR	18"	Y	Y
62	18"	DOGSLAS PR	18"	Y	Y
63	18"	DOGSLAS PR	18"	Y	Y
64	18"	DOGSLAS PR	18"	Y	Y
65	18"	DOGSLAS PR	18"	Y	Y
66	18"	DOGSLAS PR	18"	Y	Y
67	18"	DOGSLAS PR	18"	Y	Y
68	18"	DOGSLAS PR	18"	Y	Y
69	18"	DOGSLAS PR	18"	Y	Y
70	18"	DOGSLAS PR	18"	Y	Y

ID	DBH (I)	SPECIES	TRUNK THICKNESS (T)	GENERAL HEALTH (G)	STATUS (S)
71	22"	DOGSLAS PR	22"	Y	Y
72	18"	DOGSLAS PR	18"	Y	Y
73	22"	DOGSLAS PR	22"	Y	Y
74	18"	DOGSLAS PR	18"	Y	Y
75	24"	DOGSLAS PR	24"	Y	Y
76	18"	DOGSLAS PR	18"	Y	Y
77	18"	DOGSLAS PR	18"	Y	Y
78	22"	DOGSLAS PR	22"	Y	Y
79	22"	DOGSLAS PR	22"	Y	Y
80	18"	DOGSLAS PR	18"	Y	Y
81	22"	DOGSLAS PR	22"	Y	Y
82	22"	DOGSLAS PR	22"	Y	Y
83	22"	DOGSLAS PR	22"	Y	Y
84	22"	DOGSLAS PR	22"	Y	Y
85	18"	DOGSLAS PR	18"	Y	Y
86	18"	DOGSLAS PR	18"	Y	Y
87	18"	DOGSLAS PR	18"	Y	Y
88	18"	DOGSLAS PR	18"	Y	Y
89	18"	DOGSLAS PR	18"	Y	Y
90	18"	DOGSLAS PR	18"	Y	Y
91	18"	DOGSLAS PR	18"	Y	Y
92	18"	DOGSLAS PR	18"	Y	Y
93	18"	DOGSLAS PR	18"	Y	Y
94	18"	DOGSLAS PR	18"	Y	Y
95	18"	DOGSLAS PR	18"	Y	Y
96	18"	DOGSLAS PR	18"	Y	Y
97	18"	DOGSLAS PR	18"	Y	Y
98	18"	DOGSLAS PR	18"	Y	Y
99	18"	DOGSLAS PR	18"	Y	Y
100	18"	DOGSLAS PR	18"	Y	Y

ID	DBH (I)	SPECIES	TRUNK THICKNESS (T)	GENERAL HEALTH (G)	STATUS (S)
101	22"	DOGSLAS PR	22"	Y	Y
102	18"	DOGSLAS PR	18"	Y	Y
103	22"	DOGSLAS PR	22"	Y	Y
104	18"	DOGSLAS PR	18"	Y	Y
105	24"	DOGSLAS PR	24"	Y	Y
106	18"	DOGSLAS PR	18"	Y	Y
107	18"	DOGSLAS PR	18"	Y	Y
108	22"	DOGSLAS PR	22"	Y	Y
109	22"	DOGSLAS PR	22"	Y	Y
110	18"	DOGSLAS PR	18"	Y	Y
111	22"	DOGSLAS PR	22"	Y	Y
112	22"	DOGSLAS PR	22"	Y	Y
113	18"	DOGSLAS PR	18"	Y	Y
114	18"	DOGSLAS PR	18"	Y	Y
115	18"	DOGSLAS PR	18"	Y	Y
116	22"	DOGSLAS PR	22"	Y	Y
117	22"	DOGSLAS PR	22"	Y	Y
118	18"	DOGSLAS PR	18"	Y	Y
119	18"	DOGSLAS PR	18"	Y	Y
120	18"	DOGSLAS PR	18"	Y	Y
121	18"	DOGSLAS PR	18"	Y	Y
122	18"	DOGSLAS PR	18"	Y	Y
123	18"	DOGSLAS PR	18"	Y	Y
124	18"	DOGSLAS PR	18"	Y	Y
125	18"	DOGSLAS PR	18"	Y	Y
126	18"	DOGSLAS PR	18"	Y	Y
127	18"	DOGSLAS PR	18"	Y	Y
128	18"	DOGSLAS PR	18"	Y	Y
129	18"	DOGSLAS PR	18"	Y	Y
130	18"	DOGSLAS PR	18"	Y	Y
131	18"	DOGSLAS PR	18"	Y	Y
132	18"	DOGSLAS PR	18"	Y	Y
133	18"	DOGSLAS PR	18"	Y	Y
134	18"	DOGSLAS PR	18"	Y	Y
135	18"	DOGSLAS PR	18"	Y	Y
136	18"	DOGSLAS PR	18"	Y	Y
137	18"	DOGSLAS PR	18"	Y	Y
138	18"	DOGSLAS PR	18"	Y	Y
139	18"	DOGSLAS PR	18"	Y	Y
140	18"	DOGSLAS PR	18"	Y	Y

1. TO BE REMOVED
 2. HEALTHY
 3. HEALTHY WITH MINOR DEFECTS



- TREE RETENTION PLAN NOTES:**
1. SURVEY AND CIVIL INFORMATION SHOWN ON THIS SITE AND TREE RETENTION PLAN IS BASED ON THE SURVEY DATED 9-19-2018, SITE PLAN PER FRESHET & HO ARCHITECTS DATED 6-1-2018, AND CIVIL PLANS DATED 8-14-2018 PREVIOUSLY SUBMITTED TO THE CITY OF KIRKLAND FOR THE IIR PERMITS.
 2. THIS PLAN INCLUDES INFORMATION SUCH AS AN INVENTORY OF ALL TREES (NUMBERED), THEIR SPECIES, DBH LINES, TREE STATUS (TO BE REMOVED OR TO REMAIN), HEALTH RATING, AND LIMITS OF DISTURBANCE.
 3. SEE SHEET L-00 SITE PLAN AND TREE INVENTORY.
 4. SEE ARBORIST'S REPORT WITH INFORMATION INCLUDING DESCRIPTION OF TREE HEALTH, DESCRIPTION OF METHODS FOR ESTABLISHING LIMITS OF DISTURBANCE, INSTRUCTIONS FOR WORK WITHIN AREAS OF NO DISTURBANCE, DESCRIPTION OF REASON FOR REMOVAL OF VULNERABLE TREES, IMPACT OF TREE REMOVAL ON TREES TO REMAIN, AND TIMING AND INSTALLATION OF TREE PROTECTION MEASURES.
 5. SEE ARBORIST'S REPORT EXHIBITS WHICH INCLUDE ROOT BARRIER AND TREE REMOVAL CRITERIA, SPECIAL PROTECTION MEASURES, AND TREE HEALTH ASSESSMENT SURVEY.
 6. SURVEY PROPERTY CORRESPONDS TO PARCEL "C"
- SHEET INDEX**
- L-00 SITE PLAN & TREE INVENTORY
 - L-01 TREE RETENTION PLAN
 - L-02 SITE PLAN
 - L-03 ENTRY DRIVE LANDSCAPE PLAN
 - L-04 MAIN PARKING LANDSCAPE PLAN
 - L-05 PLANT LIST & DETAILS

CITY OF KIRKLAND
 400 W. 2nd St.
 KIRKLAND, TX 75420

CLIENT:
 CENTRAL PARK TENNIS CLUB
 1200 N. 10th Street
 KIRKLAND, TX 75420

CENTRAL PARK TENNIS CLUB
 FOUR CORNER TENNIS BUILDING
 1200 N. 10th Street
 Kirkland, Washington 98033

Freshet & Ho
 ARCHITECTS

TREE RETENTION PLAN & INVENTORY

L-00



Vicinity Map



Map Legend

- City of Kirkland Boundary
- Tax Parcel Boundary



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-Print Date: 3/31/2010

