



Lake Washington Saddle Club
 P.O. Box 831
 Bellevue, WA 98009
www.lakewashingtonsaddleclub.org

Susan Greene, Project Planner
 City of Kirkland Planning Department
 123 5th Ave.
 Kirkland, WA 98033

February 1, 2011

Dear Ms. Greene;

I am writing regarding development Permit No. ZON10-00022, which pertains to the expansion of Central Park Tennis Club. I am writing on behalf of the Lake Washington Saddle Club regarding the attached plan which will establish a 7-10 foot wide multi-use trail along the north side of NE 60th from Ben Franklin Elementary to 132nd Ave. NE. The trail will be built with an equestrian safe material called "stabilizer".

I am writing on behalf of Lake Washington Saddle Club to state that we have reviewed the proposed plan and approve the improvements described in the plan. The improvements will enhance both pedestrian and equestrian use of the neighborhood and provide safe passage for all those who travel NE 60th.

It was gratifying to work with all of the constituent groups involved to identify a solution that truly benefits everyone. On behalf of Lake Washington Saddle Club I would like to thank Andy Held, who worked hard bringing together everyone's interests. We also greatly appreciate the groups' consideration and understanding regarding the needs of Bridle Trails equestrians. In an environment where equestrian interests are continually being challenged and negatively impacted, it is wonderful to be involved in a project where equestrian use is being protected and enhanced.

On that note, I am happy to report that the Lake Washington Saddle Club will be contributing to the project by providing \$250.00 to purchase a tree for the natural vegetation buffer zone.

Sincerely,

Jennifer Duncan, President
 Lake Washington Saddle Club
 P.O. Box 831
 Bellevue, WA 98009
 425-867-0992
 Email: duncan66@msn.com

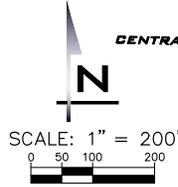
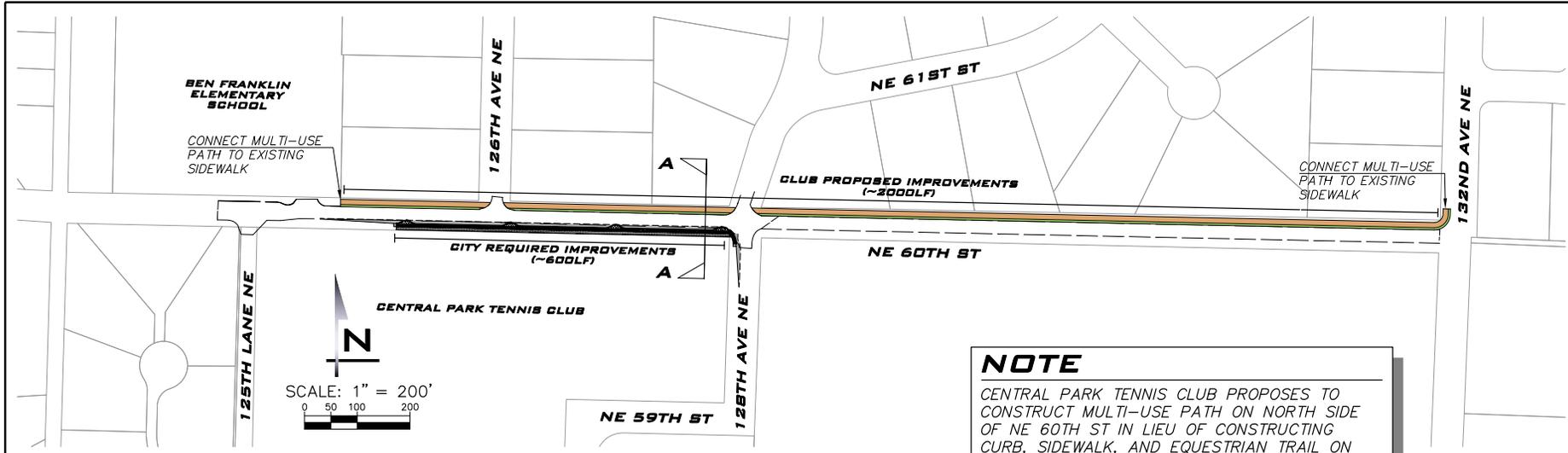
Attachment: 60th Plan Sheet 1 of 1

Cc: Andy Held, Suzanne Kagen, Lorraine Troser



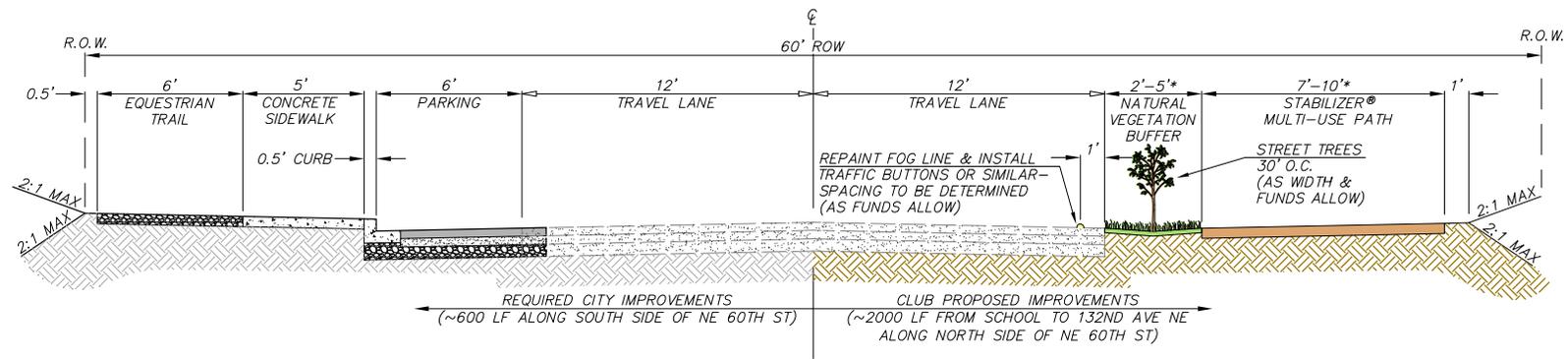
**NE 60TH ST PROPOSED IMPROVEMENT
CENTRAL PARK TENNIS CLUB**

© 2010 THE BLUELINE GROUP



PLAN VIEW
(SCALE: 1"=200')

NOTE
CENTRAL PARK TENNIS CLUB PROPOSES TO CONSTRUCT MULTI-USE PATH ON NORTH SIDE OF NE 60TH ST IN LIEU OF CONSTRUCTING CURB, SIDEWALK, AND EQUESTRIAN TRAIL ON SOUTH SIDE OF NE 60TH ST. MULTI-USE PATH WILL BEGIN AT BEN FRANKLIN ELEMENTARY SCHOOL AND EXTEND EAST AS FUNDS ALLOW.



SECTION A-A
(NOT TO SCALE)

NOTE
STANDARD SECTION TO INCLUDE 4.5' WIDE BUFFER & 10' WIDE MULTI-USE PATH. BUFFER & MULTI-USE PATH TO BE NARROWED TO MINIMUM DIMENSIONS SHOWN WHERE TOPOGRAPHY OR EXISTING CONDITION CONSTRAINTS DICTATE.

SCALE	AS NOTED
PROJECT MANAGER	BRIAN J. DARROW, PE
DESIGNED BY	BRIAN J. DARROW, PE
DRAWN BY	DOMINIQUE GABALDON
DATE	01/13/2011

JOB NUMBER:
08-117

FIGURE:
1 OF 1

Jan 13, 2011 - 3:39pm - User: dgabaldon
E:\Projects\08117.dwg\08117.dwg\walkways 2a.dwg

Zone
PLA16

USE ZONE CHART

Section 60.182

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 60.182	USE ↓ REGULATIONS ↑	Required Review Process	Lot Size	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
				REQUIRED YARDS (See Ch. 115)			Lot Coverage	Height of Structure				
				Front	Side	Rear						
.020	Commercial Equestrian Facility See Special Regulation 1.	Process IIB	3 acres	20'	20'	20'	80%	See Special Regulation 4.	C	B	See KZC 105.25.	<ol style="list-style-type: none"> This use may include arenas, stables, roaming and grazing areas, club house and ancillary equestrian facilities. This use must comply with KZC 80.30 through 80.45. An improved public equestrian access trail through the subject property and appropriate public signing must be provided. The trail must be located and designed to allow for an eventual connection between N.E. 60th Street and Bridle Trails State and King County Parks. Structures exceeding 25 feet above average building elevation must have the ground floor placed below existing grade to the extent possible and screened by a vegetative earthen berm. Existing natural vegetation must be maintained to the greatest extent possible.
			1 acre	20'	20'	20'						

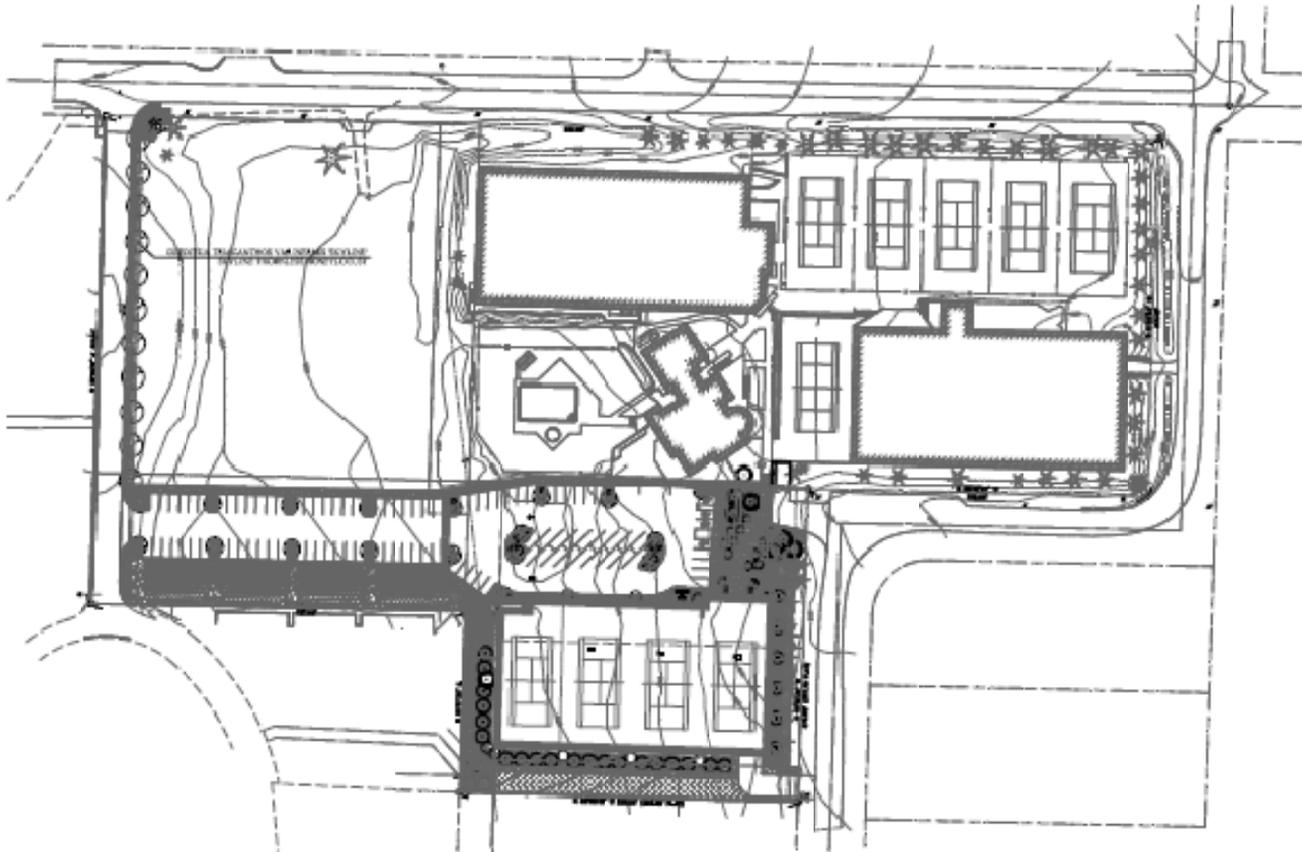
(Revised 9/03)

**CENTRAL PARK TENNIS CLUB 4 COURT BUILDING
ZONING CODE COMPLIANCE WORKSHEET**

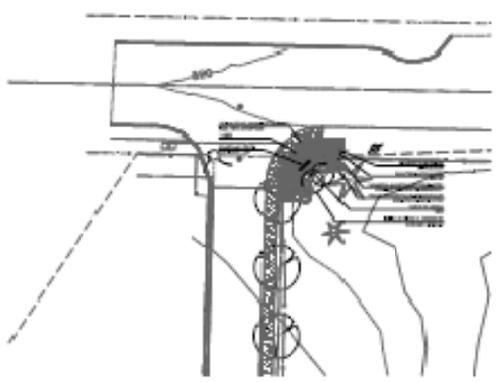
<i>ISSUES</i>	<i>CODE REQUIREMENT</i>	<i>PROPOSAL</i>
Use	Allows Commerical Recreation Area and Use (Use may include activities such as: indoor and outdoor tennis courts, club house, swimming pool, other sport court games and ancillary commercial recreation activities.)	Indoor tennis court (4 courts in one building)
Lot Size	1 acre min.	2.75 acres
Front Yard	20' min.	27'-3 3/4"
Side Yard	20' min.	40' on south and 88'-2 3/4" on north
Rear Yard	20' min.	30'
Lot Coverage	80% max.	65%
Height of Structure	38' above average building elevation. (Structures exceeding 25' above average building elevation must have the ground floor placed below existing grade to the extent possible and screened by a vegetative earthen berm. Structures can be placed at the existing grade if the structures are located on lower ground than adjacent properties and if the adjacent properties are developed and do not contain residential use.)	33.7' Proposed building is placed below existing grade as seen from the north, south and west. The building is screened from the east side by a row of existing matured evergreen trees. Decidious trees and shrubs are added to augment the existing trees. Vegetative screens are proposed on the west and south side of the builidng.
Landscape	Category C	15' min. landscaping and 6' solid fence adjacent to low density use.

(15' wide landscaping and 6' solid fence adjacent to low density use.)

Sign	Category B	Due to the change in access to the club, we will relocate one existing monument sign from the SW corner of NE 60th Street and 128th Ave. NE to the SE corner of NE 60th Street and 125th Lane NE.
Parking	Planning official to determine parking demand on case by case.	Parking study is submitted with this application.
Special Regulation 2.	Hours of operation may be limited to reduce adverse impacts on a residential neighborhood	Club operating hours is 6 am to 10 pm.
Special Regulation 4.	A 20' wide sight-obscuring landscape buffer must be provided along the west and south perimeter of the property.	The building is located 30' from the west property and 40' minimum from the south property line. Landscape buffer is proposed together with a 6' solid fence.
Special Regulation 5.	Existing natural vegetation must be maintained to the greatest extent possible.	21 of the 95 existing trees will be retained.
Special Regulation 6.	Vehicular and pedestrian circulation to and from the property shall be coordinated with the other properties in the vicinity to the maximum extent possible.	Proposed building, together with the existing tennis club, will share a common existing access on 125th Lane NE. 125th Lane NE is a private road owned by the tennis club. An egress and ingress easement has been granted to the neighboring residential community.



1 OVERALL LANDSCAPE PLAN
1/8" = 1'-0"



2 LANDSCAPE PLAN - MAIN ENTRY
1/2" = 1'-0"

CODE COMPLIANCE

SEE EXHIBIT FOR FURTHER INFORMATION. ALL TREE REMOVALS SHALL BE IN ACCORDANCE WITH THE CITY OF CHARLOTTE ORDINANCE 35.01.001. ALL TREE REMOVALS SHALL BE IN ACCORDANCE WITH THE CITY OF CHARLOTTE ORDINANCE 35.01.001. ALL TREE REMOVALS SHALL BE IN ACCORDANCE WITH THE CITY OF CHARLOTTE ORDINANCE 35.01.001.

ITEM	REQUIREMENT	STATUS
1. GENERAL LANDSCAPE REQUIREMENTS	REQUIRED	MEETS
2. PLANTING MATERIALS	AT LEAST ONE SPECIES OF EACH OF THE FOLLOWING: PLANTING MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF CHARLOTTE ORDINANCE 35.01.001.	MEETS
3. PLANTING SCHEDULE	PLANTING SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.	MEETS
4. PLANTING SPECIFICATIONS	PLANTING SHALL BE IN ACCORDANCE WITH THE CITY OF CHARLOTTE ORDINANCE 35.01.001.	MEETS
5. TREE PRESERVATION	ALL TREES SHALL BE PRESERVED UNLESS OTHERWISE SPECIFIED.	MEETS
6. TREE REMOVAL	ALL TREE REMOVALS SHALL BE IN ACCORDANCE WITH THE CITY OF CHARLOTTE ORDINANCE 35.01.001.	MEETS
7. TREE REPLACEMENT	ALL TREE REPLACEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF CHARLOTTE ORDINANCE 35.01.001.	MEETS

TREE PRESERVATION NOTES:

1. ALL TREES SHALL BE PRESERVED UNLESS OTHERWISE SPECIFIED.
2. ALL TREES SHALL BE PRESERVED UNLESS OTHERWISE SPECIFIED.
3. ALL TREES SHALL BE PRESERVED UNLESS OTHERWISE SPECIFIED.
4. ALL TREES SHALL BE PRESERVED UNLESS OTHERWISE SPECIFIED.
5. ALL TREES SHALL BE PRESERVED UNLESS OTHERWISE SPECIFIED.

GENERAL NOTES

1. SEE EXHIBIT FOR FURTHER INFORMATION.
2. SEE EXHIBIT FOR FURTHER INFORMATION.
3. SEE EXHIBIT FOR FURTHER INFORMATION.
4. SEE EXHIBIT FOR FURTHER INFORMATION.

SHEET INDEX

- 1-1 SITE PLAN
- 1-2 ENTRY DRIVE LANDSCAPE PLAN
- 1-3 MAIN PARKING LANDSCAPE PLAN
- 1-4 PLANT LIST & DETAILS



CLIENT:
CENTRAL PARK TENNIS CLUB
1000 W. 10TH STREET
CHARLOTTE, NC 28202

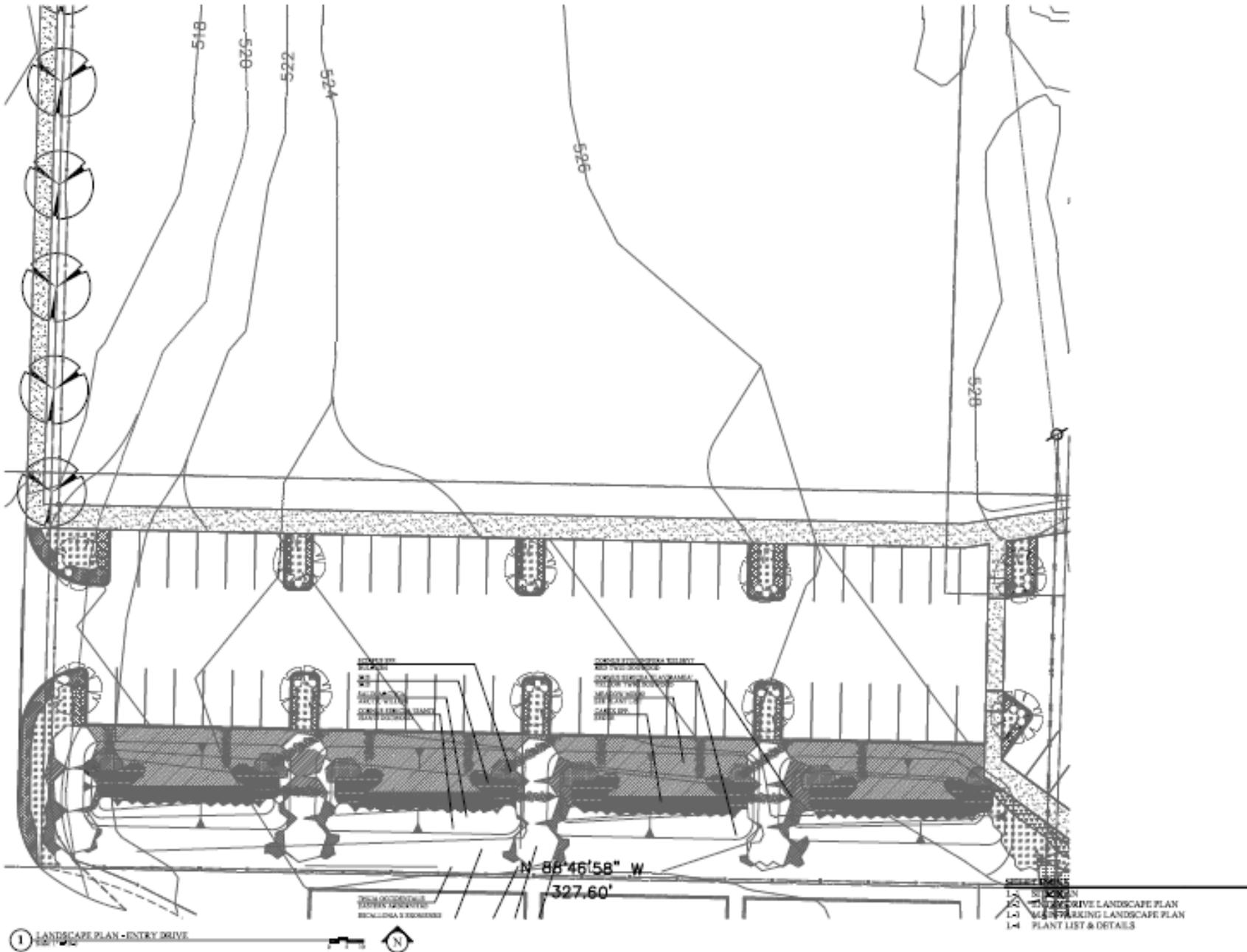
CENTRAL PARK TENNIS CLUB
FOUR COURT TENNIS BUILDING
1000 W. 10TH STREET
CHARLOTTE, NC 28202



Fredhoff & Mo
Landscape Architects

LANDSCAPE PLAN
OVERALL SITE & MAIN ENTRY

L-1.0



ARCHITECTURAL FIRM
 1111 11th Street, NW
 Seattle, WA 98107

CLIENT:
 CENTRAL PARK TENNIS CLUB
 1000 FOUR COURTS BUILDING
 KENNESAW, WA 98148

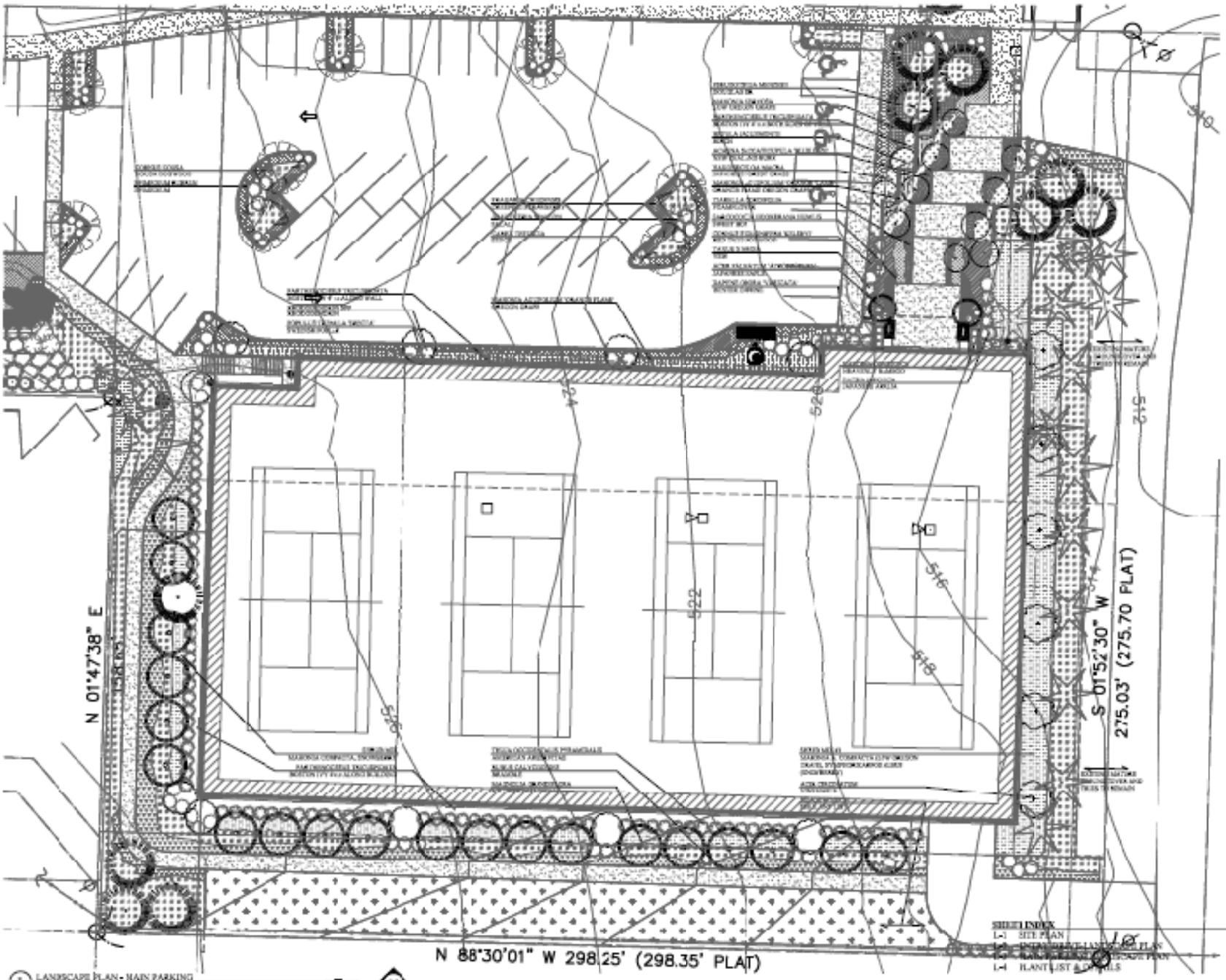
CENTRAL PARK TENNIS CLUB
 FOUR COURTS TENNIS BUILDING
 1000 FOUR COURTS BUILDING
 KENNESAW, WA 98148



DATE	DESCRIPTION

ENTRY DRIVE LANDSCAPE PLAN

SCALE: AS SHOWN
 L-2.0



CLIENT:
CENTRAL PARK TENNIS CLUB
10000 WEST STREET
KINGDALE, WA 9088

CENTRAL PARK TENNIS CLUB
10000 WEST STREET
KINGDALE, WA 9088



DATE	DESCRIPTION

MAIN PARKING
LANDSCAPE PLAN

PROJECT NUMBER
L-3.0

- SHEET INDEX**
- L-1 SITE PLAN
 - L-2 IMPROVED LANDSCAPE PLAN
 - L-3 MAIN PARKING LANDSCAPE PLAN
 - L-4 PLANT LIST & DETAILS

1 LANDSCAPE PLAN - MAIN PARKING



January 18, 2011

Susan Greene
 City of Kirkland
 Planning Department
 123 5th Avenue
 Kirkland, WA 98033

RE: Central Park Tennis Club
 Blueline Job No. 08-117

Dear Susan:

The attached letter is in response to the over-the-counter meeting we had in December 2010. Per your request, I am providing you with a summary of how we believe we are meeting the intent of the code in regards to the Special Regulations 3-5 (vegetated berm, 20' sight-obscuring landscape buffer, and retain existing vegetation) for Zone PLA16. We believe the underlying intent of these regulations is to provide screening from surrounding properties.

Based on our current plan, the average building elevation height exceeds 25'. In this case, Special Regulation 3 calls for the ground floor to be placed below grade to the extent possible and be screened by a vegetated earthen berm. Our finish floor is proposed to be at elevation 516.0 which matches existing grade on the east side and will require about 12' of bury on the west side. This elevation was chosen in an effort to retain as much of the existing vegetation along the east side of the building (meeting Special Regulation 5) and to also bury the building as it moves west. Our proposal buries the building to the maximum extent feasible while still meeting Special Regulation 5 (natural vegetation to be retained to the greatest extent possible).

Below is a summary of how each side of the building meets the intent of the zoning code:

- Along the north side of the building faces the club property, so no berming/screening should be required here.
- Along the east side, we are proposing to retain the existing mature trees and supplement with additional plantings to enhance the screening. This is in line with Special Regulation 5 (retain existing vegetation to greatest extent possible) which we feel supersedes Special Regulation 3 which calls for the vegetative earthen berm. It is not possible to retain the existing trees if a berm is required here. Our proposal will provide better screening than a new berm with new vegetation.
- Along the west side, we are burying the building approximately 12' and providing vegetative screening. We believe that the proposed bury and vegetative screening meet the intent of the vegetative berm requirement and 20' sight obscuring landscape buffer. The building is located 30' off the west property line so we essentially are providing an additional 10' of buffer.
- Along the south side, the average bury of the building is about 6' (1'-2' at the east corner and 12' at the west corner). We are also providing vegetative screening. We believe that the proposed bury and vegetative screening meet the intent of the vegetative berm requirement and 20' sight obscuring landscape buffer. The building is located 40' off the south property line so we essentially are providing an additional 20' of buffer.

Another item of note along the south property line: We discussed the possibility of berming in this area with Public Works, but because of the existing 30' utility and access easement located along the south property line, Public Works will not allow additional soil and/or plantings on top of the existing water line located here. Rob Jammerman in Public Works can confirm this. Also, berming might also prevent the easement from being used for vehicular access which is allowed per the easement language.

The last item we discussed in our December meeting was the screening along the south property line next to our proposed parking lot. Although rain gardens are proposed here, they have been designed to be 8' off the southern property line so that vegetative screening can be planted between them and the adjacent property (which is also a parking lot). The rain gardens will also be planted with vegetation. Our proposed parking lot is located approximately 40' off the south property line, so we are essentially providing an additional 20' of buffer. Also, a 6' high fence will be installed along the southern property boundary which will shield the existing parking lot to the south from the headlamps of cars using the club parking lot.

Obviously, we are trying to balance several issues here, but we believe our proposal meets or exceeds the overall intent of the code regarding berming, retaining existing vegetation, and sight-obscuring buffers. We are burying the building to the maximum extent feasible, retaining existing vegetation to the greatest extent possible, and providing a 20' sight obscuring buffer (30'-40' in most cases) along the south and west perimeter.

If you have any questions, please do not hesitate to call me at (425) 216-4051 x222.

Sincerely,

THE BLUELINE GROUP



Brian J. Darrow, PE
Principal









integrated site design

landscape architects

Attn: Susan Lauinger
 City of Kirkland – Department of Planning and Community Development
 123 5th Ave, Kirkland, Wa 98033

Re: Central Park Tennis Club – landscape code compliance

Date: 1-18-2011

Dear Susan,

I appreciate the opportunity to provide additional information regarding the proposed landscape and clarifying how it will provide the sight obscuring buffer in compliance with the Kirkland Zoning Code.

Attached is a summary of the context, required function of the landscape, and a description of the plants and how they provide the necessary visual screening of the building on all sides.

Although screen planting is provided in front of all the façades, the north side is least seen from outside the property as the existing clubhouse and mature landscape already screen it, and the south side has a substantial row of conifers at the property boundary which provides screening now. In regards to the east side, we have two options to achieve the screening...one is to retain the existing mature conifers augmented by shrubs, groundcover and deciduous trees, and the other option is to use a combination of conifers, deciduous trees, shrubs, and groundcovers.

In all cases, the proposed buffer planting utilizes a combination of plants.

The following is a description of the plants as they occur at the building outward:

- Vines – these will cover the building façade in time, be in leaf much of the year, and provide dramatic color in the fall
- Evergreen trees – located where the façade is tallest to provide year around screening
- Deciduous trees – columnar types grow quickly and visually break up the long horizontal building mass....solid screening when in leaf, dense branch pattern providing substantial screening in the winter
- Hedge – tightly planted evergreen hedge provides immediate screening to 6' ht. and eventually much higher
- Broadleaf Evergreen (Magnolia) – evergreen canopy provides year around screening from 4' above grade to about 20' ht.
- Shrubs – evergreen and growing to a height to screen from grade up to the bottom of the tree canopy
- Groundcover – typically low and providing the continuity of plantings from low at the walkways to highest at the building

In summary, I think the combination of berming, a nominal 20' depth of varied plantings, and the building being partially lowered into the grade achieves not only the code requirements, but achieves visual screening of the building now and increasingly more so over time.

Please let me know if there is further information needed.

Sincerely,

Ray Robinson / Principal Integrated Site Design, ASLA



Central Park Tennis Club – landscape code compliance

Description of planting at each side of building:

North:

- Context – narrow planting perimeter adjacent parking lot and existing mature landscape and existing building with berm
- Landscape function: visual screen not needed as proposed building is not seen from off site
- Plantings in parking area – medium ht. (15' w x 20' ht.) deciduous trees with low groundcover
- Plantings at Building – deciduous trees with columnar habit (8' w x 30; ht.) visually break up the horizontal building façade. Evergreen shrubs (6' w x 6' ht.) with evergreen groundcover (2' ht.) visually soften the building façade.

South:

- Context – grove existing Conifers (Douglas Fir) at property boundary, 30' wide utility easement (no trees allowed) with pedestrian path and low meadow planting, 16' wide dense landscape buffer planting at building perimeter with berm
- Landscape function: visual screening of proposed building as seen thru existing conifer grove.
- Plantings at Building – deciduous trees with columnar habit (8' w x 30; ht.) visually break up the horizontal building façade, vine covered walls (will cover the entire façade) + continuous row of evergreen arborvitae (4' w x 12' ht.) adjacent to building, Broadleaf evergreen trees (15' width x 15' ht.) with evergreen groundcover (2' ht.) that visually soften the building façade from the base to 15' in height.

East:

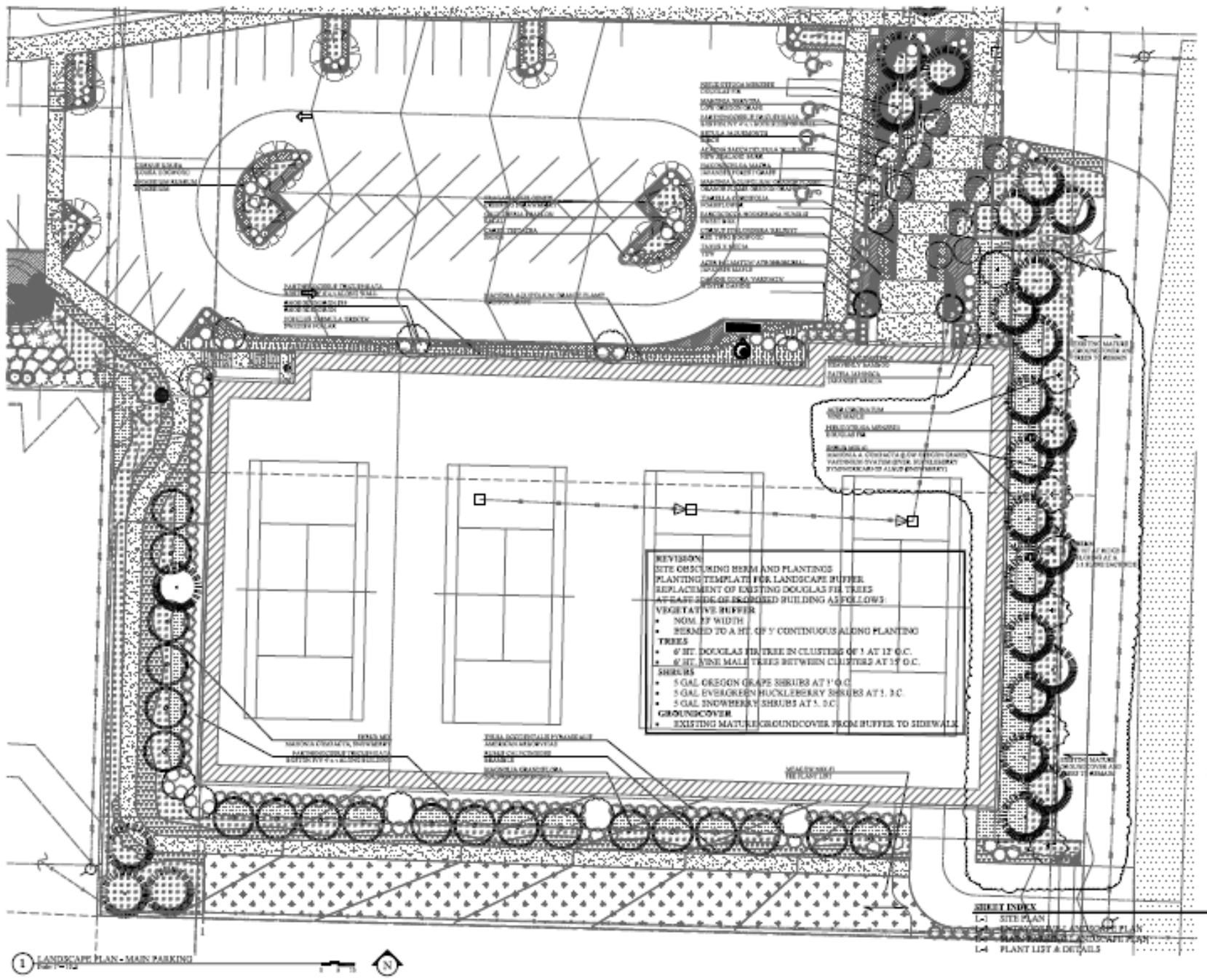
- Context – row of existing Conifers (Douglas Fir) at east portion of property, nom. 20' wide landscape buffer planting at building perimeter
- Landscape function: visual screening of proposed building as seen from street
- Plantings at Building – mature conifers + deciduous trees (8' w x 12' ht.), evergreen shrubs (3' ht.) and groundcover (2' ht.) that visually soften the building façade.

East Alternate: if mature trees are removed

- Plantings at Building – conifers (douglas fir at 12' o.c.) + deciduous trees (8' w x 12' ht.), evergreen shrubs (3' ht.) and groundcover (2' ht.) that visually soften the building façade, nom. 20' wide planting buffer + berm.

West:

- Context – a few mature existing Conifers (Douglas Fir) at property boundary, 5' wide planting buffer at property boundary, 18' wide dense landscape buffer planting at building perimeter with berm
- Landscape function: visual screening of proposed building as seen from existing parking lot
- Plantings at Building – deciduous trees with columnar habit (8' w x 30; ht.) with a conifer (Douglas Fir) in front of the tall roof peak, visually break up the horizontal building façade, vine covered walls (will cover the entire façade) + continuous row of evergreen arborvitae (4' w x 12' ht.) adjacent to building, Broadleaf evergreen trees (15' width x 15' ht.) with evergreen groundcover (2' ht.) that visually soften the building façade from the base to 15' in height.



CLIENT:
 CENTRAL PARK TENNIS CLUB
 1500 N. PINE STREET
 BRANSON, MO 64604

CENTRAL PARK TENNIS CLUB
 FOUR COURT TENNIS BUILDING
 BRANSON, MO 64604



DESIGNER:
 FRETWELL & HO
 1000 N. PINE STREET
 BRANSON, MO 64604

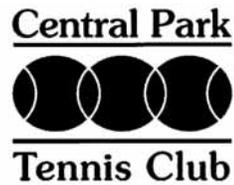
MAIN PARKING
 LANDSCAPE PLAN

L-3.0

1 LANDSCAPE PLAN - MAIN PARKING

SHEET INDEX

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L-2	LANDSCAPE PLAN
L-3	LANDSCAPE PLAN
L-4	PLANT LIST & DETAILS



January 17, 2011

Planning Department
City Of Kirkland
123 5th Avenue
Kirkland, WA 98033

Attn: Susan Lauinger

RE: Central Park Tennis Club New Building (ZON1010-00022)

Susan,

I wanted to provide you some background about Central Park Tennis Club.

The Club was established in 1972 by Howard Wright, Ron Reed and Bill Boeing as a member owned tennis club. The Club has a reputation for having the best tennis programs in the area and in fact has nationally ranked and highly respected adult and junior training programs. Currently some of our Juniors are ranked in the top 10 in the nation in their respective age brackets. Kirkland and CPTC are well known in the world of competitive, amateur tennis

The clubhouse and deck overlook 14 courts - six outdoor and eight indoor, in two well-lit heated buildings. We have a 2,400 square foot fitness center, snack bar, food and beverage service (operated by Sasi's Café), babysitting, massage, locker rooms and lounge area, all with dedicated staff to meet the needs of our members. We have a small outdoor pool area with barbecue, volleyball court and poolside deck which is a family focus during warm summer months.

Our Club is governed by a nine-member Board of Directors. Members serve three year rotating terms and are elected by the membership at our Annual Meeting in June. As the Club Manager, I work under the direction of the President and am responsible for the day-to-day operations of the Club, along with six teaching professionals, two fitness professionals, one massage therapist, a two-person maintenance team, administrative staff and lifeguards in the summer.

The Club operates from 5:45 am in the morning (court time beginning at 6 am) Monday through Saturday and 8:00 am on Sundays. Court times are 1-1/2 hour increments and our last court time is at 8:30 pm, with the Club closing at 10:30 pm. When the seasons change or courts are unused, the staff may close the club earlier in the evening. The Fitness Court is open the same hours as the club and boasts cardio, circuit training and free weight areas. The fitness staff runs classes during the week, throughout the day for Spin, Footwork, Conditioning and getting "Fit to Play." To relieve that "workout" pain, our massage therapist coordinates her schedule to meet our member's needs. The babysitting service is available Wednesday mornings where we find mothers involved in our Women's Team tennis program take advantage of the on-site help. As mentioned before, our pool area is available Memorial Weekend through Labor Day. Once school is officially out, our lifeguard schedule goes from weekends only to everyday from 11:00 am to 8:00 pm. The Health Department requirements are managed by our maintenance staff to ensure a fun and safe summer of swimming.

Our food and beverage operation has been operated by Sasi's Café since 2005. Their soup, sandwich, salad cuisine is enjoyed by our members. Sasi's is technically open to the public but this is rarely promoted because the size of our dining room. We have only 7 tables. Sasi's is open Monday through Friday during the hours of 11:00 am to 3:00 pm. They offer dinner service only on Wednesday evenings from 5:30 pm to 9:00 pm. They also provide catering for our in-house member events or member private parties. All of these events are approved by management and Sasi's. While Sasi's provides lunch and a dinner service, when they are not on-site, the front desk staff can sell snacks and beverages to our members and their guests. These snacks include pre-made sandwiches and salads, health bars, chips, cheese and cracker packs, veggie packs, cookies and candy. Sasi's Café carries a liquor license with the State of Washington, and is allowed to serve beer and wine. We do not have a bar or lounge.

While the Club does not offer an on-site Pro Shop, we do work with a local tennis vendor to provide the basic necessities of demo-racquets, grips, socks and racquet stringing service.

Central Park Tennis Club is a very unique and special place that maintains a common base and interest - Tennis. Tennis can be an individual sport or team sport. It can be social or competitive and played by young and old. CPTC is considered a "second home" to many people in this community. We are not a fancy, pompous or pretentious Club. In fact, we pride ourselves on being a low cost, family club catering to players of all ages and abilities.

Many of our programs are promoted and available to the general public. For example we have a Teenie Tennis program that caters to the public. We also have occasional tournaments and exhibitions that are open to the public. We work hard to provide a Club that meets the needs of our membership including open court play, teaching, specialty instruction, summer camps, tournaments and socials. We want to be a good place for our members to want to be. The ability to offer more of these experiences for our members and members of the future, means there is a need for more courts. Most of the time our courts run at maximum capacity. Members are not able to reserve a court because we simply do not have the capacity. Adding four additional tennis courts maintains and is consistent with the Club's vision and story that started almost 40 years ago.

Thank you for your consideration. Please let me know if you have any other questions.

Sincerely,

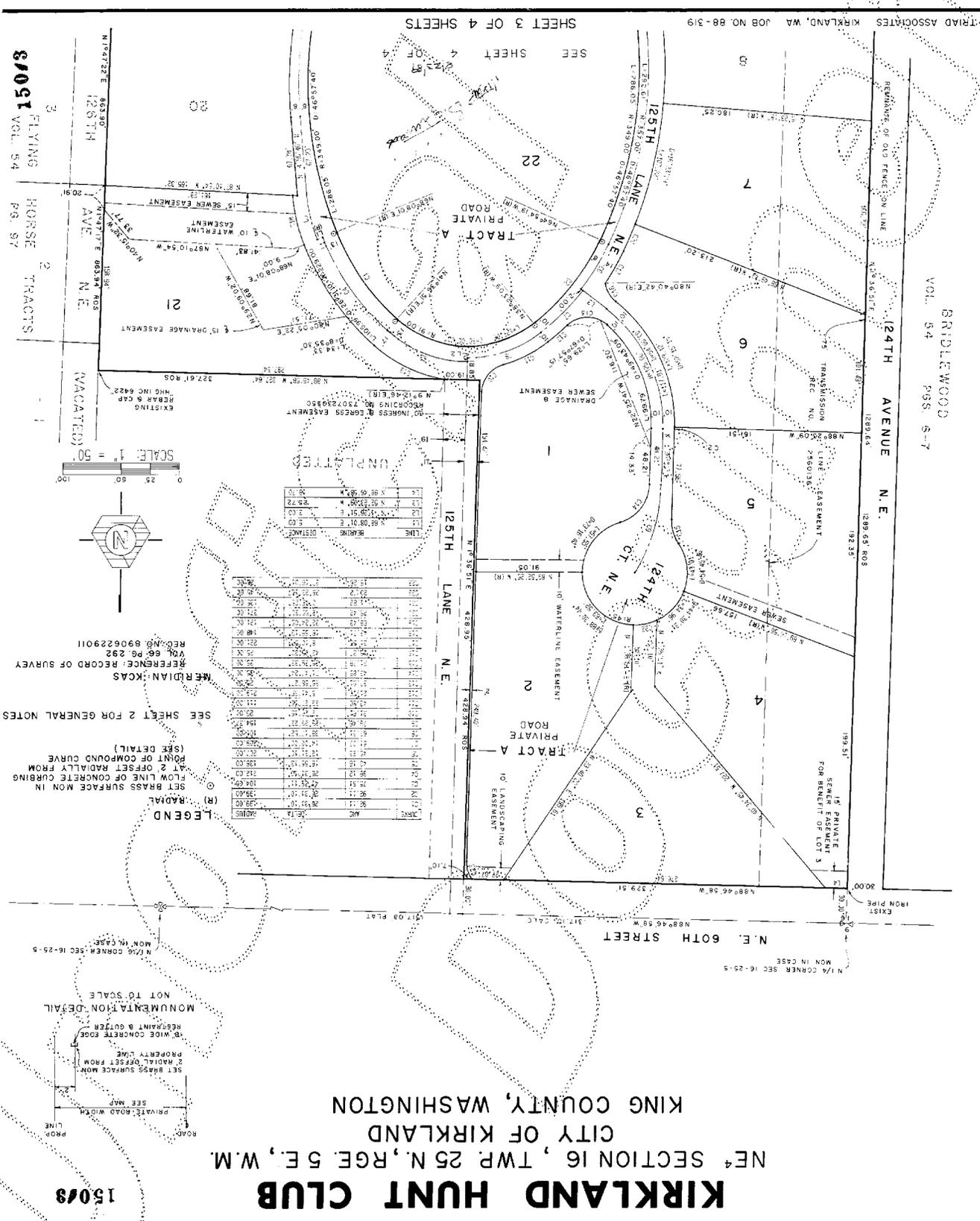
Julie Wheadon
Club Manager
Central Park Tennis Club

BRIDLEWOOD
VOL. 54 PGS. 5-7

124TH AVENUE N.E.

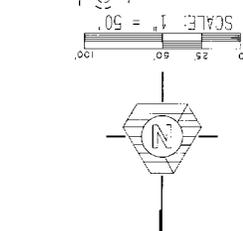
TRIAID ASSOCIATES KIRKLAND, WA JOB NO. 88-319

SHEET 3 OF 4 SHEETS



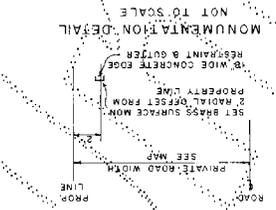
KIRKLAND HUNT CLUB
NE 4 SECTION 16, TWP. 25 N., RGE. 5 E., W.M.
CITY OF KIRKLAND
KING COUNTY, WASHINGTON

15019



LINE	BEARING	DISTANCE
1	N 88° 56' 58" W	38.10
2	N 88° 56' 58" W	38.10
3	N 88° 56' 58" W	38.10
4	N 88° 56' 58" W	38.10
5	N 88° 56' 58" W	38.10
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14	N 88° 56' 58" W	38.10
15	N 88° 56' 58" W	38.10
16	N 88° 56' 58" W	38.10
17	N 88° 56' 58" W	38.10
18	N 88° 56' 58" W	38.10
19	N 88° 56' 58" W	38.10
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39	N 88° 56' 58" W	38.10
40	N 88° 56' 58" W	38.10
41	N 88° 56' 58" W	38.10
42	N 88° 56' 58" W	38.10
43	N 88° 56' 58" W	38.10
44	N 88° 56' 58" W	38.10
45	N 88° 56' 58" W	38.10
46	N 88° 56' 58" W	38.10
47	N 88° 56' 58" W	38.10
48	N 88° 56' 58" W	38.10
49	N 88° 56' 58" W	38.10
50	N 88° 56' 58" W	38.10

LEGEND
(R) RADIAL
SET BASE SURFACE MON IN
FLOW LINE OF CONCRETE CURBING
AT 2' OFFSET RADIALLY FROM
POINT OF COMPOUND CURVE
(SEE DETAIL)
SEE SHEET 2 FOR GENERAL NOTES
MEDIJIAN-KCAS
REFERENCE: RECORD OF SURVEY
VOL. 66, PG. 232
REC. NO. 8906229011



SEE MAP
PRIVATE ROAD WIDTH
PROP. ROAD LINE

MON IN CASE
N 1/4 CORNER SEC 16-25-5
MON IN CASE
N 1/4 CORNER SEC 16-25-5

SEE SHEET 2 FOR GENERAL NOTES

KIRKLAND HUNT CLUB

36661

NE 1/4 SECTION 16, TWP. 25 N., RGE. 5 E., WM.
CITY OF KIRKLAND
KING COUNTY, WASHINGTON

APPROVALS

Approved by the Kirkland City Council this 10th day of September, 1988

Attest: [Signature]
City Clerk

Examined and approved this 22nd day of September, 1988
DEPARTMENT OF PUBLIC WORKS

[Signature]
City Engineer (Director)

CITY TREASURER CERTIFICATE

I hereby certify that there are no delinquent local improvement assessments and that all special assessments on any of the property herein are fully paid or that all such assessments are paid in full to the credit of the City of Kirkland, Washington, Department of Administration and Finance.

[Signature]
City Treasurer

FINANCE DIRECTOR CERTIFICATE

I hereby certify that all proposed taxes and special assessments are in compliance with the provisions of the City Charter and the State Constitution. I also certify that the proposed assessments are in compliance with the provisions of the City Charter and the State Constitution.

[Signature]
Finance Director

CITY OF KIRKLAND DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT

Examined, reviewed and approved by the City of Kirkland pursuant to the Provisions of Title 22 (Land Subdivision) Kirkland Municipal Code, this 22nd day of September, 1988

[Signature]
Director, Department of Planning and Community Development

DEPARTMENT OF ASSESSMENT

Examined and approved this 10th day of September, 1988

[Signature]
King County Assessor

RECORDER'S CERTIFICATE

Filed for record in the office of the City of Kirkland this 10th day of September, 1988 and recorded in Volume 122 of said public records of this office, Washington.

DIVISION OF RECORDS AND ELECTIONS

[Signature]
Manager

ACKNOWLEDGEMENTS, DECLARATION, DEDICATION AND RESTRICTIONS

(P.O.M.U. 88-12-88)

THE UNDERSIGNED HEREBY REPRESENTS that he, she or they, being the owner, lessor or lessee of the land hereby submitted, hereby declares that the land is being submitted to the public for use as a public purpose and that the use thereof for all public purposes not inconsistent with the public interest for public highway purposes, and the right to have all necessary streets, easements and rights upon the lots shown hereon, and all original, reasonable proceeds of sale, proceeds of easements, and proceeds resulting from the use of the public and the assessments, franchise charges or other fees for all public purposes as indicated herein, including but not limited to taxes, open space, utilities and easements unless such easements or rights are specifically identified on this plan as being dedicated or conveyed to a person or entity other than the public, shall be held in trust for the public.

[Signatures]
OWNER
[Signatures]
CITY OF KIRKLAND
[Signatures]
KING COUNTY
[Signatures]
KING COUNTY
[Signatures]
KING COUNTY
[Signatures]
KING COUNTY

EXEMPTION CERTIFICATE

This exemption certificate is based on an order of the subdivision of Section 16, Township 25 N., Range 5 E., which has been approved and approved and shown correctly on the map and that the provisions of the City Charter and the provisions of the State Constitution have been complied with the provisions of all applicable laws and regulations.

[Signature]
City Engineer

KIRKLAND HUNT CLUB

NE⁴ SECTION 16, TWP. 25 N., RGE. 5 E., W.M.
CITY OF KIRKLAND
KING COUNTY, WASHINGTON

15002



ACKNOWLEDGEMENTS

State of Washington
County of King
I certify that I know or have satisfactory evidence that ROBERT G. HOSKINS and CHARLOTTE M. HOSKINS, husband and wife, signed this instrument and acknowledged it to be their free and voluntary act for the uses and purposes mentioned in the instrument.
Dated 9/27/89

Signature of Marlene E. Moegenian
Notary Public
Title NOTARY PUBLIC
My Appointment expires 9/27/90

LEGAL DESCRIPTION

The west half of the northwest quarter of the northeast quarter of Section 16, Township 25 North, Range 5 East, W.M.; EXCEPT that portion of the north 458.94 feet lying east of the west 329.5 feet thereof; AND EXCEPT that portion thereof lying within N.E. 80th Street right of way; Situate in the City of Kirkland, County of King, State of Washington.

State of Washington
County of King

I certify that I know or have satisfactory evidence that LLOYD A. BURGESS and WANDA M. BURGESS, husband and wife, signed this instrument and acknowledged it to be their free and voluntary act for the uses and purposes mentioned in the instrument.
Dated 8/31/89

Signature of Notary A. Lee
Notary Public
Title Notary Public
My Appointment expires 1/10/93

RESTRICTIONS

No lot or portion of a lot in this plat shall be divided and sold or resold or ownership changed or transferred whereby the ownership of any portion of this plat shall be less than the area required for the use district in which located.

State of Washington
County of King

I certify that I know or have satisfactory evidence that James R. Anderson & Phillip A. Peterson signed this instrument, on oath stated that (he/she) was authorized to execute the instrument and acknowledged it as the President and Corporate Secretary of AMCO INDUSTRIAL LOAN SAVINGS BANK to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.
Dated November 3, 1989

Signature of Notary A. Smith
Notary Public
Title Notary Public
My Appointment expires 9/27/93

EASEMENT PROVISIONS

An easement is hereby reserved for and granted to PUGET SOUND POWER & LIGHT COMPANY, GENERAL TELEPHONE COMPANY OF THE NORTHWEST, ROSE HILL WATER DISTRICT, WASHINGTON NATURAL GAS COMPANY, CITY OF KIRKLAND, KIRKLAND HUNT CLUB HOMEOWNERS ASSOCIATION, and a Cable TV Company and their respective successors and assigns, under and upon the private roads and the exterior 10 feet parallel with and adjoining the road frontage of all lots and tracts, except for lot 20 which shall be 16 feet, in which to install, lay, construct, renew, operate and maintain underground conduits, cable, pipeline, and wires with the necessary facilities and other equipment for the purpose of service to this subdivision and other property with electric, telephone, cable T.V., service, sewer, storm drainage and water, together with the right to enter upon the easements at all times for the purposes stated.

An easement is hereby reserved for and granted to ROSE HILL WATER DISTRICT under and upon the easements shown on the plat and described herein as "waterline easement" to install, maintain, replace, repair and operate storm sewers and appurtenances for this subdivision and other property together with the right to enter upon said easements at all times for the purposes stated. Structures, trees and large shrubs shall not be constructed upon any area reserved for the easements provided herein.

An easement is hereby reserved for and granted to CITY OF KIRKLAND under and upon the easements shown on the plat and described herein as "sewer easement" to install, maintain, replace, repair and operate storm sewers and appurtenances for this subdivision and other property together with the right to enter upon said easements at all times for the purposes stated. Structures shall not be constructed upon any area reserved for these easements.

An easement is hereby reserved for and granted to CITY OF KIRKLAND under and upon the easements shown on the plat and described herein as "drainage easement" to install, maintain, replace, repair and operate storm sewers and appurtenances for this subdivision and other property together with the right to enter upon said easements at all times for the purposes stated. Structures shall not be constructed upon any area reserved for these easements.

State of Washington
County of King

I certify that I know or have satisfactory evidence that ALBERT OZIEL and LESA OZIEL, husband and wife, signed this instrument and acknowledged it to be their free and voluntary act for the uses and purposes mentioned in the instrument.
Dated 9-27-89

Signature of Notary Public
Notary Public
Title Notary Public
My Appointment expires 5-1-90

State of Washington
County of King

I certify that I know or have satisfactory evidence that MICHAEL WATERS and KATHIE WATERS, husband and wife, signed this instrument and acknowledged it to be their free and voluntary act for the uses and purposes mentioned in the instrument.
Dated 9/29/89

Signature of Notary Public
Notary Public
Title Notary Public
My Appointment expires 1/13/91

GENERAL NOTES

- DRAINAGE EASEMENT BUILDING SETBACK RESTRICTIONS: STRUCTURES, FILL OR OBSTRUCTIONS (INCLUDING BUT NOT LIMITED TO DECKS, PATIOS, OUTBUILDINGS OR OVERHANGS) SHALL NOT BE PERMITTED WITHIN DRAINAGE EASEMENTS. ADDITIONALLY, GRADING AND CONSTRUCTION OF FENCING SHALL NOT BE ALLOWED WITHIN THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT MAP UNLESS OTHERWISE APPROVED BY CITY OF KIRKLAND.
- THERE SHALL BE NO VEHICULAR INGRESS OR EGRESS DIRECTLY ONTO N.E. 60TH STREET FROM LOTS 2, 3 & 4.
- TRACT A HAS A PRIVATE INGRESS AND EGRESS TRACT, PRIVATE PEDESTRIAN AND EQUESTRIAN EASEMENT AND UTILITIES EASEMENT. THE ROAD, AS WELL AS THE PEDESTRIAN AND EQUESTRIAN TRAIL SYSTEM WITHIN TRACT A SHALL BE MAINTAINED BY THE KIRKLAND HUNT CLUB HOMEOWNERS ASSOCIATION.
- LOTS 21 & 22 SHALL CONTAIN AN EQUESTRIAN FACILITY AND SHALL NOT BE USED FOR RESIDENTIAL PURPOSES.
- THE PRIVATE DRIVEWAYS FOR LOTS 7 & 8 SHALL BE LOCATED NEAR THE SOUTHEAST CORNER OF EACH LOT.
- EACH LOT MAY CONTAIN NO MORE THAN TWO HORSES.
- EACH RESIDENTIAL LOT MUST CONTAIN AN AREA OF AT LEAST 14,500 S.F. CAPABLE OF BEING CONVERTED INTO A HORSE Paddock AREA AND CONFIGURED IN A CONTIGUOUS AND USEABLE MANNER TO ACCOMMODATE THE FEED STORAGE AND MANURE PILE FOR TWO HORSES. THIS AREA MUST BE EXCLUSIVE OF ANY STRUCTURES, INCLUDING STORAGE SHEDS, BARN, RESIDENTIAL UNITS AND CARPORTS. DIRECT ACCESS TO THIS AREA MUST BE AVAILABLE FOR TRUCKS TO DELIVER FEED AND PICK UP MANURE FROM AN ALLEY, AN EASEMENT OR AN ADJACENT RIGHT OF WAY ACROSS A SIDE YARD OF THE LOT.
- ON EACH LOT, NO OUTDOOR MANURE PILE MAY BE PLACED CLOSER THAN 65 FEET TO ANY ADJACENT RESIDENTIAL STRUCTURE.
- THE 10 FOOT LANDSCAPING & STORAGE EASEMENT ON LOT 2 SHALL BE FOR THE BENEFIT OF AND MAINTAINED BY THE KIRKLAND HUNT CLUB EQUESTRIAN CENTER.
- A 15 FOOT SANITARY SEWER EASEMENT WITHIN LOT 4 SHALL BE FOR THE BENEFIT OF AND MAINTAINED BY THE OWNER OF LOT 3.
- THE PEDESTRIAN AND EQUESTRIAN EASEMENT ACROSS LOT 15 IS A PRIVATE EASEMENT FOR THE MEMBERS OF THE KIRKLAND HUNT CLUB HOMEOWNERS ASSOCIATION. THE TRAIL WITHIN THIS EASEMENT SHALL BE MAINTAINED BY THE KIRKLAND HUNT CLUB HOMEOWNERS ASSOCIATION.
- EXCEPT AS OTHERWISE SHOWN ON THIS PLAT, THE DRAINAGE SYSTEM IS A PRIVATE SYSTEM AND SHALL BE MAINTAINED BY THE KIRKLAND HUNT CLUB HOMEOWNERS ASSOCIATION.
- LLOYD A. & WANDA M. BURGESS SUCCESSORS IN INTEREST TO AN EASEMENT RECORDED ON JULY 23, 1979 UNDER KING COUNTY RECORDING NUMBER 7307230550, GRANTS THE EASEMENT RIGHTS AND BENEFITS TO LOTS ONE THROUGH TWENTY-TWO OF THIS PLAT, OR ANY ASSOCIATION THEREOF, SHALL MAINTAIN THE IMPROVEMENTS MADE TO THE EASEMENT FOR THE PROVISION OF ACCESS TO THOSE LOTS.
- NO STRUCTURES AS DEFINED BY THE UNIFORM BUILDING CODE, WITH THE EXCEPTION OF FENCES SIX (6) FEET IN HEIGHT OR LESS, SHALL BE PERMITTED WITHIN SIXTY (60) FEET OF THE STRUCTURES COMPRISING THE EQUESTRIAN CENTER INCLUDING, BUT NOT LIMITED TO THE COVERED ARENA, LUNGING RING, STABLES, CARETAKER'S UNIT, OFFICE, AND TACK AND HAY STORAGE AREAS, WITH THE EXCEPTION OF THE EQUESTRIAN CENTER FRANGES SIX (6) FEET IN HEIGHT OR LESS.
- THE CRUSHED ROCK TRAIL AND ASSOCIATED SIGNAGE ON 124TH AVE. N.E. ALONG THE WEST BORDER OF THIS PLAT SHALL BE MAINTAINED BY THE KIRKLAND HUNT CLUB HOMEOWNERS ASSOCIATION.

State of Washington
County of King

I certify that I know or have satisfactory evidence that Thomas O. Evans signed this instrument, on oath stated that (he/she) was authorized to execute the instrument and acknowledged it as the President of BENEFICIAL MORTGAGE CO. OF WASHINGTON, a Delaware corporation, to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.
Dated 10/10/89

Signature of Notary Public
Notary Public
Title Notary Public
My Appointment expires 8-27-91

State of Washington
County of King

I certify that I know or have satisfactory evidence that M.L. Lalombe signed this instrument, on oath stated that (he/she) was authorized to execute the instrument and acknowledged it as the Senior manager of AMCO INDUSTRIAL LOAN COMPANY to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.
Dated 0929 89

Signature of Notary Public
Notary Public
Title Notary Public
My Appointment expires 10/10/92

State of Los Angeles
County of Los Angeles

I certify that I know or have satisfactory evidence that WILLIAM TERKIN and PATRICIA TERKIN, husband and wife, signed this instrument and acknowledged it to be their free and voluntary act for the uses and purposes mentioned in the instrument.
Dated October 5, 1989

Signature of Notary Public
Notary Public
Title Notary Public
My Appointment expires 2/1/92



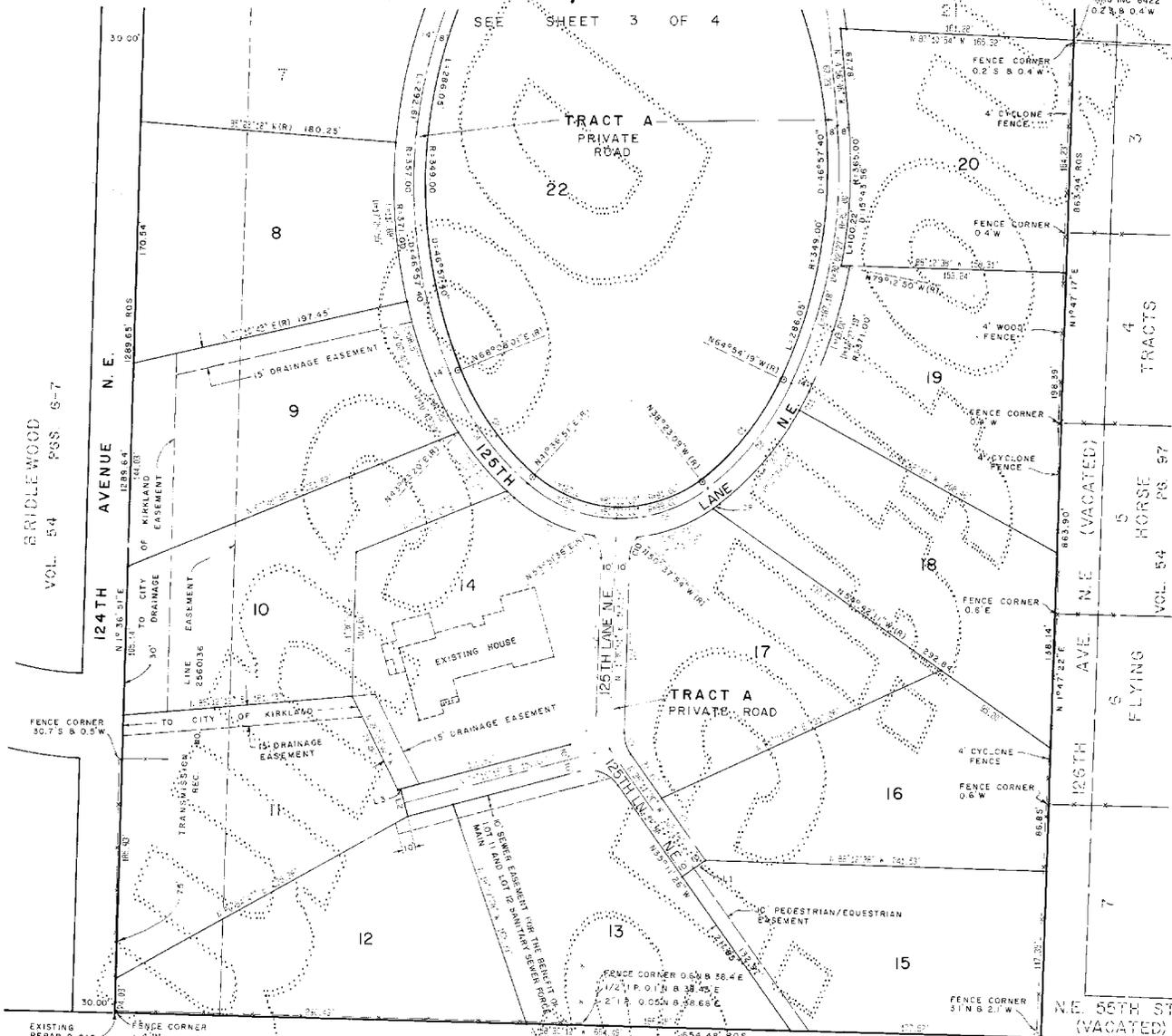
15002

KIRKLAND HUNT CLUB

15004

NE⁴ SECTION 16, TWP. 25 N., RGE. 5 E., W.M.
CITY OF KIRKLAND
KING COUNTY, WASHINGTON

SEE SHEET 3 OF 4



EXISTING REBAR & CAP
HHS INC 6422
0.2' x 0.4' W

CURVE	ARC	CHORD	CHORD BEARING	CHORD DISTANCE
101	90.00	127.32	S 00° 00' 00" E	127.32
102	90.00	127.32	S 00° 00' 00" E	127.32
103	90.00	127.32	S 00° 00' 00" E	127.32
104	90.00	127.32	S 00° 00' 00" E	127.32
105	90.00	127.32	S 00° 00' 00" E	127.32
106	90.00	127.32	S 00° 00' 00" E	127.32
107	90.00	127.32	S 00° 00' 00" E	127.32
108	90.00	127.32	S 00° 00' 00" E	127.32
109	90.00	127.32	S 00° 00' 00" E	127.32
110	90.00	127.32	S 00° 00' 00" E	127.32
111	90.00	127.32	S 00° 00' 00" E	127.32
112	90.00	127.32	S 00° 00' 00" E	127.32
113	90.00	127.32	S 00° 00' 00" E	127.32
114	90.00	127.32	S 00° 00' 00" E	127.32
115	90.00	127.32	S 00° 00' 00" E	127.32
116	90.00	127.32	S 00° 00' 00" E	127.32
117	90.00	127.32	S 00° 00' 00" E	127.32
118	90.00	127.32	S 00° 00' 00" E	127.32
119	90.00	127.32	S 00° 00' 00" E	127.32
120	90.00	127.32	S 00° 00' 00" E	127.32

UNPLATTED

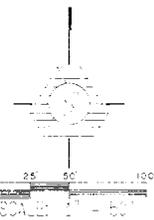
LINE	BEARING	DISTANCE
101	N 12° 46' 31" E	20.00
102	S 77° 45' 18" E	25.00
103	N 12° 46' 31" E	20.00
104	S 77° 45' 18" E	25.00

MERIDIAN: KCAS
REFERENCE RECORD OF SURVEY
VOL 66 88 239
REC NO 890622901

LEGEND

- (R) RADIAL
- ⊙ SET BRASS SURFACE MON IN FLOW LINE OF CONCRETE CURBING AT 2' OFFSET FROM POINT OF COMPOUND CURVE (SEE DETAIL ON SHEET 3)

SEE SHEET 2 FOR GENERAL NOTES



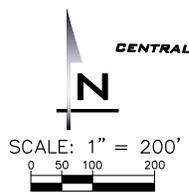
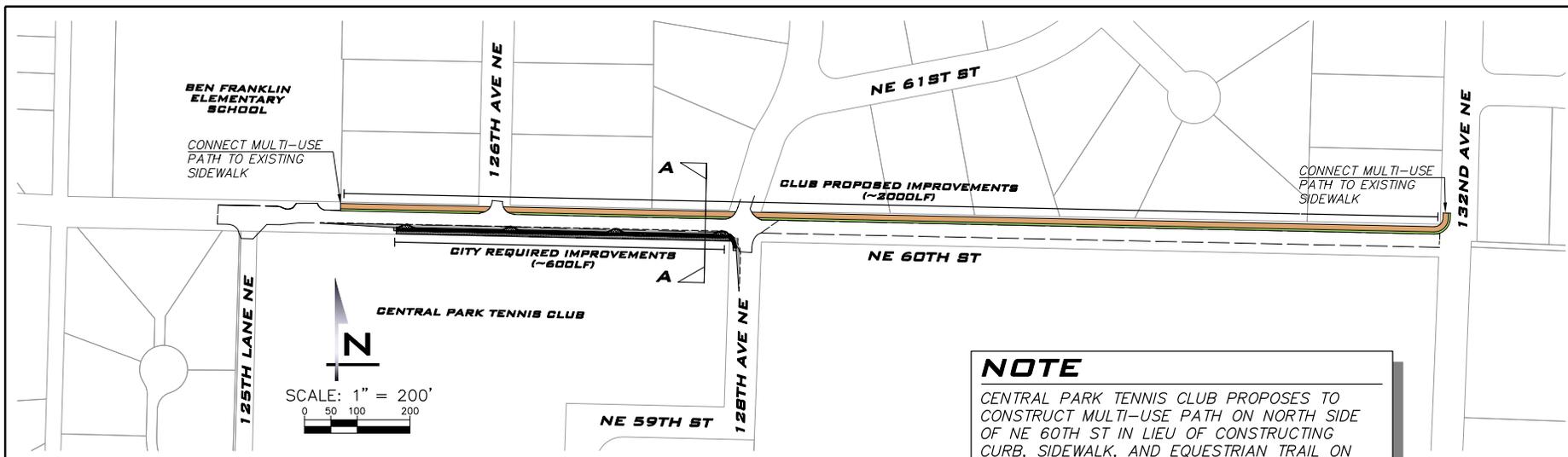
Handwritten signature and date
12/23/87

15004



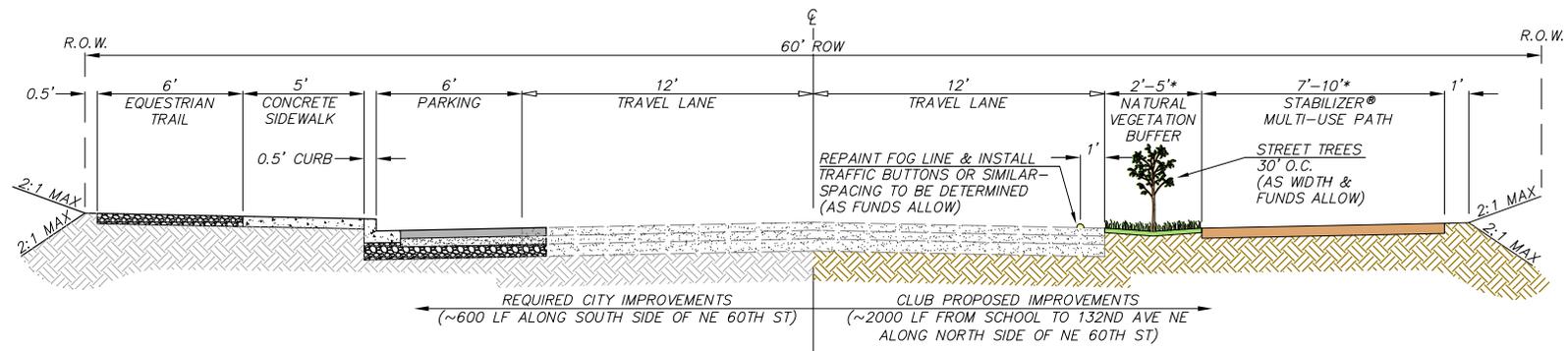
**NE 60TH ST PROPOSED IMPROVEMENT
CENTRAL PARK TENNIS CLUB**

© 2010 THE BLUELINE GROUP



PLAN VIEW
(SCALE: 1"=200')

NOTE
CENTRAL PARK TENNIS CLUB PROPOSES TO CONSTRUCT MULTI-USE PATH ON NORTH SIDE OF NE 60TH ST IN LIEU OF CONSTRUCTING CURB, SIDEWALK, AND EQUESTRIAN TRAIL ON SOUTH SIDE OF NE 60TH ST. MULTI-USE PATH WILL BEGIN AT BEN FRANKLIN ELEMENTARY SCHOOL AND EXTEND EAST AS FUNDS ALLOW.



SECTION A-A
(NOT TO SCALE)

NOTE
STANDARD SECTION TO INCLUDE 4.5' WIDE BUFFER & 10' WIDE MULTI-USE PATH. BUFFER & MULTI-USE PATH TO BE NARROWED TO MINIMUM DIMENSIONS SHOWN WHERE TOPOGRAPHY OR EXISTING CONDITION CONSTRAINTS DICTATE.

SCALE	AS NOTED
PROJECT MANAGER	BRIAN J. DARROW, PE
DESIGNED BY	BRIAN J. DARROW, PE
DRAWN BY	DOMINIQUE GABALDON
DATE	01/13/2011

JOB NUMBER:
08-117

FIGURE:
1 OF 1

Jan 13, 2011 - 3:39pm - User: dgabaldon
E:\Projects\08117.dwg\08117.dwg\walkways 2a.dwg



January 12, 2011

**Planning Department
City of Kirkland
123 5th Avenue,
Kirkland, WA 98033**

ATTN: SUSAN LAUINGER

RE: CENTRAL PARK TENNIS CLUB NEW TENNIS BUILDING (ZON1010-00022)

Susan,

When designing the new tennis building, Central Park Tennis Club set forth the following criteria:

1. The new building should be placed at a location that will give the most flexibility on the future development of the club.
2. Since all the members and guests must enter the property through the club house, walking distance from the club house to the new building should be minimized.
3. Project cost should be controlled. The last proposal was voted down by the members of the club and cost was one of the factors. The building should be place at a location that will keep the cost low and make the project feasible.
4. The club has experienced vandalism in the parking lot. One of the reasons may be the parked cars are hidden from direct view due to the existing dense, matured trees. The club will prefer a parking solution that will be leave the parked cars more open to public views.

We have looked at four alternative Site Plans before deciding on the one that we submitted to the City. The Site Plans were attached with this letter.

Site Plan A was rejected due to the great distance the new tennis building is from the club house. It also used up most of the vacant property that the club owns and does not leave much for future uses. The building will be sited at a location that is very likely to have fill dirt and that will drive up construction cost.

Site Plan B was rejected due to the fact that we have to build addition outdoor courts which drives up the construction cost. This layout also used up most of the vacant land that the club owns. The new outdoor courts are far from the club house.

Site Plan C satisfied most of the criteria. However, we were informed by the City in the presubmittal conference that the new tennis building has to observe 20' setback



from the interior property lines. This made the layout not feasible due to the fact that the tennis courts have to meet certain minimum dimensions.

Site Plan 1 was finally chosen. It left a major portion of the club's property open for future development as well as temporary parking during club tournaments. The club house is close to all three tennis buildings and the parking lot layout is compact and open to public views. There is no issue that will increase the construction cost of the project.

In summary, the proposed new tennis building is in the location that makes the best use of the land:

- It provides optimum parking lot security;
- A lower project cost that we believe members will support;
- Short walking distance from the club house to the new building; and
- Best preserves our vacant land for future development.

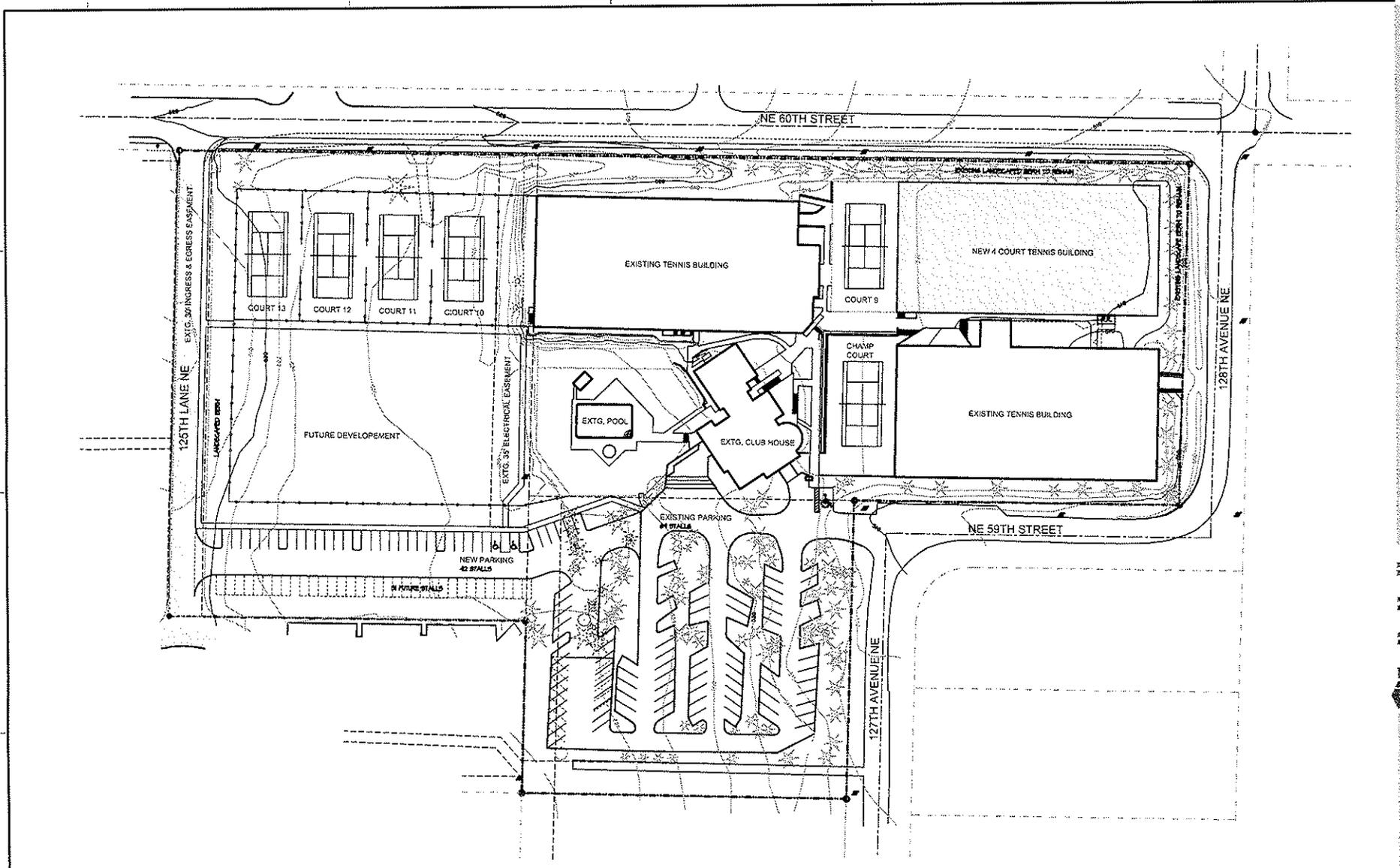
This documents our thought process used in deciding on the site plan. I hope this answers your questions.

Sincerely,

FREIHEIT & HO ARCHITECTS, INC., P. S.

A handwritten signature in blue ink, appearing to read 'Lawrence K. L. Ho', is written over the typed name.

Lawrence K. L. Ho, AIA
Vice President



SITE PLAN B
SCALE: 1" TO 40'



RFreinet & Co
architects

10000 15th Avenue NE, Suite 100, Redmond, WA 98073
 TEL: 206.881.1515 FAX: 206.881.1516
 WWW.FREINET.COM

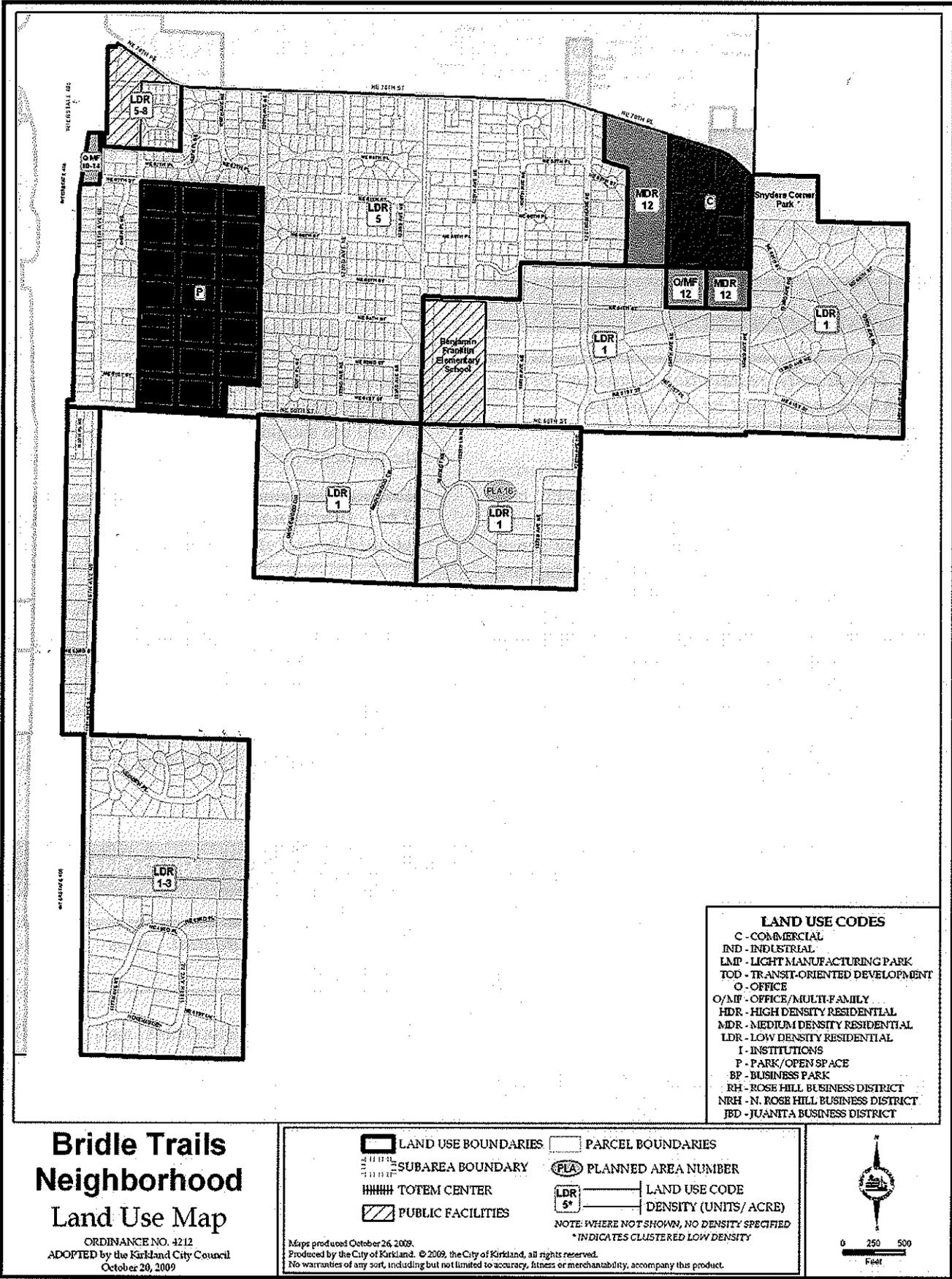


Figure BT-1: Bridle Trails Land Use

XV.C. BRIDLE TRAILS NEIGHBORHOOD

noise impacts. Residential developments of two dwelling units or more should be required to protect against noise through site, building, and landscaping design or construction techniques.

4. PLANNED AREA 16

Central Park Area is designated as a planned area because of its mix of equestrian, residential, and commercial recreation.

The area lying east of Bridlewood Circle and south of NE 60th Street has been designated as a "planned area." This area, commonly referred to as Central Park, contains a mix of commercial equestrian stables and an indoor arena, very low residential density development (one dwelling unit per acre) with associated equestrian stables and pastures, and a commercial tennis club facility with indoor and outdoor courts and a clubhouse. The Central Park Area has been designated as a planned area due to this mix of uses and the potential impacts of the uses on the surrounding residential development and the equestrian park. The planned area designation will permit the application of special development procedures and standards to allow for full development of the area while maintaining the equestrian character. However, future development in this area should not be permitted to adversely affect the unique equestrian and natural environment of the park and its uses by the general public.

Very-low-density development should be maintained, and commercial equestrian facilities should be permitted in the Central Park Area.

To be compatible with nearby residential density and the adjacent equestrian park permitted development should include very-low-density residential (one dwelling unit per acre) and equestrian facilities. The equestrian facilities could include private or commercial stables, pastures, arenas, and appropriate ancillary equestrian activities. Private and

commercial equestrian stables and arena buildings should be permitted if the following performance standards are met:

- (1) To the extent possible, commercial equestrian buildings are placed below existing grade, have large yard setbacks, and are screened by vegetated earthen berms.
- (2) Parking areas are aggregated and visually screened from adjoining single-family development.
- (3) Facilities are designed and maintained in a manner compatible with nearby residential uses.

Existing equestrian access to Bridle Trails State Park from this area should be preserved.

Slightly more than one dwelling unit per acre should be permitted in the planned area subject to standards.

To encourage a more creative development and still be in character with the surrounding very-low-density equestrian-oriented residential development, low-density residential uses (slightly more than one dwelling unit per acre, but no less than a minimum lot size of 26,000 square feet) should be permitted in the planned area if the following performance standards are met:

- (1) A master plan for a development of at least 16 contiguous acres is reviewed through a public hearing process.
- (2) Each residential lot contains an area of sufficient size and location for a horse paddock area, exclusive of any residential and equestrian structures.
- (3) Each residential lot is designed to allow truck access for equestrian services, such as hay delivery and manure disposal.
- (4) A public equestrian access trail with appropriate identification signs is provided

XV.C. BRIDLE TRAILS NEIGHBORHOOD

between NE 60th Street and the Bridle Trails State and King County Parks.

- (5) A coordinated vehicular and pedestrian system is provided for the property and the surrounding area.
- (6) An equestrian facility, available to the public, is provided on the property.

Expansion of the existing Central Park Tennis Club along NE 60th Street should be permitted.

The existing Central Park Tennis Club has been compatible with the surrounding residential and equestrian uses. The tennis club should be permitted to expand to the degree that the following performance standards are met:

- (1) Development is reviewed through a public hearing process.
- (2) To the extent possible, commercial buildings are placed below existing grade, have large setbacks, and are screened by vegetated earthen berms.
- (3) Large setbacks with a substantial vegetative buffer should be required along the south and west borders of the subject property.
- (4) Parking areas are aggregated and visually screened from adjoining single-family development.
- (5) Vehicular and pedestrian circulation to and from the property should be coordinated with other properties in the vicinity.

5. ECONOMIC ACTIVITIES

The existing Bridle Trails commercial center should be the primary commercial center for the Bridle Trails Neighborhood and should not be expanded.

The primary site of economic activity in the Bridle Trails Neighborhood is at the southwest corner of NE 70th Street and 132nd Avenue NE where there are over 12 acres of commercially-zoned land. Some of the 12 acres is undeveloped which allows for some commercial expansion. To mitigate impacts for the adjoining residential areas, future development should be subject to the following performance standards:

- (1) The scale of all buildings is in accord with the scale of adjoining residential development.
- (2) Large setbacks with a substantial vegetative buffer are provided adjoining the residential development.
- (3) Access is provided via NE 70th Street and 132nd Avenue NE and not via 130th Avenue NE and NE 65th Street.
- (4) Parking areas are aggregated, landscaped, and visually screened from adjoining residential development.
- (5) The number and size of signs are minimized to avoid a cluttered, intensive commercial appearance. A comprehensive sign program should be implemented.

Also, commercial uses in the Bridle Trails commercial center should be oriented to the needs of the neighborhood. More intensive commercial activities should locate in the Central Business District, on NE 85th Street, and in the Totem Lake commercial center.