

New General Regulation

Chapter 55 – TOTEM LAKE (TL) ZONES

55.05 User Guide – TL 1A zone.

The charts in KZC [55.09](#) contain the basic zoning regulations that apply in the TL 1A zone of the city. Use these charts by reading down the left hand column entitled Use. Once you locate the use in which you are interested, read across to find the regulations that apply to that use.

Section 55.07



Section 55.07 – GENERAL REGULATIONS

1. Refer to Chapter [1](#) KZC to determine what other provision of this Code may apply to the subject property.
2. All ground floor uses shall be a minimum of 13 feet in height. This regulation does not apply to parking garages or property with no frontage on NE 128th Street.
3. In addition to the height exceptions established by KZC [115.60](#), the following exceptions to height regulations in TL zones are established:
 - a. Decorative parapets may exceed the height limit by a maximum of four feet; provided, that the average height of the parapet around the perimeter of the structure shall not exceed two feet.
 - b. For structures with a peaked roof, the peak may extend eight feet above the height limit if the slope of the roof is equal to or greater than four feet vertical to 12 feet horizontal.
4. The minimum required front yard is 10 feet, unless otherwise prescribed in the use zone chart. Ground floor canopies and similar entry features may encroach into the front yard, provided the total horizontal dimension of such elements may not exceed 25 percent of the length of the structure. No parking, other than underground parking, may encroach into the required 10-foot front yard.
5. The ability to accommodate new development in the TL 1A zone is dependent upon the construction of two new streets: 119th Avenue NE, between NE 128th Street and NE 130th Place, and NE 130th Place, between 120th Avenue NE and Totem Lake Boulevard NE, as shown on Plate [34A](#). Consistent with and to the extent authorized by applicable statutes and court decisions, new development on properties across which these streets in whole or in part extend shall contribute to the creation of the streets as follows:
 - a. With all new development, the portions of these streets crossing the subject property shall be dedicated as public right-of-way consistent with Plate [34A](#); and
 - b. With all new development exceeding 30 feet in height, the streets shall be improved consistent with Plate [34A](#).
 Minor deviations in the location and width of the streets may be approved by the Public Works Director if the deviations will not negatively affect the functioning of the streets.
6. Properties located between TL 2 and NE 128th Street may be required to provide a pedestrian connection between TL 2 and NE 128th Street.

This amendment is related to the Parker rezone.

Click to Section 55.09 tab

7. Land located at the southeast corner of this zone (Parcel 692840-0025) is subject to the following:
a. Vehicular access for development over 30 feet in height must be provided from the north or west.
b. Maximum building height may not exceed 65 feet above average building elevation.

The Kirkland Zoning Code 4479, passed March 3, 2014
Disclaimer: The City Clerk's Office for ordinances passed above.

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS

Section 55.09	USE ↓ REGULATIONS ↓	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.010	Office Use	D.R., Chapter 142 KZC	None	10'	0'	0'	85% See Spec. Reg. 5.	30' to 160' above average building elevation. See Spec. Reg. 4.	B	D	See Chapter 105 KZC	<ol style="list-style-type: none"> 1. The minimum floor area ratio (FAR) for development on the subject property is 1.0, or 100 percent of lot size. 2. The maximum floor area ratio (FAR) for development over 65 feet in height on the subject property is 2.0, or 200 percent of lot size, except as provided in Special Regulation 3 below. When combined with residential use, the maximum FAR for this use is determined as follows: (% office use x 2) + (% residential use x 3) = FAR of each use allowed on the subject property. Maximum FAR is determined based on parcel size, prior to any road dedication required pursuant to General Regulation 5 for this zone. 3. On parcels where road dedication is required pursuant to General Regulation 5, the maximum floor area ratio (FAR) for development over 65 feet in height may be increased by an additional 0.2 FAR for each 10 percent or portion thereof of the subject property required to be dedicated. Where this use is combined with residential use, the maximum FAR for the residential use may be increased by an additional 0.3 of residential use for each 10 percent or portion thereof of the subject property required to be dedicated. 4. Building height may be increased as follows: <ol style="list-style-type: none"> a. Building height may exceed 30 feet above average building elevation if one of the following public improvements is provided: <ol style="list-style-type: none"> 1) Dedication and improvement of new streets pursuant to General Regulation 5; or 2) Where General Regulation 5 does not apply, the development of pedestrian-oriented elements that exceed the requirements of KZC 92.15 and Chapter 105 KZC. Examples include pedestrian walkways through the subject property, public plazas, public art and fountains. b. Building height may be increased up to 160 feet above average building elevation; provided, that: <ol style="list-style-type: none"> 1) Development on the subject property complies with 4(a) above. 2) Design of buildings meets guidelines for towers set forth in Design Guidelines (Chapter 142 KZC, and Chapter 3.30 KMC).

OFFICE USE:
 * Delete Special Regulation 2
 * Delete Special Regulation 3

SPECIAL REGULATIONS WILL BE RENUMBERED WHERE REGULATIONS ARE ADDED OR DELETED.

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS													
Section 55.09	USE ↓ REGULATIONS →	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)		
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure	
				Front	Side	Rear							
.020	Restaurant or Tavern	D.R., Chapter 142 KZC	Same as primary use. See Spec. Reg. 1.									1 per each 100 sq. ft. of gross floor area.	1. This use is only permitted as an accessory use to another permitted use within this zone. It may not be located in a separate structure from the primary use.
.030	Any Retail Establishment, other than those specifically listed in this zone, selling goods and providing services including banking and other financial services		1 per each 300 sq. ft. of gross floor area.	1. This use is only permitted as an accessory use to another permitted use within this zone. It may not be located in a separate structure from the primary use. 2. The location of drive-through facilities may not compromise pedestrian movement. 3. The following uses and activities are prohibited: a. The sale, service, and/or rental of motor vehicles, sailboats, motor boats, and recreational trailers; provided, that motorcycle sales, service, or rental is permitted if conducted indoors; b. Retail establishments providing storage services unless accessory to another permitted use; c. Storage and operation of heavy equipment except normal delivery vehicles associated with retail uses; d. Outdoor storage of bulk commodities, except in the following circumstances: 1) If the square footage of the storage area is less than 10 percent of the retail structure, 2) If the commodities represent growing stock in connection with horticultural nurseries, whether the stock is in open ground, pots, or containers.									
.040	Attached or Stacked Dwelling Units or Residential Suites	None	10'	0'	0'	85% See Spec. Reg. 6.	30' to 160' above average building elevation. See Spec. Reg. 5.	C	A	See KZC 105.25.	1. Chapter 115 KZC contains regulations regarding home occupations and other accessory uses, facilities, and activities associated with this use. 2. Residential development must provide a minimum density of 50 dwelling units per gross acre. 3. The maximum floor area ratio (FAR) for development over 65 feet in height on the subject property is 3.0, or 300 percent of lot size, except as provided in Special Regulation 4 below. When combined with office use, the maximum FAR for this use is determined as follows: (% office use x 2) + (% residential use x 3) = FAR of each use allowed on the subject property. Maximum FAR is determined based on parcel size, prior to any road dedication required pursuant to General Regulation 5 for this zone. ATTACHED OR STACKED DWELLING UNITS OR RESIDENTIAL SUITES * Delete Special Regulation 3 * Delete Special Regulation 4	REGULATIONS FOR THIS USE CONTINUED ON THE NEXT PAGE	

Section 55.09

Zone
TL 1A

USE ZONE CHART

Section 55.09		USE ↓ REGULATIONS →		DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS									
				Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
					Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage				
			Front	Side	Rear								
.040	Attached or Stacked Dwelling Units or Residential Suites (continued)										<p>REGULATIONS CONTINUED FROM PREVIOUS PAGE</p> <p>4. On parcels where road dedication is required pursuant to General Regulation 5, the maximum floor area ratio (FAR) for development over 65 feet in height may be increased by an additional 0.30 FAR for each 10 percent or portion thereof of the subject property required to be dedicated. Where this use is combined with office use, the maximum FAR for the office use may be increased by an additional 0.2 of office use for each 10 percent or portion thereof of the subject property required to be dedicated.</p> <p>5. Building height may be increased as follows:</p> <p>a. Building height may exceed 30 feet above average building elevation, if:</p> <ol style="list-style-type: none"> 1) One of the following public improvements is provided: <ol style="list-style-type: none"> a) Dedication and improvement of new streets pursuant to General Regulation 5; or b) Where General Regulation 5 does not apply, the development of pedestrian-oriented elements that exceed the requirements of KZC 92.15 and Chapter 105 KZC. Examples include pedestrian walkways through the subject property, public plazas, public art and fountains; and 2) Provides for at least 10 percent of the units in new residential developments of four units or greater as affordable housing units, as defined in Chapter 5 KZC. See Chapter 112 KZC for additional affordable housing requirements and incentives. <p>b. Building height may exceed 80 feet and be increased up to 160 feet above average building elevation, with the height increases to be based on the following considerations:</p> <ol style="list-style-type: none"> 1) Development on the subject property complies with 5(a) above. 2) Design of buildings meets guidelines for towers set forth in Design Guidelines (Chapter 142 KZC, and Chapter 3.30 KMC). 3) Floor plates may not exceed 10,000 square feet per floor, for the portion of the building above 80 feet in height, except on those parcels where road dedication is required pursuant to General Regulation 5. On these parcels, floor plates may not exceed 20,000 square feet on floors between 80 feet and 120 feet in height. Beyond 120 feet in height, floor plates may not exceed 10,000 square feet per floor. <p>REGULATIONS FOR THIS USE CONTINUED ON THE NEXT PAGE</p>		

Section 55.09

Zone
TL 1A

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 55.09	USE ⇓ REGULATIONS ⇓	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.070	Assisted Living Facility	D.R., Chapter 142 KZC	None	10'	0'	0'	85% See Spec. Reg. 5.	30' to 160' above average building elevation. See Spec. Reg. 4.	B	A	See KZC 105.25.	<ol style="list-style-type: none"> 1. Chapter 115 KZC contains regulations regarding home occupations and other accessory uses, facilities, and activities associated with this use. 2. The maximum floor area ratio (FAR) for development over 65 feet in height on the subject property is 3.0, or 300 percent of lot size, except as provided in Special Regulation 3 below. Maximum FAR is determined based on parcel size, prior to any road dedication required pursuant to General Regulation 5 for this zone. 3. On parcels where road dedication is required pursuant to General Regulation 5, the maximum floor area ratio (FAR) for development over 65 feet in height may be increased by an additional 0.30 FAR for each 10 percent or portion thereof, of the subject property required to be dedicated. 4. Building height may be increased as follows: <ol style="list-style-type: none"> a. Building height may exceed 30 feet above average building elevation, if: <ol style="list-style-type: none"> 1) One of the following public improvements is provided: <ol style="list-style-type: none"> a) Dedication and improvement of new streets pursuant to General Regulation 5; or b) Where General Regulation 5 does not apply, the development of pedestrian-oriented elements that exceed the requirements of KZC 92.15 and Chapter 105 KZC. Examples include pedestrian walkways through the subject property, public plazas, public art and fountains; and 2) Provides for at least 10 percent of the units in new residential developments of four units or greater as affordable housing units, as defined in Chapter 5 KZC. See Chapter 112 KZC for additional affordable housing requirements and incentives. b. Building height may exceed 80 feet and be increased up to 160 feet above average building elevation, with the height increases to be based on the following considerations: <ol style="list-style-type: none"> 1) Development on the subject property complies with 4(a) above. 2) Design of buildings meets guidelines for towers set forth in Design Guidelines (Chapter 142 KZC, and Chapter 3.30 KMC).

ASSISTED LIVING FACILITY
 * Delete Special Regulation 2
 * Delete Special Regulation 3

REGULATIONS FOR THIS USE CONTINUED ON THE NEXT PAGE

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS

Section 55.09	USE ↓ REGULATIONS ↓	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.070	Assisted Living Facility (continued)									3) Floor plates may not exceed 10,000 square feet per floor, for the portion of the building above 80 feet in height, except on those parcels where road dedication is required pursuant to General Regulation 5. On these parcels, floor plates may not exceed 20,000 square feet on floors between 80 feet and 120 feet in height. Beyond 120 feet in height, floor plates may not exceed 10,000 square feet per floor. 4) Portions of structures exceeding 80 feet in height must be separated by at least 60 feet, both on the subject property and from taller building elements on adjacent properties. 5. Increases in lot coverage may be considered if: a. Land dedication on the subject property provided pursuant to General Regulation 5 limits area available for development on the property; and/or b. Other techniques used to provide open space result in superior landscaping, such as the use of gardens on lower portions of structures or on rooftops, the provision of visual and pedestrian access to public garden areas, or other approaches that provide for useable green space.		
.080	Convalescent Center or Nursing Home	D.R., Chapter 142 KZC	None	10'	0'	0'	85% See Spec. Reg. 4.	30' to 160' above average building elevation. See Spec. Reg. 3.	C	B	1 for each bed.	1. The maximum floor area ratio (FAR) for development over 65 feet in height on the subject property is 3.0, or 300 percent of lot size, except as provided in Special Regulation 2 below. Maximum FAR is determined based on parcel size, prior to any road dedication required pursuant to General Regulation 5 for this zone. 2. On parcels where road dedication is required pursuant to General Regulation 5, the maximum floor area ratio (FAR) for development over 65 feet in height may be increased by an additional 0.30 FAR for each 10 percent or portion thereof of the subject property required to be dedicated. REGULATIONS FOR THIS USE CONTINUED ON THE NEXT PAGE

CONVALESCENT CENTER OR NURSING HOME
 * Delete Special Regulation 1
 * Delete Special Regulation 2

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 55.15	USE ↓ REGULATIONS ↑	Required Review Process	MINIMUMS			MAXIMUMS		Landscaping Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.010	Office Use	D.R., Chapter 142 KZC	None	10' See Spec. Reg. 4.	0'	0'	85% See Spec. Reg. 5.	30' to 45' above average building elevation. See Spec. Reg. 1.	C	D	<p>If a medical, dental, or veterinary office, then 1 per each 200 sq. ft. of gross floor area, otherwise 1 per 300 gross floor area.</p> <ol style="list-style-type: none"> 1. Building height may exceed 30 feet up to 45 feet above average building elevation, if one of the following public improvements is provided: <ol style="list-style-type: none"> a. Dedication and improvement of new streets pursuant to General Regulation 4; or b. Where General Regulation 4 does not apply, the development of pedestrian-oriented elements that exceed the requirements of KZC 92.15 and Chapter 105 KZC. Examples include pedestrian walkways through the subject property, public plazas, public art and fountains. 2. Ancillary assembly and manufacture of goods on the premises of this use are permitted only if: <ol style="list-style-type: none"> a. The assembled or manufactured goods are subordinate to and are dependent upon this use. b. The outward appearance and impacts of this use with ancillary assembly or manufacturing must be no different from other office uses. 3. The following regulations apply to veterinary offices only: <ol style="list-style-type: none"> a. May only treat small animals on the subject property. b. Outside runs and other outside facilities for the animals are not permitted. c. Site must be designed so noise from this use is not audible off the subject property. A certification to this effect, signed by an acoustical engineer, must be submitted with the development permit application. d. A veterinary office is not permitted if the subject property contains dwelling units. 4. Twenty-foot yard required where properties abut NE 132nd Street. 5. Increases in lot coverage may be considered if: <ol style="list-style-type: none"> a. Land dedication on the subject property provided pursuant to General Regulation 4 limits area available for development on the property; and/or b. Other techniques used to provide open space result in superior landscaping, such as the use of gardens on lower portions of structures or on rooftops, the provision of visual and pedestrian access to public garden areas, or other approaches that provide for useable green space. 	

SPECIAL REGULATIONS WILL BE RENUMBERED WHERE REGULATIONS ARE ADDED OR DELETED.

Section 55.15

Zone
TL 1B

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS

Section 55.15	USE ↓ REGULATIONS ↑	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.020	Development Containing Both Office Use and Attached or Stacked Dwelling Units or Residential Suites	D.R., Chapter 142 KZC	None	10' See Spec. Reg. 3.	0'	0'	85% See Spec. Reg. 5.	30' to 160' above average building elevation. See Spec. Reg. 4.	C	D	See Chapter 105 KZC.	<p>1. The maximum floor area ratio (FAR) for this use is determined as follows: (% office use x 2) + (% residential use x 3) = FAR of each use allowed on the subject property. The maximum floor area ratio (FAR) for office use is 1.0.</p> <p>2. On parcels where land dedication is required pursuant to General Regulation 4, the maximum floor area ratio (FAR) may be increased by an additional 0.3 of residential use for each 10 percent or portion thereof of the subject property required to be dedicated.</p> <p>3. Twenty-foot yard required where properties abut NE 132nd Street.</p> <p>4. Building height is regulated as follows:</p> <p>a. Building height may exceed 30 feet above average building elevation, if:</p> <ol style="list-style-type: none"> 1) One of the following public improvements is provided: <ol style="list-style-type: none"> a) Dedication and improvement of new streets pursuant to General Regulation 4; or b) Where General Regulation 4 does not apply, the development of pedestrian-oriented elements that exceed the requirements of KZC 92.15 and Chapter 105 KZC. Examples include pedestrian walkways through the subject property, public plazas, public art and fountains; and 2) Provides for at least 10 percent of the units in new residential developments of four units or greater as affordable housing units, as defined in Chapter 5 KZC. See Chapter 112 KZC for additional affordable housing requirements and incentives. <p>b. Building height may be increased up to 160 feet above average building elevation; provided, that:</p> <ol style="list-style-type: none"> 1) Development on the subject property complies with 4(a) above, 2) Design of buildings meets guidelines for towers set forth in Design Guidelines (Chapter 142 KZC, and Chapter 3.30 KMC). 3) Floor plates may not exceed 10,000 square feet per floor, for the portion of the building above 80 feet in height. 4) Methods for mitigating any significant shadowing and lighting impacts of the increased building height on the residential areas to the north are proposed. 5) Taller elements of buildings would be stepped back from the perimeter of TL 1B boundaries, away from adjacent residential zones.

DEVELOPMENT CONTAINING BOTH OFFICE USE AND ATTACHED OR STACKED DWELLING UNITS OR RESIDENTIAL SUITES:
 * Delete Special Regulations 1 and 2

REGULATIONS FOR THIS USE CONTINUED ON THE NEXT PAGE

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS

Section 55.15	USE ↓ REGULATIONS ↘	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.050	Attached or Stacked Dwelling Units or Residential Suites	D.R., Chapter 142 KZC	None	10' See Spec. Reg. 5.	0'	0'	85% See Spec. Reg. 7.	30' to 160' above average building elevation. See Spec. Reg. 6.	C	A	See KZC 105.25.	<ol style="list-style-type: none"> 1. Chapter 115 KZC contains regulations regarding home occupations and other accessory uses, facilities, and activities associated with this use. 2. Residential development must provide a minimum density of 50 dwelling units per gross acre. 3. The maximum floor area ratio (F.A.R.) for development over 65 feet in height on the subject property is 3.0, or 300 percent of lot size. Maximum F.A.R. is determined based on parcel size, prior to any road dedication required pursuant to General Regulation 4 for this zone. 4. On parcels where road dedication is required pursuant to General Regulation 4, the maximum floor area ratio (F.A.R.) may be increased by an additional 0.30 for each 10 percent or portion thereof of the subject property required to be dedicated. 5. Twenty-foot yard required where properties abut NE 132nd Street. 6. Building height is regulated as follows: <ol style="list-style-type: none"> a. Building height may exceed 30 feet above average building elevation, if: <ol style="list-style-type: none"> 1) One of the following public improvements is provided: <ol style="list-style-type: none"> a) Dedication and improvement of new streets pursuant to General Regulation 4; or b) Where General Regulation 4 does not apply, the development of pedestrian-oriented elements that exceed the requirements of KZC 92.15 and Chapter 105 KZC. Examples include pedestrian walkways through the subject property, public plazas, public art and fountains; and 2) Provides for at least 10 percent of the units in new residential developments of four units or greater as affordable housing units, as defined in Chapter 5 KZC. See Chapter 112 KZC for additional affordable housing requirements and incentives. b. Building height may be increased up to 160 feet above average building elevation; provided, that: <ol style="list-style-type: none"> 1) Development on the subject property complies with 6(a) above. 2) Design of buildings meets guidelines for towers set forth in Design Guidelines (Chapter 142 KZC, and Chapter 3.30 KMC). 3) Floor plates may not exceed 10,000 square feet per floor, for the portion of the building above 80 feet in height. 4) Methods for mitigating any significant shadowing and lighting impacts of the increased building height on the residential areas to the north are proposed.

ATTACHED OR STACKED DWELLING UNITS OR RESIDENTIAL SUITES:

 * Delete Special Regulations 3 and 4.

REGULATIONS FOR THIS USE CONTINUED ON THE NEXT PAGE

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS

Section 55.15	USE ↓ REGULATIONS ↓	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.070	School, Day-Care Center or Mini-School or Mini-Day-Care (continued)									REGULATIONS CONTINUED FROM PREVIOUS PAGE 4. Hours of operation may be limited by the City to reduce impacts on nearby residential uses. 5. An on-site passenger loading area may be required depending on the number of attendees and the extent of the abutting right-of-way improvements. 6. When included as an accessory use within the structure of a primary use with a taller height limit, the height limit for the primary use applies. 7. Increases in lot coverage may be considered if: a. Land dedication on the subject property provided pursuant to General Regulation 4 limits area available for development on the property; and/or b. Other techniques used to provide open space result in superior landscaping, such as the use of gardens on lower portions of structures or on rooftops, the provision of visual and pedestrian access to public garden areas, or other approaches that provide for useable green space.		
.080	Assisted Living Facility	D.R., Chapter 142 KZC	None	10' See Spec. Reg. 4.	0'	0'	85% See Spec. Reg. 6.	30' to 160' above average building elevation. See Spec. Reg. 5.	C	A	1 per assisted living unit.	1. Chapter 115 KZC contains regulations regarding home occupations and other accessory uses, facilities, and activities associated with this use. 2. The maximum floor area ratio (FAR) for development over 65 feet in height on the subject property is 3.0, or 300 percent of lot size. Maximum FAR is determined based on parcel size, prior to any road dedication required pursuant to General Regulation 4 for this zone. 3. On parcels where road dedication is required pursuant to General Regulation 4, the maximum floor area ratio (FAR) may be increased by an additional 0.30 for each 10 percent or portion thereof, of the subject property required to be dedicated. 4. Twenty-foot yard required where properties abut NE 132nd Street. 5. Building height is regulated as follows: a. Building height may exceed 30 feet above average building elevation, if: 1) One of the following public improvements is provided: a) Dedication and improvement of new streets pursuant to General Regulation 4; or REGULATIONS FOR THIS USE CONTINUED ON THE NEXT PAGE

**ASSISTED LIVING FACILITY:
* Delete Special Regulations 2 and 3**

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS

Section 55.15	USE ↓ REGULATIONS ↑	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.090	Convalescent Center or Nursing Home	D.R., Chapter 142 KZC	None	10' See Spec. Reg. 1.	0'	0'	80%	30' to 160' above average building elevation. See Spec. Reg. 4.	C	B	1 for each bed.	1. Twenty-foot yard required where properties abut NE 132nd Street. 2. The maximum floor area ratio (FAR) for development over 65 feet in height on the subject property is 3.0, or 300 percent of lot size. Maximum FAR is determined based on parcel size, prior to any road dedication required pursuant to General Regulation 4 for this zone. 3. On parcels where road dedication is required pursuant to General Regulation 4, the maximum floor area ratio (FAR) may be increased by an additional 0.30 for each 10 percent or portion thereof of the subject property required to be dedicated. 4. Building height is regulated as follows: a. Building height may exceed 30 feet above average building elevation, if one of the following public improvements is provided: 1) Dedication and improvement of new streets pursuant to General Regulation 4; or 2) Where General Regulation 4 does not apply, the development of pedestrian-oriented elements that exceed the requirements of KZC 92.15 and Chapter 105 KZC. Examples include pedestrian walkways through the subject property, public plazas, public art and fountains; and b. Building height may be increased up to 160 feet above average building elevation; provided, that: 1) Development on the subject property complies with 4(a) above. 2) Design of buildings meets guidelines for towers set forth in Design Guidelines (Chapter 142 KZC, and Chapter 3.30 KMC). 3) Floor plates may not exceed 10,000 square feet per floor, for the portion of the building above 80 feet in height. 4) Methods for mitigating any significant shadowing and lighting impacts of the increased building height on the residential areas to the north are proposed. 5) Taller elements of buildings would be stepped back from the perimeter of TL 1B boundaries, away from adjacent residential zones. 6) Portions of structures exceeding 80 feet in height must be separated by at least 60 feet, both on the subject property and from taller building elements on adjacent properties.

CONVALESCENT CENTER OR NURSING HOME:
 * Delete Special Regulations 2 and 3.

REGULATIONS FOR THIS USE CONTINUED ON THE NEXT PAGE



DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS

Section 55.33	USE ↓ REGULATIONS →	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.010	Vehicle Service Station	D.R., Chapter 142 KZC	22,500 sq. ft.	40'	15' on each side	15'	80%	30' average building elevation.	A	E	See KZC 105.25.	<ol style="list-style-type: none"> May not be more than two vehicle service stations at any intersection. Gas pump islands may extend 20 feet into the front yard. Canopies or covers over gas pump islands may not be closer than 10 feet to any property line. Outdoor parking and service areas may not be closer than 10 feet to any property line. See KZC 115.105, Outdoor Use, Activity and Storage, for further regulations.
.020	A Retail Establishment providing storage services. See also Spec. Regs. 1 and 2.		None	10'	0'	0'		65' above average building elevation.				<ol style="list-style-type: none"> May include accessory living facilities for resident security manager. This use not permitted if any portion of the subject property is located within 150 feet of the Cross Kirkland Corridor.
.030	A Retail Establishment providing vehicle or boat sales or vehicle or boat service or repair. See Spec. Reg. 2.											<ol style="list-style-type: none"> Outdoor vehicle or boat parking or storage areas must be buffered as required for a parking area in KZC 95.45. See KZC 115.105, Outdoor Use, Activity and Storage, for additional regulations. Vehicle and boat rental and used vehicles or boat sales are allowed as part of this use.
.040	Restaurant or Tavern										1 per each 100 sq. ft. of gross floor area.	<ol style="list-style-type: none"> For restaurants with drive-in or drive-through facilities: <ol style="list-style-type: none"> One outdoor waste receptacle shall be provided for every eight parking stalls. Access for drive-through facilities shall be approved by the Public Works Department. Drive-through facilities shall be designed so that vehicles will not block traffic in the right-of-way while waiting in line to be served. Access for drive-through facilities shall not be located between the building and the Cross Kirkland Corridor.
.050	Any Retail Establishment, other than those specifically listed in this zone, selling goods, or providing services including banking and related financial services										1 per each 300 sq. ft. of gross floor area.	<ol style="list-style-type: none"> Ancillary assembly and manufacture of goods on the premises of this use are permitted only if: <ol style="list-style-type: none"> The assembled or manufactured goods are directly related to and are dependent upon this use, and are available for purchase and removal from the premises. The outward appearance and impacts of this use with ancillary assembly or manufacturing activities must be no different from other retail uses.

1. Delete Use: Retail establishment providing storage services and Special Regulations for this use.
2. Add new Special Regulation to general Retail use listing to allow storage use when accessory to another use.

2. Retail establishments providing storage services are not permitted in this zone unless accessory to another permitted use.

(Revised 12/14)

Section 55.39

Zone
TL 5

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 55.39	USE ↓ REGULATIONS ↓	Required Review Process	MINIMUMS				MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage	Height of Structure				
				Front	Side	Rear						
.010	Master Plan Development See Spec. Reg. 1.	D.R., Chapter 142 KZC.	2 acres	10'	0'	0'	80%	None. See Spec. Reg. 6.	See Spec. Reg. 1(h).	See Spec. Reg. 4.	See KZC 105.25.	<ol style="list-style-type: none"> 1. A Master Plan for development of the entire subject property must be approved. The Master Plan must establish a circulation system for vehicles and pedestrians that integrates with existing and planned circulation throughout the TL 5 zone. The plan must be pedestrian-oriented and incorporate the following design principles: <ol style="list-style-type: none"> a. Siting of buildings oriented to the pedestrian network; isolated building pads should be minimized. b. Storefront orientation to pedestrian and vehicular circulation routes. c. Ground floor spaces designed in a configuration which encourages pedestrian activity and visual interest. Uses other than retail, restaurants, and taverns may be permitted on the ground floor of structures only if the use and location do not compromise the desired pedestrian orientation and character of the development. d. Pedestrian connections internal to the site that provide convenient pedestrian mobility and contribute to pedestrian activity and visual interest. e. Shared vehicular connections to 124th Avenue NE. f. Clearly identifiable building and pedestrian access points and entryways. g. Provision of useable public spaces, plazas or pocket parks, and public amenities, such as art, sculpture, fountains or benches. h. Use of landscaping to emphasize entries into buildings and pedestrian areas, to enhance public spaces, and to screen blank walls and service areas. Landscaping should also be provided in plazas, along pedestrian circulation routes, and in parking areas. i. Placement of parking areas behind buildings located on pedestrian-oriented streets and pathways. j. Placement of loading and service areas away from 124th Avenue NE and pedestrian areas. k. Location of drive-through facilities to not compromise the pedestrian orientation of the development. <p style="text-align: center;">REGULATIONS CONTINUED ON NEXT PAGE</p>

SEE REVISIONS ON SUBSEQUENT PAGES

Section 55.39		DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS									
		Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage				
USE ↓	REGULATIONS ↓		Front	Side	Rear						
.010	Master Plan Development (Continued)										<p>REGULATIONS CONTINUED FROM PREVIOUS PAGE</p> <ol style="list-style-type: none"> 2. Development must include commercial use on the ground floor with gross floor area equal to or greater than 20 percent of the area of the subject property. Minor floor area reductions may be approved by the Planning Official if the applicant demonstrates that meeting the requirement is not feasible given the configuration of existing or proposed improvements and that the commercial space is configured to maximize its visibility and pedestrian orientation. 3. The following uses are not permitted within a Master Plan: <ol style="list-style-type: none"> a. Retail establishments providing storage services unless accessory to another permitted use; b. Outdoor storage of bulk commodities, except in the following circumstances: <ol style="list-style-type: none"> i. If the outdoor storage involves vehicles for sale associated with a vehicle dealership; ii. If the square footage of the storage area is less than 20 percent of the total square footage of the use it is serving; or c. Storage and operation of heavy equipment except normal delivery vehicles associated with retail uses. 4. Signs for a development approved under this provision must be proposed within a Master Sign Plan application (KZC 100.80) for all signs within the project. 5. At least 10 percent of the units provided in new residential developments of four units or greater shall be affordable housing units, as defined in Chapter 5 KZC. See Chapter 112 KZC for additional affordable housing requirements and incentives. 6. Building height may exceed the limits set forth in General Regulation 3; provided, that development on the property within the Master Plan does not exceed: <ol style="list-style-type: none"> a. The maximum floor area ratio (FAR) of 2.0, or 200 percent of lot size for office buildings over 65 feet in height. b. The maximum floor area ratio (FAR) of 2.5, or 250 percent of lot size for residential buildings over 65 feet in height. Land dedicated for roads pursuant to General Regulation 2 may be included in the land used to calculate FAR. 7. Parcels may be added to a previously approved Master Plan, if the applicable criteria set forth in the notice of approval for the approved Master Plan are met.

MASTER PLAN DEVELOPMENT:
 * Delete Special Regulation 6 (FAR).



SPECIAL REGULATIONS WILL BE RENUMBERED WHERE REGULATIONS ARE ADDED OR DELETED.

Section 55.39

Zone
TL 5

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 55.39	USE ↓ REGULATIONS ↓	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.020	Vehicle Service Station	D.R., Chapter 142 KZC.	22,500 sq. ft.	40'	15' on each side	15'	80%	35' above average building elevation.	A	E	See KZC 105.25.	1. May not be more than two vehicle service stations at any intersection. 2. Gas pump islands may extend 20 feet into the front yard. Canopies or covers over gas pump islands may not be closer than 10 feet to any property line. Outdoor parking and service areas may not be closer than 10 feet to any property line. See KZC 115.105, Outdoor Use, Activity and Storage, for further regulations.
.030	A Retail Establishment providing vehicle or boat sales or vehicle or boat service or repair. See Spec. Reg. 1.	None	10'	0'	0'	See Spec. Reg. 2.						C
.040	Restaurant or Tavern						1. For restaurants with drive-in or drive-through facilities: a. One outdoor waste receptacle shall be provided for every eight parking stalls. b. Access for drive-through facilities shall be approved by the Public Works Department. Drive-through facilities shall be designed so that vehicles will not block traffic in the right-of-way while waiting in line to be served.					
.050	A Retail Establishment providing storage services. See also Spec. Regs. 1 and 2.										See KZC 105.25.	1. May include accessory living facilities for resident security manager. 2. This use not permitted if any portion of the subject property is located within 150 feet of the Cross Kirkland Corridor.

Delete Use: Retail establishment providing storage services and Special Regulations for this use.

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 55.39	USE ↓ REGULATIONS →	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.060	Any Retail Establishment other than those specifically listed in this zone, selling goods, or providing services including banking and related financial services	D.R., Chapter 142 KZC.	None	10'	0'	0'	80%	35' above average building elevation.	C	E	1 per each 300 sq. ft. of gross floor area.	1. Ancillary assembly and manufacture of goods on the premises of this use are permitted only if: a. The assembled or manufactured goods are directly related to and are dependent upon this use, and are available for purchase and removal from the premises. b. The outward appearance and impacts of this use with ancillary assembly or manufacturing activities must be no different from
.070	Office Use								D	If a medical, dental or veterinary office, then 1 per each 200 sq. ft. of gross floor area. Otherwise, 1 per each 300 sq. ft. of gross floor area.	2. Retail establishments providing storage services are not permitted in this zone unless accessory to another permitted use. c. Site must be designed so that noise from this use will not be audible off the subject property. A certification to this effect, signed by an acoustical engineer, must be submitted with the development permit application.	
.080	Hotel or Motel								E	1 per each room. See also Spec. Reg. 2.	1. May include ancillary meeting and convention facilities. 2. Excludes parking requirements for ancillary meeting and convention facilities. Additional parking requirement for these ancillary uses shall be determined on a case-by-case basis.	
.090	Entertainment, Cultural and/or Recreational Facility									See KZC 105.25.		
.100	Private Lodge or Club								B	1 per each 300 sq. ft. of gross floor area.		

Add new Special Regulation to general Retail use listing to allow storage use when accessory to another use.

2. Retail establishments providing storage services are not permitted in this zone unless accessory to another permitted use.

Section 55.45

Zone
TL 6A,
6B

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS

Section 55.45	USE ↓ REGULATIONS ↑	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.010	Vehicle Service Station	D.R., Chapter 142 KZC. See Gen. Reg. 6.	22,500 sq. ft.	40'	15' on each side	15'	80%	35' above average building elevation.	A	E	See KZC 105.25.	1. May not be more than two vehicle service stations at any intersection. 2. Gas pump islands may extend 20 feet into the front yard. Canopies or covers over gas pump islands may not be closer than 10 feet to any property line. Outdoor parking and service areas may not be closer than 10 feet to any property line. See KZC 115.105, Outdoor Use, Activity and Storage, for further regulations.
.020	A Retail Establishment providing vehicle or boat sales or vehicle or boat service or repair. See Spec. Reg. 3.			None	10'	0'						0'
.030	Restaurant or Tavern								1. For restaurants with drive-in or drive-through facilities: a. One outdoor waste receptacle shall be provided for every eight parking stalls. b. Access for drive-through facilities shall be approved by the Public Works Department. Drive-through facilities shall be designed so that vehicles will not block traffic in the right-of-way while waiting in line to be served.			
.040	A Retail Establishment providing storage services. See also Spec. Reg. 1.										See KZC 105.25.	1. May include accessory living facilities for resident security manager.

Delete Use: Retail establishment providing storage services and Special Regulations for this use.

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 55.45	USE ↓ REGULATIONS →	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.050	Any Retail Establishment, other than those specifically listed in this zone, selling goods or providing services, including banking and related financial services	D.R., Chapter 142 KZC. See Gen. Reg. 6.	None	10'	0'	0'	80%	45' above average building elevation. See Gen. Reg. 11.	C	E	1 per each 300 sq. ft. of gross floor area.	1. Ancillary assembly and manufacture of goods on the premises of this use are permitted only if: a. The assembled or manufactured goods are directly related to and are dependent upon this use, and are available for purchase and removal from the premises. b. The outward appearance and impacts of this use with ancillary assembly or manufacturing activities must be no different from other retail uses.
.060	Office Use								D	If a medical, dental or veterinary office, then 1 per each 200 sq. ft. of gross floor area. Otherwise, 1 per each 300 sq. ft. of gross floor area.	2. Ancillary assembly and manufacture of goods on the premises of this use are permitted only if: a. The ancillary assembled or manufactured goods are subordinate to and dependent on this use. b. The outward appearance and impacts of this use with ancillary assembly or manufacturing activities must be no different from other office uses.	
.070	Hotel or Motel								E	1 per each room. See also Spec. Reg. 2.	1. May include ancillary meeting and convention facilities. 2. Excludes parking requirements for ancillary meeting and convention facilities. Additional parking requirement for these ancillary uses shall be determined on a case-by-case basis.	
.080	Entertainment, Cultural and/or Recreational Facility									See KZC 105.25.		

Add new Special Regulation to general Retail use listing to allow storage use when accessory to another use.

2. Retail establishments providing storage services are not permitted in this zone unless accessory to another permitted use.

55.47 User Guide – TL 7 zone.

The charts in KZC [55.51](#) contain the basic zoning Use. Once you locate the use in which you are

Insert the following text:
In TL 7A, Design Review (DR), chapter 142 KZC. In TL 7B, a

own the left hand column entitled

Section 55.49



Section 55.49 – GENERAL REGULATIONS

The following regulations apply to all uses in this zone unless otherwise noted:

1. Refer to Chapter [1](#) KZC to determine what other provisions of this code may apply to the subject property.
2. A hazardous liquid pipeline extends through the TL 7 zone. Refer to Chapter [118](#) KZC for regulations pertaining to properties near hazardous liquid pipelines.
3. Any development activities requiring Design Review approval pursuant to KZC [142.15](#) in this zone shall be reviewed through Administrative Design Review (ADR), pursuant to KZC [142.25](#). The guidelines contained in the Design Guidelines for the Totem Lake Neighborhood, adopted by KMC [3.30.040](#), shall be applied in lieu of the design regulations in Chapter [92](#) KZC.
4. Access for drive-through facilities must be approved by the Public Works Official. See Chapter [105](#) KZC for requirements.
5. Some development standards or design regulations may be modified as part of the design review process. See Chapters [92](#) and [142](#) KZC for requirements.
6. Development adjoining the Cross Kirkland Corridor or Eastside Rail Corridor shall comply with the standards of KZC [115.24](#).

[link to Section 55.51 table](#)

The Kirkland Zoning Code is current through Ordinance 4479, passed March 3, 2015.

Disclaimer: The City Clerk's Office has the official version of the Kirkland Zoning Code. Users should contact the City Clerk's Office for ordinances passed subsequent to the ordinance cited above.

City Website: <http://www.kirklandwa.gov/> (<http://www.kirklandwa.gov/>)
City Telephone: (425) 587-3190
Code Publishing Company (<http://www.codepublishing.com/>)
eLibrary (<http://www.codepublishing.com/elibrary.html>)

Section 55.51

Zone TL 7

Zone TL 7A, 7B

SE ZONE CHA

1.2 per studio unit
 1.3 per 1 bedroom unit
 1.6 per 2 bedroom unit
 1.8 per 3 or more bedroom unit
 See KZC 105.20 for visitor parking requirements.

Height for all uses: TL 7A: 80' above A.B.E.
 TL 7B: 45' above A.B.E.

DIRECTIONS:

Section 55.51	USE ↓ REGULATIONS →	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.010	Packaging of Prepared Materials Manufacturing See Spec. Regs. 1 and 3.	D.R., Chapter 142 KZC. See Gen. Reg. 3.	None	10'	0'	0'	90%	45' above average building elevation.	A	C	1 per each 1,000 sq. ft. of gross floor area.	1. The following manufacturing uses are permitted: a. Food, drugs, stone, clay, glass, china, ceramics products, electrical equipment, scientific or photographic equipment; b. Fabricated metal products, but not fabrication of major structural steel articles; c. Cold storage; d. Packaging of prepared materials; e. Textile, leather, wood, paper and plastic products from pre-prepared material; and f. Other compatible uses which may involve manufacturing, processing, assembling, fabrication and handling of products, and research and technological processes. 2. May include, as part of this use, accessory retail sales, office or service utilizing not more than 35 percent (50 percent for properties located within 150 feet of the Cross Kirkland or Eastside Rail Corridor) of the gross floor area of the building.

Add new use listing:
MIXED USE DEVELOPMENT CONTAINING ATTACHED OR STACKED DWELLING UNITS

1.5 Acres

80%

80' above average building elevation.

See Special Reg, 5.

New Special Regulations for this use

MIXED USE DEVELOPMENT CONTAINING ATTACHED OR STACKED DWELLING UNITS:

1. This use is permitted only in TL 7A.
2. Development must include commercial use on the ground floor with gross floor area equal to or greater than 20 percent of the area of the subject property. Minor floor area reductions may be approved by the Planning Official if the applicant demonstrates that meeting the requirement is not feasible given the configuration of existing or proposed improvement and that the commercial space is configured to maximize its visibility and pedestrian orientation. Residential use may be located on the ground floor of a structure only if there is an intervening commercial use with a minimum depth of 20 feet, (as measured from the face of the building on NE 124th Street), between this use and NE 124th Street).
3. The ground floor of structures shall be a minimum of 13 feet in height.
4. Site design must accommodate future pedestrian connections to the CKC.
5. Landscaping for this use must comply with Section 95.42.1. Where an existing residential use exists on the adjacent property, Section 95.42.2 shall apply.
6. At least 10 percent of the units provided in new residential developments of four units or greater shall be affordable housing units, as defined in Chapter 5 KZC. See Chapter 112 for additional affordable housing requirements and incentives.
7. Developers and residents in this zone should be aware that this property lies within a district containing and allowing future development of uses of light industry/office nature, and impacts typically associated with these uses, such as noise and odor, may be experienced by residents.

These amendments would implement changes related to the Totem Commercial Center CAR.

Section 55.51

Zone
TL 7

USE ZONE CHART

O-4495
Exhibit 2
Height of Structure for all uses: TL 7A: 80' above A.B.E.
TL 7B: 45' above A.B.E.

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS

Section 55.51	USE ↓	REGULATIONS →	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
				Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
					Front	Side	Rear						
.060	A Retail Establishment providing storage services. See Spec. Regs. 1 and 2.		D.R., Chapter 119 KZC. See General Reg. 3	None	10'	0'	0'	90%	45' above average building elevation.	A	E	See KZC 105.25.	1. May include accessory living facilities for resident security manager. 2. This use not permitted if any portion of the subject property is located within 150 feet of the Cross Kirkland or Eastside Rail Corridor.
.070	A Retail									B	E	1 per each 300 sq. ft. of gross floor area.	3. This use is not permitted in TL 7A unless accessory to another permitted use.
.080	A Retail Establishment selling building materials or providing rental services												
.100	High Technology												

New Special Regulation for Retail Storage Use.

These amendments would implement the changes related to the Morris CAR

Add new use: ATTACHED OR STACKED DWELLING UNITS

3,600 s.f. per unit

80%

90%

Parking Requirements for Attached or Stacked Dwelling Units:
 1.2 per studio unit
 1.3 per 1 bedroom unit
 1.6 per 2 bedroom unit
 1.8 per 3 or more bedroom unit
 See KZC 105.20 for visitor parking requirements.

Special Regulations for: ATTACHED OR STACKED DWELLING UNITS:
 1. This use is permitted only in TL 7B, north of NE 126th Place, east of 132nd Ave NE and west of the RMA 3.6 zone.
 2. Landscaping for this use must comply with Section 95.42.1. Where an existing residential use exists on the adjacent property, Section 95.42.2 shall apply.
 3. At least 10 percent of the units provided in new residential developments of four units or greater shall be affordable housing units, as defined in Chapter 5 KZC. See Chapter 112 for additional affordable housing requirements and incentives.
 4. Developers and residents in this zone should be aware that this property lies within a district containing and allowing future development of uses of light industry/office nature, and impacts typically associated with these uses, such as noise and odor, may be experienced by residents.

USE ZONE CHART

0-4495
 Exhibit 2
 Height of Structure for all uses:
 7A: 80' above A.B.E.
 TL 7B: 45' above A.B.E.

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS

Section 55.51	USE ↓ REGULATIONS ↑	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.110	Office Use	D.R., Chapter 142 KZC. See Gen. Reg. 3.	None	10'	0'	0'	80%	45' above average building elevation.	C See also Spec. Reg. 1(a).		If a medical, dental, or veterinary office, then 1 per each 200 sq. ft. of gross floor area. Otherwise, 1 per each 300 sq. ft. of gross floor area.	1. The following regulations apply only to veterinary offices: a. If there are outdoor runs or other outdoor facilities for the animals, then use must comply with Landscape Category A. b. Outside runs and other outside facilities for the animals must be set back at least 10 feet from each property line and must be surrounded by a fence or wall sufficient to enclose the animals. See KZC 115.105, Outdoor Use, Activity and Storage, for further regulations.
.120	Any Retail Establishment other than those specifically listed in this zone, selling goods or providing services including banking and related services (See Spec. Reg. 1).								B	E	1 per each 300 sq. ft. of gross floor area.	1. This use is only permitted on properties located north of NE 124th Street, south of the Cross Kirkland Corridor right-of-way and west of 135th Avenue NE. 2. Outdoor storage for this use must be buffered as established in Chapter 95 KZC for Landscaping Category A. 3. No drive-through or drive-in facilities are permitted.
.130	Restaurant or Tavern										1 per each 100 sq. ft. of gross floor area.	1. Within 150 feet of the Cross Kirkland or Eastside Rail Corridor. 2. No drive-through or drive-in facilities are permitted.
.140	Entertainment, Cultural and/or Recreational Facility											
.150	Hotel or Motel										1 per each room. See Spec. Reg. 2.	1. May include meeting and convention facilities. 2. Excludes parking requirements for ancillary meeting and convention facilities. Additional parking requirement for those ancillary uses shall be determined on a case-by-case basis.
.160	A Retail Establishment providing printing, publishing, or duplicating services										1 per each 300 sq. ft. of gross floor area.	1. Gross floor area for this use may not exceed 3,000 sq. ft. For a larger printing or publishing facility, see wholesale printing or publishing listing in this use zone.

Add new Special Regulation to general Retail use listing to allow storage use when accessory to another use.

4. Retail establishments providing storage services are not permitted in TL 7A unless accessory to another permitted use.

Section 55.51

Zone
TL 7

USE ZONE CHART

O-4495
Exhibit 2
Height of Structure for all uses: TL 7A: 80' above A.B.E.
TL 7B: 45' above A.B.E.

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS

Section 55.51	USE ↓ REGULATIONS →	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.220	School or Day-Care Center See Spec. Reg. 6	D.R., Chapter 142 KZC.	None	10'	0'	0'	80%	45' above average building elevation.	D	B	See KZC 105.25.	<ol style="list-style-type: none"> 1. A six-foot-high fence is required only along the property lines adjacent to the outside play areas. 2. Hours of operation may be limited to reduce impacts on nearby residential uses. 3. An on-site passenger loading area must be provided. The City shall determine the appropriate size of the loading areas on a case-by-case basis, depending on the number of attendees and the extent of the abutting right-of-way improvements. Carpooling, staggered loading/unloading time, right-of-way improvements or other means may be required to reduce traffic impacts on nearby residential uses. 4. May include accessory living facilities for staff persons. 5. The location of parking and passenger loading areas shall be designed to reduce impacts on nearby residential uses.
.230	Public Utility								C			6. This use is not permitted in the TL 7B zone unless it is accessory to a primary use, and: <ol style="list-style-type: none"> a. It will not exceed 20% of the gross floor area of the building; b. It is integrated into the design of the building.
.240	Government Facility Community Facility								See Spec. Reg. 1.			
.250	Public Park	Development standards will be determined on a case-by-case basis. See Chapter 49 KZC for required review process.										

New restrictions on School/Day Care Center Use in TL 7B

6. This use is not permitted in the TL 7B zone unless it is accessory to a primary use, and:

- a. It will not exceed 20% of the gross floor area of the building;
- b. It is integrated into the design of the building.

Height of Structure for all uses: TL 7A: 80' above A.B.E.
TL 7B: 45' above A.B.E.

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS

Section 55.51	USE ↓ REGULATIONS ↑	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.110	Office Use	D.R., Chapter 142 KZC. See Gen. Reg. 3.	None	10'	0'	0'	80%	45' above average building elevation.	C See also Spec. Reg. 1(a).	If a medical, dental, or veterinary office, then 1 per each 200 sq. ft. of gross floor area. Otherwise, 1 per each 300 sq. ft. of gross floor area.	1. The following regulations apply only to veterinary offices: a. If there are outdoor runs or other outdoor facilities for the animals, then use must comply with Landscape Category A. b. Outside runs and other outside facilities for the animals must be set back at least 10 feet from each property line and must be surrounded by a fence or wall sufficient to enclose the animals. See KZC 115.105, Outdoor Use, Activity and Storage, for further regulations.	
.112	services including banking and related services (See Spec. Reg. 1).								B	E	1 per each 300 sq. ft. of gross floor area.	1. For property located east of the Eastside Rail Corridor, northeast of the terminus of Willows Road NE, and west of the Kirkland city limits, the following regulations apply: a. Maximum building height is 65 feet. b. Building height may be increased to 75' for elevator overrides and other rooftop appurtenances. Rooftop screening must comply with Section 115.120.3; and 2. Impacts to critical areas should be avoided. Where this is not practicable, impacts should be minimized. Mitigation plans may be proposed, based on a complete evaluation incorporating best available science, which result in an equal or greater level of function and value compared to the existing condition. Mitigation plans which provide a greater level of function and value are preferred.
.130	Restaurant or Tavern										1 per each 100 sq. ft. of gross floor area.	1. Cross Kirkland Corridor 2. Eastside Rail Corridor.
.150	Hotel or Motel										1 per each room. See Spec. Reg. 2.	1. Meeting and convention facilities. Additional parking requirement for those ancillary uses shall be determined on a case-by-case basis.
.160	A Retail Establishment providing printing, publishing, or duplicating services										1 per each 300 sq. ft. of gross floor area.	1. Gross floor area for this use may not exceed 3,000 sq. ft. For a larger printing or publishing facility, see wholesale printing or publishing listing in this use zone.

New Special Regulations for Office use.
New reference in height column to Special Regulation related to building height.

See Spec. Reg. 2.a

2. For property located east of the Eastside Rail Corridor, northeast of the terminus of Willows Road NE, and west of the Kirkland city limits, the following regulations apply:
a. Maximum building height is 65 feet.
b. Building height may be increased to 75' for elevator overrides and other rooftop appurtenances. Rooftop screening must comply with Section 115.120.3; and
2. Impacts to critical areas should be avoided. Where this is not practicable, impacts should be minimized. Mitigation plans may be proposed, based on a complete evaluation incorporating best available science, which result in an equal or greater level of function and value compared to the existing condition. Mitigation plans which provide a greater level of function and value are preferred.

These amendments would implement changes related to the Astronics CAR.

Section 55.57

Zone
TL 8

USE ZONE CHART

Revise Height of Structure for all uses in TL 8 zone to 80' above average building elevation.

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 55.57	USE ↓ REGULATIONS →	Required Review Process	Lot Size	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
				REQUIRED YARD (See Ch. 115)			Lot Coverage	Height of Structure				
				Front	Side	Rear						
.010	Hotel or Motel See Gen. Reg. 2.	D.R., Chapter 142 KZC. See Gen. Reg. 8.	None	10'	5' each side	10'	70%	65' above average building elevation.	B	E	See KZC 105.25.	<ol style="list-style-type: none"> 1. The following uses are not allowed: The sale, service, and/or rental of motor vehicles, sailboats, motor boats, and recreational trailers, vehicle service station, and storage services; provided, that motorcycle sales, service, or rental is permitted if conducted indoors. 2. Ancillary assembly and manufactured goods on the premises of this use are permitted only if: <ol style="list-style-type: none"> a. The assembled or manufactured goods are directly related to and are dependent on this use, and are available for purchase and removal from the premises. b. The outward appearance and impacts of this use with ancillary assembly or manufacturing activities must be no different from other retail uses. 3. Outdoor storage and drive-in or drive-through facilities are not permitted.
.020	Entertainment, Cultural and/or Recreational Facility See Gen. Reg. 2.											
.040	Any Retail Establishment, other than those specifically listed in this zone, selling goods or providing services, including banking and related financial services. See Spec. Reg. 1.											
.050	Restaurant or Tavern											

Revise to 80'

Section 55.57

Zone
TL 8

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 55.57	USE ⇩ REGULATIONS ⇨	Required Review Process	Lot Size	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
				REQUIRED YARD (See Ch. 115)			Lot Coverage	Height of Structure				
				Front	Side	Rear						
.060	Office Use See Gen. Reg. 2.	D.R., Chapter 142 KZC. See Gen. Reg. 8.	None	10'	5' each side	10'	70%	65' above average building elevation.	C	D	See KZC 105.25.	<ol style="list-style-type: none"> The following regulations apply to veterinary offices only: <ol style="list-style-type: none"> May only treat small animals on the subject property. Outside runs and other outside facilities for the animals are not permitted. Site must be designed so that noise from this use will not be audible off the subject property. A certification to this effect, signed by an acoustical engineer, must be submitted with the development permit application. Ancillary assembly and manufacture of goods on the premises of this use are permitted only if: <ol style="list-style-type: none"> The ancillary assembled or manufactured goods are subordinate to and dependent on this use. The outward appearance and impacts of this use with ancillary assembly or manufacturing activities must be no different from other office uses.
.070	Attached or Stacked Dwelling Units See Gen. Reg. 2.				5' each side See Spec. Reg. 3.	10' See Spec. Reg. 4.			D	A		<ol style="list-style-type: none"> Chapter 115 KZC contains regulations regarding home occupations and other accessory uses, facilities and activities associated with this use. At least 10 percent of the units provided in new residential developments of four units or greater shall be affordable housing units, as defined in Chapter 5 KZC. See Chapter 112 KZC for additional affordable housing requirements and incentives. The side yard may be reduced to zero feet if the side of the dwelling unit is attached to a dwelling unit on an adjoining lot. If one side of a dwelling unit is so attached and the opposite side is not, the side that is not attached must provide a minimum side yard of five feet. The rear yard may be reduced to zero feet if the rear of the dwelling unit is attached to a dwelling unit on an adjoining lot.

Revise to 80'

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS

Section 55.57	USE ↓ REGULATIONS →	Required Review Process	Lot Size	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
				REQUIRED YARD (See Ch. 115)			Lot Coverage	Height of Structure				
				Front	Side	Rear						
.080	Development containing attached or stacked dwelling units and offices, restaurants or taverns, or retail uses allowed in this zone. See Gen. Reg. 2. See Spec. Reg. 1.	D.R., Chapter 142 KZC. See Gen. Reg. 8.	None	10'	5' each side. See Spec. Reg. 6.	10' See Spec. Reg. 7.	70%	65' above average building elevation.	B	E	See KZC 105.25.	<ol style="list-style-type: none"> 1. A veterinary office is not permitted in any development containing dwelling units. 2. Chapter 115 KZC contains regulations regarding home occupations and other accessory uses, facilities and activities associated with this use. 3. Ancillary assembly and manufactured goods on the premises of this use are permitted only if: <ol style="list-style-type: none"> a. The assembled or manufactured goods are subordinate and directly related to and dependent on this use, and are available for purchase and removal from the premises. b. The outward appearance and impacts of this use with ancillary assembly or manufacturing activities must be no different from other retail or office uses. 4. At least 10 percent of the units provided in new residential developments of four units or greater shall be affordable housing units, as defined in Chapter 5 KZC. See Chapter 112 KZC for additional affordable housing requirements and incentives. 5. The equivalent of the additional gross floor area constructed above 35 feet over ABE must be dedicated to residential use. Residential use may be located anywhere in the building above the ground floor. 6. The side yard may be reduced to zero feet if the side of the dwelling unit is attached to a dwelling unit on an adjoining lot. If one side of a dwelling unit is so attached and the opposite side is not, the side that is not attached must provide a minimum side yard of five feet. 7. The rear yard may be reduced to zero feet if the rear of the dwelling unit is attached to a dwelling unit on an adjoining lot.
.090	Private Lodge or Club See Gen. Reg. 2.				5' each side.	10'			C	B		

Revise to 80'

Section 55.57

Zone
TL 8

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 55.57	USE ↓ REGULATIONS →	Required Review Process	Lot Size	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
				REQUIRED YARD (See Ch. 115)			Lot Coverage	Height of Structure				
				Front	Side	Rear						
.100	School Day-Care Center, Mini-School or Mini-Day-Care Center See Gen. Reg. 2.	D.R., Chapter 142 KZC. See Gen. Reg. 8.	None	10'	5' on each side	10'	70%	65'-above average building elevation.	D	B	See KZC 105.25.	<ol style="list-style-type: none"> 1. A six-foot-high fence is required only along the property lines adjacent to the outside play areas. 2. An on-site passenger loading area must be provided. The City shall determine the appropriate size of the loading areas on a case-by-case basis, depending on the number of attendees and the extent of the abutting right-of-way improvements. Carpooling, staggered loading/unloading time, right-of-way improvements or other means may be required to reduce traffic impacts on any nearby residential uses. 3. May include accessory living facilities for staff persons. 4. The location of parking and passenger loading areas shall be designed to reduce impacts on any nearby residential uses.
.110	Assisted Living Facility Convalescent Center Nursing Home See Gen. Reg. 2.											<ol style="list-style-type: none"> 1. Chapter 115 KZC contains regulations regarding home occupations and other accessory uses, facilities and activities associated with this use.
.120	Public Utility See Gen. Reg. 2.				20' on each side	20'			A			<ol style="list-style-type: none"> 1. Landscape Category A or B may be required depending on the type of use on the subject property and the impacts associated with the use on the nearby uses.
.130	Government Facility or Community Facility See Gen. Reg. 2.				10' on each side				C See Spec. Reg. 1			
.140	Public Park	Development standards will be determined on a case-by-case basis. See Chapter 49 KZC for required review process.										

Revise to 80'

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS

Section 55.61	USE ↓ REGULATIONS →	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.140	Mini-Day-Care See Spec. Reg. 1.	None	None	10'	0'	0'	80%	Same as primary use.	D	B	See KZC 105.25.	<ol style="list-style-type: none"> This use is permitted if accessory to a primary use, and: <ol style="list-style-type: none"> It will not exceed 20 percent of the gross floor area of the building; The use is integrated into the design of the building. A six-foot-high fence is required along the property lines adjacent to the outside play areas. To reduce impacts on nearby residential uses, hours of operation of the use may be limited and parking and passenger loading areas relocated. An on-site passenger loading area may be required depending on the number of attendees and the extent of the abutting right-of-way improvements. The location of parking and passenger loading areas shall be designed to reduce impacts on nearby residential uses. May include accessory living facilities for staff persons.
.150	Recycling Center											<ol style="list-style-type: none"> May deal in metal cans, glass, and paper. Other materials may be recycled if the Planning Director determines that the impacts are no greater than those associated with recycling metal cans, glass, or paper. The individual will have the burden of proof in demonstrating similar impacts.
.160	Public Utility								C	B		<ol style="list-style-type: none"> Landscape Category A or B may be required depending on the type of use on the subject property and the impacts associated with the use on the nearby uses.
.170	Government Facility Community Facility								See Spec. Reg. 1.			
.180	Vehicle or Boat Repair, Services, Storage, or Washing								A	E		<ol style="list-style-type: none"> Outdoor vehicle or boat parking or storage areas must be buffered as required for a parking area in KZC 95.45. See KZC 115.105, Outdoor Use, Activity and Storage, for additional regulations. Access from drive-through facilities must be approved by the Public Works Department. Drive-through facilities must be designed so that vehicles will not block traffic in the right-of-way while waiting in line to be served.
.190		Development standards will be determined on case-by-case basis. See Chapter 49 KZC for required review process.										

These amendments would implement changes related to the Rairdon CAR.

Add Vehicle Sales use, and Special Regulations for this use.

Add Sales to this use listing

- Vehicle or boat sales are permitted on parcels abutting 132nd Avenue NE only.
- For lighting requirements associated with development, see KZC 115.85(2). In addition, no internal illumination of wall surfaces is allowed.
- Outdoor loudspeaker systems are prohibited.

55.62 User Guide – TL 9B zone.

The charts in KZC [55.64](#) contain the basic zoning regulations that apply in the TL 9B zone of the City. Use these charts by reading down Use. Once you locate the use in which you are interested, read across to find the regulations that apply to that use.

Section 55.63


Zone
TL 9B

Section 55.63 – GENERAL REGULATIONS

The following regulations apply to all uses in this zone unless otherwise noted:

1. Refer to Chapter [1](#) KZC to determine what other provisions of this code may apply to the subject property.
2. All development or associated land surface modifications shall be set back 100 feet from the north boundary.
3. Vehicular access shall be from the south of the slope. If necessary, access may be from 132nd Avenue NE; limited to one point and meets other City standards.

Text to be inserted:

for uses other than "A Retail Establishment providing vehicle or boat sales, repair, services, storage or washing",

[link to S](#)

New General Regulations to include:**4. For residential development:**

- a. The base density for residential development on the slope should be eight dwelling units per acre.
- b. Lot coverage for development should be lower than that allowed for the less environmentally sensitive properties to the south, to enable the preservation of vegetation and watercourses on the site.
- c. Vegetative cover should be maintained to the maximum extent possible. Clustering of structures may be required to preserve significant groupings of trees.
- d. Watercourses should be retained in a natural state.
- e. Development should only be permitted if an analysis is presented that concludes that the slope will be stable. The analysis should indicate the ability of the slope and adjacent areas to accommodate development, the best locations for development, and specific structural designs and construction techniques necessary to ensure long-term stability.
- f. The hillside with the steepest slopes should be left undisturbed in a natural condition and retained as permanent natural open space through the creation of a greenbelt easement or the dedication of air rights. In order to provide property owners with reasonable development potential, some development may be permitted on the southern, lower portion of the hillside. In no case should such development or associated land surface modification extend closer than 100 feet to existing single-family residential development north of the slope.
- g. Any part of the hillside which is retained as permanent natural open space, but which has been previously altered from its natural state, or which is so altered as a result of soils testing or watercourse rehabilitation, should be returned to its natural condition.
- h. Surface water runoff should be maintained at predevelopment levels.
- i. Vehicular access should be from south of the slope. If necessary, access may be from 132nd Avenue NE; provided, that such access is limited to one point and meets other City standards.
- j. Where residential uses are allowed, a total of five stories measured above an average building elevation is allowed if at least 10 percent of the units provided are affordable units.

The Kirkland
4479, pass
Disclaimer:
Kirkland Zoning
Office for o
above.

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS

Section 55.64	USE ↓ REGULATIONS ↓	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.010	Detached Dwelling Units	Process IIA, Chapter 150 KZC	5,000 sq. ft.	20'	5'	10'	60%	30' above average building elevation.	E	A	2.0 per unit.	1. For this use, only one dwelling unit may be on each lot regardless of the size of the lot. 2. Chapter 115 KZC contains regulations regarding home occupated
.020	Detached, Attached or Stacked Dwelling Units				stacked units, 5', but 2 side yards must equal at least 15'. See Spec. Reg. 4.			units: 50' above average building elevation. See Spec. Reg. 6.			1.7 per unit.	
.030	Church		7,200 sq. ft.		20'	20'	70%	30' above average building elevation.	C	B	1 for every 4 people based on maximum occupancy of worship. See Spec. Reg. 2	

New use listing and standards for vehicle sales use, to be developed with parcel in TL 9A.

1. This use is allowed only when included in development of the adjoining parcel to the south in TL 9A.
2. An expanded buffer, greater than 100 feet, from the parcel's north property line must be provided. The buffer must be placed in a recorded, protective easement.
3. Impacts to critical areas should be avoided. Where this is not practicable, impacts should be minimized. Mitigation plans may be proposed, based on a complete evaluation incorporating best available science, which result in an equal or greater level of function and value compared to the existing condition. Mitigation plans which provide a greater level of function and value are preferred.
4. For lighting requirements associated with development, see KZC 115.85(2). In addition, no internal illumination of wall surfaces is allowed.
5. Outdoor loudspeaker systems are prohibited.
6. Vehicle access to development must be from NE 126th Place.

A Retail Establishment providing vehicle or boat sales, repair, services, storage or washing.

Planned Unit Development, Process

None 20' 5' 10' 70%

30' above average building elevation

A

E

See KZC 105.25

These amendments would implement changes related to the Rairdon CAR.

Section 55.69

Zone
TL 10A

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS

Section 55.69	USE ⇓ REGULATIONS ⇓	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.020	Office Use High Technology	D.R., Chapter 142 KZC. See Gen. Reg. 5.	None	10'	5' but 2 side yards must equal at least 15'	10'	80%	See Spec. Reg. 2.	C See Spec. Reg. 3.	D	If manufacturing, then 1 per each 1,000 sq. ft. of gross floor area. If office, then 1 per each 300 sq. ft. of gross floor area. If a medical, dental, or veterinary office, then 1 per each 200 sq. ft. of gross floor area. Otherwise, see KZC 105.25.	<ol style="list-style-type: none"> Ancillary assembly and manufacture of goods on the premises of this use are permitted only if: <ol style="list-style-type: none"> The ancillary assembled or manufactured goods are subordinate to and dependent on this use. The outward appearance and impacts of this use with ancillary assembly or manufacturing activities must be no different from other office uses. Maximum building height for this use is as follows: <ol style="list-style-type: none"> If adjoining a residential zone other than TL 11, then 25 feet above average building elevation. South of either NE 120th Street or NE 118th Street, 35 feet above average building elevation. Elsewhere in this zone, 55 feet above average building elevation. Outdoor storage is prohibited. The following regulations apply only to veterinary offices: <ol style="list-style-type: none"> If there are outdoor runs or other outdoor facilities for the animals, then use must comply with Landscape Category A. Outdoor runs and other outdoor facilities for the animals must be set back at least 10 feet from each property line and must be surrounded by a fence or wall sufficient to enclose the animals. See KZC 115.105, Outdoor Use, Activity and Storage, for further regulations.
.030	Restaurant or Tavern See Spec. Reg. 1.				0'	0'	55' above average building elevation.	C	E	1 per 100 sq. ft. of gross floor area.	<ol style="list-style-type: none"> This use is only allowed on parcels with frontage on NE 124th Street, unless the restaurant existed prior to December 31, 2005, as an accessory use to a permitted primary use. For restaurants with drive-in or drive-through facilities: <ol style="list-style-type: none"> One outdoor waste receptacle shall be provided for every eight parking stalls. Access for drive-through facilities shall be approved by the Public Works Department. Drive-through facilities shall be designed so that vehicles will not block traffic in the right-of-way while waiting in line to be served. 	

New Special Regulation to allow restaurants or taverns throughout the zone, with limitations on size and drive-in and drive-through facilities.

1. Where this use is located on a parcel without frontage on NE 124th Street:
 a. Gross floor area for the use may not exceed 4,000 s.f.
 b. Drive-in and drive-through facilities are not permitted.

Section 55.69

Zone
TL 10A

USE ZONE CHART

NEW USE LISTING TO CODIFY
INTERPRETATION 15-1

across for REGULATIONS

Section 55.69	USE ↓ REGULATIONS ↑	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.110	Public Park	Development standards will be determined on a case-by-case basis. See Chapter 49 KZC for required review process.										

Entertainment, Cultural and/or Recreational Facility

D.R. Chapter 142 KZC

None

10'

5' but 2 side yards must equal at least 15'

10'

80%

See Spec. Reg. 2

A

E

See KZC 105.25

1. The use shall be conducted within a wholly enclosed building.
 2. Maximum building height for this use is as follows:
 a. If adjoining a residential zone other than TL 11, then 25 feet above average building elevation.
 b. South of either NE 120th Street or NE 118th Street, 35 feet above average building elevation.
 c. Elsewhere in this zone, 55 feet above average building elevation.
 3. The structure containing the use shall have been in existence on December 31, 2005, and shall not be altered, changed, or otherwise modified to accommodate the use if the cost of such alteration, change, or modification exceeds 30 percent of the replacement cost of that building. However, expansion of the floor area of this use may not exceed 20 percent of the existing gross floor area of the building.
 4. The use must be discontinued when there is an alteration, change, or other work in a consecutive 12-month period to the space in which the use is located, and the cost of the alteration, change or other work exceeds 30 percent of the replacement cost of that space.

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS

Section 55.75	USE ↓ REGULATIONS →	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.010	Attached or Stacked Dwelling Units See Spec. Reg. 1.	D.R., Chapter 142 KZC. See Gen. Reg. 5.	None	10'	5' but 2 side yards must equal at least 15'	10' See Spec. Reg. 5.	70%	65' above average building elevation.	D	A	1.7 per unit.	1. This use is permitted only on parcels located west of the 118th Avenue NE right of way alignment (see Plates 36 and 37, Chapter 180 KZC). 2. At least 10 percent of the units provided in new residential developments of four units or greater shall be affordable housing units, as defined in Chapter 5 KZC. See Chapter 112 KZC for additional affordable housing requirements and incentives. 3. Chapter 115 KZC contains regulations regarding home occupations and other accessory uses, facilities and activities associated with this use. 4. The side yard may be reduced to zero feet if the side of the dwelling unit is attached to a dwelling unit on an adjoining lot. If one side of a dwelling unit is so attached and the opposite side is not, the side that is not attached must provide a minimum side yard of five feet. 5. The rear yard may be reduced to zero feet if the rear of the dwelling unit is attached to a dwelling unit on an adjoining lot.

Reference to Plate 36 was an error. Revise Special Regulation 1 as follows:
 1. This use is permitted only on parcels located west of the 118th Avenue NE right of way alignment (see Housing Incentive Area 5, Plate 37, Chapter 180 KZC).

Section 55.75

Zone
TL 10B

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 55.75	USE ↓ REGULATIONS ↓	Required Review Process	Lot Size	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
				REQUIRED YARD (See Ch. 115)			Lot Coverage	Height of Structure				
				Front	Side	Rear						
.090	High Technology	D.R., Chapter 142 KZC. See Gen. Reg. 5.	None	10'	0'	0'	70%	55' above average building elevation.	C See Spec. Reg. 3.	D	If manufacturing, then 1 per each 1,000 sq. ft. of gross floor area. If office, then 1 per 300 sq. ft. of gross floor area. Otherwise, see KZC 105.25.	<ol style="list-style-type: none"> This use may include research and development, testing, assembly, repair or manufacturing or offices that support businesses involved in the pharmaceutical and biotechnology, communications and information technology, electronics and instrumentation, computers and software sectors. Refer to KZC 115.105 for provisions regarding outside use, activity and storage. Any outdoor storage area shall be buffered according to Landscape Category A.
.095	Vehicle or Boat Repair, Services, Washing or Rental See Spec. Reg. 1.								E	See KZC 105.25. →	<ol style="list-style-type: none"> The use is permitted only on parcels that abut 120th Avenue NE. Outdoor vehicle or boat parking or storage areas must be buffered as required for a parking area in KZC 95.45. See KZC 115.105, Outdoor Use, Activity and Storage, for additional regulations. Landscape Category A or B may be required depending on the type of use on the subject property and the impacts associated with the use on the nearby uses. 	
.100	Mini-Day-Care See Spec. Reg. 5.										<ol style="list-style-type: none"> A six-foot-high fence is required along the property lines adjacent to the outside play area. Hours of operation may be limited to reduce impacts on nearby residential uses. An on-site passenger loading area may be required depending on the number of attendees and the extent of the abutting right-of-way improvements. The location of parking and passenger loading areas shall be designed to reduce impacts on nearby residential uses. May include accessory living facilities for staff persons. This use is permitted if accessory to a primary use, and: <ol style="list-style-type: none"> It will not exceed 20 percent of the gross floor area of the building; and The use is integrated into the design of the building. 	

Revise Special Regulation 1 as follows:
1. This use is permitted on parcels abutting NE 118th Street, east of 118th Avenue NE.

**NEW USE LISTING TO CODIFY INTERPRETATION
15-1**

for REGULATIONS

Section 55.75	USE ↓ REGULATIONS ↓	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.110	Church	D.R., Chapter 142 KZC. See Gen. Reg. 5.	None	10'	0'	0'	70%	55' above average building elevation.	C	B	1 for every 4 people based on maximum occupancy load of any area of worship. See Special Regulation 2.	1. The use shall be conducted within a wholly enclosed building, unless the parcel abuts the Cross Kirkland Corridor (CKC). Outdoor activities may be located only between the CKC and the building. 2. The structure containing the use shall have been in existence on December 31, 2005, and shall not be altered, changed, or otherwise modified to accommodate the use if the cost of such alteration, change, or modification exceeds 30 percent of the replacement cost of that building. However, expansion of the floor area of this use may not exceed 20 percent of the existing gross floor area of the building.
.120	A Retail Establishment providing storage services See Spec. Reg. 3.	D.R., Chapter 142 KZC. See Gen. Reg. 5.	None	10'	0'	0'	70%	55' above average building elevation.	A	E	See KZC 105.25.	1. is an alteration, change, or other work in a consecutive 12-month period to the space in which the use is located, and the cost of the alteration, change or other work exceeds 30 percent of the replacement cost of that space. 4. Landscape Category A or B may be required depending on the type of use on the subject property and the impacts associated with the use on the nearby uses.
.130	Public Utility								B	1.		
.140	Government Facility or Community Facility								C See Spec. Reg. 1	1.		
.150	Public Park	Development standards will be determined on a case-by-case basis. See Chapter 49 KZC for required review proposals.										
.160	School or Day-Care Center	D.R., Chapter 142 KZC. See Gen. Reg. 5.	None	10'	0'	0'	70%	55' above average building elevation.	C	B	See KZC 105.25.	2. other work in a consecutive 12-month period to the space in which the use is located, and the cost of the alteration, change or other work exceeds 30 percent of the replacement cost of that space.

Entertainment, Cultural and/or Recreational Facility

D.R. Chapter 142 KZC. See Gen. Reg 5

None

10'

0'

0'

70%

55' above average building elevation

C See Spec Reg 4

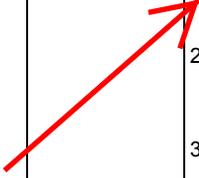
B

See KZC 105.25

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS

Section 55.81	USE ↓ REGULATIONS →	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.010	Attached or Stacked Dwelling Units See Spec. Reg. 1.	D.R., Chapter 142 KZC. See Gen. Reg. 5.	None	10'	5' but 2 side yards must equal at least 15'. See Spec. Reg. 5.	10' See Spec. Reg. 6.	80%	Where adjoining a low density zone, 30' above average building elevation. Otherwise, up to 65' above average building elevation. See Spec. Reg. 3.	D	A	1.7 per unit.	1. This use is permitted as a freestanding development only in locations identified on Plate 37 as "Stand-Alone Housing Areas" (see Plate 37, Chapter 180 KZC). If developed in a mixed-use project with three stories of office or high technology use, it may be located throughout the TL 10C zone. 2. At least 10 percent of the units provided in new residential developments of four units or greater shall be affordable housing units, as defined in Chapter 5 KZC. See Chapter 112 KZC for additional affordable housing requirements and incentives. 3. No portion of a structure may exceed the following heights above the elevation of NE 116th Street, as measured at the midpoint of the frontage of the subject property on NE 116th Street: a. Within 20 feet of NE 116th Street, 35 feet. b. Within 30 feet of NE 116th Street, 45 feet. c. Within 40 feet of NE 116th Street, 65 feet. 4. Chapter 115 KZC contains regulations regarding home occupations and other accessory uses, facilities and activities associated with this use. 5. The side yard may be reduced to zero feet if the side of the dwelling unit is attached to a dwelling unit on an adjoining lot. If one side of a dwelling unit is so attached and the opposite side is not, the side that is not attached must provide a minimum side yard of five feet. 6. The rear yard may be reduced to zero feet if the rear of the dwelling unit is attached to a dwelling unit on an adjoining lot.

Revise Special Regulation 1 as follows:
1. This use is permitted only in Housing Incentive Area 4 (see Plate 37).



Section 55.81

Zone
TL 10C

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS

Section 55.81	USE ↓ REGULATIONS →	Required Review Process	Lot Size	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
				REQUIRED YARD (See Ch. 115)			Lot Coverage	Height of Structure				
				Front	Side	Rear						
.020	Warehouse Storage Service	D.R., Chapter 142 KZC. See Gen. Reg. 5.	None	20'	5' but 2 side yards must equal at least	10'	80%	Where adjoining a low density zone, 30' above average building elevation. Otherwise, up to 35' above average building elevation.	D	C	1 per each 1,000 sq. ft. of gross floor area.	<ol style="list-style-type: none"> May include, as part of this use, accessory retail sales, office or service occupying no more than 20 percent of the gross floor area. The landscaping and parking requirements for these accessory uses will be the same as for the primary use. The structure containing the use shall have been in existence on December 31, 2005, and shall not be altered, changed, or otherwise modified to accommodate the use if the cost of such alteration, change, or modification exceeds 30 percent of the replacement cost of that building. However, expansion of the floor area of this use may not exceed 20 percent of the existing gross floor area of the building. The use must be discontinued when there is an alteration, change, or other work in a consecutive 12-month period to the space in which the use is located, and the cost of the alteration, change or other work exceeds 30 percent of the replacement cost of that space. Refer to KZC 115.105 for provisions regarding outdoor use, activity and storage.
.030	Wholesale Trade											
.040	Industrial Laundry Facility											
.050	Wholesale Printing or Publishing											
.060	Wholesale Establishment or Contracting Services in Building Construction, Plumbing, Electrical, Landscaping, or Pest Control				0'	0'		Where adjoining a low density zone, 30' above average building elevation. Otherwise, 35' above average building elevation.	B	E		<ol style="list-style-type: none"> May include, as part of this use, accessory retail sales, office or service occupying no more than 20 percent of the gross floor area. The landscaping and parking requirements for these accessory uses will be the same as for the primary use. Outdoor storage for this use must be buffered as established in Chapter 95 KZC for Landscaping Category A. The structure containing the use shall have been in existence on December 31, 2005, and shall not be altered, changed, or otherwise modified to accommodate the use if the cost of such alteration, change, or modification exceeds 30 percent of the replacement cost of that building. However, expansion of the floor area of this use may not exceed 20 percent of the existing floor area of the building. The use must be discontinued when there is an alteration, change, or other work in a consecutive 12-month period to the space in which the use is located, and the cost of the alteration, change or other work exceeds 30 percent of the replacement cost of that space. Refer to KZC 115.105 for provisions regarding outdoor use, activity and storage.

Delete special regulations that restrict development, expansion and modification of structures designed for light industrial types of uses.

SPECIAL REGULATIONS WILL BE RENUMBERED WHERE REGULATIONS ARE ADDED OR DELETED.

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS

Section 55.81	USE ↓ REGULATIONS ↓	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.070	A Retail Establishment providing banking and related financial services	D.R., Chapter 142 KZC. See Gen. Reg. 5.	None	10'	0'	0'	80%	Same as primary use.	C	E	1 per each 300 sq. ft. of gross floor area.	1. This use is permitted if accessory to a primary use, and: a. It will not exceed 20 percent of the gross floor area of the building; b. It will not be located in a separate structure from the primary use; c. It will not exceed 50 percent of the ground floor area of the building; d. The use is integrated into the design of the building; and e. There is no vehicle drive-in or drive-through.
.080	Office Use						Where adjoining a low density zone, then 30' above average building elevation. Otherwise, 45' above average building elevation. See also Spec. Regs. 2 and 3.	C See also Spec. Reg. 1(a).	D	If medical, dental or veterinary office, then 1 per each 200 sq. ft. of gross floor area. Otherwise, 1 per each 300 sq. ft. of gross floor area.	1. The following regulations apply only to veterinary offices: a. If there are outdoor runs or other outdoor facilities for the animals, then use must comply with Landscape Category A. b. Outside runs and other outside facilities for the animals must be set back at least 10 feet from each property line and must be surrounded by a fence or wall sufficient to enclose the animals. See KZC 115.105, Outdoor Use, Activity and Storage, for further regulations. 2. When three stories of this use are developed in a mixed use project with attached or stacked dwelling units, building height may be increased by 10 feet per floor of residential use, not to exceed 65 feet above average building elevation. 3. No portion of a structure may exceed the following heights above the elevation of NE 116th Street, as measured at the midpoint of the frontage of the subject property on NE 116th Street: a. Within 20 feet of NE 116th Street, 35 feet. b. Within 30 feet of NE 116th Street, 45 feet. c. Within 40 feet of NE 116th Street, 55 feet.	

Delete Special Regulation that encourages mixed use.

Section 55.81

Zone
TL 10C

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 55.81	USE ⇓ REGULATIONS ⇓	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.090	High Technology	D.R., Chapter 142 KZC. See Gen. Reg. 5.	None	10'	0'	0'	80%	Where adjoining a low density zone, then 30' above average building elevation. Otherwise, 45' above average building elevation. See also Spec. Regs. 2 and 3.	A	D	<p>If manufacturing, then 1 per each 1,000 sq. ft. of gross floor area.</p> <p>If office, then 1 per 300 sq. ft. of gross floor area.</p> <p>Otherwise, see KZC 105.25.</p>	<ol style="list-style-type: none"> This use may include research and development, testing, assembly, repair or manufacturing or offices that support businesses involved in the pharmaceutical and biotechnology, communications and information technology, electronics and instrumentation, computers and software sectors. When three stories of this use are developed in a mixed use project with attached or stacked dwelling units, building height may be increased by 10 feet per floor of residential use, not to exceed 65 feet above average building elevation. No portion of a structure may exceed the following heights above the elevation of NE 116th Street, as measured at the midpoint of the frontage of the subject property on NE 116th Street: <ol style="list-style-type: none"> Within 20 feet of NE 116th Street, 35 feet. Within 30 feet of NE 116th Street, 45 feet. Within 40 feet of NE 116th Street, 55 feet. May include, as part of this use, accessory retail sales or service occupying not more than 20 percent of the gross floor area. The landscaping and parking requirements for these accessory uses will be the same as for the primary use. Refer to KZC 115.105 for provisions regarding outside use, activity and storage.

Delete Special Regulation that encourages mixed use.

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS

Section 55.81	USE ↓ REGULATIONS ↓	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.100	School, Day-Care Center, Mini-School or Mini-Day-Care Center See Spec. Reg. 1.	D.R., Chapter 142 KZC. See Gen. Reg. 5.	None	10'	0'	0'	80%	Same as primary use.	D	B	See KZC 105.25.	<ol style="list-style-type: none"> This use is permitted if accessory to a primary use, and: <ol style="list-style-type: none"> It will not exceed 20 percent of the gross floor area of the building; The use is integrated into the design of the building. A six-foot-high fence is required along the property lines adjacent to the outside play areas. Hours of operation may be limited to reduce impacts on nearby residential uses. An on-site passenger loading area may be provided. The City shall determine the appropriate size of the loading areas on a case-by-case basis, depending on the number of attendees and the extent of the abutting right-of-way improvements. Carpooling, staggered loading/unloading time, right-of-way improvements or other means may be required to reduce traffic impacts on any nearby residential uses. May include accessory living facilities for staff persons.
.110	Public Utility							Where adjoining a low density zone, then 30' above average building elevation. Otherwise, 45' above average building elevation. See also Spec. Regs. 2 and 3.	C See Spec. Reg. 1.	B		<ol style="list-style-type: none"> Landscape Category A or B may be required depending on the type of use on the subject property and the impacts associated with the use on the nearby uses. When three stories of this use are developed in a mixed-use project with attached or stacked dwelling units, building height may be increased by 10 feet per floor of residential use, not to exceed 65 feet above average building elevation. No portion of a structure may exceed the following heights above the elevation of NE 116th Street, as measured at the midpoint of the frontage of the subject property on NE 116th Street: <ol style="list-style-type: none"> Within 20 feet of NE 116th Street, 35 feet. Within 30 feet of NE 116th Street, 45 feet. Within 40 feet of NE 116th Street, 55 feet.
.120	Government Facility Community Facility											
.130	Vehicle or Boat Sales, Repair, Services, Washing or Rental See Spec. Reg. 1.											<ol style="list-style-type: none"> Vehicle or boat sales or rental uses are only permitted if the property abuts NE 116th Street. Outdoor vehicle or boat parking or storage areas must be buffered as required for a parking area in KZC 95.45. See KZC 115.105, Outdoor Use, Activity and Storage, for additional regulations.
.140	Restaurant or Tavern See Spec. Reg. 1.							Same as primary use.	C		1 per each 100 sq. ft. of gross floor area.	<ol style="list-style-type: none"> This use is permitted if accessory to a primary use, and: <ol style="list-style-type: none"> It will not exceed 20 percent of the gross floor area of the building; It is not located in a separate structure from the primary use; The use is integrated into the design of the building; There is no vehicle drive-in or drive-through.

Delete Special Regulation that encourages mixed use.

Section 55.81

Zone
TL 10C

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS													
Section 55.81	USE ↓ REGULATIONS ↑	Required Review Process	MINIMUMS			MAXIMUMS		Lot Coverage	Height of Structure	Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
			Lot Size	REQUIRED YARD (See Ch. 115)									
				Front	Side	Rear							
.150	Public Park	Development standards will be determined on a case-by-case basis. See Chapter 49 KZC for required review process.											
.160	Entertainment, Cultural and/or Recreational Facility	D.R., Chapter 142 KZC. See Gen. Reg. 5.	None	20'	0'	0'	80%	Where adjoining a low density zone, 30' above average building elevation. Otherwise, 35' above average building elevation.	A	E	See KZC 105.25.	1. The use shall be conducted within a wholly enclosed building. 2. The structure containing the use shall have been in existence on June 1, 2004, and shall not be altered, changed, or otherwise modified to accommodate the use if the cost of such alteration, change, or modification exceeds 30 percent of the replacement cost of that building. 3. The use must be discontinued when there is an alteration, change, or other work in a consecutive 12-month period to the space in which the use is located, and the cost of the alteration, change or other work exceeds 30 percent of the replacement cost of that space.	

Revise Special Regulation 1 as follows:
 1. The use shall be conducted within a wholly enclosed building, unless the parcel abuts the Cross Kirkland Corridor (CKC). Outdoor activities may be located only between the CKC and the building.

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS

Section 55.87	USE ↓ REGULATIONS ↓	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.010	Packaging of Prepared Materials Manufacturing See Spec. Regs. 1 and 2.	D.R., Chapter 142 KZC. See Gen. Reg. 3.	None	20'	0'	0'	80%	Where adjoining a low density zone, 30' above average building elevation. Otherwise, 35' above average building elevation.	A	C	1 per each 1,000 sq. ft. of gross floor area. 1 per each 1,000 sq. ft. of gross floor area. Tasting rooms 1 per each 100 sq. ft. of gross floor area.	1. The following manufacturing uses are permitted: a. Food, drugs, stone, clay, glass, china, ceramics products, electrical equipment, scientific or photographic equipment; b. Fabricated metal products, but not fabrication of major structural steel forms, heavy metal processes, boiler making, or similar activities; c. Cold mix process only of soap, detergents, cleaning preparations, perfumes, cosmetics, or other toilet preparations; d. Packaging of prepared materials; e. Textile, leather, wood, paper and plastic products from pre-prepared material; and f. Other compatible uses which may involve manufacturing, processing, assembling, fabrication and handling of products, and research and technological processes. 2. May include, as part of this use, accessory retail sales, or service using not more than 20 percent (50 percent for properties located within 150 feet of the Cross Kirkland Corridor) of the gross floor area. The floor area of accessory office use is not limited. The landscaping and parking requirements for these accessory uses will be the same as for the primary use. 3. The structure containing the use shall have been in existence on December 31, 2005, and shall not be altered, changed, or otherwise modified to accommodate the use if the cost of such alteration, change, or modification exceeds 30 percent of the replacement cost of that building. However, expansion of the floor area of this use may not exceed 20 percent of the existing gross floor area of the building. 4. The use must be discontinued when there is an alteration, change, or other work in a consecutive 12-month period to the space in which the use is located, and the cost of the alteration, change or other work exceeds 30 percent of the replacement cost of that space. 5. Refer to KZC 115.105 for provisions regarding outdoor use, activity and storage. 6. Breweries, wineries, and distilleries may include tasting rooms, accessory retail sales, or office utilizing not more than 20 percent of the gross floor area (no limit for properties located within 150 feet of the Cross Kirkland Corridor).
.015	Breweries, Wineries and Distilleries											

Delete special regulations that restrict development, expansion and modification of structures designed for light industrial types of uses.

SPECIAL REGULATIONS WILL BE RENUMBERED WHERE REGULATIONS ARE ADDED OR DELETED.

Section 55.87

Zone
TL 10D

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS

Section 55.87	USE ⇓ REGULATIONS ⇓	Required Review Process	MINIMUMS			MAXIMUMS		Landscaping Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.020	Warehouse Storage Service	D.R., Chapter 142 KZC. See Gen. Reg. 3.	None	20'	0'	0'	80%	Where adjoining a low density zone, 30' above average building elevation. Otherwise, 35' above average building elevation.	A	C	1 per each 1,000 sq. ft. of gross floor area.	<ol style="list-style-type: none"> 1. May include, as part of this use, accessory retail sales, or service occupying no more than 20 percent of the gross floor area. The landscaping and parking requirements for these accessory uses will be the same as for the primary use. 2. The structure containing the use shall have been in existence on December 31, 2005, and shall not be altered, changed, or otherwise modified to accommodate the use if the cost of such alteration, change, or modification exceeds 30 percent of the replacement cost of that building. However, expansion of the floor area of this use may not exceed 20 percent of the existing gross floor area of the building. 3. The use must be discontinued when there is an alteration, change, or other work in a consecutive 12-month period to the space in which the use is located, and the cost of the alteration, change or other work exceeds 30 percent of the replacement cost of that space. 4. Refer to KZC 115.105 for provisions regarding outdoor use, activity and storage.
.030	Wholesale Trade											
.040	Industrial Laundry Facility											
.050	Wholesale Printing or Publishing											
.060	Wholesale Establishment or Contracting Services in Building Construction, Plumbing, Electrical, Landscaping, or Pest Control								E		<ol style="list-style-type: none"> 1. May include, as part of this use, accessory retail sales, office or service occupying no more than 20 percent of the gross floor area. The landscaping and parking requirements for these accessory uses will be the same as for the primary use. 2. Outdoor storage for this use must be buffered as established in Chapter 95 KZC for Landscaping Category A. 3. The structure containing the use shall have been in existence on December 31, 2005, and shall not be altered, changed, or otherwise modified to accommodate the use if the cost of such alteration, change, or modification exceeds 30 percent of the replacement cost of that building. However, expansion of the floor area of this use may not exceed 20 percent of the existing gross floor area of the building. 4. The use must be discontinued when there is an alteration, change, or other work in a consecutive 12-month period to the space in which the use is located, and the cost of the alteration, change or other work exceeds 30 percent of the replacement cost of that space. 5. Refer to KZC 115.105 for provisions regarding outdoor use, activity and storage. 	

Delete special regulations that restrict development, expansion and modification of structures designed for light industrial types of uses.

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS

Section 55.87	USE ↓ REGULATIONS →	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.070	A Retail Establishment providing banking and related financial services	D.R., Chapter 142 KZC. See Gen. Reg. 3.	None	10'	0'	0'	80%	Same as primary use.	B	E	1 per each 300 sq. ft. of gross floor area.	1. This use is permitted if accessory to a primary use and: a. It will not exceed 20 percent of the gross floor area of the building; b. The use is integrated into the design of the building; c. It will not be located in a separate structure from the primary use; d. It will not exceed 50 percent of the ground floor area of the building; and e. There is no vehicle drive-in or drive-through.
.080	High Technology						Where adjoining a low density zone, 30' above average building elevation. Otherwise, 80' above average building elevation. See Spec. Reg. 1.	C See Spec. Reg. 5.	D	If manufacturing, then 1 per each 1,000 sq. ft. of gross floor area. If office, then 1 per 300 sq. ft. of gross floor area. Otherwise, see KZC 105.25.	1. If this use is located within the "Stand-Alone Housing Areas" (see Plate 37, Chapter 180 KZC), maximum building height is 65 feet above average building elevation. 2. This use may include research and development, testing, assembly, repair or manufacturing or offices that support businesses involved in the pharmaceutical and biotechnology, communications and information technology, electronics and instrumentation, computers and software sectors. 3. May include as part of this use, accessory retail sales or service occupying not more than 20 percent of the gross floor area. The landscaping and parking requirements for these accessory uses will be the same as for the primary use. 4. Refer to KZC 115.105 for provisions regarding outside use, activity and storage. 5. Any outdoor storage area must be buffered according to Landscape Category A.	
.090	Office Use							also Spec. Reg. 2(a).		If a medical, dental, or veterinary office, then 1 per each 200 sq. ft. of gross floor area. Otherwise, 1 per each 300 sq. ft. of gross floor area.	1. If this use is located within the "Stand-Alone Housing Areas" (see Plate 37, Chapter 180 KZC), maximum building height is 65 feet above average building elevation. 2. The following regulations apply only to veterinary offices: a. If there are outdoor runs or other outdoor facilities for the animals, then use must comply with Landscape Category A. b. Outside runs and other outside facilities for the animals must be set back at least 10 feet from each property line and must be surrounded by a fence or wall sufficient to enclose the animals. See KZC 115.105, Outdoor Use, Activity and Storage, for further regulations.	

Revise Special Regulation 1 as follows:
 1. If this use is located in Housing Incentive Area 4 (see Plate 37), maximum building height is 65 feet above average building elevation.

Section 55.87

Zone
TL 10D

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS

Section 55.87	USE ↓ REGULATIONS ↓	Required Review Process	Lot Size	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
				REQUIRED YARD (See Ch. 115)			Lot Coverage	Height of Structure				
				Front	Side	Rear						
.100	Attached or Stacked Dwelling Units See Spec. Reg. 1.	D.R., Chapter 142 KZC. See Gen. Reg. 3.	None	10'	5', but 2 side yards must equal at least 15'. See Spec. Reg. 4.	0'	80%	Where adjoining a low density zone, 30' above average building elevation. Otherwise, 65' above average building elevation. See Spec. Reg. 1.	D	A	1.7 per unit.	1. This use is permitted as a free-standing development only in locations identified on Plate 37 as "Stand-Alone Housing Areas" (see Plate 37, Chapter 180 KZC). If developed in a mixed-use project with three stories of office or high technology use, it may be located throughout the TL 10D zone. 2. At least 10 percent of the units provided in new residential developments of four units or greater shall be affordable housing units, as defined in Chapter 5 KZC. See Chapter 112 KZC for additional affordable housing requirements and incentives. 3. Chapter 115 KZC contains regulations regarding home occupations and other accessory uses, facilities and activities associated with this use. 4. The side yard may be reduced to zero feet if the side of the dwelling unit is attached to a dwelling unit on an adjoining lot. If one side of a dwelling unit is so attached and the opposite side is not, the side that is not attached must provide a minimum side yard of five feet.
.110	Day-Care Center and Mini-Day-Care Center See Spec. Reg. 1.			10'	0'						ZC 5.	1. This use is permitted if accessory to a primary use, and: a. It will not exceed 20 percent of the gross floor area of the building; b. The use is integrated into the design of the building. 2. A six-foot-high fence is required along the property lines adjacent to the outside play areas. 3. Hours of operation may be limited to reduce impacts on nearby residential uses. 4. An on-site passenger loading area may be provided. The City shall determine the appropriate size of the loading areas on a case-by-case basis, depending on the number of attendees and the extent of the abutting right-of-way improvements. Carpooling, staggered loading/unloading time, right-of-way improvements or other means may be required to reduce traffic impacts on any nearby residential uses. 5. May include accessory living facilities for staff persons. 6. The location of parking and passenger loading areas shall be designed to reduce impacts on any nearby residential uses.

Revise Special Regulation 1 as follows:
 1. This use is permitted only in Housing Incentive Area 4 (see Plate 37).
 Add new Special Regulation 2:
 2. Developers and residents in this zone should be aware that this property lies within a district containing and allowing future development of uses of a light industry/office nature, and impacts typically associated with these uses, such as noise and odor, may be experienced by residents.

Section 55.87	USE ↓ REGULATIONS ↑	DIRECTIONS: FIRST, read directions										Special Regulations (See also General Regulations)	
		Required Review Process	Lot Size	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 10)	Required Parking Spaces (See Ch. 105)		
				REQUIRED YARD (See Ch. 115)			Lot Coverage	Height of Structure					
			Front	Side	Rear								
.120	Public Utility	D.R., Chapter 142 KZC. See Gen. Reg. 3.	None	10'	0'	0'	80%	Where adjoining a low	C	B	See KZC	1. If this use is located within the "Stand-Alone Housing Areas" (see Plate 37, Chapter 180 KZC), maximum building height is 65 feet above average building elevation. 2. Landscape Category A or B may be required depending on the type of use on the subject property and the impacts associated with the use on the nearby uses.	
.130	Government Facility Community Facility			Revise Special Regulation 1 as follows: 1. The use shall be conducted within a wholly enclosed building, unless the parcel abuts the Cross Kirkland Corridor (CKC). Outdoor activities may be located only between the CKC and the building.									1. This use is only permitted as a primary use on properties located within 150 feet of the Cross Kirkland Corridor. On other properties, this use is only permitted if accessory to a primary use, where: a. It will not exceed 20 percent of the gross floor area of the building; b. It is not located in a separate structure from the primary use; c. The use is integrated into the design of the building. 2. No vehicle drive-in or drive-through facilities are permitted.
.140	Restaurant or Tavern See Spec. Reg. 1.												
.150	Entertainment, Cultural and/or Recreational Facility	20'				Where adjoining a low density zone, 30' above average building elevation. Otherwise, 35' above average building elevation.	A		See KZC 105.25.				
.160	Public Park	Development standards will be determined on a case-by-case basis. See Chapter 49 KZC for required review process.											

Housing Incentive Area 4 (see Plate 37)

Revise Special Regulation 1 as follows:
 1. The use shall be conducted within a wholly enclosed building, unless the parcel abuts the Cross Kirkland Corridor (CKC). Outdoor activities may be located only between the CKC and the building.

**New Mixed Use Concept
Development Standards**

Use	Review Process	Lot Size	Required Yards Front Side Rear	Lot Cov	Height of Structure	Landscape	Sign Cat.	Required Parking	Special Regulations
Development containing Stacked or Attached dwelling units and one or more of the following uses: • Retail establishments, including restaurants and taverns and/or • Office uses	D.R. Chapter 142 KZC	10 Acres	10' 0' 0'	80%	80' above average building elevation. See Spec. Reg. 5	See Spec. Reg. 6	E	See 105.25	<ol style="list-style-type: none"> 1. A development which includes one or more of the uses specifically listed in this "use" column may also include one or more of the other uses allowed in this zone. 2. Development must be located on property adjacent to the Cross Kirkland Corridor (CKC), and provide building and site orientation to the CKC. 3. Vehicular and pedestrian access must be oriented away from primary access routes for industrial traffic. 4. Developers and residents in this zone should be aware that this property lies within a district containing and allowing future development of uses of a light industry/office nature, and impacts typically associated with these uses, such as noise and odor, may be experienced by residents. 5. Maximum building height for development that includes land on both sides of the CKC is 100 feet. At least 25% of the gross floor area of the development must be on either side of the corridor to satisfy this requirement. 6. The landscaping requirement adjacent to property in TL 10D shall comply with Section 95.42.1. Where existing residential use abuts the parcel boundaries, Section 95.42.2 applies.
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DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS

Section 55.93	USE ↓ REGULATIONS →	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.010	Packaging of Prepared Materials Manufacturing See Spec. Regs. 1 and 2.	D.R., Chapter 142 KZC	None	20'	0'	0'	80%	Where adjoining a low density zone, 30' above average building elevation. Otherwise, 35' above average building elevation.	A	C	1 per each 1,000 sq. ft. of gross floor area.	<ol style="list-style-type: none"> The following manufacturing uses are permitted: <ol style="list-style-type: none"> Food, drugs, stone, clay, glass, china, ceramics products, electrical equipment, scientific or photographic equipment; Fabricated metal products, but not fabrication of major structural steel forms, heavy metal processes, boiler making, or similar activities; Cold mix process only of soap, detergents, cleaning preparations, perfumes, cosmetics, or other toilet preparations; Packaging of prepared materials; Textile, leather, wood, paper and plastic products from pre-prepared material; and Other compatible uses which may involve manufacturing, processing, assembling, fabrication and handling of products, and research and technological processes. May include as part of this use, accessory retail sales, or service occupying not more than 20 percent of the gross floor area (50 percent for properties located within 150 feet of the Cross Kirkland Corridor). The landscaping and parking requirements for these accessory uses will be the same as for the primary use. The structure containing the use shall have been in existence on December 31, 2005, and shall not be altered, changed, or otherwise modified to accommodate the use if the cost of such alteration, change, or modification exceeds 30 percent of the replacement cost of that building. However, expansion of the floor area of this use may not exceed 20 percent of the existing gross floor area of the building. The use must be discontinued when there is an alteration, change, or other work in a consecutive 12-month period to the space in which the use is located, and the cost of the alteration, change or other work exceeds 30 percent of the replacement cost of that space. Breweries, wineries and distilleries may include tasting rooms, accessory retail sales, or office utilizing not more than 20 percent of the gross floor area (no limit for properties located within 150 feet of the Cross Kirkland Corridor).
.015	Breweries, Wineries, and Distilleries										1 per each 1,000 sq. ft. of gross floor area. Tasting rooms 1 per each 100 sq. ft. of gross floor area.	

Delete special regulations that restrict development, expansion and modification of structures designed for light industrial types of uses.

SPECIAL REGULATIONS WILL BE RENUMBERED WHERE REGULATIONS ARE ADDED OR DELETED.

Section 55.93

Zone
TL 10E

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS													
Section 55.93	USE ↓ REGULATIONS →	Required Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)		
			Lot Size	REQUIRED YARD (See Ch. 115)			Lot Coverage					Height of Structure	
				Front	Side	Rear							
.020	Warehouse Storage Service	D.R., Chapter 142 KZC	None	20'	0'	0'	80%	Where adjoining a low density zone, 30' above average building elevation. Otherwise, 35' above	A	C	1 per each 1,000 sq. ft. of gross floor area.	<ol style="list-style-type: none"> May include, as part of this use, accessory retail sales, or service occupying no more than 20 percent of the gross floor area. The landscaping and parking requirements for these accessory uses will be the same as for the primary use. The structure containing the use shall have been in existence on December 31, 2005, and shall not be altered, changed, or otherwise modified to accommodate the use if the cost of such alteration, change, or modification exceeds 30 percent of the replacement cost of that building. However, expansion of the floor area of this use may not exceed 20 percent of the existing gross floor area of the building. The use must be discontinued when there is an alteration, change, or other work in a consecutive 12-month period to the space in which the use is located, and the cost of the alteration, change or other work exceeds 30 percent of the replacement cost of that space. 	
.030	Wholesale Trade												
.040	Industrial Laundry Facility												
.050	Wholesale Printing or Publishing												
.060	A Retail Establishment providing banking and related financial services												Same as for primary use.
.070	Office Use	10'	Where adjoining a low density zone, then 50' above average building elevation. Otherwise, 80' above average building elevation.	C See also Spec. Reg. 1(a).	D	If medical, dental or veterinary office, then 1 per each 200 sq. ft. of gross floor area. Otherwise, 1 per each 300 sq. ft. of gross floor area.	<ol style="list-style-type: none"> The following regulations apply only to veterinary offices: <ol style="list-style-type: none"> If there are outdoor runs or other outdoor facilities for the animals, then use must comply with Landscape Category A. Outside runs and other outside facilities for the animals must be set back at least 10 feet from each property line and must be surrounded by a fence or wall sufficient to enclose the animals. See KZC 115.105, Outdoor Use, Activity and Storage, for further regulations. 						

Delete special regulations that restrict development, expansion and modification of structures designed for light industrial types of uses.



Section 55.93

Zone
TL 10E

USE ZONE CHART

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS													
Section 55.93	USE ↓ REGULATIONS →	Required Review Process	MINIMUMS			MAXIMUMS		Lot Coverage	Height of Structure	Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
			Lot Size	REQUIRED YARD (See Ch. 115)									
				Front	Side	Rear							
.130	Entertainment, Cultural and/or Recreational Facility	D.R., Chapter 142 KZC	None	20'	0'	0'	80%	Where adjoining a low density zone, 30' above average building elevation. Otherwise, 35' above average building elevation.	A	E	See KZC 105.25.	1. The use shall be conducted within a wholly enclosed building. 2. The structure containing the use shall have been in existence on June 1, 2004, and shall not be altered, changed, or otherwise modified to accommodate the use if the cost of such alteration, change, or modification exceeds 30 percent of the replacement cost of that building. 3. The use must be discontinued when there is an alteration, change, or other work in a consecutive 12-month period to the space in which the use is located, and the cost of the alteration, change or other work exceeds 30 percent of the replacement cost of that space.	
.140	Public Park	Development standards will be determined on a case-by-case basis. See Chapter 49 KZC for required review process.											

Revise Special Regulation 1 as follows:
 1. The use shall be conducted within a wholly enclosed building, unless the parcel abuts the Cross Kirkland Corridor (CKC). Outdoor activities may be located only between the CKC and the building.

New Mixed Use Concept Development Standards

Special Regulations

Use	Review Process	Lot Size	Required Yards Front Side Rear	Lot Cov.	Height of Structure	Landscape	Sign Cat.	Required Parking
Development containing Stacked or Attached dwelling units and one or more of the following uses: • Retail establishments, including restaurants and taverns and/or • Office uses	D.R. Chapter 142 KZC	10 Acres	10' 0' 0'	80%	80' above average building elevation. See Spec. Reg. 5	See Spec. Reg. 6	E	See 105.25
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1. A development which includes one or more of the uses specifically listed in this “use” column may also include one or more of the other uses allowed in this zone.
2. Development must be located on property adjacent to the Cross Kirkland Corridor (CKC), and provide building and site orientation to the CKC.
3. Vehicular and pedestrian access must be oriented away from primary access routes for industrial traffic.
4. Developers and residents in this zone should be aware that this property lies within a district containing and allowing future development of uses of a light industry/office nature, and impacts typically associated with these uses, such as noise and odor, may be experienced by residents.
5. Maximum building height for development that includes land on both sides of the CKC is 100 feet. At least 25% of the gross floor area of the development must be on either side of the corridor to satisfy this requirement.
6. The landscaping requirement adjacent to property in TL 10D shall comply with Section 95.42.1. Where existing residential use abuts the parcel boundaries, Section 95.42.2 applies.

Use		Required Review Process:					
		RM, RMA	WD I	WD III	PLA 2	PLA 3B	PLA 6F
		I = Process I, Chapter 145 KZC IIA = Process IIA, Chapter 150 KZC IIB = Proc None = NP = Use Not Per # = Applicable Special Regulations					
20.20.050	Convalescent Center	IIA 2, 4	NP	NP	NP	NP	IIA 4
20.20.060	Detached, Attached, or Stacked Dwelling Units	None 2, 21, 22, 23	I 44	I 9	IIB 9	IIB 9	None
20.20.070	Detached Dwelling Unit	None 24	None	None	NP	None	None 24
20.20.080	Entertainment, Cultural and/or Recreational Facility	NP	NP	NP	NP	NP	NP
20.20.090	Golf Course	NP	NP	NP	NP	NP	NP
20.20.100	Government Facility	IIA 2, 17	IIA	IIA	IIA 17	IIB	IIA
20.20.110	Grocery Store, Drug Store, Laundromat, Dry Cleaners, Barber Shop, Beauty Shop or Shoe Repair Shop	IIA 27	NP	NP	NP	NP	NP
20.20.120	Hotel or Motel	NP	NP	NP	NP	IIB 10	NP
20.20.130	Marina	NP	I 6, 28	NP	NP	I 6, 28	NP
20.20.140	Mini-School or Mini-Day-Care Center	None 2, 29, 30, 31, 32, 33	NP	NP	IIB 30, 31, 33, 34, 35	NP	None 30, 31, 33, 34, 35
20.20.150	Nursing Home	IIA 2, 4	NP	NP	NP	NP	IIA 4

- a. The ancillary assembled or manufactured goods are subordinate to and dependent on this use.
- b. The outward appearance and impacts of this use with ancillary assembly or manufacturing activities must be no different from other office uses.

PU-40. In the PLA 2 zone, portions of the park located within the wetlands must be devoted exclusively to passive recreation that is not consumptive of the natural environment.

PU-41. Outside storage is not permitted.

PU-42. Drive-in or drive-through facilities are prohibited.

PU-43. Structured play areas must be set back from all property lines as follows:

- a. Twenty feet if this use can accommodate 50 or more students or children.
- b. Ten feet if this use can accommodate 13 to 49 students or children.

PU-44 If the subject property lies in the RMA 3.6 zone and is adjacent to property within the TL 7B zone, the following shall apply:

- a. Landscaping on the subject property abutting the TL 7B boundary shall comply with Section 95.42.1. Otherwise, Category D applies.
- b. Developers and residents should be aware that this property lies adjacent to a district containing and allowing future development of uses of a light industry/office nature, and impacts typically associated with these uses, such as noise and odor, may be experienced by residents.

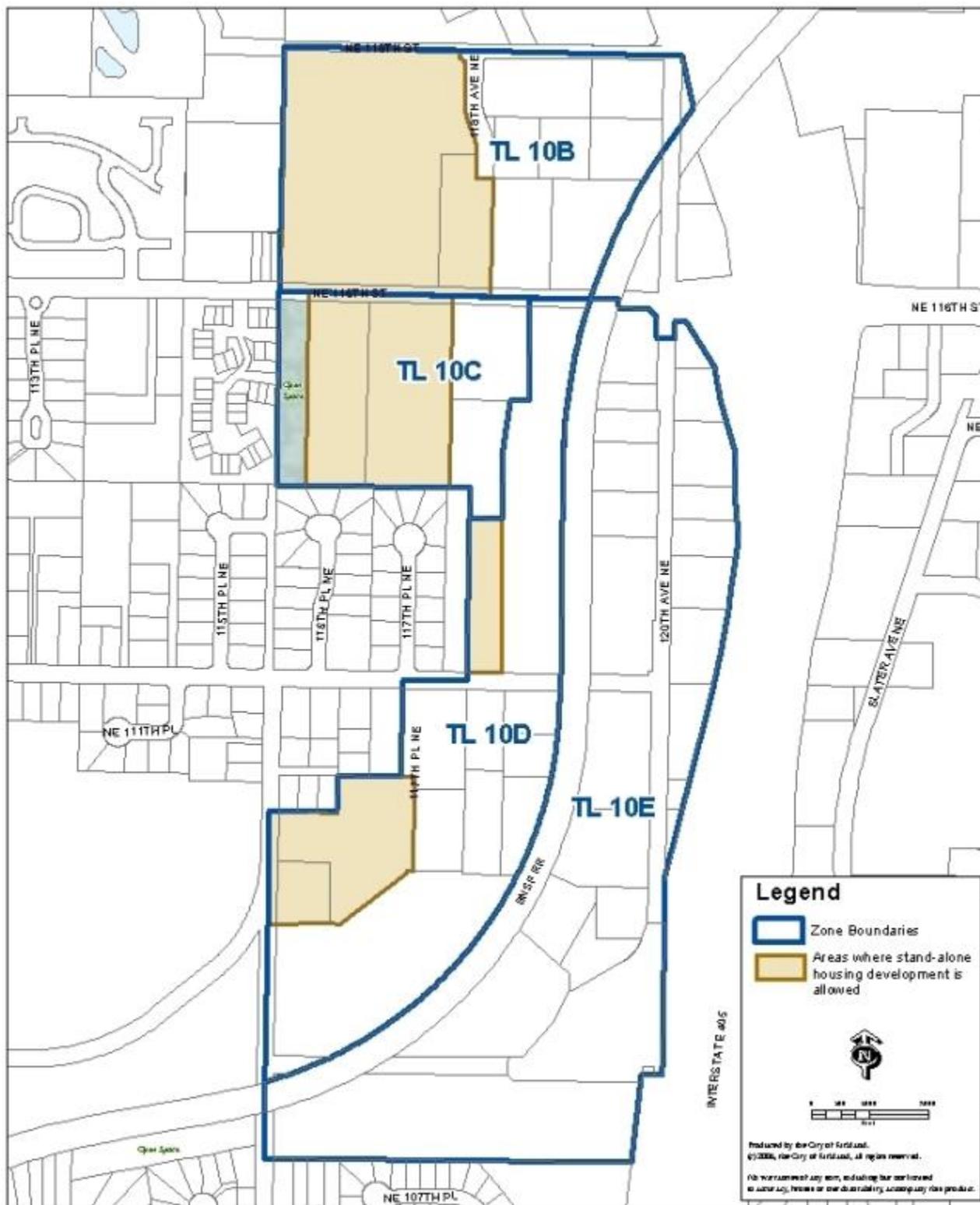
(Refer to KZC [20.20](#), Permitted Uses Table, to determine if a use is allowed in the zone; see also KZC [20](#))

USE	Minimum Lot Size	REQUIRED YARDS (See Ch. 115 KZC)		
		Front	Side	Rear (or setback)
20.30.010 Assisted Living Facility ¹	3,600 sq. ft. PLA 6H: 2 acres PLA 17: 2 acres ¹¹	20' RM, RMA: 20' ² WD I: 30' ^{4, 5, 36, 37} WD III, PLA 3B: 30' ^{5, 22, 38}	5' ³³ RMA: 5' WD I, WD III, PLA 3B: 5' ^{5, 33}	WD I, WD PLA 3B: 5'
20.30.020 Boat Launch (for nonmotorized boats)	None	See Chapter 83 KZC.		

115.85 Lighting Regulations

1. General Requirements – All interior and exterior lighting in any zone must comply with this section.
 - a. Efficient Light Sources – Energy-efficient light sources shall be used in any development and use of land.
 - b. State Code – The requirements of the Washington State Energy Code with respect to the selection and regulation of light sources shall be complied with.
 - c. Glare from Subject Property Prohibited – The applicant shall select, place and direct light sources so that glare produced by any light source, to the maximum extent possible, does not extend to adjacent properties or to the right-of-way.

2. Exterior Lighting Requirements for the Rose Hill Business District and for the Vehicle Sales Use in the TL 9A zone in the Totem Lake Business District.
 - a. General – In addition to the requirements of subsection (1) of this section, the following regulations contained in this section apply to all exterior lighting to be installed or modified in RH zones within the Rose Hill Business District, and for the Vehicle Sales use within the TL 9A zone in the Totem Lake Business District. The intent of this section is to discourage excessive lighting and to protect low density residential zones from adverse impacts that can be associated with light trespass from nonresidential and medium to high density residential development.
 - b. Standards – The following standards shall apply to all exterior lighting on buildings, all open air parking areas and equipment storage yards:
 - 1) All exterior building-mounted and ground-mounted light fixtures for open air parking areas, including rooftop parking area light fixtures, shall be directed downward and use “fully shielded cut off” fixtures as defined by the Illuminating Engineering Society of North America (IESNA), or other appropriate measure to conceal the light source from adjoining uses. Manufacturer specification sheets for the lighting fixtures including photometric data shall be included with lighting plans; and



10.25 Zoning Categories Adopted

The City is divided into the following zoning categories:

Zoning Category	Symbol
1. Single-Family Residential Zones	RS, RSA and RSX (followed by a designation indicating minimum lot size per dwelling unit or units per acre)
2. Multifamily Residential Zones	RM and RMA (followed by a designation indicating minimum lot size per dwelling unit)
3. Professional Office/Residential Zones	PR and PRA (followed by a designation indicating minimum lot size per dwelling unit)
4. Professional Office Zones	PO
5. Waterfront Districts	WD (followed by a designation indicating which Waterfront District)
6. Yarrow Bay Business District	YBD (followed by a designation indicating which sub-zone within the Yarrow Bay Business District)
7. Neighborhood Business	BN and BNA
8. Community Business	BC, BC 1, BC 2 and BCX
9. Central Business District	CBD (followed by a designation indicating which sub-zone within the Central Business District)
10. Juanita Business District	JBD (followed by a designation indicating which sub-zone within the Juanita Business District)
11. Market Street Corridor	MSC (followed by a designation indicating which sub-zone within the Market Street Corridor)
12. North Rose Hill Business District	NRH (followed by a designation indicating which sub-zone within the North Rose Hill Business District)
13. Rose Hill Business District	RH (followed by a designation indicating which sub-zone within the Rose Hill Business District)
14. Totem Center Business District Core (BDC) and Totem Lake Business District (TLBD) Neighborhood	TL (followed by a designation indicating which sub-zone within Business District Core (BDC) Totem Center or the Totem Lake Business District Neighborhood)
15. Light Industrial Zones	LIT, TL 7B

Chapter 92 – DESIGN REGULATIONS

[92.05](#) Introduction

1. General
2. Applicability
3. Design Review Procedures
4. Relationship to Other Regulations
5. Dedication
6. Design Districts in Rose Hill Business District
7. Design Districts in the Totem Lake ~~Neighborhood~~[Business District \(TLBD\)](#)

[92.10](#) Site Design, Building Placement and Pedestrian-Oriented Facades

1. Building Placement in JBD
2. Pedestrian-Oriented Facades Defined for RHBD and ~~TLBD~~[TLBDN](#)
3. Building Placement in RHBD, ~~TLBD~~[TLBDN](#) and YBD
4. Multi-Story Buildings on Sites Adjacent to a Low Density Zone in RHBD and ~~TLBD~~[TLBDN](#)
5. Multifamily Buildings Located in ~~TLBD~~[TLBDN](#)
6. Building Location at Street Corners in the RHBD and ~~TLBD~~[TLBDN](#) Zones
7. Building Location at Street Corners in CBD

[92.15](#) Pedestrian-Oriented Improvements on or Adjacent to the Subject Property

1. All Zones – Pedestrian Oriented Space and Plazas in Parking Areas
2. Pedestrian-Oriented Space and Plazas in ~~TCBDC~~[TCBDC](#), CBD, NRHBD, RHBD and ~~TLBD~~[TLBDN](#) Zones
3. Blank Wall Treatment
4. Parking Garages

[92.30](#) Architectural and Human Scale

1. Techniques To Moderate Bulk and Mass in the CBD
2. Horizontal Definition in All Zones
3. Techniques To Moderate Bulk and Mass in the RHBD and TL~~BDN~~ Zones
4. Techniques To Achieve Architectural Scale in All Zones
5. Techniques To Achieve Architectural Scale in the RHBD and the TL~~BDN~~ Zones
6. Achieving Human Scale in All Zones

92.35 Building Material, Color and Detail

1. Required Elements
2. Prohibited Materials – All Zones
3. Metal Siding – All Zones
4. Concrete Block – All Zones
5. Awnings – All Zones
6. Covering of Existing Facades – All Zones
7. Building Cornerstone or Plaque – All Zones
8. Required On-Site Improvements – All Zones

92.05 Introduction

1. General – This chapter establishes the design regulations that apply to development in [Design Districts](#) including the Central Business District (CBD), Market Street Corridor (MSC), Neighborhood Business Districts (BN, BNA), Juanita Business District (JBD), Rose Hill Business District (RHBD), Totem Lake ~~Business District~~ ~~Neighborhood~~ (TL~~BDN~~), North Rose Hill Business District (NRHBD), ~~Business District Core~~ ~~Totem Center~~ (BD~~TC~~), Yarrow Bay Business District (YBD) and in PLA 5C.

Special provisions that apply to a particular [Design District](#) are noted in the section headings of the chapter.

2. Applicability – The provisions of this chapter apply to all new development, with the exception of development in the TL 7 zone. The provisions of Chapters [142](#) and [162](#) KZC regarding Design Review and [nonconformance](#) establish which of the regulations of this chapter apply to developed sites. Where provisions of this chapter conflict with provisions in any other section of the code, this chapter prevails. For more information on each [Design District](#) refer to



FIGURE 92.05.A

7. [Design Districts](#) in the Totem Lake [Business District Neighborhood](#) – Various places in this chapter refer to either the [Business District Core Totem-Center \(BDCFC\) Design District](#) or the larger Totem Lake [Business District Neighborhood \(TLBDN\)](#). Figure 92.05.B below describes where the [Business District Core Totem-Center Design District](#) is located within the larger Totem Lake [Business District Neighborhood](#). For more information on the design guidelines for each area see the Totem Lake [Business District Neighborhood](#) Design Guidelines and the Guidelines for Pedestrian-Oriented Business Districts that apply in the [Business District Core Totem-Center](#) adopted by reference in Chapter [3.30](#) KMC.

~~Totem Center Business District Core within the Totem Lake Neighborhood Business District~~

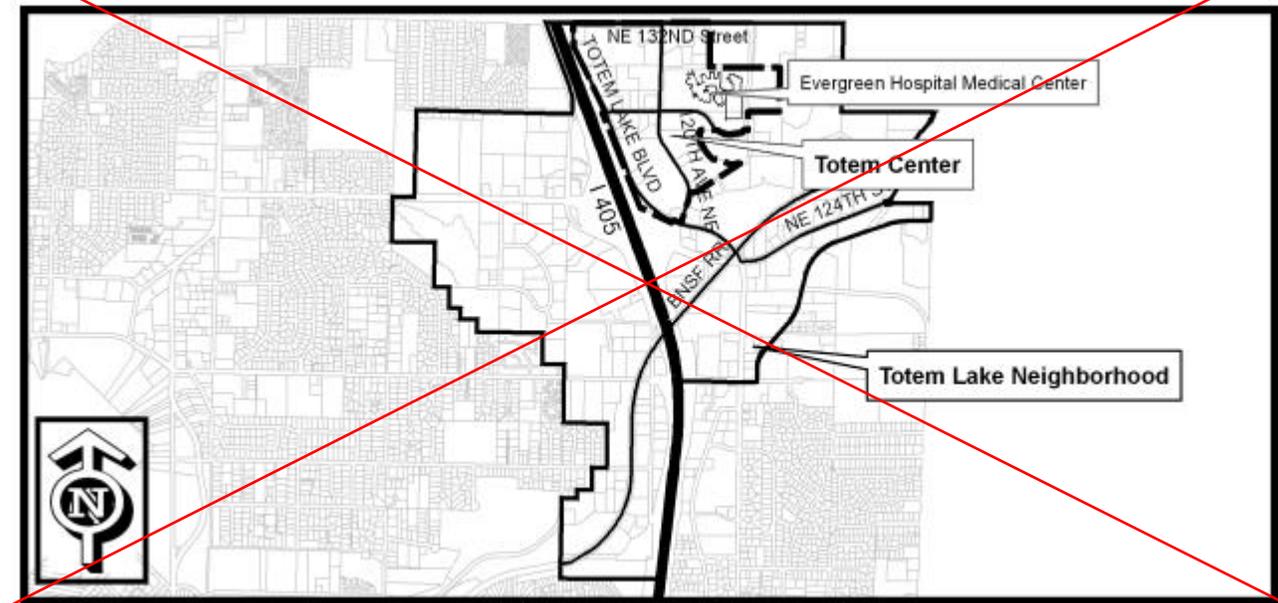


FIGURE 92.05.B

(Ord. 4392 § 1, 2012; Ord. 4390 § 1, 2012; Ord. 4357 § 1, 2012; Ord. 4333 § 1, 2011; Ord. 4174 § 1, 2009; Ord. 4097 § 1, 2007; Ord. 4037 § 1, 2006; Ord. 4030 § 1, 2006; Ord. 3972 § 1, 2004; Ord. 3889 § 2, 2003; Ord. 3833 § 1, 2002)

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92.10 Site Design, Building Placement and Pedestrian-Oriented Facades

This section contains regulations which establish the location of a building on the site in relationship to the adjacent sidewalk, [pedestrian pathway](#) or pedestrian-oriented elements on or adjacent to the subject property.

1. Building Placement in JBD – All buildings must front on a [right-of-way](#) or [through-block pathway](#) (see Plate 34).
2. Pedestrian-Oriented Facades Defined for RHBD and ~~TLN-TLBD~~ – To meet the definition of a pedestrian-oriented facade (see Figure 92.10.A):
 - a. The building's primary entrance must be located on this facade and facing the street. For purposes of this chapter, "primary entrance" shall be defined as the primary or principal pedestrian entrance of all buildings along that street. The primary entrance is the entrance designed for access by pedestrians from the sidewalk. This is the principal architectural entrance even though customers or residents may use a secondary entrance associated with a garage, [parking area](#), [driveway](#) or other vehicular use area more frequently.

- b. Transparent windows and/or doors must occupy at least 75 percent of the facade area between two (2) and seven (7) feet above the sidewalk.
- c. Weather protection feature(s) at least five (5) feet wide must be provided over at least 75 percent of the facade. This could include awnings, canopies, marquees, or other permitted treatments that provide functional weather protection.

3. Building Placement in RHBD, ~~TLN~~-TLBD and YBD

- a. Building Location Featuring Pedestrian-Oriented Facades in RHBD, ~~TLN~~-TLBD and YBD Zones – Buildings may be located adjacent to the sidewalk of any street (except west of 124th Avenue NE in the TLBDN) and in YBD (except for Lake Washington Boulevard and Northup Way), if they contain a pedestrian-oriented facade along that street frontage pursuant to the standards in subsection (2) of this section. As part of the Design Review process, [required yards](#), setbacks or other development standards may be modified along the street frontage. Buildings not featuring a pedestrian-oriented facade along a street must provide a building setback of at least 10 feet from any public street (except areas used for pedestrian or vehicular access) landscaped with a combination of trees, shrubs, and groundcover per the requirements of supplemental landscape standards of KZC [95.41\(2\)](#).

Pedestrian-Oriented Facade

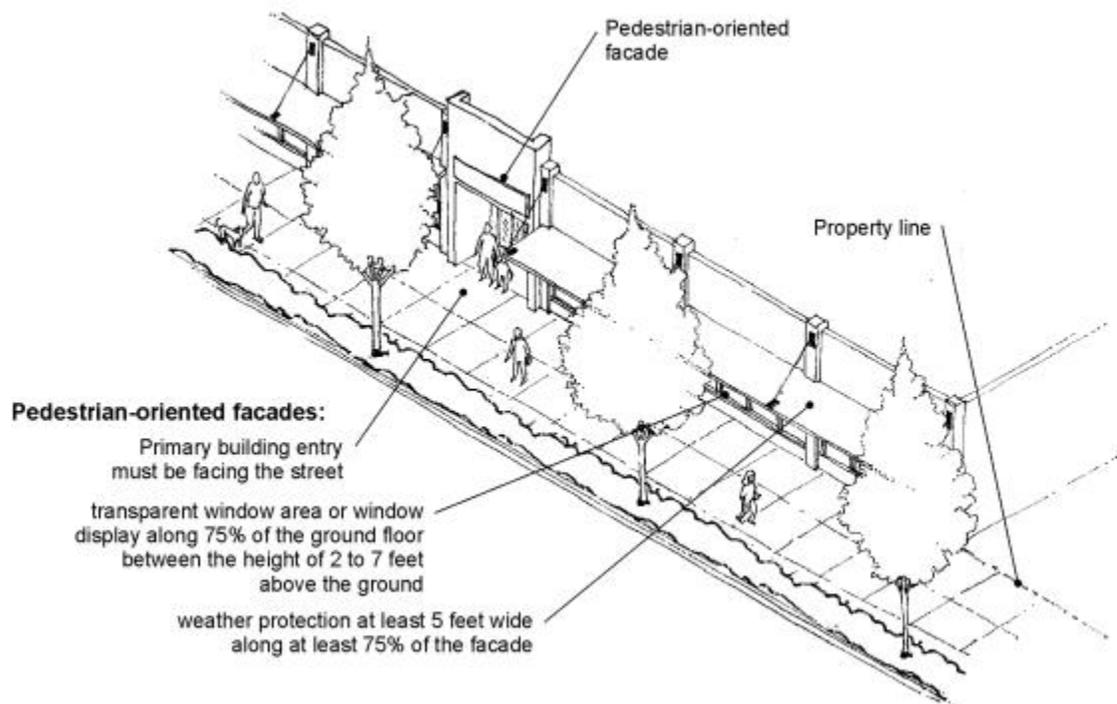


FIGURE 92.10.A

- b. For All Other Building Facades in RHBD and TLBDN Zones (Non-Pedestrian-Oriented Facade) – Building facades not featuring a pedestrian-oriented facade described in subsection

(2) of this section must provide at least three (3) feet of [landscaping](#) between any vehicular access area or walkway and the building. (See Figure 92.10.B.)

Exceptions:

- 1) Alleys and other areas generally not visible to the public, as determined by the City;
- 2) Other design options may be considered through the Design Review process, provided they meet the intent of the guidelines.

Interior [Pedestrian Pathway](#) Shall Be Separated from Non-Pedestrian-Oriented Facades by [Landscaping](#)

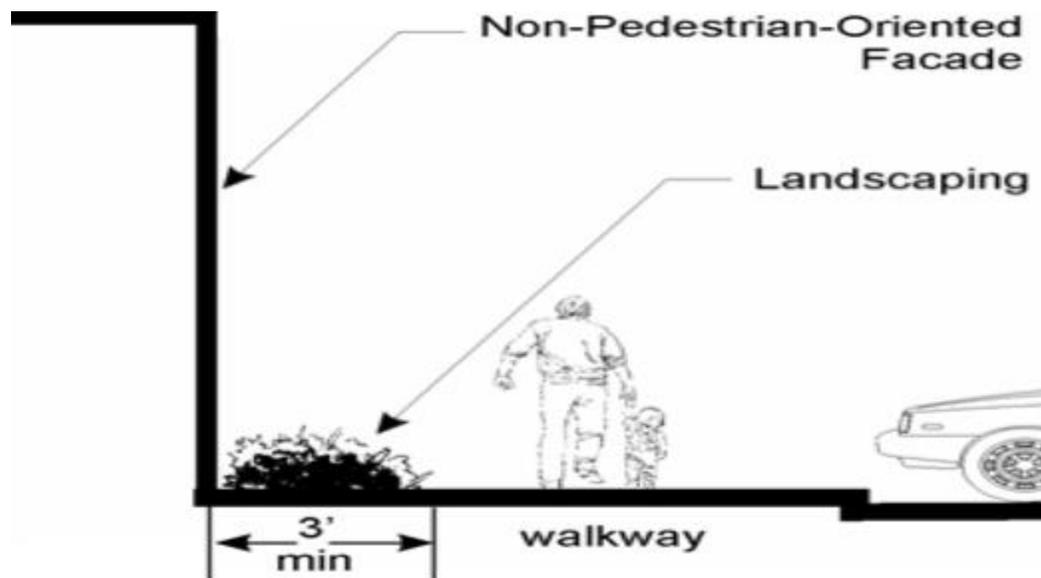


FIGURE 92.10.B

c. Neighborhood Center Frontage – At least 50 percent of the NE 85th Street property frontage must contain pedestrian-oriented facades located directly on the sidewalk. Vehicle sales uses are exempt as long as their showroom faces the street and is sited within 10 feet of the sidewalk.

d. Vehicle Sales Showrooms in RHBD and TLBDN Zones – Vehicle sales uses are encouraged to locate their showrooms toward the street (and toward NE 85th Street in RHBD) with parking to the side or rear.

e. RHBD East End – NE 85th Street Building Frontage Options and Preferences

1) Preferred Option: Buildings may be located adjacent to the sidewalk on NE 85th Street if they contain a pedestrian-oriented facade (see Figure 92.10.A);

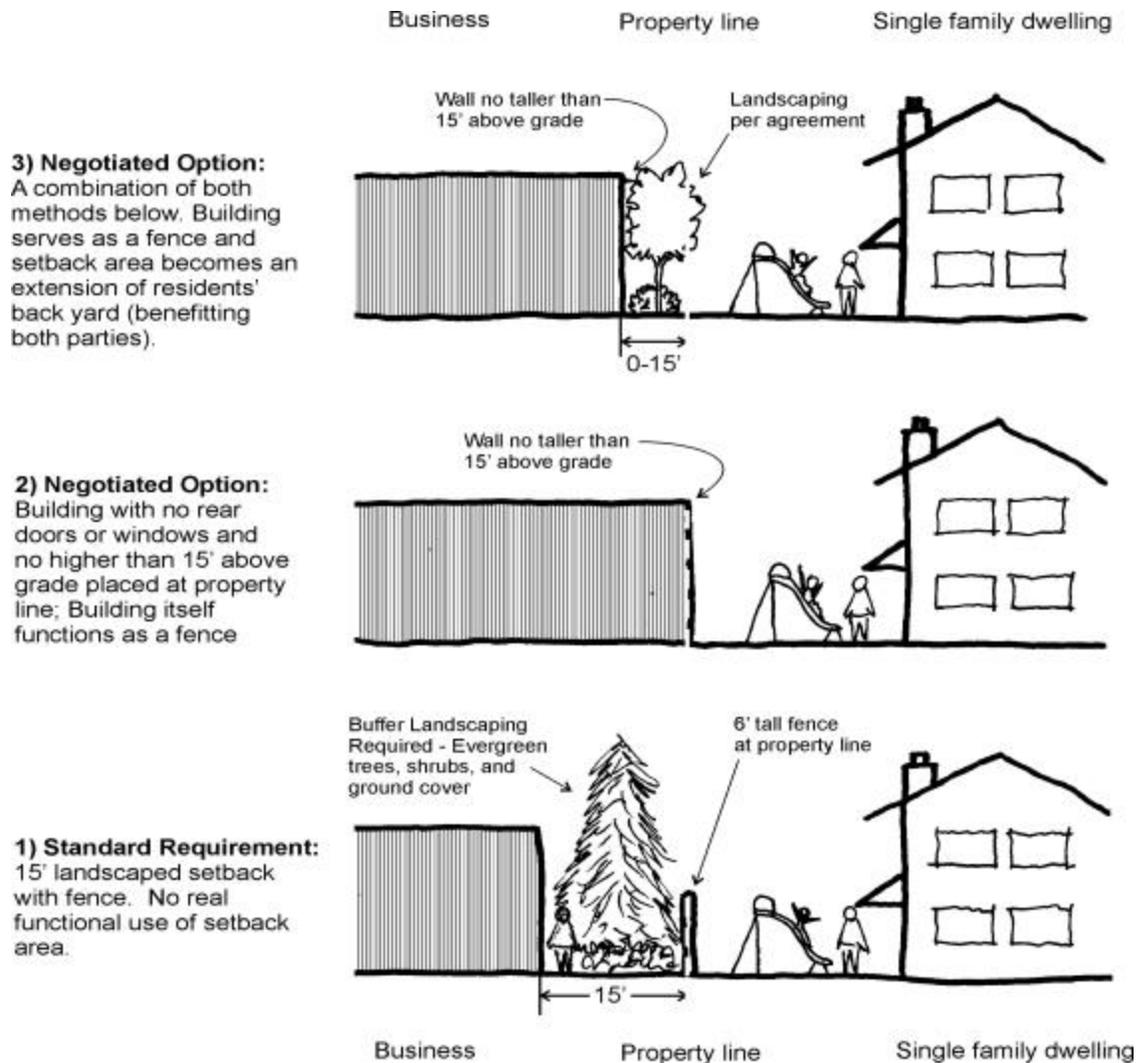


FIGURE 92.10.C

4. Multi-Story Buildings on Sites Adjacent to a [Low Density Zone](#) in RHBD and TLBDN – Multi-story buildings on sites adjacent to a [low density zone](#) in RHBD and TLBDN shall be configured and designed to minimize privacy impacts on adjacent [low density uses](#). For example, a development may meet this requirement by orienting upper floors towards the street and/or towards interior courtyards.
5. Multifamily Buildings Located in TLBDN – Multifamily buildings located in TLBDN adjacent to NE 120th Street must be [oriented](#) toward this street. To meet this requirement, common and/or individual unit entries must face the street. The building must include windows that face the street. [Parking areas](#) between the building and the street are prohibited. Alternative configurations may be considered in the Design Review process.
6. Building Location at Street Corners in the RHBD and TLBDN Zones

(Ord. 4333 § 1, 2011; Ord. 4238 § 2, 2010; Ord. 4097 § 1, 2007; Ord. 4037 § 1, 2006; Ord. 4030 § 1, 2006; Ord. 3972 § 1, 2004; Ord. 3889 § 2, 2003; Ord. 3833 § 1, 2002)

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92.15 Pedestrian-Oriented Improvements on or Adjacent to the Subject Property

1. All Zones – Pedestrian-Oriented Space and Plazas in [Parking Areas](#) – The applicant must provide at least 175 square feet of pedestrian-oriented space at the main building entrance in a central location, or adjacent to a [parking area](#). This area must be raised at least six (6) inches above the [parking lot](#) surface and must be paved with concrete or unit pavers.
2. Pedestrian-Oriented Space and Plazas in ~~TC~~[BDC](#), CBD, BN, BNA, MSC 2, NRHBD, RHBD and ~~TL~~[BDN](#) Zones
 - a. In the CBD, BN, BNA, MSC 2 or in ~~TC~~[BDC](#) – If the subject property abuts a [pedestrian-oriented street](#) (see Plate [34](#) in Chapter [180](#) KZC) or [public park](#), the space, if any, between the sidewalk and the building must be developed consistent with the following criteria:
 - 1) Enhance visual and pedestrian access, including handicapped access, onto the subject property from the sidewalk.
 - 2) Contain paved walking surface of either concrete or approved unit pavers.
 - 3) Contain on-site or [building-mounted](#) lighting which provides adequate illumination.
 - 4) Contain two (2) linear feet of seating area or one (1) individual seat per 65 square feet of area between the sidewalk and the building.
 - 5) Contain [landscaping](#) such as trees, shrubs, [trellises](#), or potted plants.
 - 6) It may not include asphalt or gravel pavement or be adjacent to an unscreened [parking area](#), a chain link [fence](#) or a blank wall which does not comply with the requirements of subsection (3) of this section, Blank Wall Treatment.
 - 7) An alternative solution for the pedestrian-oriented space may be established through a Conceptual [Master Plan](#) in TL 2.
 - b. In the NRHBD Zones – If the subject property abuts a [major pedestrian sidewalk](#) on the southwest corner of NE 116th Street and 124th Avenue NE (see Plate [34](#) in Chapter [180](#) KZC), the space, if any, between the sidewalk and the building must be developed consistent with the following criteria:
 - 1) Enhance visual and pedestrian access, including handicapped access, onto the subject property from the sidewalk.

- 2) Contain paved walking surface of either concrete or approved unit pavers.
- 3) Contain on-site or [building-mounted](#) lighting which provides adequate illumination.
- 4) Contain two (2) linear feet of seating area or one (1) individual seat per 65 square feet of area between the sidewalk and the building.
- 5) Contain [landscaping](#), such as trees, shrubs, [trellises](#), or potted plants.
- 6) In the alternative, the pedestrian-oriented space can be integrated with a pedestrian connection linking Slater Avenue NE and NE 116th Street, anywhere on the subject property, consistent with the criteria in subsections (2)(b)(1) through (5) of this section.

c. In the RHBD and ~~FLN~~-TLBD Zones – All nonresidential uses must provide pedestrian-oriented space in conjunction with new development according to the formula below. For the purposes of this section, required pathways shall not count as pedestrian-oriented space. However, as part of the Design Review, the City may allow those portions of pathways widened beyond minimum requirements to count towards the required pedestrian-oriented space as long as such space meets the definition of pedestrian-oriented space.

1) Size: One (1) percent of the applicable lot area plus one (1) percent of the nonresidential building [gross floor area](#). (See Figure 92.15.A).

a) The City may exempt uses that are likely to generate very little customer/pedestrian activity and have few or no employees. These may include warehouse, storage, industrial, and other similar uses.

Pedestrian-Oriented Space Requirement for Large Nonresidential Buildings Served by Surface Parking

- c. Bottom: Pedestrian-oriented storefronts, pedestrian-scale building details, awnings, arcades, “earth” materials such as concrete stone, stucco, etc.

Where appropriate, the applicant should coordinate the horizontal elements (i.e., [cornices](#), window lines, arcades, etc.) in a pattern and height to reflect similar elements on neighboring buildings.

Horizontal Definition: Articulation of Buildings’ Top, Middle and Bottom

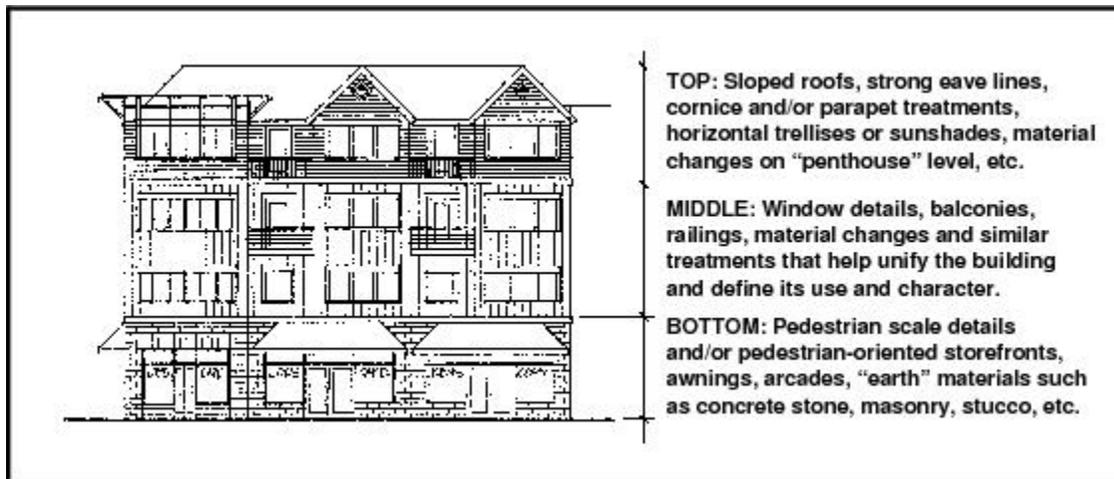


FIGURE 92.30.C

3. Techniques To Moderate Bulk and Mass in the RHBD and ~~FLN-TLBD~~ Zones

a. Along all streets, [through-block pathways](#), and public [open spaces](#), the maximum length of a facade is 120 feet. Any facade that exceeds 120 feet along the [right-of-way](#) shall comply with the following requirements (see Figure 92.30.A):

- 1) Shall be divided by a 30-foot-wide [modulation](#) of the exterior wall so the maximum length of the facade is 120 feet without this [modulation](#).
- 2) The [modulation](#) shall be 20 feet in depth and shall start at [finished grade](#) and extend through all floors.
- 3) Decks and roof overhangs may encroach up to three (3) feet (per side) into the [modulation](#).

4. Techniques To Achieve Architectural Scale in All Zones – The applicant shall use at least two (2) of the following elements and features in the design and construction of all buildings that are three (3) or more stories or have a building footprint of more than 10,000 square feet. As an alternative, the applicant may propose slight variations from the required dimensions noted in the following techniques, or other methods to comply with the requirements of this subsection. The City may approve the proposal if it is consistent with the design guidelines and the [Comprehensive Plan](#).

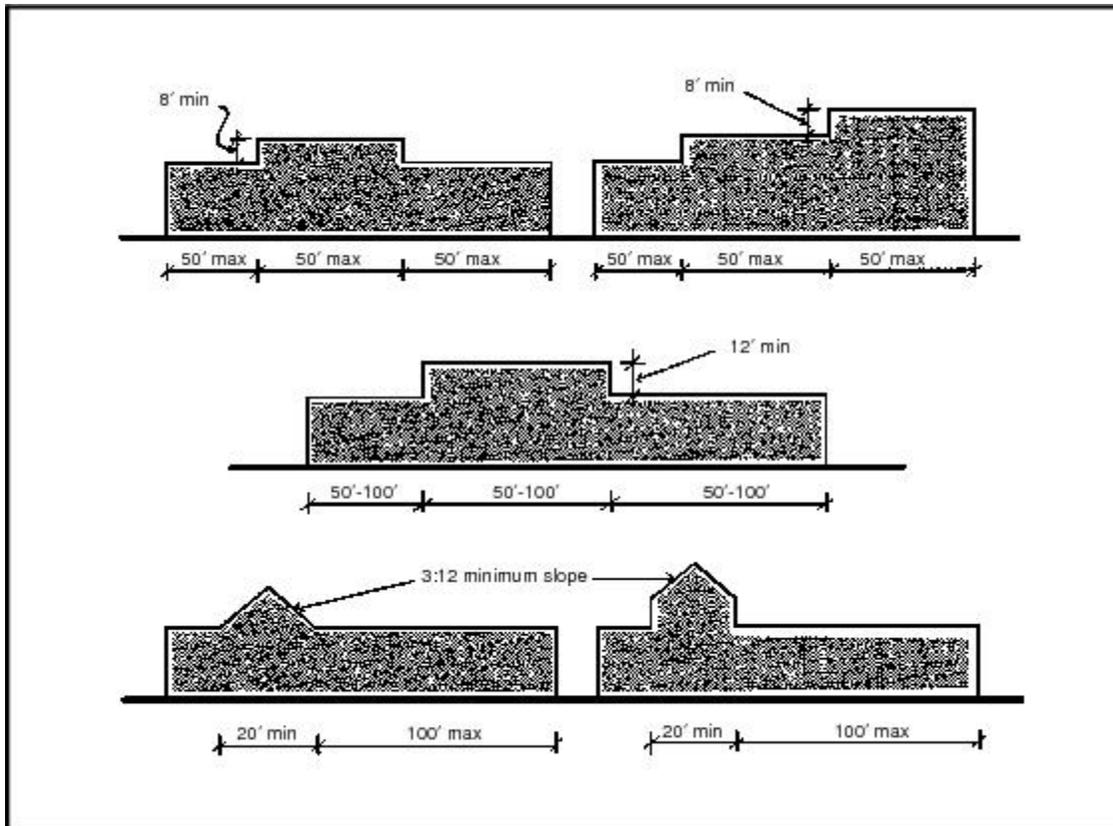


FIGURE 92.30.D

3) The length of a sloped or gabled roof line segment must be at least 20 feet. The minimum slope of the roof segment is three (3) feet vertical to 12 feet horizontal.

e. Buildings with other roof forms, such as arched, gabled, vaulted, dormered or sawtooth, must have a significant change in slope or significant change in roof line at least every 100 feet.

5. Techniques To Achieve Architectural Scale in the RHBD and the TLBDN Zones

a. The following standards supplement the required techniques described in subsection (4) of this section. Where there are similar techniques, the standards in this section shall apply. All buildings in the RHBD and ~~TLN~~-TLBD zones shall include at least three (3) of the following modulation techniques at the articulation intervals described in subsection (5)(b) of this section along all facades containing the primary building entries (alley facades are exempt):

1) Repeating distinctive window patterns at intervals less than the articulation interval;

2) Horizontal Building Modulation – Minimum depth of modulation is two (2) feet and minimum width for each modulation is four (4) feet if tied to a change in color or building material and roof line modulation as defined below. Otherwise, minimum depth of modulation is 10 feet (except balconies) and minimum width for each modulation is 15 feet;

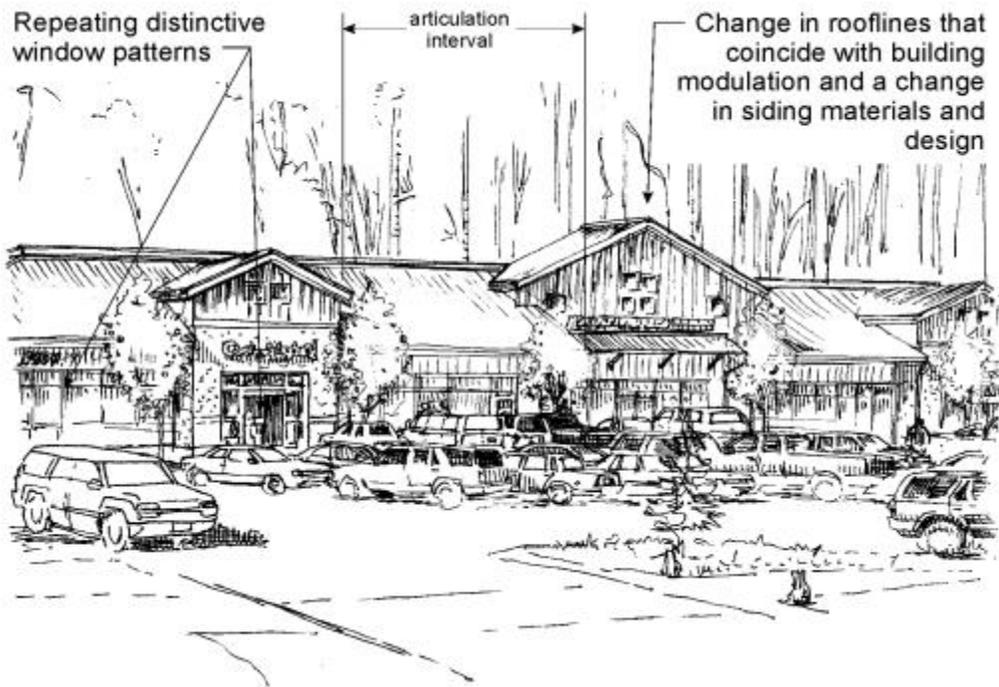


FIGURE 92.30.E

c. Techniques To Achieve Architectural Scale for Office Buildings in the RHBD and in the ~~TLN~~ TLBD Outside of ~~Totem Center~~Business District Core

1) Office Building Design Standards for the ~~TLN~~TLBD and the RHBD's Regional Center – These standards are intended to supplement other building design standards that apply to the Totem Lake ~~Neighborhood Business District~~ and to the Regional Center. Where there is a conflict between standards, these standards shall apply as they are specific to office buildings.

a) Buildings must use design techniques to break up long continuous building walls, reduce the architectural scale of the building, and add visual interest. Specifically, any building facade longer than 120 feet in width must employ design techniques to limit the length of individual facades. To meet this requirement, buildings must utilize a combination of horizontal building modulation with a change in building materials or finishes, a clear change in building articulation and/or a change in fenestration technique (see Figure 92.30.F).

This building uses an angled window wall over the primary building entry to break up the width of the facade:

- d) Mirrored glass and other highly reflective materials are prohibited (see Figure 92.30.I)

Recessed windows, mullions and trim



FIGURE 92.30.H

Continuous window walls are prohibited unless used as an accent, such as in this building:



FIGURE 92.30.I

6. Achieving Human Scale in All Zones

a. General

1) CBD – Except as provided in subsection (6)(a)(3) of this section, the applicant shall use at least two (2) of the elements or techniques listed in subsection (6)(b) of this section in the design and construction of each facade of a building facing a street or [public park](#).

2) BN, JBD, NRHBD, RHBD, MSC, ~~TCBDC~~, YBD and TLBDN – Except as provided in subsection (6)(a)(3) of this section, the applicant shall use at least one (1) of the elements or techniques listed in subsection (6)(b) of this section in the design and construction of each facade of a 1-story building facing a street or [through-block pathway](#), and at least two (2) of the elements or techniques for a 2-story building facing a street or [through-block pathway](#) (see Plate [34](#) in Chapter [180](#) KZC).

3) All Zones – The applicant shall use at least three (3) of the elements or techniques listed in subsection (6)(b) of this section in the design and construction of any facade of a building facing a street, [through-block pathway](#) or [public park](#), if:

a) The facade has a height of three (3) or more stories; or

b) The facade is more than 100 feet long.

b. Techniques To Achieve Human Scale in All Zones – The techniques to be used in the design and construction of building facades under subsection (6)(a) of this section are listed below. As an alternative, the applicant may propose other techniques, elements or methods

FIGURE 92.30.J

Multiple-Paned Fenestration Option

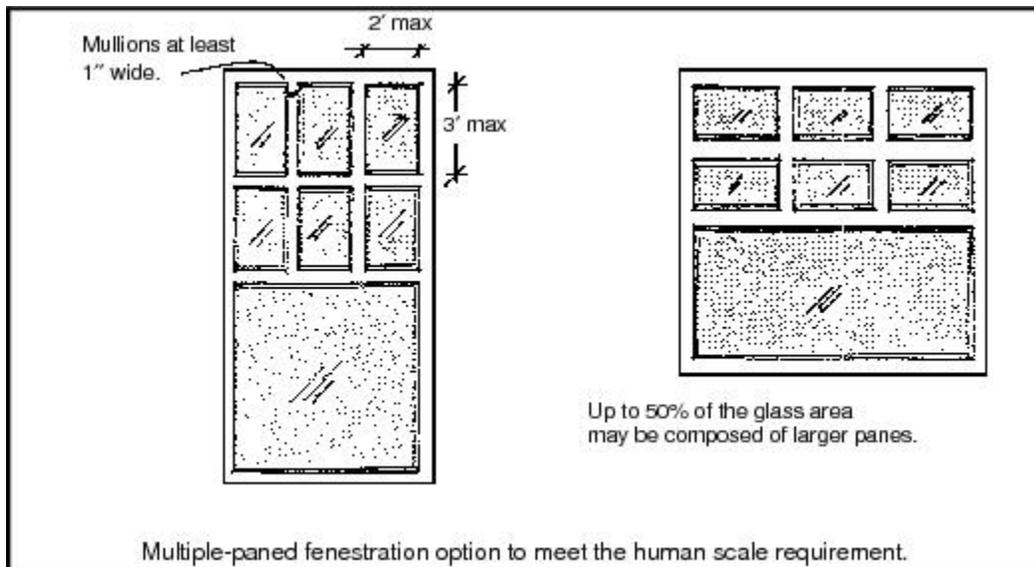


FIGURE 92.30.K

6) Provide a hipped or gable roof which covers at least one-half (1/2) of the building footprint and has a slope equal to or greater than three (3) feet vertical to 12 feet horizontal. To meet this requirement, the ridge width of a continuous [roofline](#) shall not extend more than 100 feet without [modulation](#). This includes a gabled or other sloped [roofline](#) segment at least 20 feet in width.

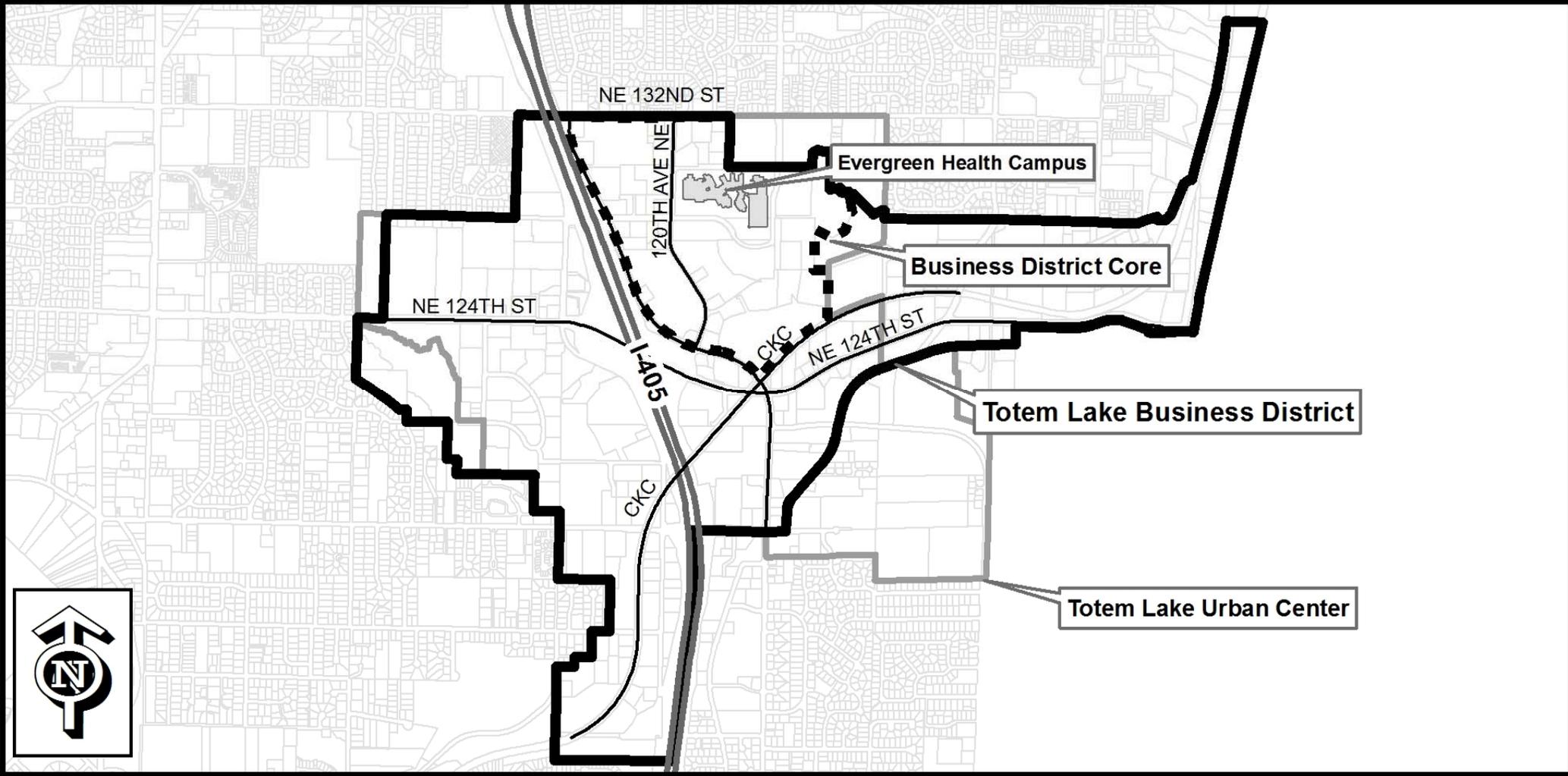
7) If the main entrance of the building is on the facade of the building facing a street, [through-block pathway](#), or [public park](#), provide a covered porch or entry on the subject property at the building's main entrance. Pedestrian weather protection required under KZC [105.18](#) may not be used to meet this requirement unless the required pedestrian weather protection covers an area at least 15 feet long by 15 feet wide and is available for outdoor display or outdoor vendors or contains pedestrian-oriented improvements or amenities beyond what is otherwise required.

8) Provide one (1) or more stories above the [ground floor](#) setback at least six (6) feet from the [ground floor](#) facade facing the street, [through-block pathway](#), or a [public park](#).

9) Compose smaller building elements near the entry of a large building (see Figure 92.30.L).

c. Techniques To Achieve Human Scale in RHBD and ~~FLN-TLBD~~ – In addition to the requirements of subsection (6)(b) of this section, Techniques to Achieve Human Scale in All Zones, nonresidential uses (office, retail, industrial, etc.) in the RHBD and ~~TLBD~~ with over 40,000 square feet of floor area shall incorporate the following human scale features on the facade featuring the primary building entry:

Business District Core within the Totem Lake Business District



REVISED Figure 92.05.B

95.42 Minimum Land Use Buffer Requirements

The applicant shall comply with the provisions specified in the following chart and with all other applicable provisions of this chapter. [Land use buffer](#) requirements may apply to the subject property, depending on what permitted use exists on the [adjoining](#) property or, if no permitted use exists, depending on the zone that the [adjoining](#) property is in.

ADJOINING PROPERTY →	*Public park or low density residential use or if no permitted use exists on the adjoining property then a low density zone .	Medium or high density residential use or if no permitted use exists on the adjoining property then a medium density or high density zone.	Institutional or office use or if no permitted use exists on the adjoining property then an institutional or office zone .	A commercial use or an industrial use or if no permitted use exists on the adjoining property then a commercial or industrial zone .
LANDSCAPING CATEGORY ↓				
A	Must comply with subsection (1) (Buffering Standard 1)	Must comply with subsection (1) (Buffering Standard 1)	Must comply with subsection (2) (Buffering Standard 2)	
B	Must comply with subsection (1) (Buffering Standard 1)	Must comply with subsection (1) (Buffering Standard 1)		
C	Must comply with subsection (1) (Buffering Standard 1)	Must comply with subsection (2) (Buffering Standard 2)		
D	Must comply with subsection (2) (Buffering Standard 2)			
E				
Footnotes:	*If the adjoining property is zoned Central Business District, Juanita Business District, North Rose Hill Business District, Rose Hill Business District, Totem Center Business District Core or is located in TL 5, this section KZC 95.42 does not apply.			

105.18 Pedestrian Access

1. General – Promoting an interconnected network of pedestrian routes within neighborhoods is an important goal within the City. Providing pedestrian access from buildings to abutting rights-of-way, walkways and other uses on the subject property, and connections between properties help meet the objectives of nonmotorized transportation policies. Installing pedestrian connections and other pedestrian improvements with new development reduces the reliance on vehicles, reduces traffic congestion and promotes nonmotorized travel options and provides health benefits. This section establishes regulations for pedestrian access that primarily serves users of the subject property and for which [dedication](#) of [public access](#) rights is not required. KZC [105.19](#) establishes regulations for public pedestrian access for which [dedication](#) of [public access](#) is required.
2. Pedestrian Access – Location – All new development, except detached single-family and [duplex](#) uses, shall comply with the following pedestrian access requirements pursuant to the standards in subsection (3) of this section:
 - a. From Buildings to Sidewalks and Transit Facilities – Provide pedestrian walkways designed to minimize walking distance from the primary entrances to all buildings to the abutting [right-of-way](#), pedestrian walkway and transit facilities pursuant to the applicable standard in subsection (3) of this section.
 - b. Between Uses on Subject Property – Provide pedestrian walkways between the primary entrances to all businesses, uses, and/or buildings on the subject property pursuant to the applicable standard in subsection (3) of this section.
 - c. Along Building Facades Not Adjacent to a Sidewalk in the Rose Hill Business District (RHBD) and Totem Lake ~~Neighborhood Business District (TLBD/TLN)~~ [Design Districts](#) – In RHBD and ~~TLBD/TLN~~ [Design Districts](#), for buildings that do not front on a public sidewalk, a pedestrian walkway shall be provided along the entire facade of all building facades containing the primary entrance (see Figure 105.18.A). The walkway shall meet the through-block [pedestrian pathway](#) standards in KZC [105.19](#)(2)(b) (see also Figure [105.19.A](#)) except public [dedication](#) will typically not be required. Exceptions may be approved as part of Design Review in the following circumstances: where new development is less than 2,000 square feet of [gross floor area](#), features a landscaped front yard area and parking is located to the side or rear, only direct pedestrian access shall be provided from the abutting sidewalk to the primary entrance to the buildings.
 - d. Between Properties – Provide pedestrian walkways connecting to adjacent properties pursuant to the applicable standards in subsection (3) of this section. Exceptions: Pedestrian connections to [industrial uses](#) are not required. The location for the access points at property edges and to adjacent lots shall be coordinated with existing and planned development to provide convenient pedestrian links between developments. Where there are topographic changes in elevation between properties, stairs or ramps shall be provided to make the pedestrian connection.
 - e. Through [Parking Areas](#) – All [parking lots](#) which contain more than 25 stalls must include pedestrian walkways through the [parking lot](#) to the main building entrance or a central location.

The walkways must meet the development standards pursuant to subsection (3) of this section (see Figures 105.18.B and C).

f. Through Parking Garages – Provide marked pedestrian routes through parking garages from the [parking area](#) to the abutting public [right-of-way](#) and to the pedestrian entrance of the building. Install walkways pursuant to standards in subsection (3) of this section.

3. Pedestrian Access – Required Improvements

a. Pedestrian Walkway Standards – General – The applicant shall install pedestrian walkways pursuant to the following standards:

- 1) Must be at least five (5) feet wide;
- 2) Must be distinguishable from traffic lanes by painted markings, pavement material, texture, or raised in elevation;
- 3) Must have adequate lighting for security and safety. Lights must be nonglare and mounted no more than 20 feet above the ground;
- 4) Must be centrally located on the subject property;
- 5) Must be accessible;
- 6) Barriers which limit future pedestrian access between the subject property and adjacent properties are not permitted;
- 7) [Easements](#) to provide rights of access between adjacent properties shall be recorded prior to project occupancy.

b. Overhead Weather Protection – Location – The applicant shall provide pedestrian overhead weather protection in the following locations:

- 1) Along any portion of the building which is adjacent to a pedestrian walkway or sidewalk;
- 2) Over the primary exterior entrance to all buildings including residential units.
- 3) Exceptions in [Design Districts](#):

In CBD Zones: Along at least 80 percent of the frontage of the subject property on each [pedestrian-oriented street](#).

In RHBD, BN, BNA, MSC 2 and ~~FLN~~-TLBD Zones: Along at least 75 percent of a pedestrian-oriented building facade.

In JBD Zones: Along 100 percent of a building facade abutting a street or [through-block pathway](#).

FIGURE 105.18.C

(Ord. 4390 § 1, 2012; Ord. 4350 § 1, 2012; Ord. 4320 § 1, 2011; Ord. 4121 § 1, 2008; Ord. 4097 § 1, 2007)

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105.58 Location of Parking Areas Specific to Design Districts

If the subject property is located in a [Design District](#), the applicant shall locate [parking areas](#) on the subject property according to the following requirements:

1. Location of [Parking Areas](#) in the CBD, ~~TC-BDC~~ (TL 1, TL 2, TL 3) Zones
 - a. [Parking areas](#) shall not be located between a [pedestrian-oriented street](#) and a building unless specified in a Conceptual [Master Plan](#) in TL 2. (See Plate [34](#) in Chapter [180](#) KZC and Chapters [92](#) and [110](#) KZC for additional requirements regarding [pedestrian-oriented streets](#)).
 - b. On all other streets, [parking lots](#) shall not be located between the street and the building on the subject property unless no other feasible alternative exists.
2. Location of [Parking Areas](#) in the JBD 2, NRHBD and YBD Zones – [Parking areas](#) shall not be located between the street and the building unless no other feasible alternative exists on the subject property.
3. Location of [Parking Areas](#) in Certain ~~TLN-TLBD~~ and RHBD Zones – [Parking areas](#) and vehicular access may not occupy more than 50 percent of the street frontage in the following zones (see Figure 105.58.A):
 - a. TL 4, only properties fronting on 120th Avenue NE;
 - b. TL 5;
 - c. TL 6A, only properties fronting on 124th Avenue NE. Auto dealers in this zone are exempt from this requirement;
 - d. TL 6B, only properties fronting on NE 124th Street;
 - e. TL 10E.

Alternative configurations may be considered through the Design Review process, if the project meets the objectives of the KMC Design Guidelines for the Totem Lake [Neighborhood Business District](#).

- f. In the Regional Center (RH 1A, RH 2A, RH 3 and RH 5A zones west of 124th Avenue). For parcels over two (2) acres in size, [parking lots](#) and vehicular access areas may not occupy more than 50 percent of the NE 85th Street property frontage (see Figure 105.58.A). Alternative

110.52 Sidewalks and Other Public Improvements in Design Districts



1. This section contains regulations that require various sidewalks, pedestrian circulation and pedestrian-oriented improvements on or adjacent to properties located in [Design Districts](#) subject to Design Review pursuant to Chapter [142](#) KZC such as CBD, JBD, ~~TLN~~[TLBD](#), ~~TCB~~[BDC](#), RHBD, NRHBD and YBD zones.

The applicant must comply with the following development standards in accordance with the location and designation of the abutting [right-of-way](#) as a [pedestrian-oriented street](#) or [major pedestrian sidewalk](#) shown in Plate [34](#) of Chapter [180](#) KZC. See also Public Works Pre-Approved Plans manual for public improvements for each [Design District](#). If the required sidewalk improvements cannot be accommodated within the existing [right-of-way](#), the difference may be made up with a public [easement](#) over private property; provided, that a minimum of five (5) feet from the curb shall be retained as public [right-of-way](#) and may not be in an [easement](#). Buildings may cantilever over such [easement](#) areas, flush with the [property line](#) in accordance with the [International Building Code](#) as adopted in KMC Title [21](#). (See Figure 110.52.A and Plate [34](#).)

2. [Pedestrian-Oriented Street](#) Standards – Unless a different standard is specified in the applicable [use zone](#) chart, the applicant shall install a 10-foot-wide sidewalk along the entire frontage of the subject property abutting each [pedestrian-oriented street](#). (See Figure 110.52.A.)

Required Sidewalk on [Pedestrian-Oriented Streets](#) and [Major Pedestrian Sidewalks](#)

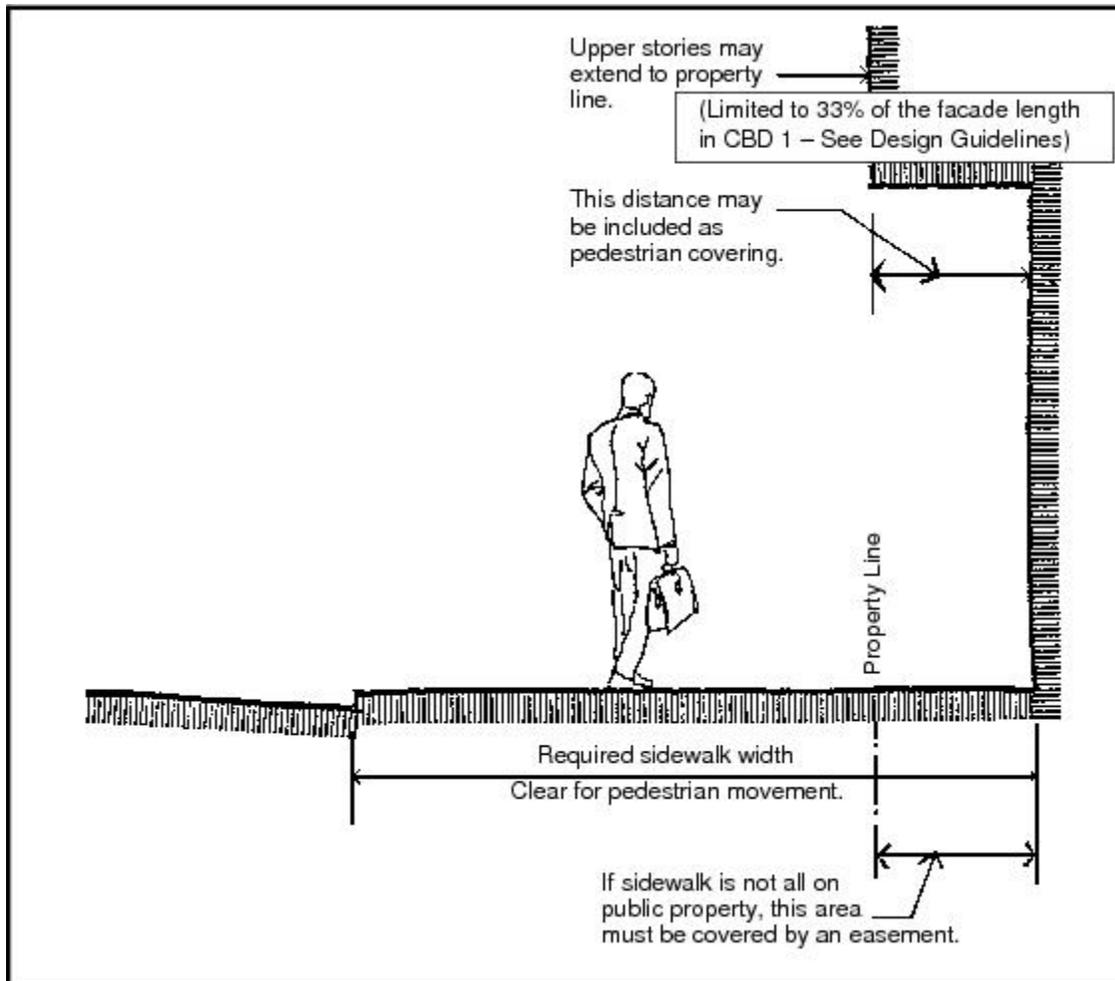


FIGURE 110.52.A

3. [Major Pedestrian Sidewalk](#) Standards – If the subject property abuts a street designated to contain a [major pedestrian sidewalk](#) in Plate [34](#), Chapter [180](#) KZC, the applicant shall install that sidewalk on and/or adjacent to the subject property consistent with the following standards:

- a. Install in the approximate location and make the connections shown in Plate [34](#);
- b. A sidewalk width of at least eight (8) feet, unless otherwise noted in Plate [34](#);
- c. Have adequate lighting with increased illumination around building entrances and transit stops; and
- d. If parcels are developed in aggregate, then alternative solutions may be proposed.

4. Streets in the Totem Lake [Neighborhood-Business District](#) – Streets in the Totem Lake [Business District](#) ~~Neighborhood~~ designated as [major pedestrian sidewalks](#) in Plate

142.25 Administrative Design Review (A.D.R.) Process

1. Authority – The [Planning Official](#) shall conduct A.D.R. in conjunction with a related [development permit](#) pursuant to this section.

The [Planning Official](#) shall review the A.D.R. application for compliance with the design regulations contained in Chapter [92](#) KZC, or in zones where so specified, with the applicable design guidelines adopted by KMC [3.30.040](#). In addition, the following guidelines and policies shall be used to interpret how the regulations apply to the subject property:

- a. Design guidelines for pedestrian-oriented business districts, as adopted in KMC [3.30.040](#).
- b. Design guidelines for the Rose Hill Business District (RHBD), the Totem Lake ~~Neighborhood Business District~~ (TLBDN) and Yarrow Bay Business District (YBD) as adopted in KMC [3.30.040](#).
- c. For review of attached or [stacked dwelling units](#) within the NE 85th Street Subarea, the PLA 5C Zone, and the Market Street Corridor, Appendix C, Design Principles for Residential Development contained in the [Comprehensive Plan](#).

2. Application – As part of any application for a [development permit](#) requiring A.D.R., the applicant shall show compliance with the design regulations in Chapter [92](#) KZC, or where applicable, the design guidelines adopted by KMC [3.30.040](#), by submitting an A.D.R. application on a form provided by the [Planning Department](#). The application shall include all documents and exhibits listed on the application form, as well as application materials required as a result of a pre-design conference.

3. Pre-Design Conference – Before applying for A.D.R. approval, the applicant may schedule a pre-design meeting with the [Planning Official](#). The meeting will be scheduled by the [Planning Official](#) upon written request by the applicant. The purpose of this meeting is to provide an opportunity for an applicant to discuss the project concept with the [Planning Official](#) and for the [Planning Official](#) to designate which design regulations, or design guidelines, apply to the proposed development based primarily on the location and nature of the proposed development.

4. A.D.R. Approval

a. The [Planning Official](#) may grant, deny, or conditionally approve the A.D.R. application. The A.D.R. approval or conditional approval will become conditions of approval for any related [development permit](#), and no [development permit](#) will be issued unless it is consistent with the A.D.R. approval or conditional approval.

b. Additions or Modifications to Existing Buildings

1) Applications involving additions or modifications to existing buildings shall comply with the design regulations of Chapter [92](#) KZC, or where applicable, the design guidelines adopted by KMC [3.30.040](#) to the extent feasible depending on the scope of the project. The [Planning](#)

[Official](#) may waive compliance with a particular design regulation if the applicant demonstrates that it is not feasible given the existing development and scope of the project.

2) The [Planning Official](#) may waive the A.D.R. process for applications involving additions or modifications to existing buildings if the design regulations are not applicable to the proposed [development activity](#).

5. Lapse of Approval – The lapse of approval for the A.D.R. decision shall be tied to the [development permit](#) and all conditions of the A.D.R. approval shall be included in the conditions of approval granted for that [development permit](#).

6. Design departure and minor variations may be requested pursuant to KZC [142.37](#).

(Ord. 4392 § 1, 2012; Ord. 4357 § 1, 2012; Ord. 4333 § 1, 2011; Ord. 4177 § 2, 2009; Ord. 4107 § 1, 2007; Ord. 4097 § 1, 2007; Ord. 4037 § 1, 2006; Ord. 4030 § 1, 2006; Ord. 3956 § 1, 2004)

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142.35 Design Board Review (D.B.R.) Process

1. Timing of D.B.R. – For any [development activity](#) that requires D.B.R. approval, the applicant must comply with the provisions of this chapter before a building permit can be approved; provided, that an applicant may submit a building permit application at any time during the design review process. An applicant may request early design review, but such review shall not be considered a [development permit](#) or to in any way authorize a use or [development activity](#). An application for D.R. approval may be considered withdrawn for all purposes if the applicant has not submitted information requested by the City within 60 calendar days after the request and the applicant does not demonstrate reasonable progress toward submitting the requested information.

2. Public Meetings – All meetings of the Design Review Board shall be public meetings and open to the public.

3. Authority – The Design Review Board shall review projects for consistency with the following:

a. Design guidelines for pedestrian-oriented business districts, as adopted in Chapter [3.30](#) KMC.

b. Design Guidelines for the Rose Hill Business District (RHBD) and the Totem Lake ~~Neighborhood~~ [Business District](#) (TLBDN) as adopted in Chapter [3.30](#) KMC.

c. The Design Principles for Residential Development contained in Appendix C of the [Comprehensive Plan](#) for review of attached and [stacked dwelling units](#) located within the NE 85th Street Subarea, the PLA 5C zone, and the Market Street Corridor.

thresholds for future review of projects and also include a phasing plan for all improvements shown or described in the CMP.

(Ord. 4392 § 1, 2012; Ord. 4193 § 1, 2009; Ord. 4177 § 2, 2009; Ord. 4171 § 1, 2009; Ord. 4121 § 1, 2008; Ord. 4107 § 1, 2007; Ord. 4097 § 1, 2007; Ord. 4037 § 1, 2006; Ord. 4030 § 1, 2006; Ord. 3956 § 1, 2004; Ord. 3954 § 1, 2004; Ord. 3889 § 2, 2003; Ord. 3833 § 1, 2002; (Ord. 3814 § 1, 2001)

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142.37 Design Departure and Minor Variations

1. General – This section provides a mechanism for obtaining approval to depart from strict adherence to the design regulations or for requesting minor variations from requirements in the following zones:

- a. In the CBD and YBD: minimum [required yards](#); and
- b. In the ~~Business District Core~~ ~~Totem Center~~: minimum [required yards](#), floor plate maximums and building separation requirements; and
- c. In the RHBD, the PLA 5C zone, and the ~~TLN~~ ~~TLBD~~: minimum [required yards](#), and landscape buffer; and
- d. In the MSC 1 and MSC 4 zones of the Market Street Corridor: minimum required front yards; and
- e. In the MSC 2 zone of the Market Street Corridor: height (up to an additional five (5) feet), and minimum required front yards.

This section does not apply when a design regulation permits the applicant to propose an alternate method for complying with it or the [Use Zone](#) Chart allows the applicant to request a reduced setback administratively.

2. Process – If a design departure or minor variation is requested, the D.R. decision, including the design departure or minor variation, will be reviewed and decided upon using the D.B.R. process.

3. Application Information – The applicant shall submit a complete application on the form provided by the [Planning Department](#), along with all information listed on that form, including a written response to the criteria in subsection (4) of this section.

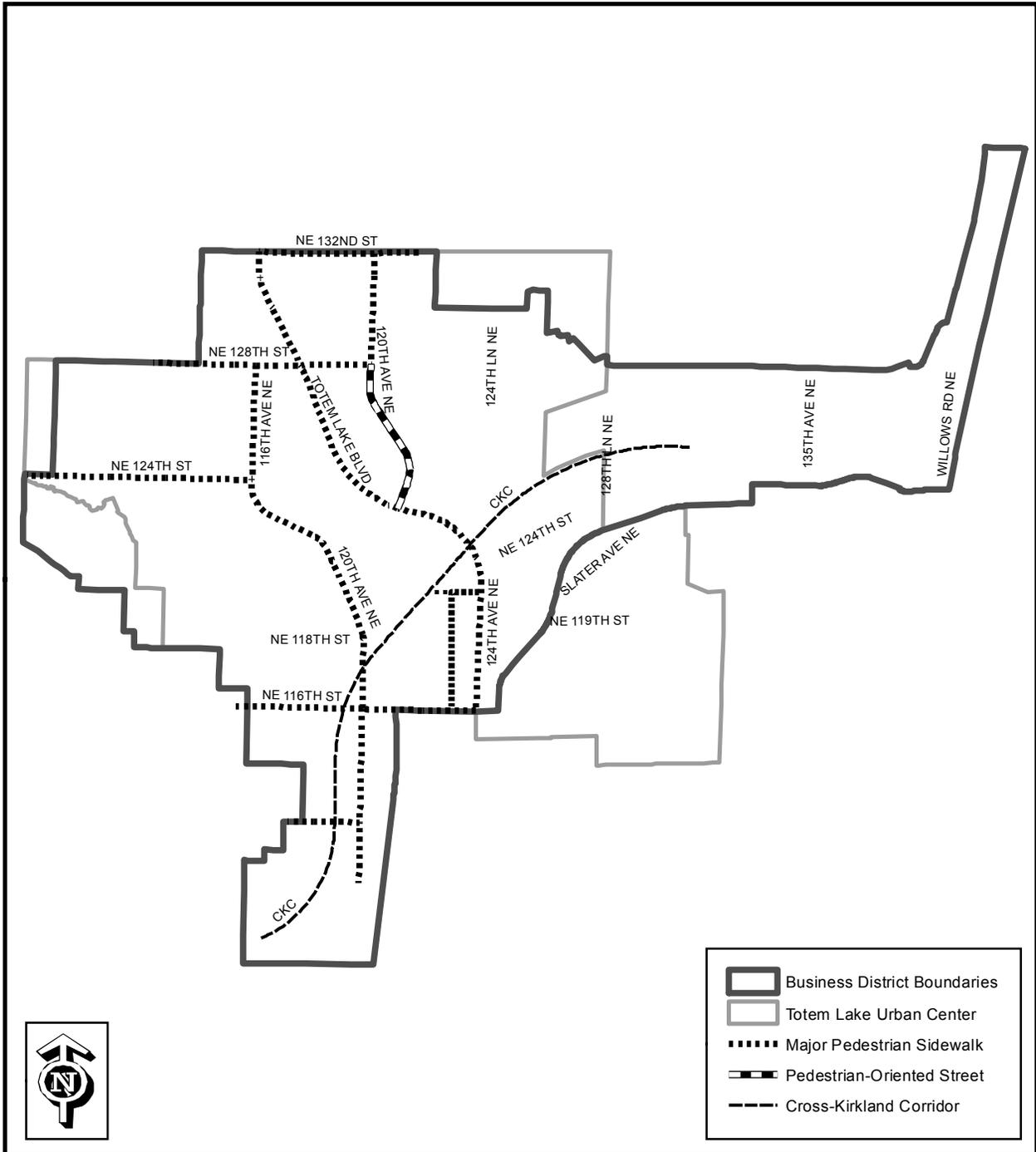
4. Criteria – The Design Review Board may grant a design departure or minor variation only if it finds that all of the following requirements are met:

- [C](#) 118th Avenue NE Street Improvements in TL 10B Zone
- [D](#) The Designated “Circulator” in the Totem Lake ~~Neighborhood~~ **Business District**
- [E](#) Pedestrian Circulation in Totem Lake
- [F](#) Vehicular Access and Pedestrian Pathway Concept for TL 5
- [G](#) Internal Access Roads and Through-Block Pathway Concept for TL 6B
- [H](#) Pedestrian Circulation in the CBD
- [I](#) Pedestrian Circulation in the JBD
- [J](#) Pedestrian Circulation in the NRHBD
- [K](#) Through-Block Pathways Concept for RHBD
- [L](#) Pedestrian Circulation in YBD
- [M](#) Street Improvements in YBD
- [N](#) Pedestrian Circulation in Neighborhood Business Zones (BN, BNA & MSC 2)
- [Plate 35](#) Total Upper Story Setback Area
- [Plate 36](#) Story at Street or Access Easement Level
- [Plate 37](#) ~~Stand Alone Housing Areas~~ **Totem Lake Housing Incentive Areas**
- [Plate 38](#) Measuring Size Limitations for Structures Abutting or Within Low Density Zones and Abutting Low Density Uses in the PLA 17 Zone
- [Plate 39](#) *Repealed*
- [Plate 40](#) *Reserved*
- [Plate 41](#) Measuring Shoreline Setback
- [Plate 42](#) Maximum Shoreline Walkway Corridor
- [Plate 43A](#) Options for Shoreline Stabilization Measures – Building Setback 10’ – 30’
- [Plate 43B](#) Options for Shoreline Stabilization Measures – Building Setback > 30’
- [Plate 44](#) Addition to Nonconforming Detached Dwelling Unit
- [Plate 45](#) Electric Vehicle Charging Station Signage
- [Plate 46](#) School Walk Routes

REVISED

Plate 34E

O-4495
Exhibit 2



3.30.040 Design guidelines adopted by reference.

The design review board in combination with the authority set forth in Chapter [142](#) KZC shall use the following design guidelines documents to review development permits:

(1) The document entitled "Design Guidelines for Pedestrian Oriented Business Districts" bearing the signatures of the mayor and the director of the department of planning and community development, dated August 3, 2004, is adopted by reference as though fully set forth herein. The city council shall consult with the planning commission prior to amending this document.

(2) The document entitled "Design Guidelines for the Rose Hill Business District" bearing the signatures of the mayor and the director of the department of planning and community development, dated January 3, 2006, is adopted by reference as though fully set forth herein. The city council shall consult with the planning commission prior to amending this document.

(3) The document entitled "Design Guidelines for the Totem Lake-~~Business District~~~~Neighborhood~~" bearing the signatures of the mayor and the director of the department of planning and community development, dated June 6, 2006, is adopted by reference as though fully set forth herein. The city council shall consult with the planning commission prior to amending this document.

(4) The document entitled "Kirkland Parkplace Mixed Use Development Master Plan and Design Guidelines" bearing the signatures of the mayor and the director of the department of planning and community development, dated February 17, 2015, is adopted by reference as though fully set forth herein. The city council shall consult with the planning commission prior to amending this document.

(5) The document entitled "Design Guidelines for the Yarrow Bay Business District" bearing the signatures of the mayor and the director of the department of planning and community development, dated November 15, 2011, is adopted by reference as though fully set forth herein. The city council shall consult with the planning commission and the Houghton community council prior to amending this document.

(6) Text Amended. The following specific portions of the text of the design guidelines are amended as set forth in Attachment A attached to Ordinance 4106 and incorporated by reference. (Ord. 4475 § 1, 2015; Ord. 4332 § 1(A) (Exh. A), 2011; Ord. 4308 § 1, 2011; Ord. 4172 § 1, 2008; Ord. 4106 § 1, 2007; Ord. 4052 § 1, 2006; Ord. 4038 § 1, 2006; Ord. 4031 § 1, 2006)