



MEMORANDUM

To: Design Review Board
From: Tony Leavitt, Associate Planner
Date: April 8, 2013
File No.: DRV12-01513
Subject: **324 CENTRAL WAY MIXED USE PROJECT
DESIGN RESPONSE CONFERENCE**

I. MEETING GOALS

At the April 15, 2013 Design Review Board (DRB) meeting, the DRB should conduct a Design Response Conference and determine if the project is consistent with the design guidelines contained in Design Guidelines for Pedestrian Oriented Business Districts, as adopted in Kirkland Municipal Code (KMC) Section 3.30.040.

During the Design Response Conference, the DRB should provide feedback on the following topics:

- Building massing
- Public Space Design
- Landscaping
- Materials, colors, and details
- Requested Minor Setback Variation

II. PROPOSAL

The subject property is located at 324 Central Way (see Attachment 1). Studio Meng Strazzara, representing the property owner 4th and Central LP, has applied for a Design Response Conference for a new mixed-use development on the subject property. The project contains approximately 76 residential units and 9,730 square feet of ground floor retail space (see Attachment 2). Parking will be provided in a below-grade parking structure. Vehicular access is from Central Way.

The applicant is also requesting approval of a minor variation to the required 20' upper story setback along Central Way and 4th Street (see Attachment 3, Addressed in Section V.C below).

III. SITE

The subject property currently contains a gas station, car wash, and coffee stand. The site slopes downward from east to west, but has a significant upward slope along the north property line. The property has street frontage along Central Way to the south and 4th Street to the east. Central Way is a designated Pedestrian Oriented Street.

The following list summarizes the zoning designation, uses, and allowed heights of properties adjacent to the subject property (see Attachment 4):

North: PLA 7B. Single and multi-family, Office. **Maximum height is 30’.**

East: CBD 7. Shell Gas Station. **Maximum height is 41’.**

South: Park/Public Use. Peter Kirk Park.

West: CBD 7. **Wendy’s Restaurant. Maximum height is 41’.**

Additional photographs prepared by the applicant that show the surrounding properties are contained in Attachment 2.

IV. CONCEPTUAL DESIGN CONFERENCE

A Conceptual Design Conference was held on January 14, 2013. The DRB provided direction to the applicant in preparation for the Design Response Conference. At the meeting, the DRB discussed:

- A. How the design guidelines affect or pertain to the proposed development.
- B. Which guidelines applied to the proposed development; and
- C. The application materials that are needed for the Design Response Conference.

The DRB’s feedback from the conference is summarized in Section V.B below under the DRB’s discussion on the various design topics.

V. DESIGN RESPONSE CONFERENCE

The Design Review Board reviews projects for consistency with design guidelines for pedestrian-oriented business districts, as adopted in Kirkland Municipal Code Chapter 3.30. In addition to the standard guidelines contained in the *Design Guidelines for Pedestrian-Oriented Business Districts*, the following information summarizes key guidelines which apply specifically to the project or project area. See also Section VI for information regarding zoning regulations and how they affect the proposed development.

A. Pedestrian-Oriented Design Guidelines

1. General

The following is a list of key design issues and/or design techniques that should be addressed with this project as identified in the design guidelines.

- Building Scale
 - Vertical and horizontal modulation
 - Architectural scale
- Pedestrian-Orientation
 - Plazas
 - Pedestrian friendly building fronts
 - Blank wall treatment
- Landscaping
- Building material, color, and detail

See the adopted Design Guidelines for Pedestrian-Oriented Business Districts for complete text and explanations.

2. Special Considerations for Downtown Kirkland

In addition to the standard guidelines contained in the *Design Guidelines for Pedestrian-Oriented Business Districts*, the following list summarizes some of the key guidelines which apply specifically to the project or project area.

- Most of the business core of Kirkland is already developed with fairly narrow sidewalks. New development should provide sidewalks at the recommended width. Providing wider sidewalks throughout downtown is a long-term endeavor.
- **Retail frontages in the Central Business District should have a 15' story height** to ensure diverse retail tenants and enhance the pedestrian experience. Where these taller retail stories are required, special attention to storefront detailing is necessary to provide a visual connection between pedestrian and retail activity.
- A strong street tree planting scheme is especially important in downtown because of the variety of scale and architecture encouraged in private development. Major entries into Kirkland, especially along Central Way, Kirkland Avenue, Lake Street, and Market Street, should be unified by a strong street tree program.
- Parking lot location and design is critical on busy entry streets such as Market Street, Central Way, Lake Street, Kirkland Avenue, and in the congested core area where pedestrian activities are emphasized. The *Downtown Plan* calls for limiting the number of vehicle curb cuts.
- Pedestrian features should be differentiated from vehicular features; thus fenestration detailing, cornices, friezes, and smaller art concepts should be concentrated in Design Districts 1 and 2, while landscaping and larger architectural features should be concentrated in Design Districts 3, 5, 7, and 8.
- Large-scale developments, particularly east of the core area, should stress continuity in streetscape on the lower two floors. Setback facades and varied forms should be used above the second stories.
- **The Downtown Plan's mandate for high-quality development** should also be reflected in sign design.
- No internally lit plastic-faced or can signs should be permitted.
- All signs in the downtown should be pedestrian-oriented.

B. Compliance with Design Guidelines

1. Scale

a. DRB Discussion

The DRB expressed a preference for massing Option 3. Option 3 included variable modulation along Central Way, but would require a minor variation to allow upper story encroachments into the setback. Other recommendations by the DRB included:

- Provide an analysis of the encroachments into the setbacks and how Option 3 compares to Option 1
- To offset proposed upper story setback variance, looking at developing the southeast corner and entry areas as public spaces.

b. Supporting Design Guidelines

The *Design Guidelines for Pedestrian Oriented Business Districts* contain the following policy statements that address the use of these techniques:

- All building fronts should have pedestrian-friendly features (see Design Guidelines, page 10 for examples)
- Special Consideration for the CBD - Retail frontages in the Central Business District should **have a 15' story height to ensure diverse** retail tenants and enhance the pedestrian experience. Where these taller retail stories are required, special attention to storefront detailing is necessary to provide a visual connection between pedestrian and retail activity.
- Storefronts should be highly transparent with windows of clear vision **glass beginning no higher than 2' above grade to at least 10' above** grade. Windows should extend across, at a minimum, 75% of the façade length. Continuous window walls should be avoided by providing architectural building treatments, mullions, building modulation, entry doors, and/or columns at appropriate intervals.
- Lobbies for residential, hotel, and office uses may be allowed within the required retail storefront space provided that the street frontage **of the lobby is limited relative to the property's overall retail frontage** and that the storefront design of the lobby provides continuity to the retail character of the site and the overall street.
- All buildings on pedestrian-oriented streets should be encouraged to have upper-story activities overlooking the street, as well as balconies and roof decks with direct access from living spaces. Planting trellises and architectural elements are encouraged in conjunction with decks and bay windows. Upper-story commercial activities are also encouraged.
- All building entries should be well lit. Building facades in pedestrian areas should provide lighting to walkways and sidewalks through building-mounted lights, canopy- or awning-mounted lights, and display window lights. Encourage variety in the use of light fixtures to give visual variety from one building facade to the next. Back-lit or internally-lit translucent awnings should be prohibited.
- Successful pedestrian-oriented plazas are generally located in sunny areas along a well-traveled pedestrian route. Plazas must provide plenty of sitting areas and amenities and give people a sense of enclosure and safety.
- Commercial developments should have well defined, safe pedestrian walkways that minimize distances from the public sidewalk and transit facilities to the internal pedestrian system and building entrances.
- Blank walls should be avoided near sidewalks, parks, and pedestrian areas. Where unavoidable, blank walls should be treated with landscaping, art, or other architectural treatments.
- Varied window treatments should be encouraged. Ground floor uses should have large windows that showcase storefront displays to increase pedestrian interest. Architectural detailing at all window jambs, sills, and heads should be emphasized.

- Architectural building elements such as arcades, balconies, bay windows, roof decks, trellises, landscaping, awnings, cornices, friezes, art concepts, and courtyards should be encouraged.
- Special Consideration for the CBD - Pedestrian features should be differentiated from vehicular features; thus fenestration detailing, cornices, friezes, and smaller art concepts should be concentrated in Design Districts 1 and 2, while landscaping and larger architectural features should be concentrated in Design Districts 3, 5, 7, and 8.
- Vertical building modulation should be used to add variety and to make large buildings appear to be an aggregation of smaller buildings.
- Horizontal building modulation may be used to reduce the perceived mass of a building and to provide continuity at the ground level of large building complexes.

c. Staff Analysis

As requested by the DRB, the applicant has pursued massing Option 3 and has provided detailed plans for review (see Attachment 2). Sheet A2 provides a comparison of Options 1 and 2 and Sheets A3 and A4 show further development of the public spaces.

***The CBD 7 zone requires a front yard 20' setback.** The applicant has requested a minor variation to this requirement as it applies to the 4th Avenue and Central Way facades. See Section V.C below for additional information.*

The DRB should provide input on the following items:

- *Do the buildings provide enough horizontal and/or vertical modulation when viewed from key vantages?*
- *Determine if additional development of the public spaces are needed?*
- *Based on the applicable criteria, provide direction regarding the **requested variations to the required 20' front yard setback** along 4th Avenue and Central Way.*

2. Vehicular Access

a. DRB Discussion

The DRB supported moving forward with vehicular access concept of commercial access and parking from Central Way. However the DRB wanted additional information about the reasoning for this location.

b. Supporting Design Guidelines

The *Design Guidelines for Pedestrian Oriented Business Districts* contain the following policy statements that pertain to vehicular and pedestrian access:

- Minimize the number of driveways by restricting curb cuts and by encouraging property and business owners to combine parking lot entrances and coordinate parking areas. Encourage side and rear yard parking areas by restricting parking in front yards. Require extensive screening where there is front yard parking.

- Special Consideration for the CBD - Parking lot location and design is critical on busy entry streets such as Market Street, Central Way, Lake Street, Kirkland Avenue, and in the congested core area where pedestrian activities are emphasized. The Downtown Plan calls for limiting the number of vehicle curb cuts.
- A sidewalk should support a variety and concentration of activity yet avoid overcrowding and congestion. The average sidewalk width **should be between 10' and 18'**. **New buildings on pedestrian-oriented streets should be set back a sufficient distance to provide at least 10'** of sidewalk. If outdoor dining, seating, vending, or displays are desired, an additional setback is necessary.

c. Staff Analysis

Vehicular Access

*The City Public Works Department had originally recommended that all vehicular access occur from 4th Street. The applicant determined that grade issues made access from 4th Street difficult and requested access from Central Way. The Public Works Department agreed to allow access from Central Way, but required that the access be centered on the **property's frontage to avoid conflicts with the Wendy's driveway (to the west) and the 4th Street intersection (to the east).***

Back-of-House Functions

The applicant should confirm the location of trash and loading/unloading areas and mitigation of these areas.

3. Open Space and Landscaping

a. DRB Discussion

The DRB had the following recommendations regarding open space and landscaping:

- Provide planting details for the rooftop areas.

b. Supporting Design Guidelines

The *Design Guidelines and Zoning Regulations* contain the following guideline addressing the visual quality of landscapes:

- Special Consideration for the CBD - Retail frontages in the Central **Business District should have a 15' story height to ensure** diverse retail tenants and enhance the pedestrian experience. Where these taller retail stories are required, special attention to storefront detailing is necessary to provide a visual connection between pedestrian and retail activity.
- KZC Chapter 95 requires that a landscape plan be approved as part of the Design Review Process.
- The placement and amount of landscaping for new and existing development should be mandated through design standards. Special consideration should be given to the purpose and context of the proposed landscaping. The pedestrian/auto landscape requires strong plantings of a structural nature to act as buffers or screens.

- The pedestrian landscape should emphasize the subtle characteristics of the plant materials. The building landscape should use landscaping **that complements the building's favorable qualities and screens its faults.**
- Special Consideration for the CBD - A strong street tree planting scheme is especially important in downtown because of the variety of scale and architecture encouraged in private development. Major entries into Kirkland, especially along Central Way, Kirkland Avenue, Lake Street, and Market Street, should be unified by a strong street tree program.

c. Staff Analysis

Given the existing grade of Central Way, retail floor levels are challenging to orient to the street frontage. The DRB should review the open spaces created between the building and sidewalk for grade transitions, landscape treatment, and pedestrian-orientation.

Landscaping should be placed in areas to help mitigate building massing and enhance the pedestrian experience along the project frontages. Other opportunities for landscaping should include areas to enhance the public spaces including the southeast corner of the site and the entry areas. Sheets A8 thru A12 in Attachment 2 show a proposed landscape plan. See Section VI.F below for landscape buffer and tree retention requirements.

The DRB should provide input on the following items:

- *What changes, if any, are needed to the landscape plan?*
- *Are there other opportunities for landscaping?*

4. Building Materials, Color, and Details

a. DRB Discussion

This topic was not discussed in detail at the Conceptual Design Conference.

b. Staff Analysis

Attachment 2, Sheets A21 thru A24 contains color elevation drawings and callouts for the proposed building materials. The DRB should provide feedback to the applicant regarding the proposed materials and colors.

C. Minor Variations

a. Applicant Request

KZC Section 142.37.1.a allows an applicant to request minor variations to the minimum required setback in the CBD zone. The DRB may grant a minor variation only if it finds that the following are met (KZC Section 142.37.4):

- The request results in superior design and fulfills the policy basis for the applicable design regulations and design guidelines;
- The departure will not have any substantial detrimental effect on nearby properties and the City or the neighborhood.

A 20' setback is required along Central Way and 4th Street. Ground floor retail space may have a zero-foot setback. The applicant has requested the following minor variations:

- 10 foot encroachments on the Levels L2 thru L5 (see Attachment 2, Sheets A18 thru A20) along Central Way and 5 foot encroachments along 4th Street.
- Average **15' setback along both Central Way and 17.5' along 4th Street.**
- Approximately 4,527 square feet of total setback encroachment. A majority of this encroachment square footage occurs along the Central Way setback.

The applicant's response to the minor setback variation criteria above can be found in Attachment 3.

b. Background Information

In August 2004, the DRB approved Alexan Kirkland (now known as The Boulevard), a mixed-use project located at 375 Kirkland Avenue across the street from the Performing Arts Center. That project is located in CBD 3, which has the same height/setback requirements as the CBD 7 zone. **The DRB's decision included approval of a minor variation request to the required 20' upper story setback. Approved was a 12' to 18' setback (a 2' to 8' reduction) with an average setback of 35' and a total of 10,958 square feet of setback area (see Attachment 7 for plans and DRB Conclusion).** The project included a large courtyard accessible from Kirkland Avenue and sidewalks along the Kirkland Avenue frontage **that exceed the minimum 10' width requirement.** The DRB determined that **"the design of building itself as well as the public amenities proposed by the applicant adequately addressed the design departure criteria".**

c. Staff Analysis

In the applicant's response letter, one of the justifications for the minor setback variation is that the required street improvement easement narrowed the lot and that the additional square footage gained thru the departure is similar to that lost to the easement. As part of predesign process, the Public Works Department agreed to allow the street improvements to be contained in an easement instead of a right-of-way dedication. This easement allowed a portion of the parking garage to extend under the street improvements, which would not be allowed if the area was dedicated right-of-way.

The DRB should provide feedback to the applicant on whether the requested variation is deemed "minor" and will result in a superior design than if the building complied with the required setback. Potential detrimental effects should be discussed.

VI. KEY ZONING REGULATIONS

The applicant's proposal is also subject to the applicable requirements contained in the Kirkland Municipal Code, Zoning Code, Fire and Building Code, and Public Works Standards. It is the responsibility of the applicant to ensure compliance with the various provisions contained in these ordinances. Attachment 5, Development Standards, is provided to familiarize the applicant with some of these additional development regulations. These regulations and standards are not under the review authority of the DRB and will be reviewed for compliance as part of the building permit review for the project.

In terms of zoning, development on the subject property is subject to the regulations in CBD 7 (see Attachment 6) as well as other applicable KZC sections. The following

regulations are important to point out as they form the basis of any new development on the site. Below are some of the key zoning standards that apply to the development followed by staff comment in italics.

- A. Permitted Uses: Permitted uses in this zone include, but are not limited to retail, restaurants, office, and stacked dwelling units. Office and residential uses may not be located on the ground floor of a structure unless there is an intervening retail use.

Staff Comment: The applicant is proposing ground floor retail along Central Way and 4th Street. Additionally the applicant is proposing a lobby for the residential use along with a workout room. The City allows lobbies for residential uses on the ground floor, but the residential workout room would not be allowed. The upper stories will consist of only residential uses. The majority of the parking for the project is proposed in a below-grade parking structure.

- B. Setbacks: **A minimum 20'** front yard setback is required. One-story street level retail shall have a zero foot setback. There are no required setbacks for the side or rear property lines.

Staff Comment: A 20' front yard setback is required along Central Way with the exception of one-story retail. In addition, a 20' front yard setback is also required along the portion of the north property line adjacent to 4th Avenue. The applicant has requested a minor variation to the setback requirement pursuant to KZC Section 142.37. See Section V.C above.

- C. Height: **CBD 7 allows a maximum height of 41'** measured above the average building elevation. In addition, KZC Section 50.62.2 requires that the **minimum ground floor height is 15'** for retail, restaurant, and other ground floor uses.

Additional height is allowed for peaked roofs and/or parapets. For structures with a peaked roof, the peak may extend five (5) feet above the height limit if the slope of the roof is greater than three (3) feet vertical to 12 feet horizontal and eight (8) feet above the height limit if the slope of the roof is equal or greater than four (4) feet vertical to 12 feet horizontal. Decorative parapets may exceed the height limit by a maximum of four feet, provided that the average height of the parapet around the perimeter of the structure shall not exceed two feet.

Additional allowances for height in regards to rooftop appurtenances are found in KZC Section 115.120.

*Staff Comment: The applicant **must demonstrate compliance with the City's height requirements as part of any building permit.***

- D. Lot Coverage: CBD 7 zoning regulations allow 80% lot coverage. If a minimum zero-foot front yard setback is provided for one-story retail uses, then the lot coverage for the property shall be 100%.

- E. Parking: Retail uses must provide one parking space for each 350 square feet of gross floor area. Stacked dwelling units must provide a minimum of one parking stall per bedroom or studio unit and an average of at least 1.3 parking stalls per unit for the development. Guest parking shall be provided at a rate of 0.1 stalls per bedroom or studio unit with a minimum of two guest parking stalls.

*Staff Comment: The applicant **must demonstrate compliance with the City's parking requirements as part of any building permit.***

- F. Landscaping & Tree Retention. Based on the proposed uses on the subject property and the adjoining multi-family development to the north, a **15'**-wide

landscape buffer is required along the north property line planted pursuant to standards found in KZC Section 95.42.

Staff Comment: A landscape plan and Tree Retention Plan was submitted with the Design Response Conference application. Existing significant trees are located within the required landscape buffer, but they are not viable due to construction impacts. The applicant is proposing private patios that extend 5 feet into the landscape buffer. In order to allow these patios, the applicant will need to approval of a buffer modification pursuant to KZC Section 95.46.1.

- G. Sidewalks. Central Way is a designated as a Pedestrian Oriented Street. **Therefore the sidewalk standards require a minimum 10' wide sidewalk along the entire frontage of the subject property abutting Central Way. An 8' wide sidewalk** is required along 4th Street as it is a Major Pedestrian Sidewalk. The final sidewalk configuration should be approved through the design review process.

VII. STATE ENVIRONMENTAL POLICY ACT

SEPA is the state law that requires an evaluation of a development proposal for environmental impacts. The issue most frequently addressed through SEPA is traffic. Design Review is not a project action and thus SEPA review is not required at the time of Design Review. SEPA review will be required prior to the issuance of any building permit for the project.

VIII. PUBLIC COMMENT

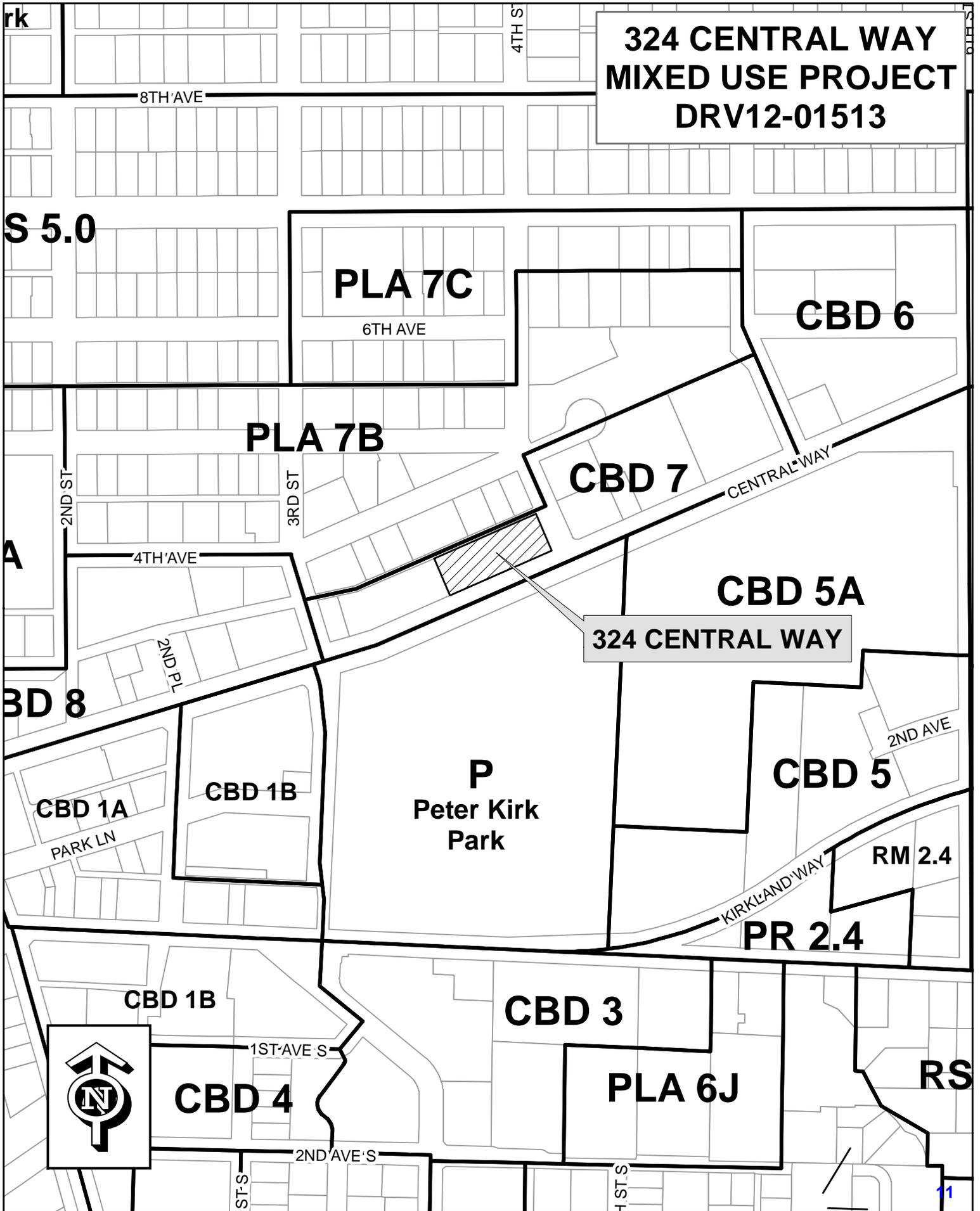
Prior to the finalization and distribution of this staff memo, no public comment was received.

IX. SUBSEQUENT MODIFICATIONS

Modifications to the approval may be requested and reviewed pursuant to the applicable modification procedures and criteria in effect at the time of the requested modification.

X. ATTACHMENTS

1. Vicinity Map
2. Development Plans
3. Departure Request Letter
4. Zoning Map
5. Development Standards
6. CBD 7 Use Zone Chart
7. Alexan Kirkland (The Boulevard) Design Departure Information



Design Response Conference

324 Central Way, Kirkland WA 98033

A Proposed Apartment Development
for Continental Properties, LLC.

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Design Response Conference
324 CENTRAL WAY

2/28/13

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SHEET INDEX

T1	TITLE SHEET/ CONTACT INFO	A11-12	DESIGN DETAILS (LANDSCAPING)
A1	DESIGN RESPONSE	A13-16	DESIGN DETAILS (ARCHITECTURAL)
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A3	DESIGN RESPONSE	A21-24	BUILDING ELEVATIONS
A4	DESIGN RESPONSE	A25	HEIGHT CALCULATION/LOT COVERAGE
A5	SURVEY	A26	DEPARTURE REQUEST
A6	SITE PLAN		
A7	TREE PLAN II		
A8	PROPOSED LANDSCAPE PLAN		
A9	LANDSCAPING SCHEDULE		
A10	DESIGN DETAILS (LANDSCAPING)		

PROJECT INFORMATION

ADDRESS:	324 CENTRAL WAY 98033	BLDG. MAX. HT.:	41'-0"
PARCEL #:	390010-1275	BASE PLANE:	48'-0"
ZONING:	CBD7 (CENTRAL BUSINESS)	MAX. HEIGHT PLANE:	89'-0"
LAND USE:	C (COMMERCIAL)	FRONT SETBACK:	20'-0" (0'-0" WITH RETAIL)
FAR:	NO REQUIREMENTS	SIDE SETBACK:	0'-0"
LOT SIZE:	27,458.75 SF	REAR SETBACK:	0'-0"
LOT COVERAGE:	80% (100% WITH RETAIL)	RETAIL SETBACK:	0'-0"

LEGAL DESCRIPTION

390010-1275:
(324 Central Way)

LOTS 24, 25, 26, 27, 28, 29, 30, 31, 32, 33 AND 34, BLOCK 95, KIRKLAND TERRACE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 21 OF PLATS, PAGE 42, IN KING COUNTY, WASHINGTON.

VICINITY MAP



SITE MAP



TITLE PAGE

DESIGN RESPONSE CONFERENCE- 324 CENTRAL WAY

T1

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DRB CONCEPTUAL DESIGN RESPONSE

1.) All vantages of the project and neighboring building masses and elevations.



Latitudinal Section Looking West



Context Vantage Looking Northeast



Context Vantage Looking Southeast



Context Vantage Looking Northwest



Context Vantage Looking Southwest

DRB CONCEPTUAL DESIGN RESPONSE
DESIGN RESPONSE CONFERENCE- 324 CENTRAL WAY

A1
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2.) Proposed option's setbacks analysis vs. code



Code Compliant - Min. Modulation Looking Northwest



Proposed Option - Deep modulation Looking Northwest

Code Compliant Option

Challenges:

- The building setback requirements further restrict unit depths allowing for only minimal modulation at the Central Way Frontage.
- Per KZC 92.30 b1 Vertical Definition for all CBD zones, the maximum length of any facade facing a street is 70 feet without vertical definition. This code compliant option modulation is for every 30'-0" with 10'-0" modulation setback a18" carry through all residential floors.
- The modulation available with the setback creates a long and repetitious facade.
- Narrow and long footprint makes the building out of scale with neighboring buildings

Proposed Option

Advantages:

- Deep modulation visually breaks up long frontage along Central Way
- Protruding masses create a dynamic and lively feeling that appeals to the scale of Central Way.
- The variation of the facade created by the protruding storefront at the base, deep modulations, recessed balconies, and careful material changes provides visual interest at both the level of the pedestrian and vehicular traffic.

DRB CONCEPTUAL DESIGN RESPONSE

3.) Public spaces development



Public Space Overview



Southeast Corner Looking Northwest

- MULTI-CONCRETE PODIUM LEVELS
- PROJECTED METAL AWNING
- LARGE STOREFRONT
- BRICK VENEER
- LANDSCAPING PLANTING



Southeast Corner Looking Northeast

DRB CONCEPTUAL DESIGN RESPONSE
DESIGN RESPONSE CONFERENCE- 324 CENTRAL WAY

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3.) Public spaces development



- MODERN BUILDING SIGNAGE
- RECESSED ENTRANCE BAY
- PROFESSIONAL LANDSCAPING WATER FEATURE
- BRICK VENEER
- STREET TREES

Residential Entry Looking Northeast

Residential Entry Looking Northwest



- OUTDOOR SEATING AREA
- DECORATIVE METAL RAILING
- LARGE STOREFRONT
- BRICK VENEER
- STREET TREES

Mid Retail Looking Northeast

Mid Retail Looking Northwest

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DRB CONCEPTUAL DESIGN RESPONSE
 DESIGN RESPONSE CONFERENCE- 324 CENTRAL WAY

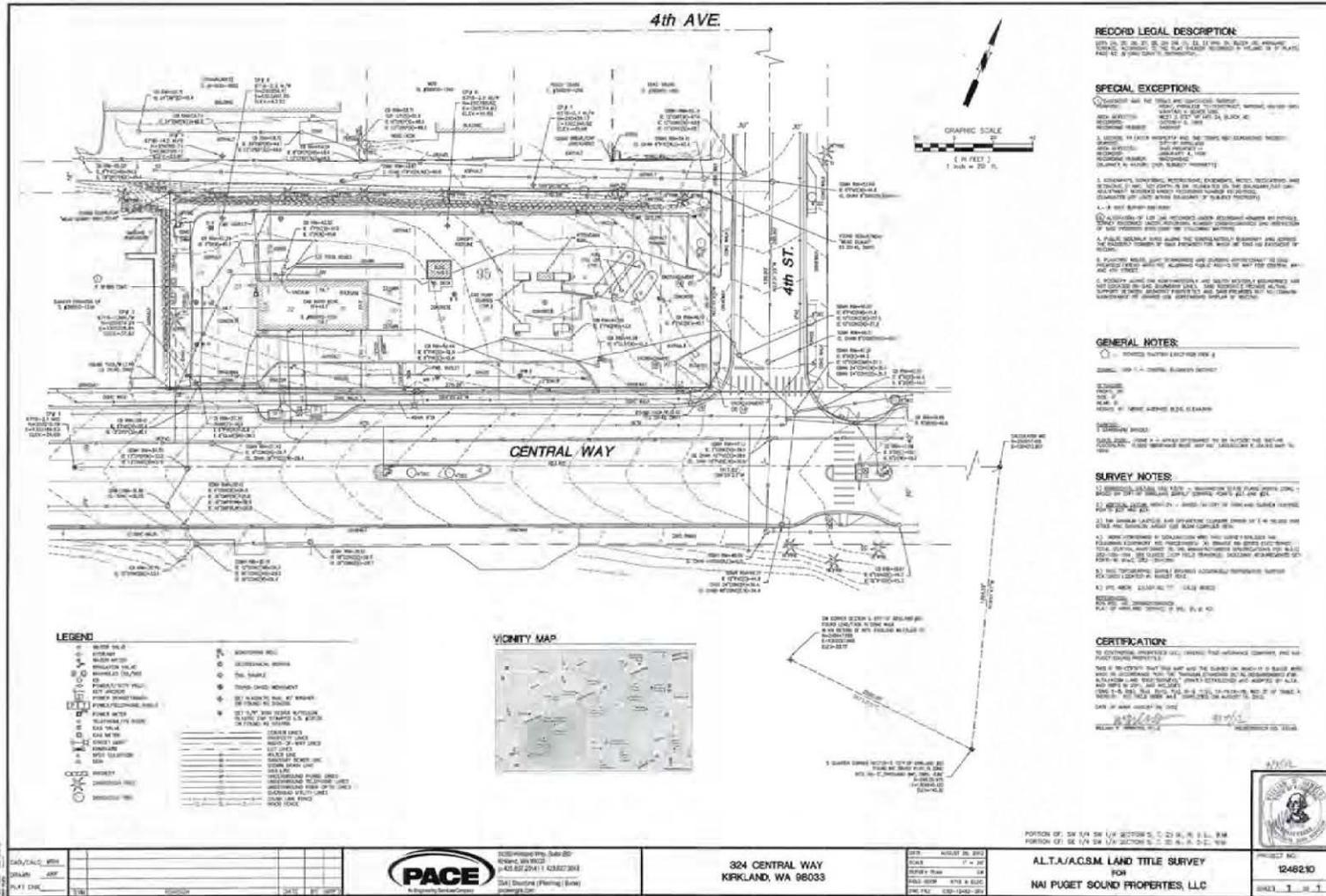
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SURVEY PLAN



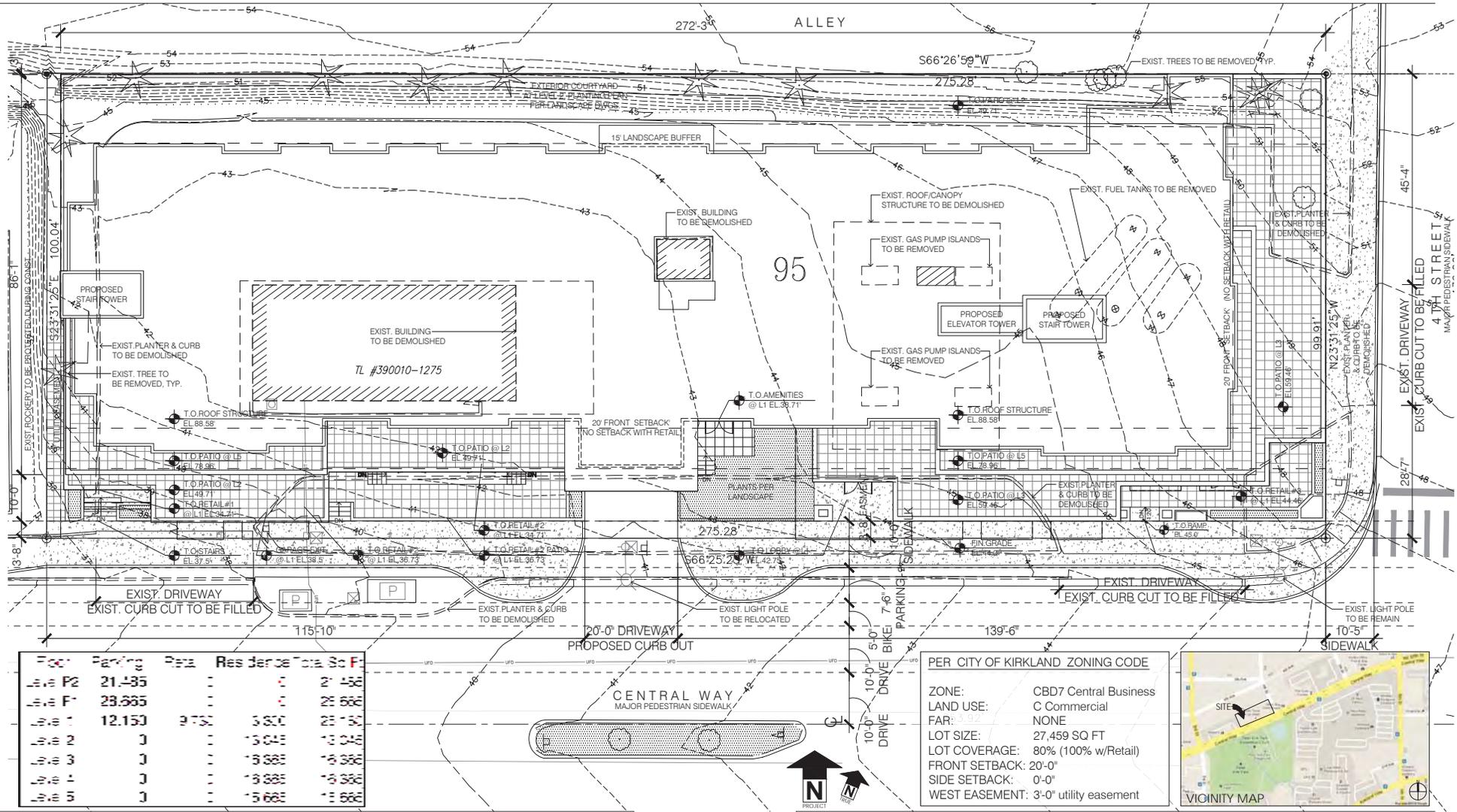
SURVEY PLAN
 DESIGN RESPONSE CONFERENCE- 324 CENTRAL WAY

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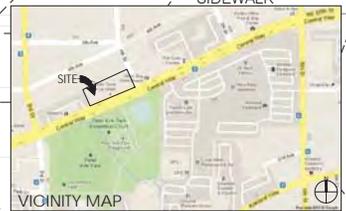
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Foot	Parking	Area	Res	Area	Total	So F
1.0	P2	21,435			21,435	
1.0	F	23,555			23,555	
1.0	1	12,150	3,750	3,800	23,750	
1.0	2			1,045	1,045	
1.0	3			3,385	3,385	
1.0	4			3,385	3,385	
1.0	5			5,665	5,665	

PER CITY OF KIRKLAND ZONING CODE

ZONE: CBD7 Central Business
 LAND USE: C Commercial
 FAR: 3.92
 LOT SIZE: 27,459 SQ FT
 LOT COVERAGE: 80% (100% w/Retail)
 FRONT SETBACK: 20'-0"
 SIDE SETBACK: 0'-0"
 WEST EASEMENT: 3'-0" utility easement



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SITE PLAN
 DESIGN RESPONSE CONFERENCE- 324 CENTRAL WAY

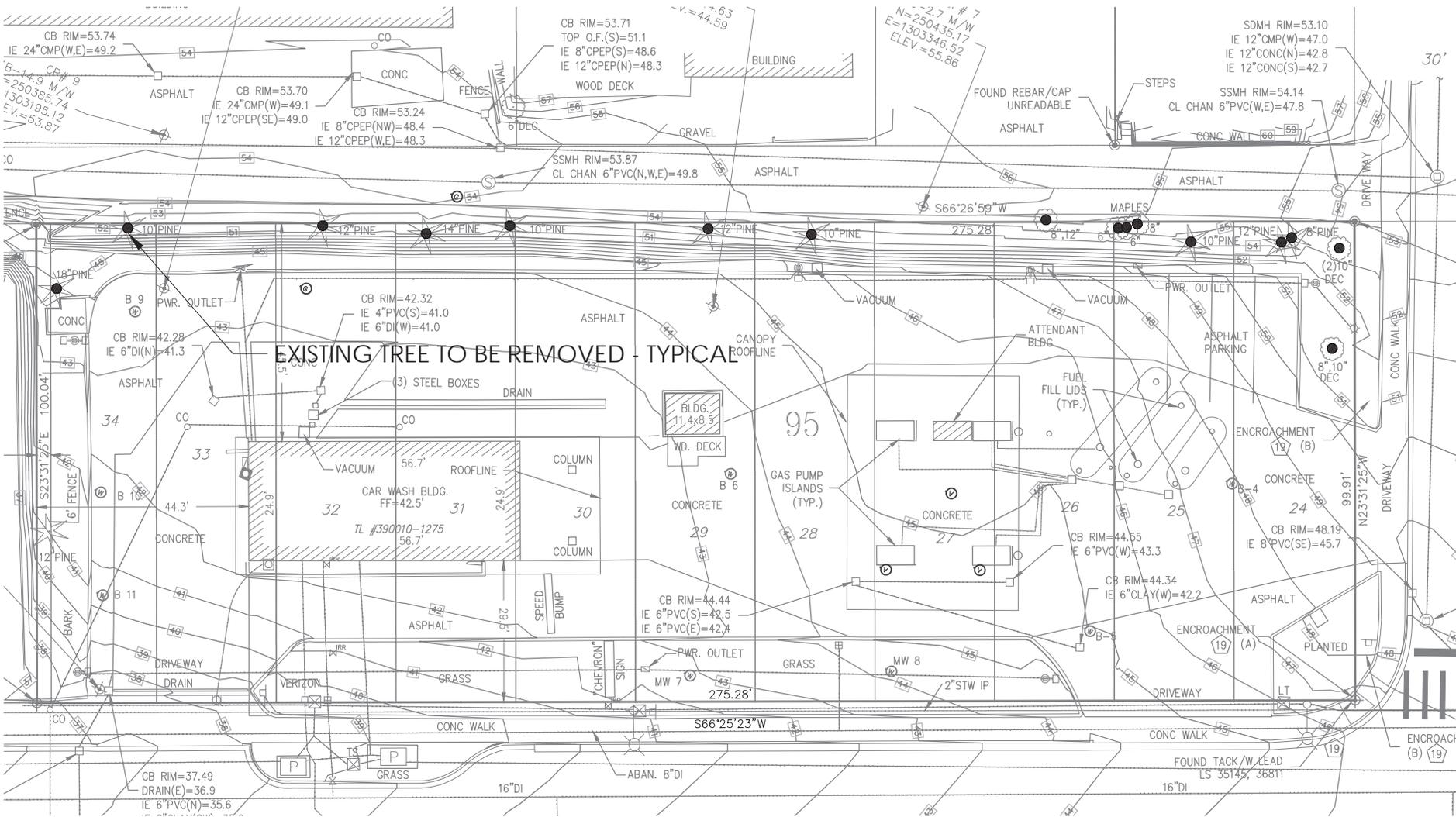
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TREE PLAN II Scale: 1"=20'



TREE PLAN II
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PROPOSED LANDSCAPE SCHEDULE

PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL_NAME	COMMON_NAME	CONT	CAL	SIZE	QTY
	ACER CIRCINATUM	VINE MAPLE	B & B	MULTI-STEM	6'-8" HT	11
	ACER TRUNCATUM 'PACIFIC SUNSET' TM	PACIFIC SUNSET MAPLE	2 1/2" CAL			8
	MAGNOLIA KOBUS	KOBUS MAGNOLIA	B & B	2.5" CAL		3
	STYRAX JAPONICUS	JAPANESE SNOWBELL	B & B	2" CAL		2
EVERGREEN TREES	BOTANICAL_NAME	COMMON_NAME	CONT	CAL	SIZE	QTY
	PINUS CONTORTA	SHORE PINE	B & B		8'-10' HT.	11
SHRUBS	BOTANICAL_NAME	COMMON_NAME	CONT	MIN_HT/SPREAD	O.C. SPCG	QTY
	AZALEA X 'KAREN' EVERGREEN	AZALEA	3 GAL	18" - 21" MIN HT		80
	CALLUNA VULGARIS 'FIREFLY'	HEATHER	1 GAL			7
	CORNUS SANGUINEA 'WINTER FLAME'	WINTER FLAME BLOODTWIG DOGWOOD	3 GAL			52
	DRYOPTERIS ERYTHROSORA 'BRILLIANCE'	AUTUMN FERN	2 GAL			16
	LONICERA NITIDA 'RED TIPS'	RED TIPS BOX HONEYSUCKLE	2 GAL			168
	MAHONIA AQUIFOLIUM 'ORANGE FLAME' EVERGREEN	OREGON GRAPE	5 GAL			49
	MAHONIA REPENS EVERGREEN	CREEPING MAHONIA	2 GAL		24"	63
	MYRICA CALIFORNICA	PACIFIC WAX MYRTLE	3 GAL			70
	MANDINA DOMESTICA EVERGREEN	HEAVENLY BAMBOO	3 GAL			42
	SYMPHORICARPOS ALBUS 'MAGIC BERRY'	COMPACT SNOWBERRY	3 GAL			22
	VIBURNUM DAVIDII	DAVID VIBURNUM	3 GAL			52
ANNUALS/PERENNIALS	BOTANICAL_NAME	COMMON_NAME	CONT	MIN_HT/SPREAD	O.C. SPCG	QTY
	ALLIUM GIGANTEUM	GIANT ALLIUM	1 GAL			22
	GERANIUM SANGUINEUM	BLOOD RED GERANIUM	4"POT			14
	HEMEROCALLIS X 'RED'	RED DAYLILY	1 GAL			105
	LAVANDULA ANGUSTIFOLIA	ENGLISH LAVENDER	1 GAL			69
	NEPETA X FAASSENII 'WALKERS LOW'	WALKERS LOW CATMINT	2 GAL			27
	ROSMARINUS OFFICINALIS 'TUSCAN BLUE'	TUSCAN BLUE ROSEMARY	2 GAL			43
	SEDUM ACRE 'AUTUMN JOY'	GOLDMOSS STONECROP	1 GAL			83

GRASSES



GROUND COVERS



BOTANICAL_NAME	COMMON_NAME	CONT	MIN_HT/SPREAD	O.C. SPCG	QTY
CALAMAGROSIS X ACUTIFLORA 'OVERDAM'	OVERDAM FEATHER REED GRASS	2 GAL			150
CAREX TESTACEA	BROWN SEDGE	1 GAL			19
IMPERATA CYLINDRICA 'RED BARON'	JAPANESE BLOOD GRASS	1 GAL			4
PENNISETUM ALOPECUROIDES 'HAMELN'	HAMLN DWARF FOUNTAIN GRASS	2 GAL		AS SHOWN	12
BOTANICAL_NAME	COMMON_NAME	CONT	SPCG	AP_RT	QTY
4 TRAY DECID & EVERGREEN SEDUM	EXTENSIVE GREEN ROOF TRAY	TRAY SYSTEM			896 SF
FRAGARIA CHILOENSIS	BEACH STRAWBERRY	4"POT @ 18" OC			72



KOBUS MAGNOLIA



JAPANESE SNOWBELL



VINE MAPLE



FIREFLY HEATHER



ORANGE FLAME
MAGNOLIA



CREEPING MAHONIA

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PROPOSED LANDSCAPE SCHEDULE
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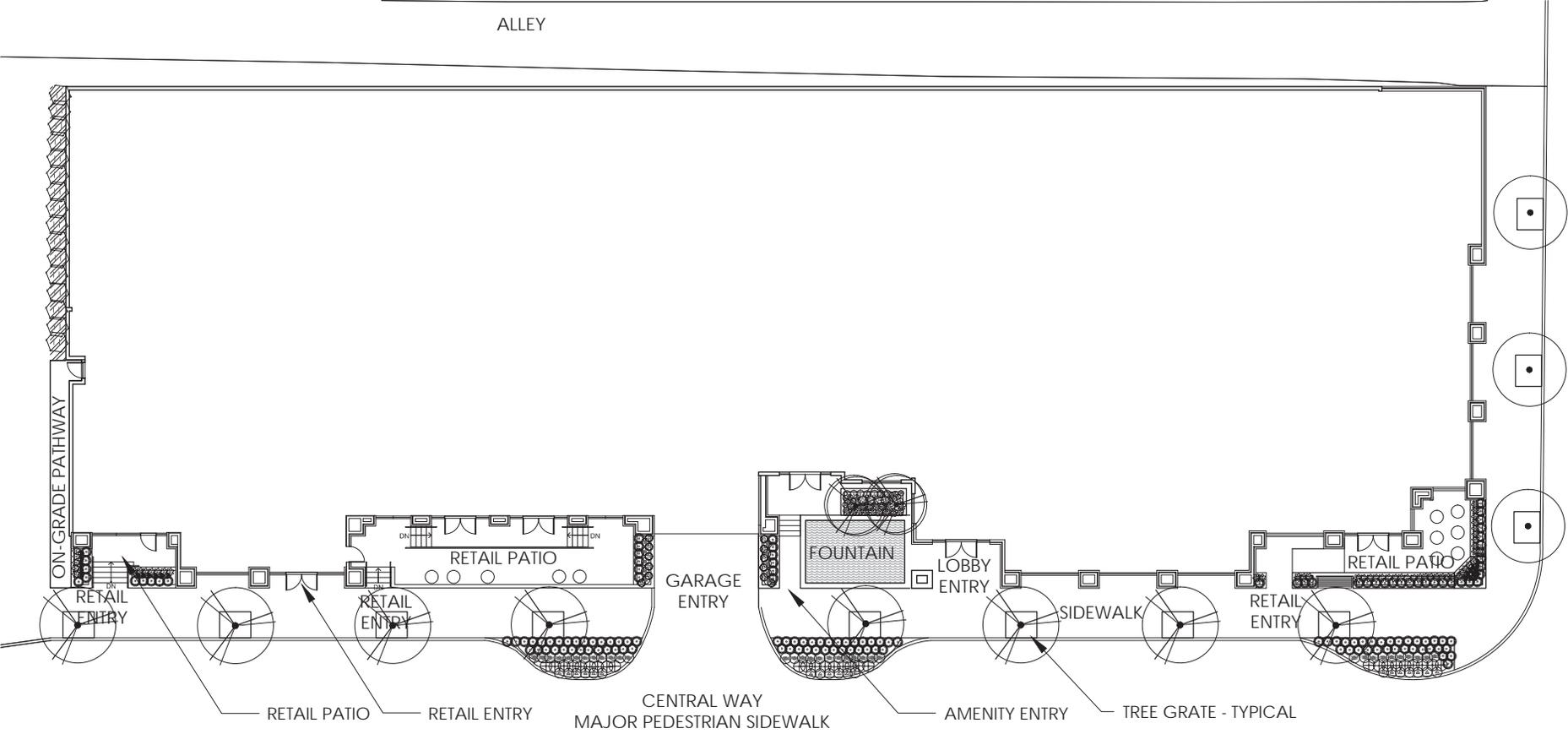
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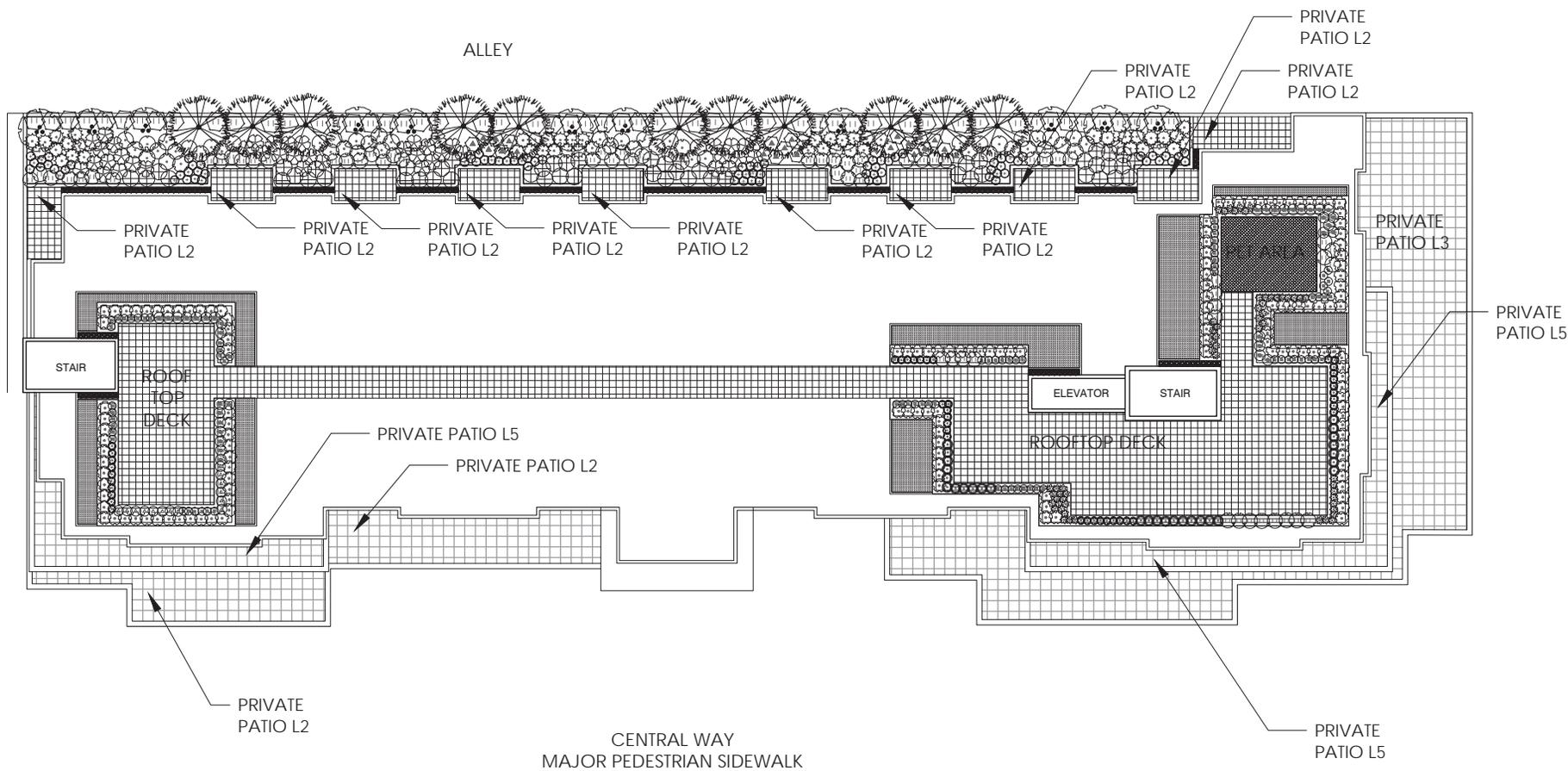
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PROPOSED LANDSCAPE PLAN - SITE
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Scale: 1"=20' PROPOSED LANDSCAPE PLAN - L2 & ROOF



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PROPOSED LANDSCAPE PLAN
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DESIGN DETAILS (LANDSCAPING)



- RETAIL #1 ENTRANCE
- RETAIL PATIO
- PLANTING AREA
- SIDEWALK

RETAIL AREA #1 - PATIO



- RETAIL #2 ENTRANCES
- LOWER PATIO
- METAL GUARDRAIL
- UPPER PATIO

RETAIL AREA #2 - PATIO



- LOBBY ENTRANCE
- BENCH
- WATER FEATURE
- SIDEWALK

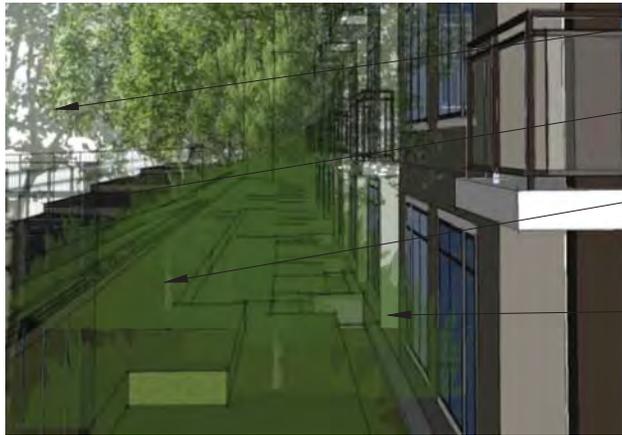
LOBBY/AMENITY - FOUNTAIN



- RETAIL ENTRANCE
- RETAIL PATIO
- SIDEWALK
- BENCH
- RAISED PLANTER

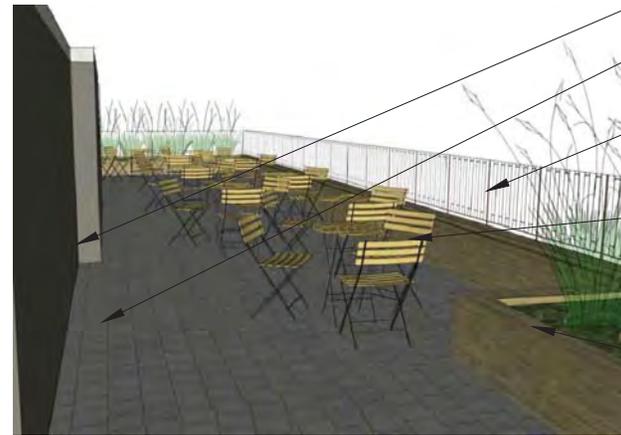
RETAIL AREA #3 - PATIO

DESIGN DETAILS (LANDSCAPING)



- BUFFER TREE
- METAL FENCING
- BUFFER SHRUB
- PRIVATE PATIO

PRIVATE PATIO AREA - NORTH



- ELEVATOR
- PEDESTAL PAVERS
- METAL GUARDRAIL
- RESIDENT GATHERING AREA
- WOOD RAISED PLANTER

ROOF DECK AREA - EAST



- BUFFER TREE
- METAL FENCING
- EXPOSED CONCRETE FENCE FOOTING
- ALLEY SURFACE

ALLEY AREA BUFFERING



- METAL GUARDRAIL
- WOOD RAISED PLANTER
- RESIDENT GATHERING AREA
- PEDESTAL PAVERS

ROOF DECK AREA - WEST

DESIGN DETAILS (LANDSCAPING)

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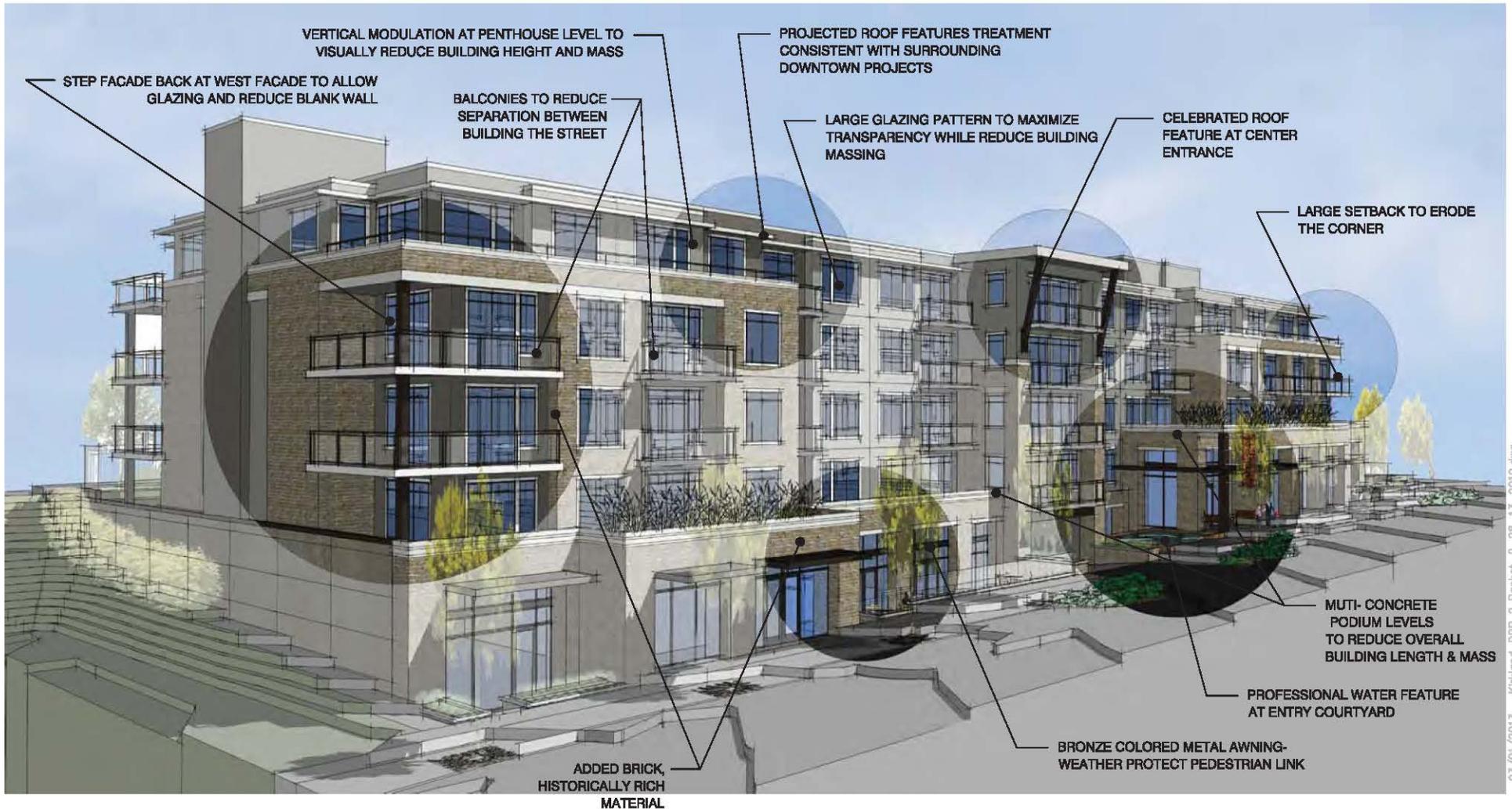
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TRA THOMAS RENGSTORE & ASSOCIATES

LANDSCAPE ARCHITECTURE SITE PLANNING URBAN DESIGN

DESIGN DETAILS (ARCHITECTURAL)



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DESIGN DETAILS (ARCHITECTURE)
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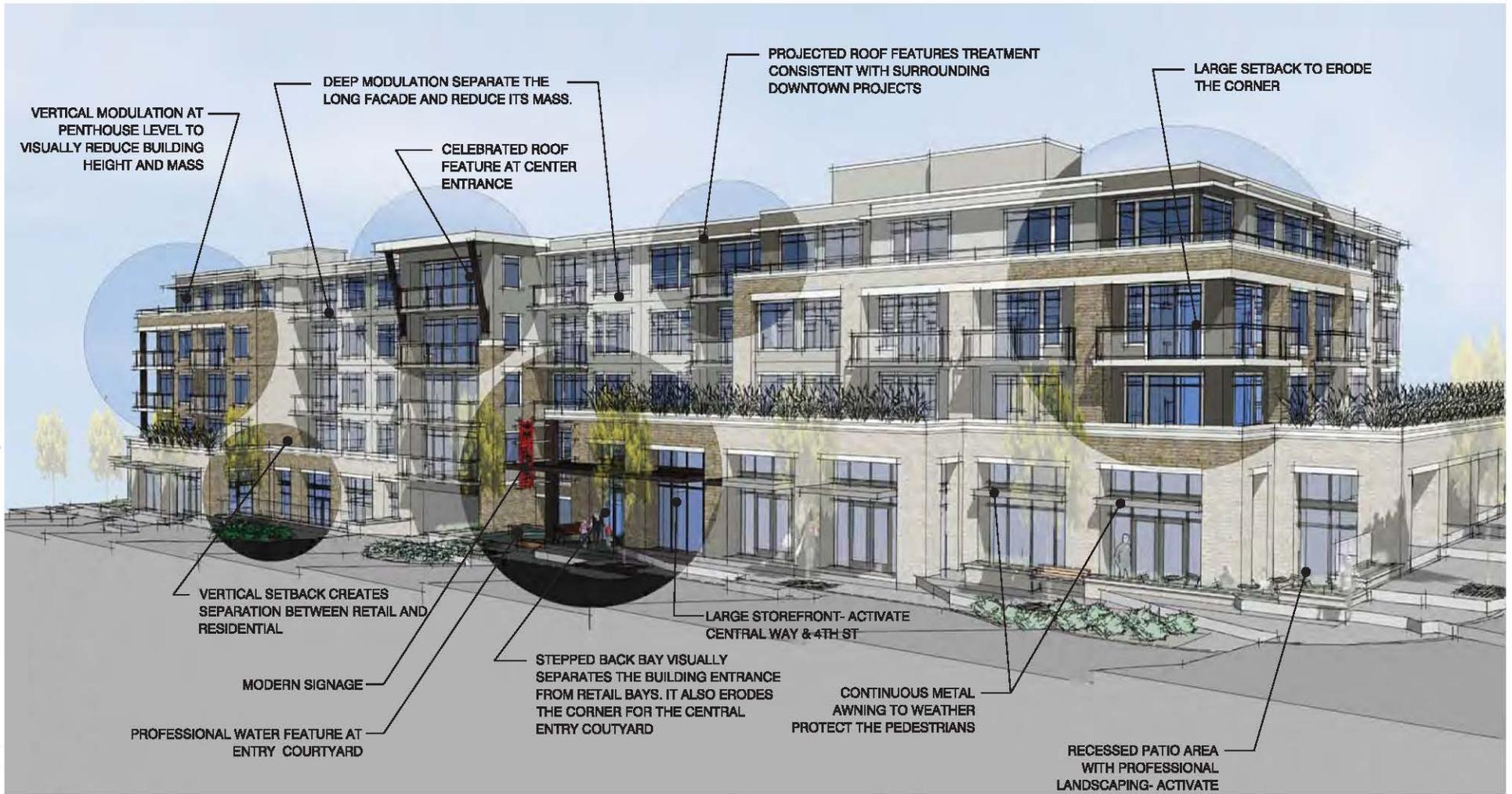
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